

DATE 06/02/2010

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000028617

APPLICANT KIMMY EDGLEY PHONE 386.752.0580
ADDRESS 590 SW ARLINGTON BLVD., STE. 113 LAKE CITY FL 32025
OWNER ELMAR & TERE J. KRUA PHONE 440.338.3476
ADDRESS 590 SW ARLINGTON BLVD.,STE. 113 LAKE CITY FL 32025
CONTRACTOR DOUG EDGLEY PHONE 386.752.0580
LOCATION OF PROPERTY 47-S TO BURNETT RD,TR TO HOLLY,TL GO AROUND CURVE,TL ON WINGS TERRACE TO THE END ON L.
TYPE DEVELOPMENT SFD/UTILITY ESTIMATED COST OF CONSTRUCTION 181500.00
HEATED FLOOR AREA 1214.00 TOTAL AREA 3630.00 HEIGHT 17.00 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 4'12 FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 07-4S-17-08106-022 SUBDIVISION COUNTRY LANDINGS
LOT 22 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 0.84

R282811326
Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
PRIVATE 10-0174 BLK _____ HD _____ N _____
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: 1 FOOT ABOVE ROAD. NOC ON FILE.

Check # or Cash 1990

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

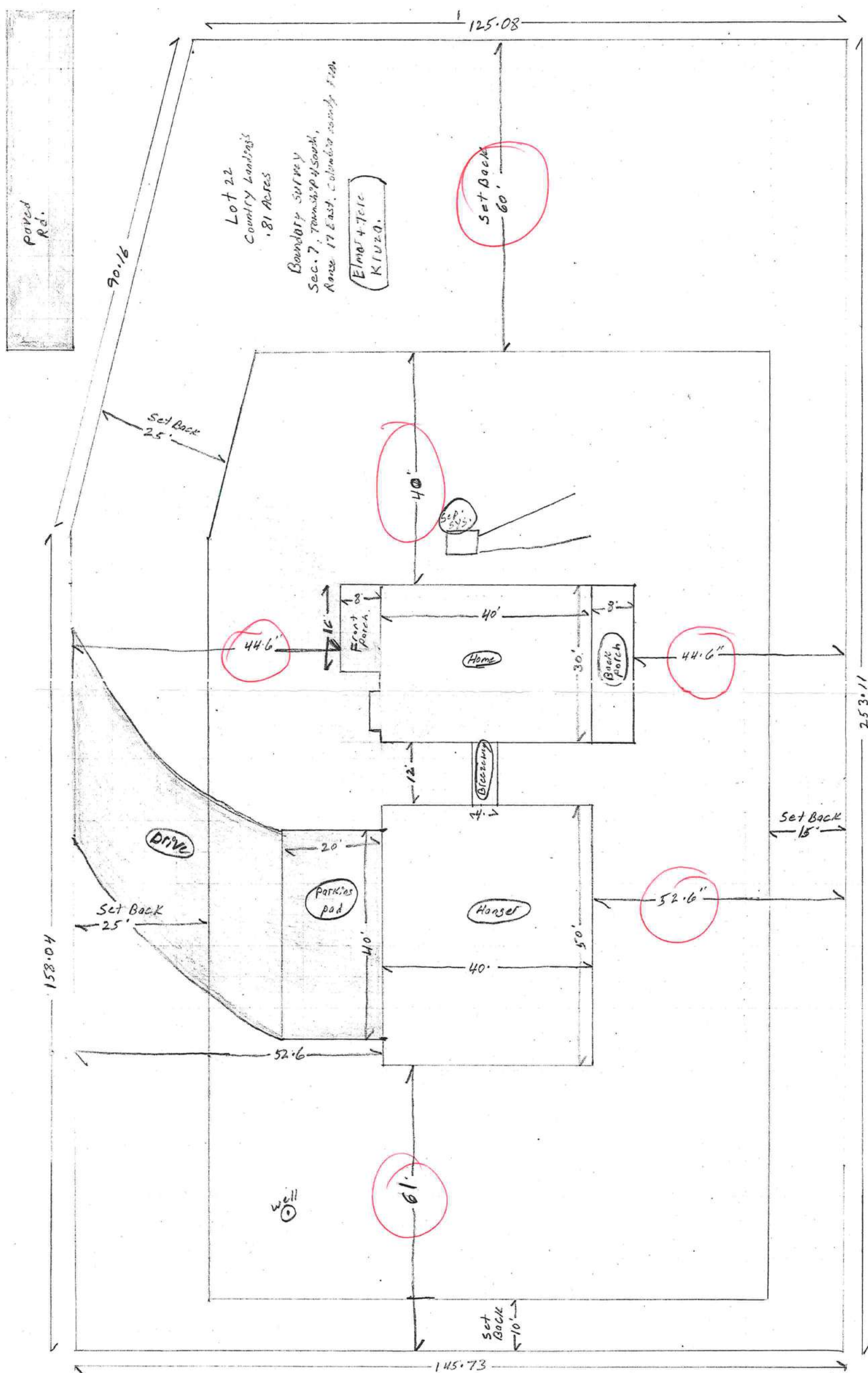
BUILDING PERMIT FEE \$ 910.00 CERTIFICATION FEE \$ 18.15 SURCHARGE FEE \$ 18.15
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ _____ TOTAL FEE 1021.30
INSPECTORS OFFICE _____ CLERKS OFFICE _____

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



B2K

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 07-4S-17-08106-022

Building permit No. 000028617

Use Classification SFD/UTILITY

Fire: 70.62

Permit Holder DOUG EDGLEY

Waste: 184.25

Owner of Building ELMAR & TERE J. KRUIZA

Total: 254.87

Location: 235 SW WINGS TERR, LAKE CITY, FL 32025

Date: 11/23/2010

Greg Curran

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

Columbia County Building Permit Application

head v list 14

UF

For Office Use Only Application # 1004-38 Date Received 4/22/10 By GF Permit # 286176
 Zoning Official BAK Date 01.06.10 Flood Zone X Land Use RES. L. DEN. Zoning RSF-2
 FEMA Map # N/A Elevation N/A MFE/Storm pd River N/A Plans Examiner HO Date 6-2-10
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL N/A Suspended

Septic Permit No. 10-0174 Fax 386-752-4904
 Name Authorized Person Signing Permit KIMMY EDGLEY Phone 386-752-0580
 Address 590 SW ARLINGTON BLVD SUITE 113 LAKE CITY FL 32025
 Owners Name ELMAR & TERE J KRUZA Phone 440-338-3476
 911 Address 235 SW WINGS TERRACE LAKE CITY FL 32025
 Contractors Name EDGLEY CONSTRUCTION CO DIV of CEE BAS INC Phone 386-752-0580
 Address 590 SW ARLINGTON BLVD SUITE 113 LAKE CITY FL 32025
 Fee Simple Owner Name & Address ELMAR & TERE J KRUZA
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address MARK DISOSWAY P.A., P.O. BOX 868, LAKE CITY FL 32056
 Mortgage Lenders Name & Address N/A
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy
 Property ID Number 07-4S-17-08106-022 Estimated Cost of Construction 125,000
 Subdivision Name COUNTRY LANDINGS Lot 22 Block _____ Unit _____ Phase _____
 Driving Directions 47 S TR ON BURNETT, TL ON HOLLY, AROUND CURVE TURN LEFT ON
WINGS TERRACE TO END ON LEFT
 _____ Number of Existing Dwellings on Property N/A

Construction of SFD Total Acreage .84 Lot Size _____
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 44'6"
 Actual Distance of Structure from Property Lines - Front 44'6" Side 61' Side 60' Rear 44'6"
 Number of Stories 1 Heated Floor Area 1214 Total Floor Area 3630 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

UF
 spoke to Peggy
 6/6/10

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or : permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.


NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

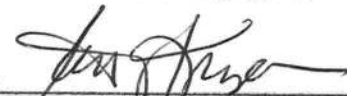
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature
ELMAR KRUGA


OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.
TERE KRUGA

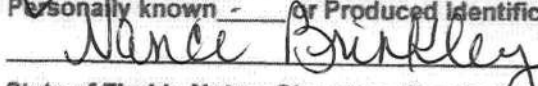
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permitee)

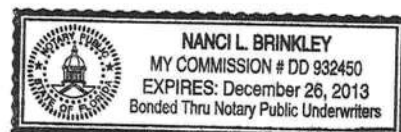
Contractor's License Number RR282811326
Columbia County
Competency Card Number 44

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 22 day of April 2010.

