

DATE 05/01/2009

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000027781

APPLICANT DALE BURD PHONE 497-2311  
ADDRESS P.O. BOX 39 FT. WHITE FL 32038  
OWNER FREDERICK BEAUMONT PHONE 561 789-2142  
ADDRESS 340 MURDOCK CT FT. WHITE FL 32038  
CONTRACTOR WENDELL CREWS PHONE 352 351-6100  
LOCATION OF PROPERTY 41S, TR TUSTENUGGEE, TR CR 18, TL OLD NIBLACK, TR HILLARD,  
TL MURDOCK, 3RD LOT ON RIGHT  
TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 01-7S-16-04108-011 SUBDIVISION JOEL GLEN  
LOT 8/9 BLOCK PHASE UNIT TOTAL ACRES 14.89

IH0000629

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 09-251 CS HD N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, EXISTNG MH TO BE REMOVED

Check # or Cash 4754

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic  
date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing  
date/app. by date/app. by date/app. by  
Framing Insulation  
date/app. by date/app. by  
Rough-in plumbing above slab and below wood floor Electrical rough-in  
date/app. by date/app. by  
Heat & Air Duct Peri. beam (Lintel) Pool  
date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert  
date/app. by date/app. by date/app. by  
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing  
date/app. by date/app. by date/app. by  
Reconnection RV Re-roof  
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD-ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

CK# 4754

**For Office Use Only**

(Revised 1-10-08)

Zoning Official

aps 4/28/09

Building Official

NO 4-28-09

AP#

0904-35

Date Received

4/27

By

JW

Permit #

27781

Flood Zone

X

Development Permit

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Zoning

A-3

Land Use Plan Map Category

A-3

Comments

Existing MH to be removed

FEMA Map#

Elevation

Finished Floor

River

In Floodway

☒ Site Plan with Setbacks Shown

☒ EH #

☐ EH Release

☒ Well letter

☒ Existing well

☐ Recorded Deed or Affidavit from land owner

☒ Letter of Auth. from installer

☐ State Road Access

☐ Parent Parcel #

☐ STUP-MH

☐ F W Comp. letter

IMPACT FEES: EMS

Fire

Corr

Road/Code

School

= TOTAL

Property ID #

01-75-16-04108-011

Subdivision

Joel Glen Lot 8+9

- New Mobile Home ☒ Used Mobile Home ☐ MH Size 76x41 Year 07
- Applicant Wendy Grennell (Dale Burdick's wife) Phone # 386-497-2311
- Address PO Box 39 Ft White FL 32038
- Name of Property Owner Frederick M. Beaumont Phone# 561-789-2142
- 911 Address 340<sup>SW</sup> Murdock Ct. Ft White FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Frederick M. Beaumont Phone # 561-789-2142  
Address 5349 Van Buren Road Delray Beach FL 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 1
- Lot Size IRREGULAR Total Acreage 15 14.89
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (pd)
- Driving Directions to the Property Hwy 41 South to Tusculum turn (R) to CR18 turn (R) to Old Niblack turn (L) to Hillard turn (R) to Murdock Ct turn (L) to 340 Murdock on (R) 3<sup>rd</sup> lot from Hillard on right
- Name of Licensed Dealer/Installer Wendell Crews Phone # 352-351-6100
- Installers Address 4650 NE 35<sup>th</sup> St. Ocala FL 34479
- License Number TH0000629 Installation Decal # 302369

Spoke to Christina 4/28/09

Apr. 21. 2009 1:54PM

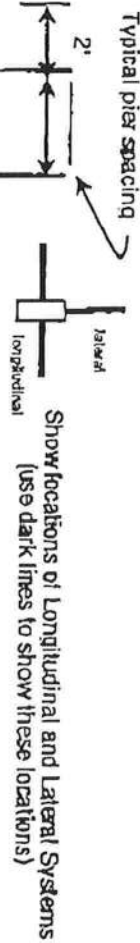
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No. 6843 P. 2

## PERMIT NUMBER

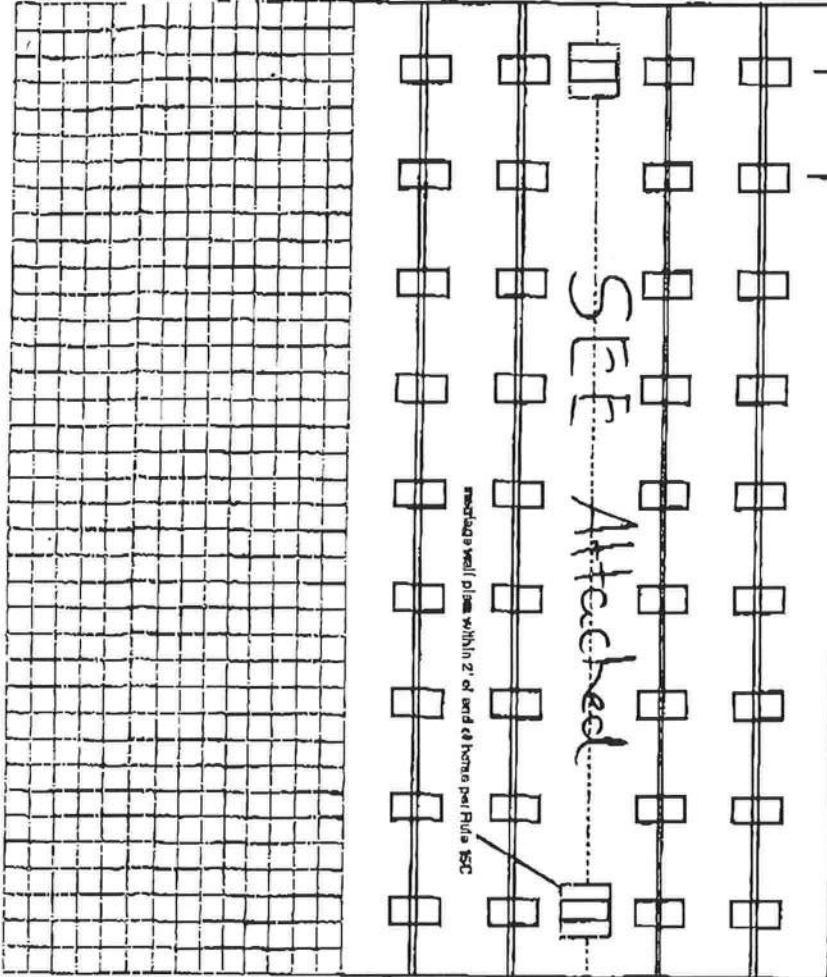
## PERMIT WORKSHEET

page 1 of 2

Installer Wendell Cross License # IHO00629Address of home being installed 370 Muddick Ct  
At White FL 32038Manufacturer Southern Energy Length x width 46x76NOTE If home is a single wide fill out one half of the blocking plan  
If home is a triple or quad wide sketch in remainder of homeI understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.Installer's initials PC