Personally known ☒ or Produced Identification ☐


State of Florida Notary Signature (For the Contractor)

SEAL:



This Instrument Prepared by & return to:

Name: **MARY SANDAGE, an employee of
NORTH CENTRAL FLORIDA TITLE,
LLC**
Address: **343 NW COLE TERRACE, SUITE 101
LAKE CITY, FLORIDA 32055
File No. 09Y-08003MAS**

Parcel I.D. #: **08106-003**

Inst: 200912013550 Date: 8/13/2009 Time: 3:28 PM
Doc Stamp-Deed 350.00
DC P. DeVWIT Cason Columbia County Page 1 of 2 B 1178 P 2778

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 7th day of August, A.D. 2009, by **F. C. CARROLL PROPERTIES, INC.**, A FLORIDA CORPORATION, having its principal place of business at **163 SW BONANZA GLEN, LAKE CITY, FLORIDA 32025**, hereinafter called the grantor, to **ELMAR KRUIZA and TERE J. KRUIZA, HIS WIFE**, whose post office address is **1573 BELL ROAD, CHAGRIN FALLS, OHIO 44022**, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

A PART OF THE SW ¼ OF SW ¼ OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF LOT 21 OF "COUNTRY LANDINGS" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 89 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S 00°34'19" E, 253.11 FEET; THENCE S 89°25'41" W, 145.62 FEET; THENCE N 00°16'00" W, 158.04 FEET; THENCE N 12°08'05" E, 90.16 FEET; THENCE N 00°34'21" W, 3034 FEET TO THE SW CORNER OF SAID LOT 21, "COUNTRY LANDINGS"; THENCE N 87°41'47" E, ALONG THE SOUTH LINE OF SAID LOT 21, 125.00 FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS LOT 22, COUNTRY LANDINGS SUBDIVISION.


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009.

In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness Signature

MARY SANDAGE

Printed Name


Witness Signature

PATRICIA LANG

Printed Name

F. C. CARROLL PROPERTIES, INC.

By:  L.S.
Name: **RAYMOND R. SESSIONS, JR.**
Title: **PRESIDENT**

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th day of August, 2009, by **RAYMOND R. SESSIONS, JR.** as **PRESIDENT** of **F. C. CARROLL PROPERTIES, INC., A FLORIDA CORPORATION**. He is personally known to me or has produced Driver's License as identification.



[Signature]
Notary Public
My commission expires 12-23-2012

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 100-6, FAC

PERMIT #
DATE PAID
FEE PAID \$
RECEIPT #
CR #

10-0117
9613423
41810
1301.05
1253476
09-4817

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Temporary/Experimental System
☐ Repair ☐ Abandonment ☐ Other (Specify)

APPLICANT: TERRY & FILMAR KRUZATELEPHONE: 752-0580AGENT: EDGLEY CONSTRUCTIONMAILING ADDRESS: 690 SW ARLINGTON BLVD CITY: LAKE CITY STATE: FL ZIP: 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION (IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED)

LOT: 22 BLOCK: _____ SUBDIVISION: COUNTRY LANDINGS DATESUBD: _____PROPERTY ID #: Part of 07-45-17-08106-002 (Section/Township/Range/Parcel) ZONING: RESPROPERTY SIZE: 0.84 ACRES (Sqft/43560) PROPERTY WATER SUPPLY: ☒ PRIVATE ☐ PUBLICPROPERTY STREET ADDRESS: SW WINGS TERR.DIRECTIONS TO PROPERTY: 47 SOUTH TURN RIGHT ON BURNETT TURN LEFT ON HOLLY. AROUND CURVE TURN LEFT ON WINGS TERR. TO END ON LEFT.

BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	HOUSE	3	1214 KE 4200	2	
2					
3					
4					

☐ Garbage Grinders/Disposals
☐ Ultra-low Volume Flush Toilets

☐ Spas/Hot Tubs
☐ Other (Specify)

☐ Floor/Equipment DrainsAPPLICANT'S SIGNATURE: Harry Edgley - AgentDATE: 4-7-10

RECEIVED
4/13/10

STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES
ONSITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # 9100363
DATE PAID 4/8/10
FEE PAID \$ 310.50
RECEIPT # 125341
CR # 09-4817

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Temporary/Experimental System
[] Repair [] Abandonment [] Other (Specify) _____

APPLICANT: TERRY & ELMAR KRUA

AGENT: EDGLEY CONSTRUCTION

PROPERTY STREET ADDRESS: SW WINGS TERR.

LOT: 22 BLOCK: _____ SUBDIVISION: COUNTRY LANDINGS

PROPERTY ID #: 07-4S-17-08106-003 [SECTION/TOWNSHIP/RANGE/PARCEL NO.]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC
REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS
EXPIRE 18 MONTHS FROM THE DATE OF ISSUE. HRS APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY
PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A
BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH
MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] [GALLONS / GPD] SEPTIC TANK CAPACITY MULTI-CHAMBERED/IN SERIES: []
A [] [GALLONS / GPD] CAPACITY MULTI-CHAMBERED/IN SERIES: []
N [0] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [] GALLONS PER DOSE DOSING TANK CAPACITY DOSE RATE [N] PER 24 HRS NO. OF PUMPS: [N]

D [375.0] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: [X] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [X] TRENCH [] BED []

F LOCATION OF BENCHMARK: NAIL IN 6" OAK TREE EAST OF SYSTEM SITE

I ELEVATION OF PROPOSED SYSTEM SITE IS [24] INCHES BELOW BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [22] INCHES BELOW BENCHMARK/REFERENCE POINT

L D FILL REQUIRED: [20] INCHES EXCAVATION REQUIRED: [0.0] INCHES

O All address shall be required.

T _____
H _____
E _____
R _____

SPECIFICATIONS BY: Paul Lloyd TITLE: Soil Scientist

APPROVED BY: Salhi Ford TITLE: EH Director COLUMBIA CPHU

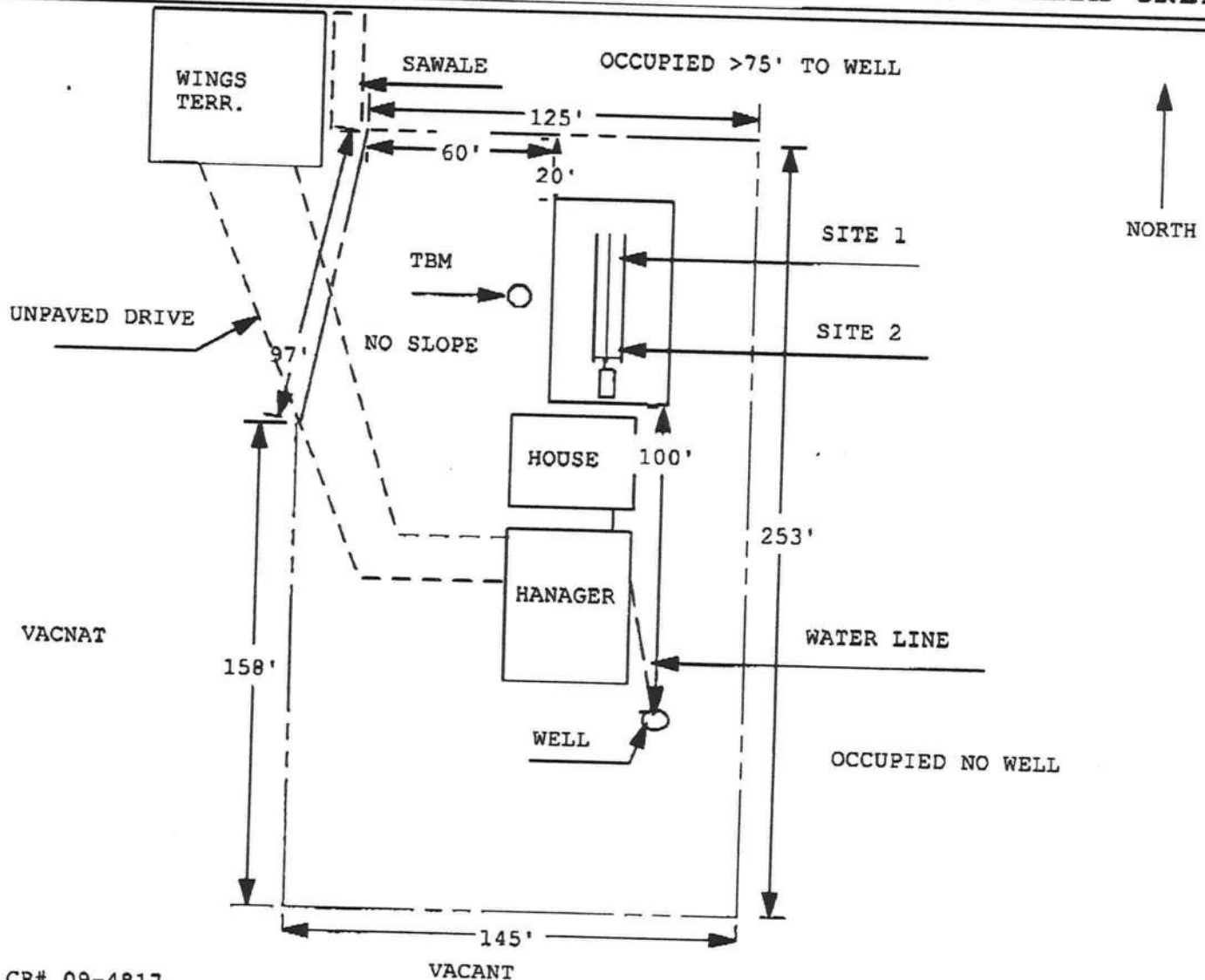
DATE ISSUED: 4-21-10

EXPIRATION DATE: 10/21/11

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 10-0174

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



CR# 09-4817

1 inch = 50 feet

Site Plan Submitted By Paul R. Rapp Date 2/24/10
 Plan Approved ☒ Not Approved ☐ Date 4-14-10

By Saeili Ford, EH Director **Columbia CHD** CPHU

Notes: _____

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 • FAX: (386) 758-1365 • Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 3/19/2010 DATE ISSUED: 3/23/2010

ENHANCED 9-1-1 ADDRESS:

235 SW WINGS

TER

LAKE CITY FL 32025

PROPERTY APPRAISER PARCEL NUMBER:

07-4S-17-08106-022

Remarks:

LOT 22, COUNTRY LANDING S/D UNR

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1671

HALL'S PUMP & WELL SERVICE, INC.

SPECIALIZING IN 4"-6" WELLS



DONALD AND MARY HALL
OWNERS

PHONE (386) 752-1854
FAX (386) 755-7022
904 NW MAIN BLVD.
LAKE CITY, FLORIDA 32055

August 12, 2009

Notice to All Contractors:

Re: Doug Edgley

Please be advised that due to the new building codes we will use a large capacity diaphragm tank on all new wells. This will insure a minimum of one (1) minute draw down or one (1) minute refill. If a smaller diaphragm tank is used then we will install a cycle stop valve which will produce the same results. All wells will have a pump & tank combination that will be sufficient enough for each situation.

If you have any questions please feel free to call our office.

Thank You,

Donald D. Hall

Residential System Sizing Calculation

Summary

Elmar & Tere Kruza

Project Title:
1002066KruzaRes

, FL

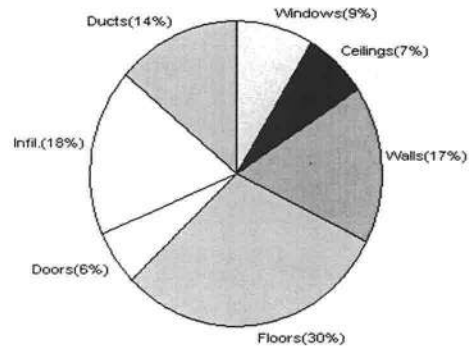
3/10/2010

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M)					
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)					
Winter design temperature(MJ8 99%)	33	F	Summer design temperature(MJ8 99%)	92	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	37	F	Summer temperature difference	17	F
Total heating load calculation			20792	Btuh	
Total cooling load calculation			22785	Btuh	
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	129.9	27000	Sensible (SHR = 0.75)	111.1	20250
Heat Pump + Auxiliary(0.0kW)	129.9	27000	Latent	148.0	6750
			Total (Electric Heat Pump)	118.5	27000

WINTER CALCULATIONS

Winter Heating Load (for 1214 sqft)

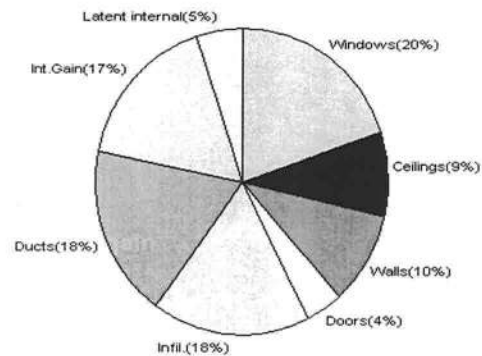
Load component			Load	
Window total	141	sqft	1826	Btuh
Wall total	1075	sqft	3530	Btuh
Door total	80	sqft	1184	Btuh
Ceiling total	1214	sqft	1431	Btuh
Floor total	1214	sqft	6287	Btuh
Infiltration	91	cfm	3688	Btuh
Duct loss			2846	Btuh
Subtotal			20792	Btuh
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			20792	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1214 sqft)

Load component			Load	
Window total	141	sqft	4526	Btuh
Wall total	1075	sqft	2242	Btuh
Door total	80	sqft	896	Btuh
Ceiling total	1214	sqft	2010	Btuh
Floor total			0	Btuh
Infiltration	73	cfm	1356	Btuh
Internal gain			3780	Btuh
Duct gain			3414	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			18224	Btuh
Latent gain(ducts)			699	Btuh
Latent gain(infiltration)			2662	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			1200	Btuh
Total latent gain			4561	Btuh
TOTAL HEAT GAIN			22785	Btuh



8th Edition

EnergyGauge® System Sizing

PREPARED BY:

DATE: 3/10/10 EVAN BENNETT

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Elmar & Tere Kruza

, FL

Project Title:
1002066KruzaRes
Building Type: User

3/10/2010

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 37.0 F (MJ8 99%)

This calculation is for Worst Case. The house has been rotated 45 degrees.

Component Loads for Whole House								
Window	Panes/Type	Frame	U	Orientation	Area(sqft)	X	HTM=	Load
1	2, NFRC 0.35	Metal	0.35	NE	30.0		12.9	388 Btuh
2	2, NFRC 0.35	Metal	0.35	SE	4.0		12.9	52 Btuh
3	2, NFRC 0.35	Metal	0.35	SE	3.0		12.9	39 Btuh
4	2, NFRC 0.35	Metal	0.35	SE	9.0		12.9	117 Btuh
5	2, NFRC 0.35	Metal	0.35	SW	20.0		12.9	259 Btuh
6	2, NFRC 0.35	Metal	0.35	SW	30.0		12.9	388 Btuh
7	2, NFRC 0.35	Metal	0.35	NW	45.0		12.9	583 Btuh
	Window Total				141.0(sqft)			1826 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area	X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	200		3.28	657 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	342		3.28	1123 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	200		3.28	657 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	333		3.28	1094 Btuh
	Wall Total				1075(sqft)			3530 Btuh
Doors	Type	Storm	Ueff.	R-Value	Area	X	HTM=	Load
1	Wood - Exterior,	n	(0.400)		20		14.8	296 Btuh
2	Wood - Exterior,	n	(0.400)		20		14.8	296 Btuh
3	Wood - Exterior,	n	(0.400)		20		14.8	296 Btuh
4	Wood - Exterior,	n	(0.400)		20		14.8	296 Btuh
	Door Total				80(sqft)			1184Btuh
Ceilings	Type/Color/Surface	Ueff.	R-Value	Area	X	HTM=	Load	
1	Vented Attic/D/Shing	(0.032)	30.0/0.0	1214		1.2	1431 Btuh	
	Ceiling Total				1214(sqft)		1431Btuh	
Floors	Type	Ueff.	R-Value	Size	X	HTM=	Load	
1	Slab On Grade	(1.180)	0.0	144.0 ft(perim.)		43.7	6287 Btuh	
	Floor Total				1214 sqft		6287 Btuh	
	Envelope Subtotal:							14258 Btuh
Infiltration	Type	ACH	Volume(cuft)	Wall Ratio	CFM=		Load	
	Natural	0.50	10926	1.00	91.1		3688 Btuh	
Duct load	Average sealed, R6.0, Supply(Att), Return(Att) (DLM of 0.159)						2846 Btuh	
All Zones	Sensible Subtotal All Zones							20792 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Elmar & Tere Kruza

, FL

Project Title:
1002066KruzaRes
Building Type: User

3/10/2010

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	20792 Btuh 0 Btuh 20792 Btuh
---------------------------	--	------------------------------------

EQUIPMENT

1. Electric Heat Pump	#	27000 Btuh
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Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
U - (Window U-Factor)
HTM - (ManualJ Heat Transfer Multiplier)



Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Elmar & Tere Kruza

Project Title:
1002066KruzaRes

, FL

3/10/2010

Reference City: Gainesville, FL

Temperature Difference: 17.0F(MJ8 99%)

Humidity difference: 54gr.

This calculation is for Worst Case. The house has been rotated 45 degrees.

Component Loads for Whole House

Window	Type*						Overhang		Window Area(sqft)			HTM		Load	
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2 NFRC	0.35, 0.35	No	No	NE		9.5ft.	2.0ft.	30.0	0.0	30.0	13	29	884	Btuh
2	2 NFRC	0.35, 0.35	No	No	SE		1.5ft.	2.0ft.	4.0	1.9	2.1	13	31	91	Btuh
3	2 NFRC	0.35, 0.35	No	No	SE		1.5ft.	2.0ft.	3.0	1.4	1.6	13	31	68	Btuh
4	2 NFRC	0.35, 0.35	No	No	SE		1.5ft.	2.0ft.	9.0	1.4	7.6	13	31	254	Btuh
5	2 NFRC	0.35, 0.35	No	No	SW		1.5ft.	4.0ft.	20.0	0.0	20.0	13	31	621	Btuh
6	2 NFRC	0.35, 0.35	No	No	SW		8.0ft.	2.0ft.	30.0	30.0	0.0	13	31	399	Btuh
7	2 NFRC	0.35, 0.35	No	No	NW		1.5ft.	2.0ft.	45.0	0.0	45.0	13	29	1326	Btuh
	Excursion													882	Btuh
	Window Total								141 (sqft)					4526	Btuh
Walls	Type					U-Value	R-Value	Area(sqft)			HTM		Load		
							Cav/Sheath								
1	Frame - Wood - Ext					0.09	13.0/0.0	200.0			2.1		417 Btuh		
2	Frame - Wood - Ext					0.09	13.0/0.0	342.0			2.1		713 Btuh		
3	Frame - Wood - Ext					0.09	13.0/0.0	200.0			2.1		417 Btuh		
4	Frame - Wood - Ext					0.09	13.0/0.0	333.0			2.1		695 Btuh		
	Wall Total								1075 (sqft)					2242 Btuh	
Doors	Type							Area (sqft)			HTM		Load		
1	Wood - Exterior							20.0			11.2		224 Btuh		
2	Wood - Exterior							20.0			11.2		224 Btuh		
3	Wood - Exterior							20.0			11.2		224 Btuh		
4	Wood - Exterior							20.0			11.2		224 Btuh		
	Door Total								80 (sqft)					896 Btuh	
Ceilings	Type/Color/Surface					U-Value	R-Value	Area(sqft)			HTM		Load		
1	Vented Attic/DarkShingle					0.032	30.0/0.0	1214.0			1.66		2010 Btuh		
	Ceiling Total								1214 (sqft)					2010 Btuh	
Floors	Type						R-Value	Size			HTM		Load		
1	Slab On Grade						0.0	1214 (ft-perimeter)			0.0		0 Btuh		
	Floor Total								1214.0 (sqft)					0 Btuh	
	Envelope Subtotal:													9674 Btuh	
Infiltration	Type					ACH	Volume(cuft)		Wall Ratio		CFM=		Load		
	SensibleNatural					0.40	10926	1075		91.1	1356 Btuh				
Internal gain						Occupants	Btuh/occupant		Appliance		Load				
						4	X 230	+	2400	3320 Btuh					
	Sensible Envelope Load:													14350 Btuh	
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)										(DGM of 0.231)		3414 Btuh		
	Sensible Load All Zones													17764 Btuh	