Indicate wall planes within 2' of end of home per Rule 15C

SEE ATTACHED

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐Double wide ☐ Installation Decal # 302369Triple/Quad ☒ Serial # 18066 ARRoof System: ☒ Typical ☒ Hinged

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	Footer size (sq ft)	16' x 16' (256)	18 1/2' x 18 1/2' (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	9'	10'	11'
2000 psf	6'	8'	9'	10'	11'	12'	13'
2500 psf	7' 6"	8'	9'	10'	11'	12'	13'
3000 psf	8'	8'	9'	10'	11'	12'	13'
3500 psf	8'	8'	9'	10'	11'	12'	13'

Interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 21x29Perimeter pier pad size 16x16Other pier pad sizes (required by the mfg.) 21x29

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

19' 4" 21x295' 6" 21x2912' 8" 21x29

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer OLIVER 1101V

## POPULAR PAD SIZES

Pad Size	Sq in
16' x 16'	256
16' x 18'	288
18' 5' x 18' 5'	342
16' x 22' 5'	360
17' x 22'	374
13' 1/4' x 26' 1/4'	348
20' x 20'	400
17' 3/16' x 25' 3/16'	441
17' 1/2' x 25' 1/2'	446
24' x 24'	576
26' x 26'	676

## ANCHORS

4 ft ☒ 5 ft ☐

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

## OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall  
Number 54  
11A  
2 loads



Apr. 21, 2009 1:54PM

SSQGLG77Q

No. 6843 P. 3

## PERMIT NUMBER

PERMIT WORKSHEET

page 2 of 2

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to        psi or check here to declare 1000 lb. soil ☒ without testing.

X        X        X       

## POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X        X        X       

## TORQUE PROBE TEST

The results of the torque probe test is        inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline locations where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

       Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Devell Creus

Date Tested 4-21-09

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 58

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 69

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 69

## Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☐

## Fastening multi-wide units

Floor: Type Fastener: Long Length: 3/8 x 5" Spacing: 16"  
Walls: Type Fastener: Screw Length: #8 x 4" Spacing: 16"  
Roof: Type Fastener: Wedge Length: 7/8" Spacing: 24"

For used homes a min. 30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

## Gasket (with waterproofing membrane)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials UC

Type gasket foam

Pg. 65 Installed:  
Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of ridgebeam Yes ☒

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 65  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

## Miscellaneous

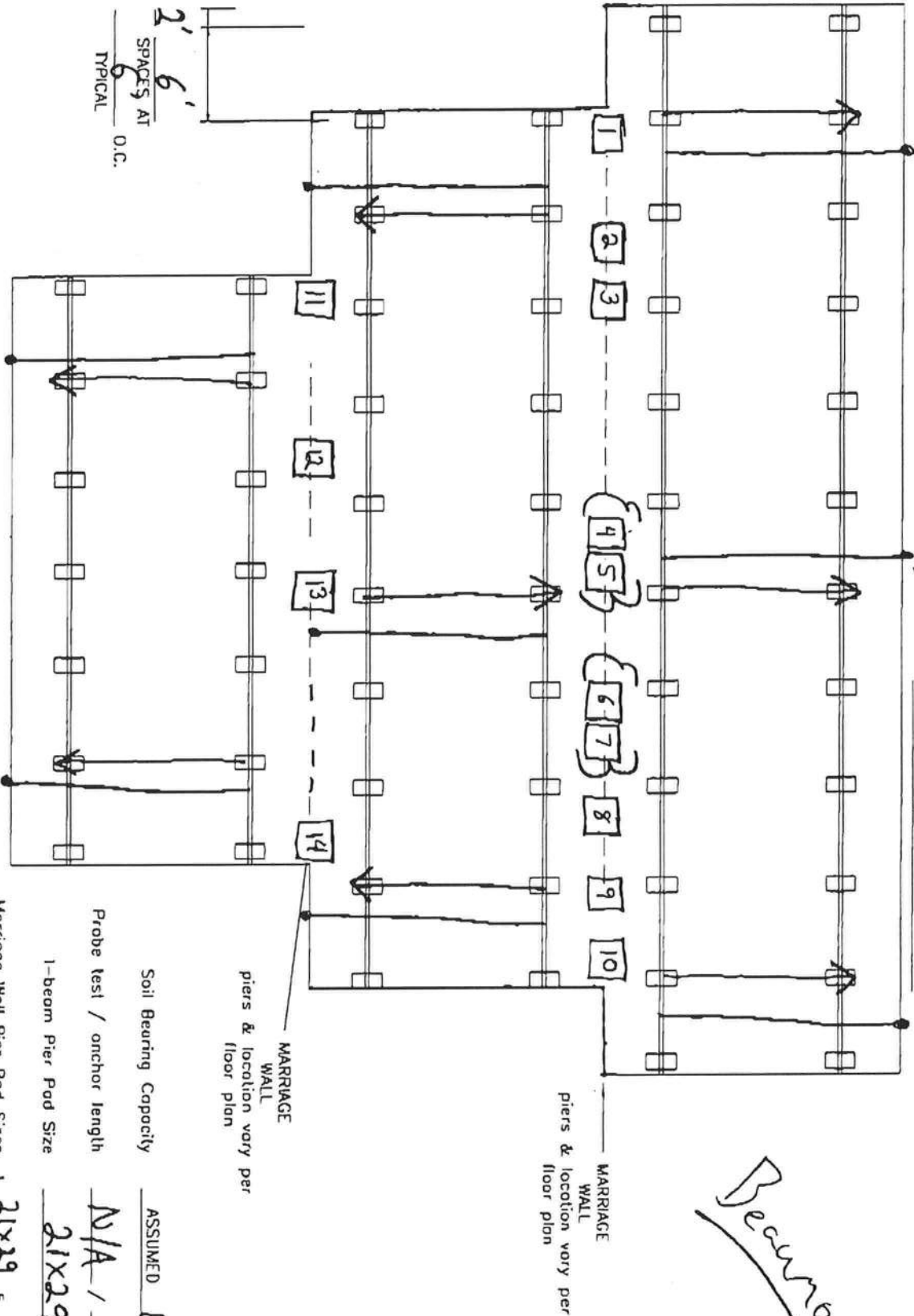
Skirting to be installed. Yes ☒ No ☒  
Dryer vent installed outside of skirting. Yes ☒ N/A ☒  
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒  
Drain lines supported at 4 foot intervals. Yes ☒  
Electrical crossovers protected. Yes ☒  
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Devell Creus Date 4-21-09

# BLOCKING PLAN

Manufacturer Southern Energy  
Length x Width 42x76



Beumont

Pier Spacing based on set-up manual or 15-C manual for 1000 PSF Soil Model 1101 V All Steel Foundation system by Oliver Technologies.  
4 ft. ground anchors except were loads exceed 3150 lbs. then 5 ft. anchors.