Manual J Summer Calculations

Residential Load - Component Details (continued)

Elmar & Tere Kruza

Project Title:
1002066KruzaRes

Climate:FL_GAINESVILLE_REGIONAL_A

, FL

3/10/2010

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	14810 Btuh
	Sensible Duct Load	3414 Btuh
	Total Sensible Zone Loads	18224 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	18224 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	2662 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	699 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	Latent total gain	4561 Btuh
	TOTAL GAIN	22785 Btuh

EQUIPMENT

1. Central Unit	#	27000 Btuh
-----------------	---	------------

*Key: Window types (Panels - Number and type of panes of glass)
 (SHGC - Shading coefficient of glass as SHGC numerical value)
 (U - Window U-Factor)
 (InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
 - For Blinds: Assume medium color, half closed
 For Draperies: Assume medium weave, half closed
 For Roller shades: Assume translucent, half closed
 (IS - Insect screen: none(N), Full(F) or Half(½))
 (Ornt - compass orientation)



Version 8

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____

CONTRACTOR

Edgley ConstructionPHONE 752-0580

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL <u>OK 31</u>	Print Name <u>Donald Hollingsworth</u> License #: <u>13012377</u>	Signature <u>[Signature]</u> Phone #: <u>386-755-5944</u>
MECHANICAL/A/C <u>OK 138</u>	Print Name <u>Lamar Booker</u> License #: <u>RA 0035027</u>	Signature <u>[Signature]</u> Phone #: _____
PLUMBING/GAS <u>OK 714</u>	Print Name <u>Mark Barrs</u> License #: <u>CFCB 57219</u>	Signature <u>[Signature]</u> Phone #: <u>752-8656</u>
ROOFING <u>OK 4/27 534</u>	Print Name <u>Dorin L. Summerlin</u> License #: <u>CCC 1326192</u>	Signature <u>[Signature]</u> Phone #: <u>288-5426</u>
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON <u>OK</u>	<u>000097</u>	<u>Kenneth Loyden</u>	<u>[Signature]</u>
CONCRETE FINISHER <u>OK</u>	<u>000028</u>	<u>Butch Vaughn</u>	<u>[Signature]</u>
FRAMING <u>OK</u>	<u>602 OK ERCO 22354</u>	<u>Guernsey</u>	<u>[Signature]</u>
INSULATION <u>OK</u>	<u>000246</u>	<u>William T. Gueary</u>	<u>[Signature]</u>
STUCCO			
DRYWALL <u>OK</u>	<u>000621</u>	<u>Jesse Ambros</u>	<u>[Signature]</u>
PLASTER			
CABINET INSTALLER <u>OK</u>	<u>000762</u>	<u>STUB BORDACK</u>	<u>[Signature]</u>
PAINTING <u>OK</u>	<u>000632</u>	<u>John Bispham</u>	<u>[Signature]</u>
ACOUSTICAL CEILING			
GLASS <u>OK</u>	<u>000618</u>	<u>Carl Bulken Jr</u>	<u>[Signature]</u>
CERAMIC TILE <u>OK</u>	<u>000214</u>	<u>James H. Rix Jr</u>	<u>[Signature]</u>
FLOOR COVERING <u>OK</u>	<u>000340</u>	<u>Chet Levy</u>	<u>[Signature]</u>
ALUM/VINYL SIDING <u>OK</u>	<u>0000144</u>	<u>MIKE NICHOLSON/MIKE'S ALUM.</u>	<u>[Signature]</u>
GARAGE DOOR <u>OK</u>	<u>000619</u>	<u>Carl Bulken Jr</u>	<u>[Signature]</u>
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

NOTICE OF COMMENCEMENT

Inst: 201012006531 Date: 4/26/2010 Time: 10:45 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1193 P: 683

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property; and in accordance with Chapter 713, Florida Statutes, the following information is provided in the **Notice of Commencement**.

Tax Parcel ID Number: 07-4S-17-08106-022

1. **Description of property:** A part of the SW 1/4 of SW 1/4 of Section 7, Township 4 South, Range 17 East, Columbia County, Florida, being more particularly described as follows: see attached
2. **General Description of Improvement:** Construction of Dwelling / **Residential Hangar**
3. **Owner Information:**
 - a. Name and Address: Elmar and Tere J. Kruza, 1573 Bell Road, Chagrin Falls, OH 44022
 - b. Interest in property: Fee Simple
 - c. Name and address of fee simple title holder (if other than Owner): NONE
4. **Contractor** (name and address): Edgley Construction Company div of CEE-BAS Inc., 590 SW Arlington Blvd, Suite 113, Lake City, FL 32025
5. **Surety:**
 - a. Name and Address: N/A
 - b. Amount of Bond: N/A
6. **Lender:** N/A
7. Persons within the State of Florida designated by Owner upon whom notices of Other documents may be served as provided in Section 713.13(1)(a)7., Florida Statutes: NONE
8. In addition to himself, Owner designates KIMMY EDGLEY, of EDGLEY CONSTRUCTION COMPANY, at 590 SW Arlington Blvd, Suite 113, Lake City, FL 32025, to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes.
9. Expiration date of Notice of Commencement (the expiration date is 1 year from date of recording unless a different date is specified).

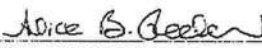
WARNING TO OWNER: Any payments made by the owner after the expiration of the Notice of Commencement are considered improper payments under Chapter 713, Part I, Section 713.13, Florida Statutes, and can result in your paying twice for improvements to your property: a Notice of Commencement must be recorded and posted on the job site before the first inspection, if you intend to obtain financing, consult your lender or an attorney before commencing work or recording your notice of commencement.

STATE OF FLORIDA
COUNTY OF COLUMBIA

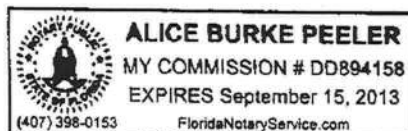
10. 
Signature of Owner or Owners Authorized
Office Director/Partner/Manager

Signature (see above)

The foregoing instrument was acknowledged before me this 25th of April, 2010, by Elmar and Tere J. Kruza, who are known to me or who have produced Ohio Drivers License as identification. License # RS175128
(seal)


NOTARY PUBLIC
My Commission Expires:

11. Verification Pursuant to Section 92.525 Florida Statutes, under penalty of perjury, I declare and I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



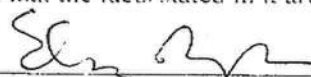
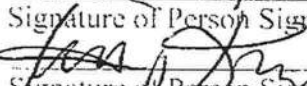
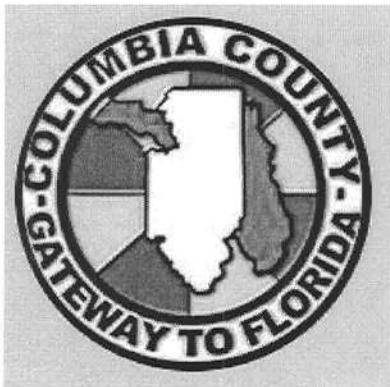

Signature of Person Signing (Line #10)

Signature of Person Signing (Line #10)

EXHIBIT "A"

A PART OF THE SW $\frac{1}{4}$ OF SW $\frac{1}{4}$ OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF LOT 21 OF "COUNTRY LANDINGS" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 89 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00 DEG. 34 MIN. 19 SEC. EAST, 253.11 FEET; THENCE SOUTH 89 DEG 25 MIN 41 SEC WEST, 145.62 FEET; THENCE NORTH 00 DEG 16 MIN 00 SEC WEST, 158.04 FEET; THENCE NORTH 12 DEG 08 MIN 05 SEC EAST, 90.16 FEET; THENCE NORTH 00 DEG 34 MIN 21 SEC WEST, 303.4 FEET TO THE SW CORNER OF SAID LOT 21, "COUNTRY LANDINGS"; THENCE NORTH 87 DEG 41 MIN 47 SEC EAST, ALONG THE SOUTH LINE OF SAID LOT 21, 125.00 FEET TO THE POINT OF BEGINNING, ALSO KNOWN AS LOT 22, COUNTRY LANDINGS SUBDIVISION.



Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Doug Edgley

Fax: 386.752.4904

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 10 May 2010

RE: Building Permit Application 1004-39, Elmar and Tere Krusa

Dear Doug:

As we discussed last week, the issue is legal access to the property. The copy of the deed submitted with the above referenced building permit application does not indicate any easements to the lot. Southwest Wings Terrace is a private road and was deeded to Country Landing Homeowners Association prior to F.C. Carroll Properties, Inc. deeded this property to Mr. and Mrs. Krusa. I have been advised by the County Attorney that a recorded easement by the Country Landing Homeowners Association to Mr. and Mrs. Krusa or a copy of title insurance will be required in order for the permit to be issued. I recently had a conversation with the president of the homeowners association and if my memory serves me correctly, he stated that the association would give them an easement across SW Wings Terrace. His name is Brad Zoeller and you can contact him at 202 SW Challenger Lane, Lake City, FL 32025, 755.8685 or bzoeller@bztec. If the Krusas have title insurance and it does not specifically exclude legal access in the policy, please submit a copy of said title insurance for review.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

TRANSMISSION VERIFICATION REPORT

TIME : 05/10/2010 11:23
NAME : BUILDING AND ZONING
FAX : 3867582160
SER.# : BROA8F779906

DATE, TIME	05/10 11:22
FAX NO./NAME	97524904
DURATION	00:00:23
PAGE(S)	01
RESULT	OK
MODE	STANDARD
	ECM

This Instrument Prepared by & return to:

Name: **MARY SANDAGE, an employee of
NORTH CENTRAL FLORIDA TITLE,
LLC**
Address: **343 NW COLE TERRACE, SUITE 101
LAKE CITY, FLORIDA 32055
File No. 09Y-08003MAS**

Inst: 200912013550 Date: 8/13/2009 Time: 3:28 PM
Doc Stamp Deed: 350.00
DC.P.DeWitt Cason, Columbia County Page 1 of 2 B:1178 P:2778

Parcel I.D. #: **08106-003**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 7th day of August, A.D. 2009, by **F. C. CARROLL PROPERTIES, INC.**, A FLORIDA CORPORATION, having its principal place of business at **163 SW BONANZA GLEN, LAKE CITY, FLORIDA 32025**, hereinafter called the grantor, to **ELMAR KRUZA and TERE J. KRUZA, HIS WIFE**, whose post office address is **1573 BELL ROAD, CHAGRIN FALLS, OHIO 44022**, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

A PART OF THE SW ¼ OF SW ¼ OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF LOT 21 OF "COUNTRY LANDINGS" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 89 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S 00°34'19" E, 253.11 FEET; THENCE S 89°25'41" W, 145.62 FEET; THENCE N 00°16'00" W, 158.04 FEET; THENCE N 12°08'05" E, 90.16 FEET; THENCE N 00°34'21" W, 3034 FEET TO THE SW CORNER OF SAID LOT 21, "COUNTRY LANDINGS"; THENCE N 87°41'47" E, ALONG THE SOUTH LINE OF SAID LOT 21, 125.00 FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS LOT 22, COUNTRY LANDINGS SUBDIVISION.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2009.

In Witness Whereof, the said grantor has caused these presents to be executed in its name and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

F. C. CARROLL PROPERTIES, INC.

Witness Signature

MARY SANDAGE

Printed Name

Witness Signature

PATRICIA LANG

Printed Name

By:

RAYMOND R. SESSIONS, JR.

Title: **PRESIDENT**

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th day of August, 2009, by **RAYMOND R. SESSIONS, JR.** as **PRESIDENT** of **F. C. CARROLL PROPERTIES, INC., A FLORIDA CORPORATION**. He is personally known to me or has produced Driver's License as identification.



[Signature]
Notary Public

My commission expires

12-23-2012

Commitment To Insure

ALTA Commitment - 1970 Rev.

CA



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, a Minnesota corporation, herein called the Company, for a valuable consideration, hereby commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the proposed insured named in Schedule A, as owner or mortgagee of the estate or interest covered hereby in the land described or referred to in Schedule A: upon payment of the premiums and charges therefor; all subject to the provisions of Schedule A and B and to the Conditions and Stipulations hereof.

This Commitment shall be effective only when the identity of the proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A hereof by the Company, either at the time of the issuance of this Commitment or by subsequent endorsement.

This Commitment is preliminary to the issuance of such policy or policies of title insurance and all liability and obligations hereunder shall cease and terminate six months after the effective date hereof or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue such policy or policies is not the fault of the Company.

IN WITNESS WHEREOF, Old Republic National Title Insurance Company has caused this Commitment to be signed and sealed as of the effective date of Commitment shown in Schedule A, the Commitment to become valid when countersigned by an authorized signatory.

CONDITIONS AND STIPULATIONS

1. The term "mortgage", when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquires actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions and Stipulations.

3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and the Conditions and Stipulations and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and made a part of this Commitment except as expressly modified herein.

4. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.

NOTE: The policy committed for may be examined by inquiry at the office which issued the commitment, and a specimen copy of the policy form (or forms) referred to in this commitment will be furnished promptly upon request.

**Delivered with and printed on this Commitment Jacket is the
Closing Protection Letter promulgated under Rule 4-186.010, F.A.C.**

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

Authorized Signatory

By

President

Closing Protection Letter

The operation and scope of the following Closing Protection Letter ("Letter") is limited to the transaction which is the subject of the commitment to which this Letter is attached and is also directed to those person(s) and/or entity (ies) set forth in the Letter and identified as a proposed insured in the commitment.

RE: Issuing Agent: Agent countersigning the attached commitment.

1. Failure of said Issuing Agent to comply with your written closing instructions to the extent that they relate to (a) the status of the title to said interest in land or the validity, enforceability and priority of the lien of said mortgage on said interest in land, including the obtaining of documents and the disbursement of funds necessary to establish such status of title or lien, or (b) the obtaining of any other document, specifically required by you, but not to the extent that said instructions require a determination of the validity, enforceability or effectiveness of such other document, or (c) the collection and payment of funds due you, or
2. Fraud or dishonesty of said Issuing Agent in handling your funds or documents in connection with such closing.

If you are a lender protected under the foregoing paragraph, your borrower in connection with a loan secured by a mortgage on a one-to-four family dwelling shall be protected as if this letter were addressed to your borrower.

Conditions and Exclusions

- A. Old Republic National Title Insurance Company will not be liable to you for loss arising out of:
 1. Failure of said Issuing Agent to comply with your closing instructions which require title insurance protection inconsistent with that set forth in the title insurance binder or commitment issued by Old Republic National Title Insurance Company. Instructions which require the removal of specific exceptions to title or compliance with the requirements contained in said binder or commitment shall not be deemed to be inconsistent.
 2. Loss or impairment of your funds in the course of collection or while on deposit with a bank due to bank failure, insolvency or suspension, except such as shall result from failure of said Issuing Agent to comply to your written closing instructions to deposit the funds in a bank which you designated by name.
 3. Mechanics' and materialmen's liens in connection with your purchase or lease or construction loan transactions, except to the extent that protection against such liens is afforded by a title insurance binder, commitment or policy of Old Republic National Title Insurance Company.
 4. The periodic disbursement of construction loan proceeds or funds furnished by the owner to pay for construction costs during the construction of improvements on the land to be insured, unless an officer of the company has specifically accepted the responsibility to you for such disbursement program in writing.
- B. When Old Republic National Title Insurance Company shall have reimbursed you pursuant to this letter, it shall be subrogated to all rights and remedies which you would have had against any person or property had you not been so reimbursed. Liability of Old Republic National Title Insurance Company for such reimbursement shall be reduced to the extent that you have knowingly and voluntarily impaired the value of such right of subrogation.
- C. Any liability of Old Republic National Title Insurance Company for loss incurred by you in connection with closings of real estate transactions by said Issuing Agent shall be limited to the protection provided by this letter. However, this letter shall not affect the protection afforded by a title insurance binder, commitment or policy of Old Republic National Title Insurance Company. The dollar amount of liability hereby incurred shall not be greater than the amount of the title insurance binder, commitment or policy of title insurance to be issued, and liability hereunder as to any particular loan transaction shall be coextensive with liability under the policy issued to you in connection with such transaction. Payment in accordance with the terms of this letter shall reduce by the same amount the liability under such policy and payment under such policy shall reduce by the same amount the company's liability under the terms of this letter.
- D. Claims of loss shall be made promptly to Old Republic National Title Insurance Company at its principal office at 400 Second Avenue South, Minneapolis, Minnesota 55401-2499. When the failure to give prompt notice shall prejudice Old Republic National Title Insurance Company then liability of Old Republic National Title Insurance Company, hereunder shall be reduced to the extent of such prejudice, Old Republic National Title Insurance Company shall not be liable hereunder unless notice of loss in writing is received by Old Republic National Title Insurance Company within ninety (90) days from the date of discovery of such loss.
- E. Nothing contained herein shall be construed as authorizing compliance by any issuing agent with any such closing instructions, compliance with which would constitute a violation of any applicable law, rule or regulation relating to the activity of title insurers, their issuing agents, and their failure to comply with any such closing instructions shall not create any liability under the terms of this letter.