MARRIAGE WALL  
piers & location vary per floor plan

MARRIAGE WALL  
piers & location vary per floor plan

Soil Bearing Capacity

ASSUMED 1000#

Probe test / anchor length

N/A / 4'

1-beam Pier Pod Size

21x29

Marriage Wall Pier Pod Sizes

1 21x29 5 16x16

9 21x29 12 21x29

2 16x16 6 21x29

10 21x29 13 21x29

3 16x16 7 16x16

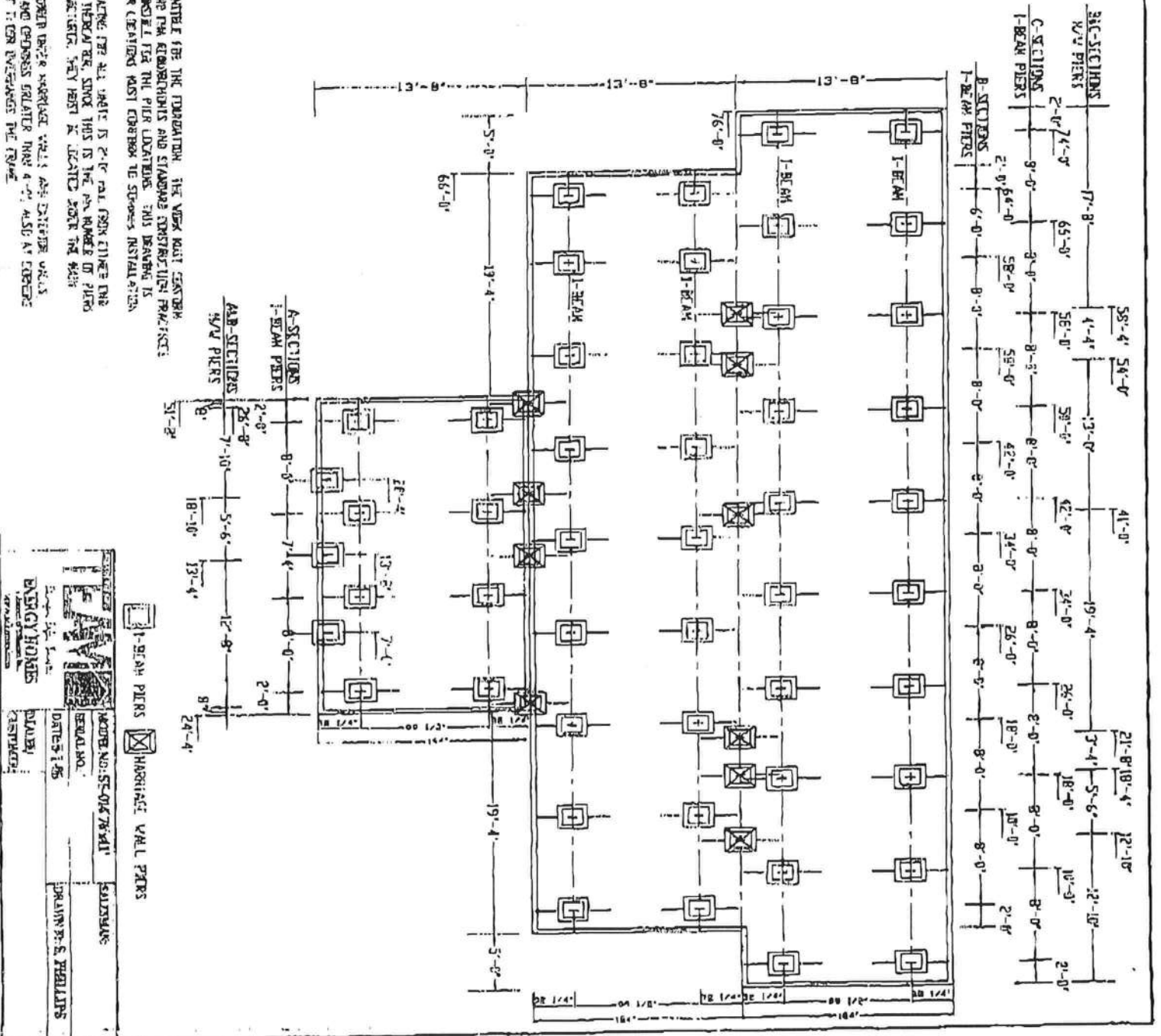
11 21x29 14 21x29

4 21x29 8 21x29

Perimeter Pier Pod Sizes

16x16 8'0c

TOTAL P.07



ATTN: PHIL  
FROM: CASEY

OLIVER TECHNOLOGIES, INC.  
FLORIDA INSTALLATION INSTRUCTIONS FOR THE  
**MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM**  
MODEL 1101 "V" (STEPS 1-15)  
LONGITUDINAL ONLY: FOLLOW STEPS 1-9  
FOR ADDING LATERAL ARM: Follow Steps 10-15  
FOR CONCRETE APPLICATIONS: Follow Steps 16-19

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - STOP! Contact Oliver Technologies at 1-800-284-7437 ;  
a) Pier height exceeds 48" b) Length of home exceeds 76' c) Roof eaves exceed 16' d) Sidewall height exceed 96"  
e) Location is within 1500 feet of coast

**INSTALLATION OF GROUND PAN**

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C) .  
3. Place ground pan (C) directly below chassis I-beam . Press or drive pan firmly into soil until flush with or below soil.  
**SPECIAL NOTE:** The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

**INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM**

NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4" . VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REQ.) .

4. Select the correct square tube brace (E) length for set - up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT  
(Approx. 45 degrees Max.)

1.25" ADJUSTABLE  
Tube Length

1.50" ADJUSTABLE  
Tube Length

7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E (18" tube) ) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.  
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.  
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.  
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degree and not below 40 degrees.  
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four (4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.

**INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM**

THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES.

NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".  
FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. NOTE: Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.  
11. NOTE: Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. This frame tie & stabilizer plate needs to be located within 18" from of center ground pan.  
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)  
13. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.  
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector (I) with bolt and nut.  
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



OLIVER TECHNOLOGIES, INC.  
1-800-284-7437

Telephone: 931-796-4555  
Fax: 931-796-8811  
www.olivertechnologies.com

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**INSTALLATION USING CONCRETE RUNNER / FOOTER**

16. A concrete runner, footer or slab may be used in place of the steel ground pan.

- a) The concrete shall be minimum 2500 psi mix
  - b) A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
  - c) Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
  - d) If a full slab is used, the depth must be a 4" minimum.
- Special inspection of the system bracket installation is not required.. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.