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

COMMITMENT SCHEDULE A

File Number: **09Y-08003MAS**

1. Effective Date: **July 29, 2009 at 8:00 am**
2. Policy or Policies to be issued:

	AMOUNT
(a) ALTA 1992 Owner's Policy (10/17/92 with Florida modifications)	\$ 50,000.00
Proposed Insured:	
ELMAR KRUIZA and TERE J. KRUIZA, HIS WIFE	
(b) ALTA 1992 Loan Policy (10/17/92 with Florida modifications)	\$
Proposed Insured:	
3. The estate or interest in the land described or referred to in this commitment and covered herein is Fee Simple.
4. Title to the Fee Simple estate or interest in said land is at the effective date hereof vested in:
F. C. CARROLL PROPERTIES, INC., A FLORIDA CORPORATION
5. The land referred to in this commitment is situated in the County of Columbia, State of Florida and is described as follows:
SEE CONTINUATION OF SCHEDULE A FOR LEGAL DESCRIPTION

Countersigned

NORTH CENTRAL FLORIDA TITLE, LLC
343 NW COLE TERRACE
SUITE 101
LAKE CITY, FLORIDA 32055

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

By

President

**COMMITMENT
SCHEDULE A
(Continued)**

File Number: **09Y-08003MAS**

LEGAL DESCRIPTION

A PART OF THE SW $\frac{1}{4}$ OF SW $\frac{1}{4}$ OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE SE CORNER OF LOT 21 OF "COUNTRY LANDINGS" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 89 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN S 00°34'19" E, 253.11 FEET; THENCE S 89°25'41" W, 145.62 FEET; THENCE N 00°16'00" W, 158.04 FEET; THENCE N 12°08'05" E, 90.16 FEET; THENCE N 00°34'21" W, 3034 FEET TO THE SW CORNER OF SAID LOT 21, "COUNTRY LANDINGS"; THENCE N 87°41'47" E, ALONG THE SOUTH LINE OF SAID LOT 21, 125.00 FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS LOT 22, COUNTRY LANDINGS SUBDIVISION.

**COMMITMENT
SCHEDULE B-I**

File Number: 09Y-08003MAS

The following are the requirements to be complied with:

1. Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest insured.
2. Satisfactory evidence should be had that all improvements and/or repairs or alterations to the subject premises are completed; that all contractors, subcontractors, labor and materialmen are all paid in full.
3. Instruments necessary to create the estate or interest to be insured must be properly executed, delivered and duly filed for record:
 - a. **Delivery and acceptance of a valid Warranty Deed to be executed by F. C. CARROLL PROPERTIES, INC., A FLORIDA CORPORATION to ELMAR KRUZA and TERE J. KRUZA, HIS WIFE for a consideration of \$50,000.00.**
4. Proof of payment of any COUNTRY LANDINGS HOMEOWNER'S ASSOCIATION AT CANNON CREEK, INC. liens and/or assessments.
5. Satisfactory proof, acceptable to the Company, must be furnished showing the following corporation(s) to be existing and in good standing, authorized to do business in this State under the laws of the State of Florida: **F. C. CARROLL PROPERTIES, INC.** Corporate Resolution should be presented to the Company authorizing the sale or encumbrance.
6. Redemption of delinquent taxes: Tax certificate number 2381 for unpaid taxes for tax year 2008, in the amount of \$231.48, amount good through 08/31/2009. Gross Amount \$168.05. (NOTE: TAXES ARE FOR MORE PROPERTY THAN WHAT IS BEING SOLD)

**COMMITMENT
SCHEDULE B-II**

File Number: 09Y-08003MAS

Exceptions:

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company.

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date on which the proposed insured acquires of record for value the estate or interest, or mortgage thereon, covered by this commitment.
2. Facts which would be disclosed by an accurate and comprehensive survey of the premises herein described.
3. Rights or claims of parties in possession.
4. Construction, Mechanic's, Contractors' or Materialmen's liens and lien claims, if any, where no notice thereof appears of record.
5. Easements or claims of easements not shown by the public records
6. General or special taxes and/or assessments required to be paid in the year 2009 and all subsequent years. Parcel #08106-003. Assessed Value: \$5,414.00.
7. SUBJECT TO RESTRICTIONS RECORDED IN O.R. BOOK 831, PAGE 1877, FIRST AMENDMENT RECORDED IN O.R. BOOK 1031, PAGE 621, SECOND AMENDMENT RECORDED IN O.R. BOOK 1085, PAGE 2541, THIRD AMENDMENT RECORDED IN O.R. BOOK 1135, PAGE 2428 AND SECOND THIRD AMENDMENT RECORDED IN O.R. BOOK 1172, PAGE 1461.
8. EASEMENT GRANTED TO CLAY ELECTRIC COOPERATIVE BY INSTRUMENT RECORDED IN O.R. BOOK 883, PAGE 1584.
9. SUBJECT TO EASEMENT RESERVATION RECITED ON WARRANTY DEED RECORDED IN O.R. BOOK 784, PAGE 171.
10. SUBJECT TO EASEMENT RECORDED IN O.R. BOOK 831, PAGE 1905 AND RE-RECORDED IN O.R. BOOK 834, PAGE 795.
11. SUBJECT TO TERMS AND CONDITIONS OF MEMBERSHIP AND DUES AND ASSESSMENTS IN COUNTRY LANDINGS HOMEOWNER'S ASSOCIATION AT CANNON CREEK, INC.
12. ROADS IN SUBDIVISION ARE PRIVATE AND SUBJECT TO ASSESSMENTS FOR MAINTENANCE.

Doug E.
752.0580

Seventh Amendment
Declaration of Covenants, Conditions and Restrictions for
Country Landings Subdivision

This Seventh Amendment to the Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision ("Amendment") made this 31 day of March, 2010 by the Declarant, as set forth in Article XII, Section 12.1, and Article XIV, Section 14.1 of the Declaration of Covenants, Conditions and Restrictions of Country Landings Subdivision who's name is stated below hereinafter referred to as "Declarant."

WHEREAS, on December 9, 1996 the Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision ("Declaration") was filed and recorded in Official Record Book 831, Page 1877; and,

WHEREAS, the First Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated October 21, 2004, and recorded November 19, 2004 in Official Records Book 1031, page 621; and,

WHEREAS, the Second Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated May 23, 2006, and recorded June 7, 2006 in Official Records Book 1085, page 2541, all in the public records of Columbia County, Florida; and,

WHEREAS, the 1st (first) Third Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated November 9, 2007, and recorded November 9, 2007 in Official Records Book 1135, page 2428, all in the public records of Columbia County, Florida; and,

WHEREAS, the 2nd (second) Third Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated April 1, 2009, and recorded May 5, 2009 in Official Records Book 1172, page 1461, all in the public records of Columbia County, Florida; and,

WHEREAS, there were 2 (two) Third Amendments to the Declaration there is not going to be a Fourth Amendment to Declaration; and,

WHEREAS, the Fifth Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated 31st day of March, 2010, and recorded 3-31-10 in Official Records Book 1191, page 2118, all in the public records of Columbia County, Florida; and,

WHEREAS, the Sixth Amendment to Declaration of Covenants, Conditions and Restrictions for Country Landings Subdivision, dated 31st day of

March, 2010, and recorded 3-31-10 in Official Records Book 1191, page 2121, all in the public records of Columbia County, Florida; and,

WHEREAS, Declarant desires to amend Article XIV, Section 14.4; and,

WHEREAS, a Declaration granted the Declarant the right to amend the Declaration without prior approval of any of the Owners so long as the amendment conforms to the general purposes and standards as setforth in the Declaration; and,

WHEREAS, the Declarant and the Board of Directors of the Association have determined that the aforementioned amendment to the Declaration meets the requirements setforth the Declaration specifically Article XII, Section 12.2.

NOW THEREFORE:

1. The following shall be added to Article XIV, Section 14.4:

"In addition to the added future developments, the Owners of the Lots in the additional lands shall be entitled to the use of the same streets, roads and taxiways as in the Subdivision as setforth in the Declaration, any amendments to the Declaration, and any other additional lands."

The remainder of this page was intentionally left blank

IN WITNESS WHEREOF, the undersigned, being the Declarant herein,
hereto execute this Amendment, this 31st day of
March, 2010.

Signed, sealed and delivered
in the presence of :

F. C. CARROLL PROPERTIES,
INC.

Debbie G. Moore
Witness Debbie G. Moore

By: Raymond R. Sessions
Raymond R. Sessions,
President

Sarah Jean Edenfield
Witness Sarah Jean Edenfield

Acknowledgement follows
STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me, this 31st
day of March, 2010, by Raymond R. Sessions, President of F. C.
CARROLL PROPERTIES, who is personally known to me, or who has produced
the following identification: 5252736421490.