LONGITUDINAL: (Model 1101 LC "V")



17. When using Part # 1101-W-CPCA (wetset), simply install the bracket in runner/footer OR When installing in cured concrete use Part # 101-D-CPCA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into drilled holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete. Complete by tightening nuts.

LATERAL: (Model 1101 TC "V")

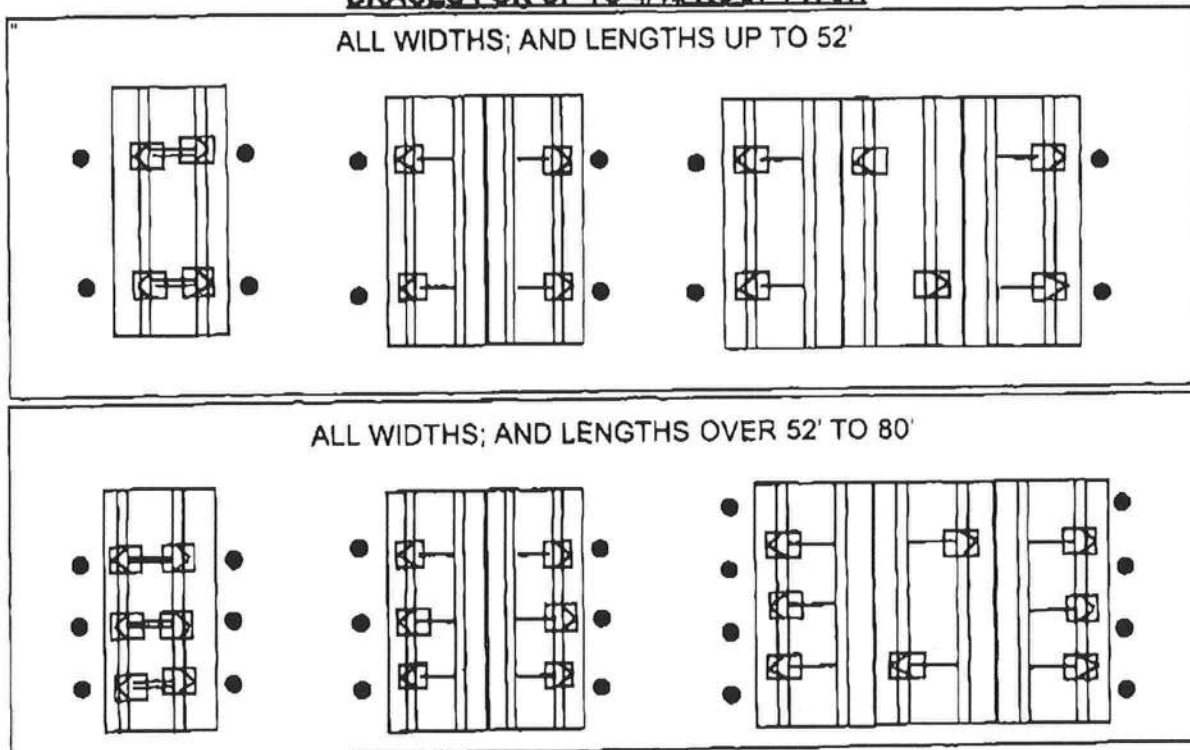
18. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TACA) mark bolt hole locations, then using a 5/8" diam. masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete.

19. When using part # 1101 CVW (wetset) or 1101 CVD (dryset), Install per steps 17 & 18.

**Notes:**

1. LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
2. • = STABILIZER PLATE AND FRAME TIE LOCATION (needs to be located within 18 inches of center of ground pan or concrete)
3.  = LOCATION OF LONGITUDINAL BRACING ONLY
4.  = TRANSVERSE & LONGITUDINAL LOCATIONS

**REQUIRED NUMBER AND LOCATION OF MODEL 1101 "V" OR 1101 C "V"**  
**BRACES FOR UP TO 4/12 ROOF PITCH**



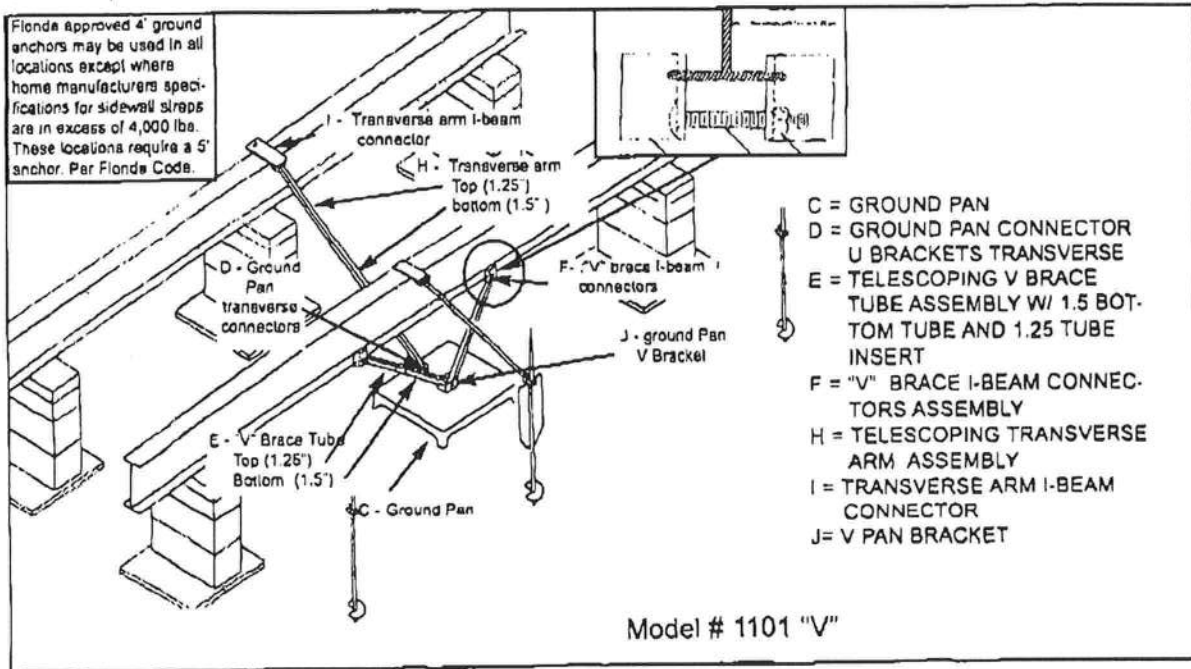
HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS

6 systems for home lengths up to 52' and 8 systems for homes over 52' and up to 80'. One stabilizer plate and frame tie required at each lateral bracing system.

3-084

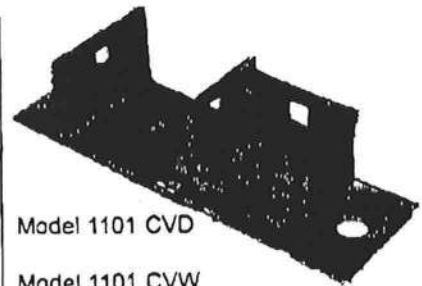
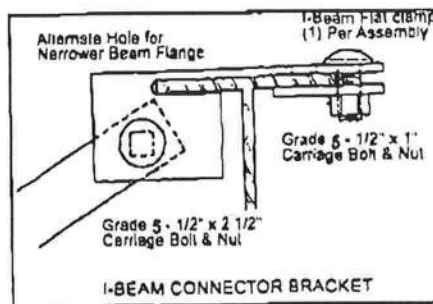


Florida approved 4" ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5" anchor. Per Florida Code.



Longitude dry  
concrete bracket  
part # 1101 D-CPCA

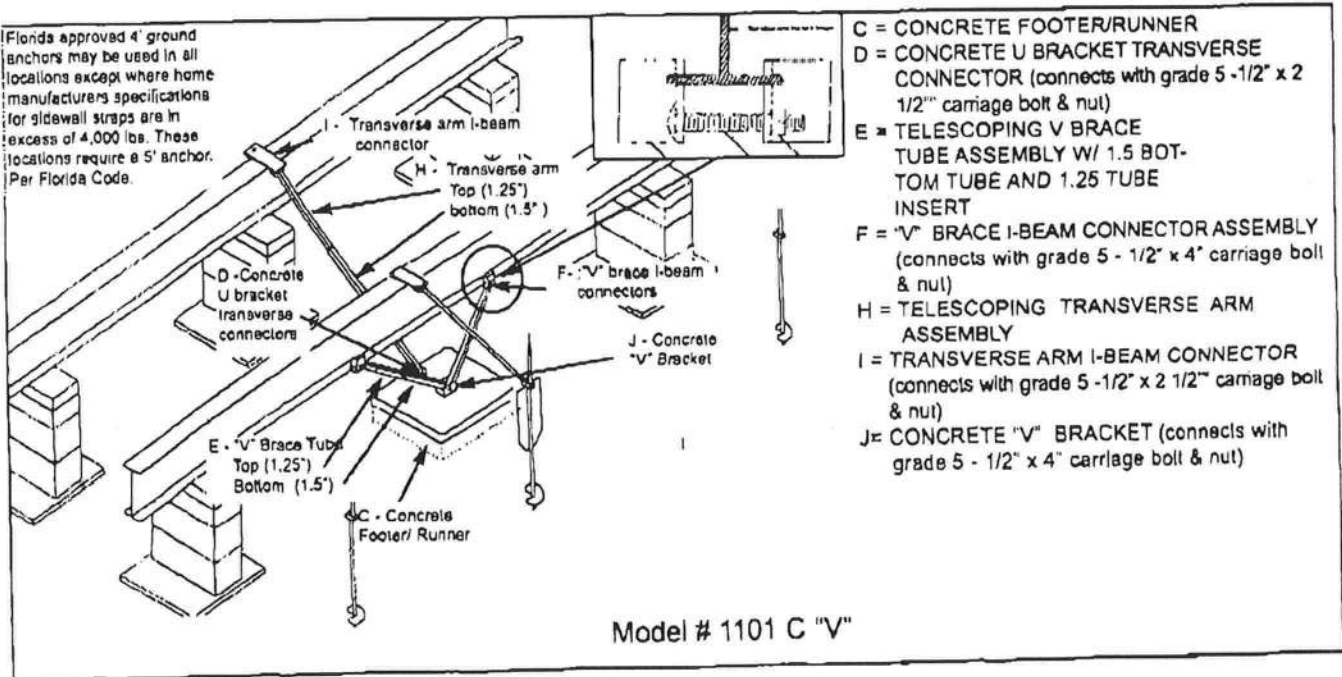
Wet bracket part #  
1101 W-CPCA not  
shown



Model 1101 CVD

Model 1101 CVW  
not shown

Florida approved 4" ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5" anchor. Per Florida Code.



OLIVER TECHNOLOGIES, INC.  
1-800-284-7437

Telephone: 931-798-4555  
Fax: 931-796-8811  
www.olivertechnologies.com

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04/25/2007 09:28H FROM: OLIVER TECH

1366 136502

TO: 13523416103

P. 1

FAX 352-701-0401



# Installation Instructions for ABS Pads

For use on all Mobile and Manufactured Homes, including  
HUD approved Homes and Modular Housing  
patent # 5503500 and other patents pending

## GENERAL INSTRUCTIONS:

1. All pads are to be installed flat side down, ribbed side up.
2. The ground under the pads should be leveled as smooth as possible with all vegetation removed. Pads to be placed on fully compacted or undisturbed soil at or below the frost line, or per local jurisdiction.
3. Pier & pad spacing will be determined by the manufactured homes' written set-up instructions or any local or state codes.
4. The open cells between the ribbing on the upper side of the pads may be filled with soil or sand after installation to prevent any accumulation of stagnant water in the pads.
5. A pocket penetrometer may be used to determine the actual soil bearing value. If soil-testing equipment is not available, use an assumed soil value of 1000 lbs. / square foot.
6. All pad sizes shown are nominal dimensions and may vary up to 1/8"
7. The maximum deflection in a single pad is 5/8" measured from the highest point to the lowest point of the top face. (NOTE: Actual test results were less than 5/8")
8. In frost areas, a 6" deep confined gravel base installed in well drained, non-frost susceptible soil is recommended.
9. Pad loads are the same when using single stack or double stack blocks.
10. The maximum load at any intermediate soil value may be determined as the average of the next lower and next higher soil value given in the table below.
11. Any configuration (see reverse side) may be used to replace a home manufacturer's recommended concrete or wood base pad.
12. If the home manufacturer shows soil densities greater than 3000 lb. when using ABS pads, do not exceed 3000 lb. soil pier spacing per set up manual.