(Seal) Sarah Jean Edenfield
NOTARY PUBLIC
(affix seal)

The Association approved the foregoing amendment.

Country Landings Homeowners'
Association at Cannon Creek, Inc.

By: Raymond R. Sessions
Raymond R. Sessions,
President

NOTICE OF COMMENCEMENT

Inst: 201012006531 Date: 4/26/2010 Time: 10:45 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1193 P: 683


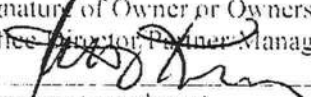
THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property; and in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

Tax Parcel ID Number: 07-4S-17-08106-022

1. **Description of property:** A part of the SW 1/4 of SW 1/4 of Section 7, Township 4 South, Range 17 East, Columbia County, Florida, being more particularly described as follows: see attached
2. **General Description of Improvement:** Construction of Dwelling /Residential Hangar
3. **Owner Information:**
 - a. Name and Address: Elmar and Tere J. Kruza, 1573 Bell Road, Chagrin Falls, OH 44022
 - b. Interest in property: Fee Simple
 - c. Name and address of fee simple title holder (if other than Owner): NONE
4. **Contractor** (name and address): Edgley Construction Company div of CUE-BAS Inc., 590 SW Arlington Blvd, Suite 113, Lake City, FL 32025
5. **Surety:**
 - a. Name and Address: N/A
 - b. Amount of Bond: N/A
6. **Lender:** N/A
7. Persons within the State of Florida designated by Owner upon whom notices of Other documents may be served as provided in Section 713.13(1)(a)7., Florida Statutes: NONE
8. In addition to himself, Owner designates KIMMY EDGLEY, of EDGLEY CONSTRUCTION COMPANY, at 590 SW Arlington Blvd, Suite 113, Lake City, FL 32025, to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes.
9. Expiration date of Notice of Commencement (the expiration date is 1 year from date of recording unless a different date is specified).

WARNING TO OWNER: Any payments made by the owner after the expiration of the Notice of Commencement are considered improper payments under Chapter 713, Part I, Section 713.13, Florida Statutes, and can result in your paying twice for improvements to your property; a Notice of Commencement must be recorded and posted on the job site before the first inspection, if you intend to obtain financing, consult your lender or an attorney before commencing work or recording your notice of commencement.

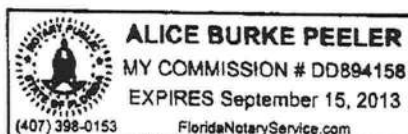
STATE OF FLORIDA
COUNTY OF COLUMBIA

10. 
Signature of Owner or Owners Authorized
Office Director/Partner/Manager

Signature (see above)

The foregoing instrument was acknowledged before me this 25th of April, 2010, by Elmar and Tere J. Kruza, who are known to me or who have produced Ohio Drivers License as identification. License # RS175128
(seal)


NOTARY PUBLIC
My Commission Expires:

11. Verification Pursuant to Section 92.525 Florida Statutes, under penalty of perjury, I declare and I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



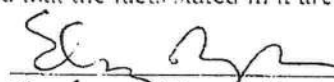
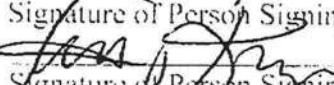

Signature of Person Signing (Line #10)

Signature of Person Signing (Line #10)

EXHIBIT "A"

A PART OF THE SW $\frac{1}{4}$ OF SW $\frac{1}{4}$ OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SE CORNER OF LOT 21 OF "COUNTRY LANDINGS" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 89 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00 DEG. 34 MIN. 19 SEC. EAST, 253.11 FEET; THENCE SOUTH 89 DEG 25 MIN 41 SEC WEST, 145.62 FEET; THENCE NORTH 00 DEG 16 MIN 00 SEC WEST, 158.04 FEET; THENCE NORTH 12 DEG 08 MIN 05 SEC EAST, 90.16 FEET; THENCE NORTH 00 DEG 34 MIN 21 SEC WEST, 303.4 FEET TO THE SW CORNER OF SAID LOT 21, "COUNTRY LANDINGS"; THENCE NORTH 87 DEG 41 MIN 47 SEC EAST, ALONG THE SOUTH LINE OF SAID LOT 21, 125.00 FEET TO THE POINT OF BEGINNING, ALSO KNOWN AS LOT 22, COUNTRY LANDINGS SUBDIVISION.

Kruza House \$125,000.00



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS**

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007
ONE (1) AND TWO (2) FAMILY DWELLINGS**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:
APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**Items to Include-
Each Box shall be
Circled as
Applicable**

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) 1214	Total (Sq. Ft.) under roof 1630 Home	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property. Warranty Deed	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIIII	IIII	IIIIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour <i>110 MPH</i>	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.			✓
32	Assumed load-bearing value of soil _____ Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides <i>Treat Soil</i>	✓		
----	---	---	--	--

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement <i>Wood Frame</i>			✓

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			✓
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			✓
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			✓
42	Attachment of joist to girder			✓
43	Wind load requirements where applicable			✓
44	Show required under-floor crawl space			✓
45	Show required amount of ventilation opening for under-floor spaces			✓
46	Show required covering of ventilation opening			✓
47	Show the required access opening to access to under-floor spaces			✓
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			✓

48	intermediate of the areas structural panel sheathing			✓
49	Show Draftstopping, Fire caulking and Fire blocking			✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		
68	Provide dead load rating of rafter system	✓		

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assemblies covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering	<input checked="" type="checkbox"/>		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>		
74	Attic space <i>R-38</i>	<input checked="" type="checkbox"/>		
75	Exterior wall cavity <i>R-13</i>	<input checked="" type="checkbox"/>		
76	Crawl space <i>Concrete Floor.</i>			<input checked="" type="checkbox"/>

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	<input checked="" type="checkbox"/>		
78	Exhaust fans locations in bathrooms <i>Show on Elec. sheet. page 3</i>	<input checked="" type="checkbox"/>		
79	Show clothes dryer route and total run of exhaust duct	<input checked="" type="checkbox"/>		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			<input checked="" type="checkbox"/>
81	Show the location of water heater	<input checked="" type="checkbox"/>		

Private Potable Water

82	Pump motor horse power <i>1 1/2 H.P.</i>	<input checked="" type="checkbox"/>		
83	Reservoir pressure tank gallon capacity <i>86 Gal.</i>	<input checked="" type="checkbox"/>		
84	Rating of cycle stop valve if used <i>30 Gal. per min.</i>	<input checked="" type="checkbox"/>		

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	<input checked="" type="checkbox"/>		
86	Ceiling fans	<input checked="" type="checkbox"/>		
87	Smoke detectors & Carbon dioxide detectors	<input checked="" type="checkbox"/>		
88	Service panel, sub-panel, location(s) and total ampere ratings <i>400 AMP.</i>	<input checked="" type="checkbox"/>		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. <i>Under Ground</i>	<input checked="" type="checkbox"/>		

90	Appliances and HVAC equipment and disconnects	✓		
91	Arc Fault Circuits (AFCI) in bedrooms	✓		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable
---	--	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	City of Lake City A permit showing an approved waste water sewer tap			✓
96	Toilet facilities shall be provided for all construction sites	✓		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			✓
100	A development permit will also be required. Development permit cost is \$50.00			✓
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	✓		
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	✓		

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: ELMAR & TERE KRUZA

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004**. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	MASONITE	EXTERIOR DOORS	FL4334-R4
2. Sliding	MI HOME PRO	SLIDING GLASS DOORS	FL11956-R1
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	ATRIUM	INSULATED WINDOWS	FL 6752-2
2. Horizontal Slider	ATRIUM	INSULATED WINDOWS	FL 7836-1
3. Casement	ATRIUM	INSULATED WINDOWS	FL 8716
4. Double Hung			
5. Fixed	ATRIUM	INSULATED WINDOWS	FL 7834-1
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding	CERTAINTED		FL12483
2. Soffits	CERTAINTED		FL13389
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block	PITTSBURGH CORNING	GLASS BLOCK	FL 1363-R4
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	CERTAINTED	ARCH SHINGLES	FL 5444-R2
2. Underlayments	WOODLAND		FL 1814-R4
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen	CERTAINTED		FL 2533-R3
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11 Wood shingles /shakes			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings	CERTAINTED	ADHESIVE (BULL)	FL 490-R2
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight	VELOX	SKYLIGHTS	FL 451-R4
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor	SIMPSON	ANCHORS	FL 2355-R3
2. Truss plates	SIMPSON		FL 10655
3. Engineered lumber	WEYHAUSER	ENGINEERED LUMBER	FL 1630-R5
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Douglas E. Edgley
 Douglas E. Edgley, Authorized Agent Signature

DOUGLAS E EDGLEY
 Print Name

4-22-10
 Date

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: 1002066KruzaRes
 Street:
 City, State, Zip: , FL ,
 Owner: Elmar & Tere Kruza
 Design Location: FL, Gainesville

Builder Name: Edgley Construction
 Permit Office: Columbia
 Permit Number: 28617
 Jurisdiction: 22000