Pad Size	ID No.	Pad Area	1000 PSF Soil	2000 PSF Soil	3000 PSF Soil
OVAL 16" x 18.5"	1055-23	288 sq. in.	2000 lbs.	4000 lbs.	6000 lbs.
OVAL 17" x 22"	1055-16	360 sq. in.	2500 lbs.	5000 lbs.	7500 lbs.
OVAL 17.5" x 22.5"	1055-21	384 sq. in.	2667 lbs.	5334 lbs.	8000 lbs. *
OVAL 17.5" x 25.5"	1055-17	432 sq. in.	3000 lbs.	6000 lbs.	9000 lbs. *
OVAL 21" x 29"	1055-22	576 sq. in.	4000 lbs.	8000 lbs. *	12000 lbs. *
OVAL 23.25" x 31.25"	1055-20	675 sq. in.	4694 lbs.	9388 lbs. *	9388 lbs. *
Pad Size	ID No.	Pad Area	1000 PSF Soil	2000 PSF Soil	3000 PSF Soil
16" x 16"	1055-14	256 sq. in.	1780 lbs.	3560 lbs.	5335 lbs.
18.5" x 18.5"	1055-9	342 sq. in.	2375 lbs.	4750 lbs.	7125 lbs. *
20" x 20"	1055-7	400 sq. in.	2750 lbs.	5500 lbs.	8250 lbs. *
24" x 24"	1055-13	576 sq. in.	4000 lbs.	8000 lbs. *	8000 lbs. *

\* Concrete blocks are required to be double blocked.

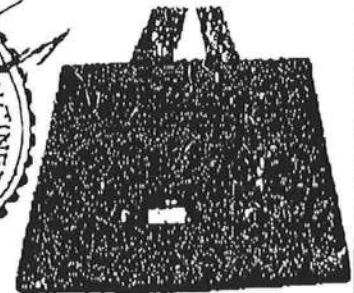
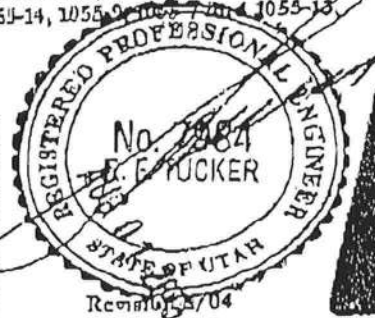
13. ALABAMA ONLY: The 16" x 16" ID# 1055-14, 16" x 18.5" ID# 1055-23, 17" x 22" ID# 1055-16, 17.5" x 22.5" ID# 1055-21, 17.5" x 25.5" ID# 1055-17 are the only pads approved in the state of Alabama, and must not have more than 3/8" deflection.

See chart below for details on correct installation in Alabama.

14. TEXAS ONLY: 17.5" x 22.5" ID# 1055-21 and 23.25" x 31.25" ID# 1055-20 may not be installed in the State of Texas.
15. Steel Piers: All pads are tested with steel piers on 1000 PSF soil density unless otherwise noted. (#16)
16. Available pads tested on 2000 PSF soil density are: ID#s 1055-14, 1055-9, 1055-7 and 1055-13.

Example: 16' x 16' section

PAD SIZE	1000 Lb Psf	2000 Lb Psf
16" x 16" Pad	2' 0"	5' 6"
16" x 18.5" Oval Pad	3' 0"	6' 0"
17" x 22" Oval Pad	3' 0"	7' 6"
17.5" x 22.5" Oval Pad	4' 0"	8' 0"
17.5" x 25.5" Oval Pad	4' 5"	8' 0"
21" x 29" Oval Pad	6' 0"	8' 0"



Apr. 21. 2009 1:54PM

SSGGLG77Q

No. 6843 P. 4

## Assignment of Authority

I, Wendell Crews, License # TH0000629 do hereby

Authorize Wendell Crews, Databind on Lexis Ford to act on my behalf in all

Aspects of pulling a move on permit.

Sworn and Subscribed before me this 21<sup>ST</sup> day of April,  
2009. County of Columbia, State of Florida.

Signature Wendell Crews

Date 4-21-09

Notary WPC

Commission Expires 8/8/11



WILLIAM P. CREWS  
MY COMMISSION # DD 703246  
EXPIRES: August 8, 2011  
Bonded Thru Budget Notary Services

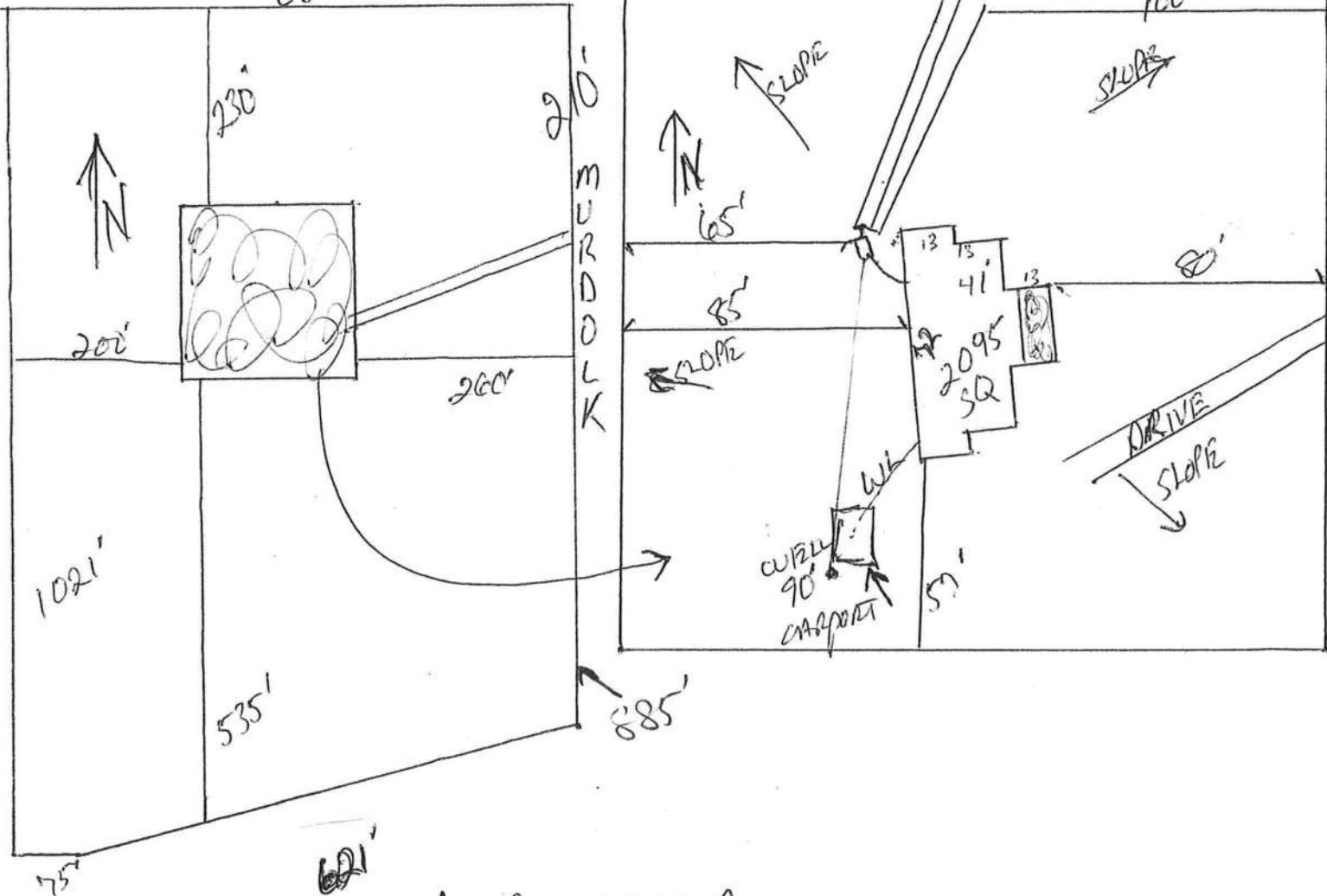


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- PART II - SITEPLAN ----- 2-10

Scale: 1 inch = 50 feet. 680'

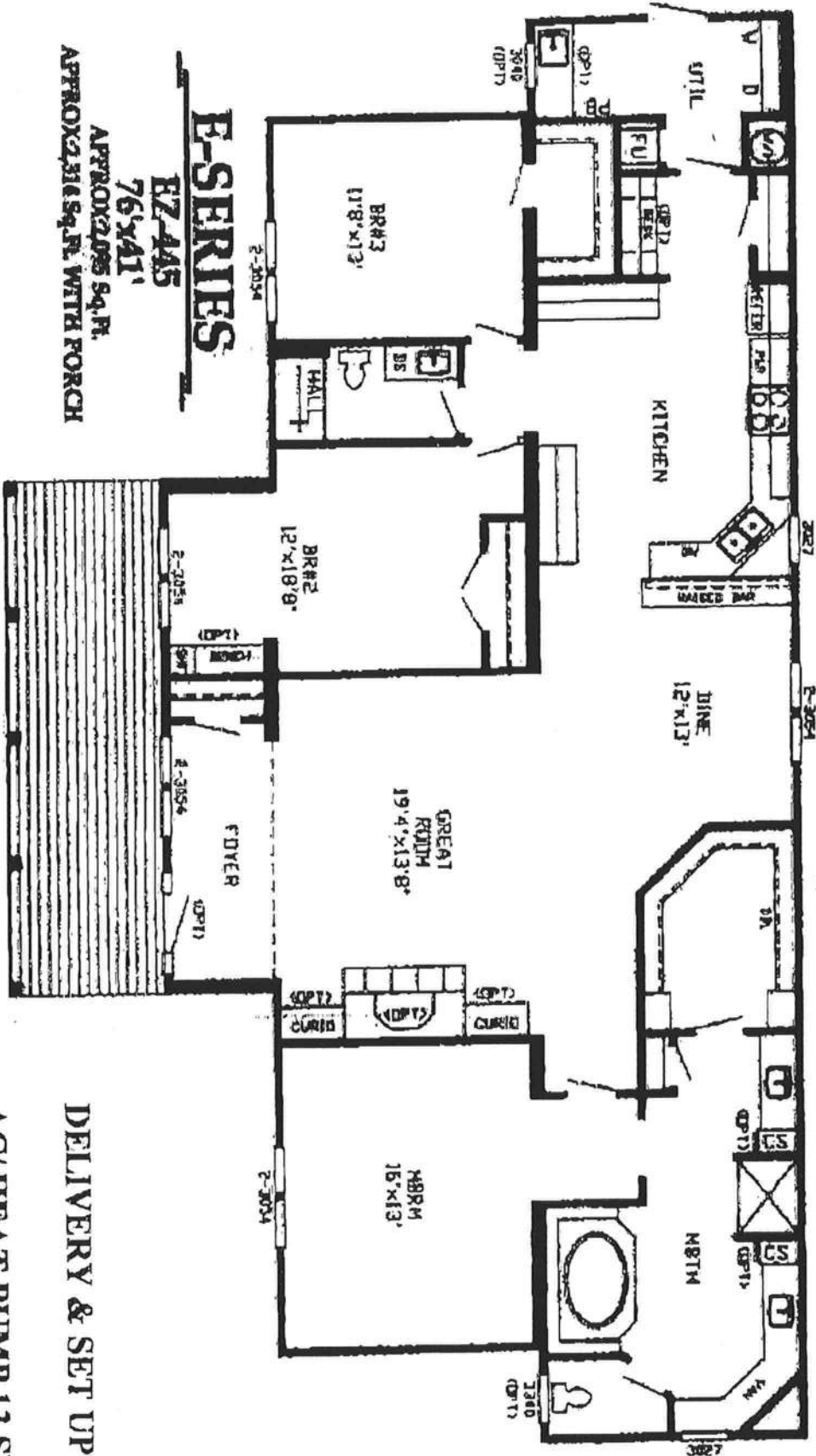


Notes: 1 of 14.8 ACRES

Site Plan submitted by: Rock D F MASTER CONTRACTOR  
Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date \_\_\_\_\_  
By \_\_\_\_\_ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

# THE "Williamburg"



\$ \_\_\_\_\_

ALL PRICES INCLUDE:

- DELIVERY & SET UP
- AC/HEAT PUMP 13 SEER
- STANDARD WHITE SKIRTING
- TWO SETS OF CODE STEPS

**Columbia County Property Appraiser**

DB Last Updated: 3/5/2009

Parcel: 01-7S-16-04108-011

**2009 Preliminary Values****Owner & Property Info**

Search Result: 1 of 1

<b>Owner's Name</b>	BEAUMONT FREDERICK M &		
<b>Site Address</b>	MURDOCK		
<b>Mailing Address</b>	SANDRA L 5349 VAN BUREN RD DELRAY BEACH, FL 33484		
<b>Use Desc. (code)</b>	MOBILE HOM (000200)		
<b>Neighborhood</b>	1716.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	14.890 ACRES		
<b>Description</b>	COMM SE COR OF NW1/4 OF SE1/4 RUN W 1321.75 FT, N 661.56 FT FOR POB, RUN W 75.27 FT, N 1021.62 FT, E 680.40 FT, S 885.42 FT, SW 621.15 FT TO POB (AKA S1/2 LOT 8 & ALL LOT 9 JOEL GLENN'S UNR S/D). ORB 788-1345, 825-2613 WD 1087-2193		

**GIS Aerial****Property & Assessment Values**

<b>Mkt Land Value</b>	cnt: (3)	\$78,385.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$41,362.00
<b>XFOB Value</b>	cnt: (2)	\$4,000.00
<b>Total Appraised Value</b>		\$123,747.00

<b>Just Value</b>	\$123,747.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$123,747.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$123,747.00

**Sales History**

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
6/22/2006	1087/2193	WD	I	Q		\$216,900.00
8/2/1996	825/2613	WD	I	Q		\$79,900.00
3/18/1994	788/1345	WD	I	U	12	\$30,000.00



### IMPACT FEE OCCUPANCY AFFIDAVIT

This affidavit is given for the purpose of obtaining an exemption pursuant to Article VIII, Section 8.01, Columbia County Comprehensive Impact Fee Ordinance No. 2007-40, adopted October 18, 2007, as may be amended.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

**BEFORE ME**, the undersigned authority, personally appeared Fredrick & Sandra Beaumont who, after being duly sworn, deposes and says:

1. Except as otherwise stated herein, Affiant has personal knowledge of the facts and matters set forth in this affidavit regarding property identified below as:

- (a) Parcel No.: 1-75-16-04108-011  
(b) Legal description (may be attached): 3 1/2 Lot 8 & All Lot 9  
SEE ATTACHED

2. Based upon Affiant's personal knowledge, a non-residential building or a residential dwelling has existed on the above referenced property. Said building or dwelling unit was last occupied on 24 April 09 (date.)

3. This Affidavit is made and given by Affiant with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

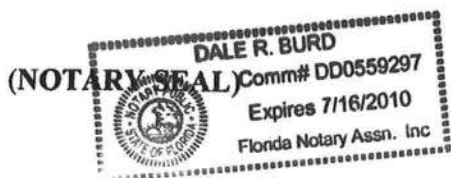
Further Affiant sayeth naught.

Fredrick Beaumont Sandra Beaumont

Print: FREDRICK BEAUMONT SANDRA BEAUMONT

Address: 5349 VAN BUREN ROAD  
DAIRY BEACH FL 33484

SWORN TO AND SUBSCRIBED before me this 24 day of APRIL, 2009 by FREDRICK & SANDRA BEAUMONT who is personally known to me or who has produced FL DL as identification.



[Signature]  
Notary Public, State of Florida

My Commission Expires:

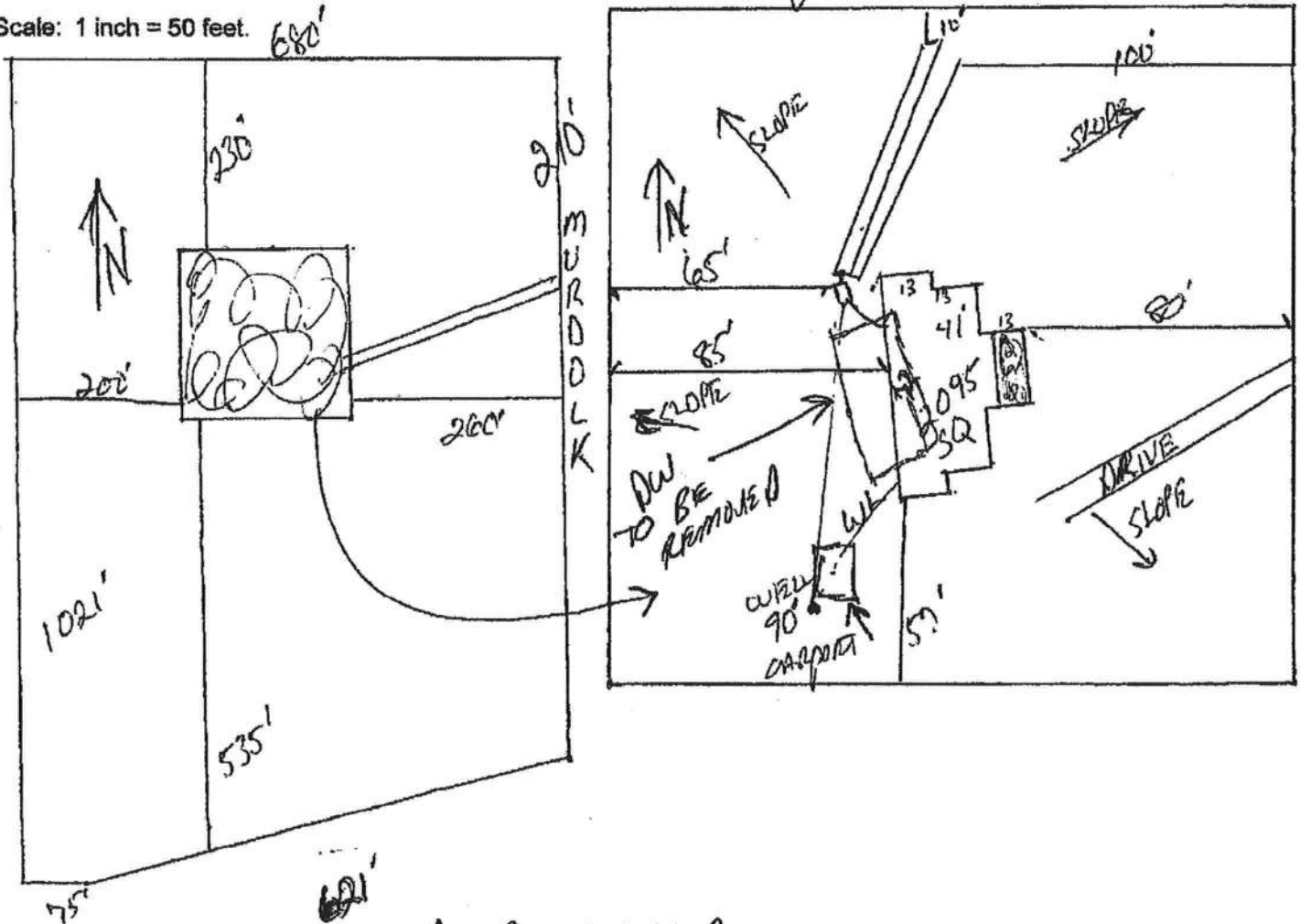
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Beaumont #0904-35

Permit Application Number 09-0251E

## PART II - SITEPLAN

**Scale:** 1 inch = 50 feet.



**Notes:**

1 of 14.8 Acres

**Site Plan submitted by:**

**Plan Approved**

**Not Approved**

By \_\_\_\_\_

**MASTER CONTRACTOR**

Date 4-27-09

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

# COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

## M/H OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 01-7S-16-04108-011

Building permit No. 000027781

Permit Holder WENDELL CREWS

Owner of Building FREDERICK BEAUMONT

Location: 340 SW MURDOCK CT., FT. WHITE, FL

Date: 05/19/2009



Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)