- | | |
|--|------------------|
| 1. New construction or existing | New (From Plans) |
| 2. Single family or multiple family | Single-family |
| 3. Number of units, if multiple family | 1 |
| 4. Number of Bedrooms | 3 |
| 5. Is this a worst case? | Yes |
| 6. Conditioned floor area (ft ²) | 1214 |

- | 7. Windows | Description | Area |
|--------------|-----------------|------------------------|
| a. U-Factor: | Dbl, U=0.35 | 141.00 ft ² |
| | SHGC: SHGC=0.35 | |
| b. U-Factor: | N/A | ft ² |
| | SHGC: | |
| c. U-Factor: | N/A | ft ² |
| | SHGC: | |
| d. U-Factor: | N/A | ft ² |
| | SHGC: | |
| e. U-Factor: | N/A | ft ² |
| | SHGC: | |

- | 8. Floor Types | Insulation | Area |
|----------------------------------|------------|-------------------------|
| a. Slab-On-Grade Edge Insulation | R=0.0 | 1214.00 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |

- | 9. Wall Types | Insulation | Area |
|---------------------------|------------|-------------------------|
| a. Frame - Wood, Exterior | R=13.0 | 1296.00 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |
| d. N/A | R= | ft ² |

- | 10. Ceiling Types | Insulation | Area |
|-------------------------|------------|-------------------------|
| a. Under Attic (Vented) | R=30.0 | 1214.00 ft ² |
| b. N/A | R= | ft ² |
| c. N/A | R= | ft ² |

11. Ducts
 a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 242.8 ft²

12. Cooling systems
 a. Central Unit Cap: 27.0 kBtu/hr
 SEER: 13

13. Heating systems
 a. Electric Heat Pump Cap: 27.0 kBtu/hr
 HSPF: 7.7

14. Hot water systems
 a. Electric Cap: 40 gallons
 EF: 0.92

- b. Conservation features
 None

15. Credits None

Glass/Floor Area: 0.116

Total As-Built Modified Loads: 26.44

Total Baseline Loads: 31.40

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY:

DATE: 3/10/10 EVAN BEHNSLEY

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

DATE:

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL:

DATE:

PROJECT

Title: 1002066KruzaRes	Bedrooms: 3	Address Type: Lot Information
Building Type: FLAsBuilt	Conditioned Area: 1214	Lot #: 22
Owner: Elmar & Tere Kruza	Total Stories: 1	SubDivision: Country Landing
# of Units: 1	Worst Case: Yes	PlatBook:
Builder Name: Edgley Construction	Rotate Angle: 180	Street:
Permit Office:	Cross Ventilation:	County: Columbia
Jurisdiction:	Whole House Fan:	City, State, Zip: , FL ,
Family Type: Single-family		
New/Existing: New (From Plans)		
Comment:		

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	144 ft	0	1214 ft²	0.3	0.3	0.4

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or shed	Composition shingles	1358 ft²	304 ft²	Dark	0.96	No	0	26.6 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	1214 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	1214 ft²	0.11	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	270 ft²		0.23	0.75
_____	2	E	Exterior	Frame - Wood	13	378 ft²		0.23	0.75
_____	3	S	Exterior	Frame - Wood	13	270 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	378 ft²		0.23	0.75

DOORS													
✓	#	Ornt	Door Type		Storms		U-Value		Area				
_____	1	N	Wood		None		0.400000		20 ft²				
_____	2	N	Wood		None		0.400000		20 ft²				
_____	3	E	Wood		None		0.400000		20 ft²				
_____	4	S	Wood		None		0.400000		20 ft²				

WINDOWS													
Orientation shown is the entered orientation (=>) changed to Worst Case.													
✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth Separation		Int Shade	Screening
_____	1	N=>S	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	9 ft 6 in	2 ft 0 in	HERS 2006	None
_____	2	E=>W	Metal	Low-E Double	Yes	0.35	0.35	N	4 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	3	E=>W	Metal	Low-E Double	Yes	0.35	0.35	N	3 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	4	E=>W	Metal	Low-E Double	Yes	0.35	0.35	N	9 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
_____	5	S=>N	Metal	Low-E Double	Yes	0.35	0.35	N	20 ft²	1 ft 6 in	4 ft 0 in	HERS 2006	None
_____	6	S=>N	Metal	Low-E Double	Yes	0.35	0.35	N	30 ft²	8 ft 0 in	2 ft 0 in	HERS 2006	None
_____	7	W=>E	Metal	Low-E Double	Yes	0.35	0.35	N	45 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None

INFILTRATION & VENTING											
✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM Exhaust CFM		Run Time Fraction	Fan Watts	
_____	Default	0.00036	1146	6.30	62.9	118.4	0 cfm 0 cfm		0	0	

COOLING SYSTEM								
✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ducts
_____	1	Central Unit	None	SEER: 13	27 kBtu/hr	810 cfm	0.75	sys#1

HEATING SYSTEM						
✓	#	System Type	Subtype	Efficiency	Capacity	Ducts
_____	1	Electric Heat Pump	None	HSPF: 7.7	27 kBtu/hr	sys#1

HOT WATER SYSTEM							
✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
_____	1	Electric	0.92	40 gal	60 gal	120 deg	None

SOLAR HOT WATER SYSTEM							
✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
_____	None	None			ft²		

DUCTS

✓	#	--- Supply ---			--- Return ---		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
		Location	R-Value	Area	Location	Area						
	1	Attic	6	242.8 ft	Attic	60.7 ft²	Default Leakage	Interior	(Default)	(Default) %		

TEMPERATURES

Programable Thermostat: N				Ceiling Fans:										
Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec		
Thermostat Schedule: HERS 2006 Reference														
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12	
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78	
	PM	78	78	78	78	78	78	78	78	78	78	78	78	
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78	
	PM	78	78	78	78	78	78	78	78	78	78	78	78	
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68	
	PM	68	68	68	68	68	68	68	68	68	68	68	68	
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68	
	PM	68	68	68	68	68	68	68	68	68	68	68	68	

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS:

, FL,

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 84

The lower the EnergyPerformance Index, the more efficient the home.

, , FL,

1. New construction or existing	New (From Plans)	9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family	a. Frame - Wood, Exterior	R=13.0	1296.00 ft ²
3. Number of units, if multiple family	1	b. N/A	R=	ft ²
4. Number of Bedrooms	3	c. N/A	R=	ft ²
5. Is this a worst case?	Yes	d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	1214	10. Ceiling Types	Insulation	Area
7. Windows**	Description	a. Under Attic (Vented)	R=30.0	1214.00 ft ²
a. U-Factor:	Dbl, U=0.35	b. N/A	R=	ft ²
SHGC:	SHGC=0.35	c. N/A	R=	ft ²
b. U-Factor:	N/A	11. Ducts		
SHGC:		a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 242.8 ft ²		
c. U-Factor:	N/A	12. Cooling systems		
SHGC:		a. Central Unit	Cap: 27.0 kBtu/hr	
d. U-Factor:	N/A		SEER: 13	
SHGC:		13. Heating systems		
e. U-Factor:	N/A	a. Electric Heat Pump	Cap: 27.0 kBtu/hr	
SHGC:			HSPF: 7.7	
8. Floor Types	Insulation	14. Hot water systems		
a. Slab-On-Grade Edge Insulation	R=0.0	a. Electric	Cap: 40 gallons	
b. N/A	R=		EF: 0.92	
c. N/A	R=	b. Conservation features		
		None		
		15. Credits		None

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 84

The lower the EnergyPerformance Index, the more efficient the home.

, , FL,

1. New construction or existing	New (From Plans)		9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family		a. Frame - Wood, Exterior	R=13.0	1296.00 ft ²
3. Number of units, if multiple family	1		b. N/A	R=	ft ²
4. Number of Bedrooms	3		c. N/A	R=	ft ²
5. Is this a worst case?	Yes		d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	1214		10. Ceiling Types	Insulation	Area
7. Windows**	Description	Area	a. Under Attic (Vented)	R=30.0	1214.00 ft ²
a. U-Factor:	Dbl, U=0.35	141.00 ft ²	b. N/A	R=	ft ²
SHGC:	SHGC=0.35		c. N/A	R=	ft ²
b. U-Factor:	N/A	ft ²	11. Ducts		
SHGC:			a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 242.8 ft ²		
c. U-Factor:	N/A	ft ²	12. Cooling systems		
SHGC:			a. Central Unit	Cap: 27.0 kBtu/hr	SEER: 13
d. U-Factor:	N/A	ft ²	13. Heating systems		
SHGC:			a. Electric Heat Pump	Cap: 27.0 kBtu/hr	HSPF: 7.7
e. U-Factor:	N/A	ft ²	14. Hot water systems		
SHGC:			a. Electric	Cap: 40 gallons	EF: 0.92
8. Floor Types	Insulation	Area	b. Conservation features		
a. Slab-On-Grade Edge Insulation	R=0.0	1214.00 ft ²	None		
b. N/A	R=	ft ²	15. Credits		None
c. N/A	R=	ft ²			

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: ITZY8228Z0209093608

Truss Fabricator: Anderson Truss Company
Job Identification: 10-048--Fill in later DOUG EDGLEY -- , **
Truss Count: 11
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Versions 9.02, 9.05.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: BRCLBSUB-A1101505-GBLLETIN-A1103005-

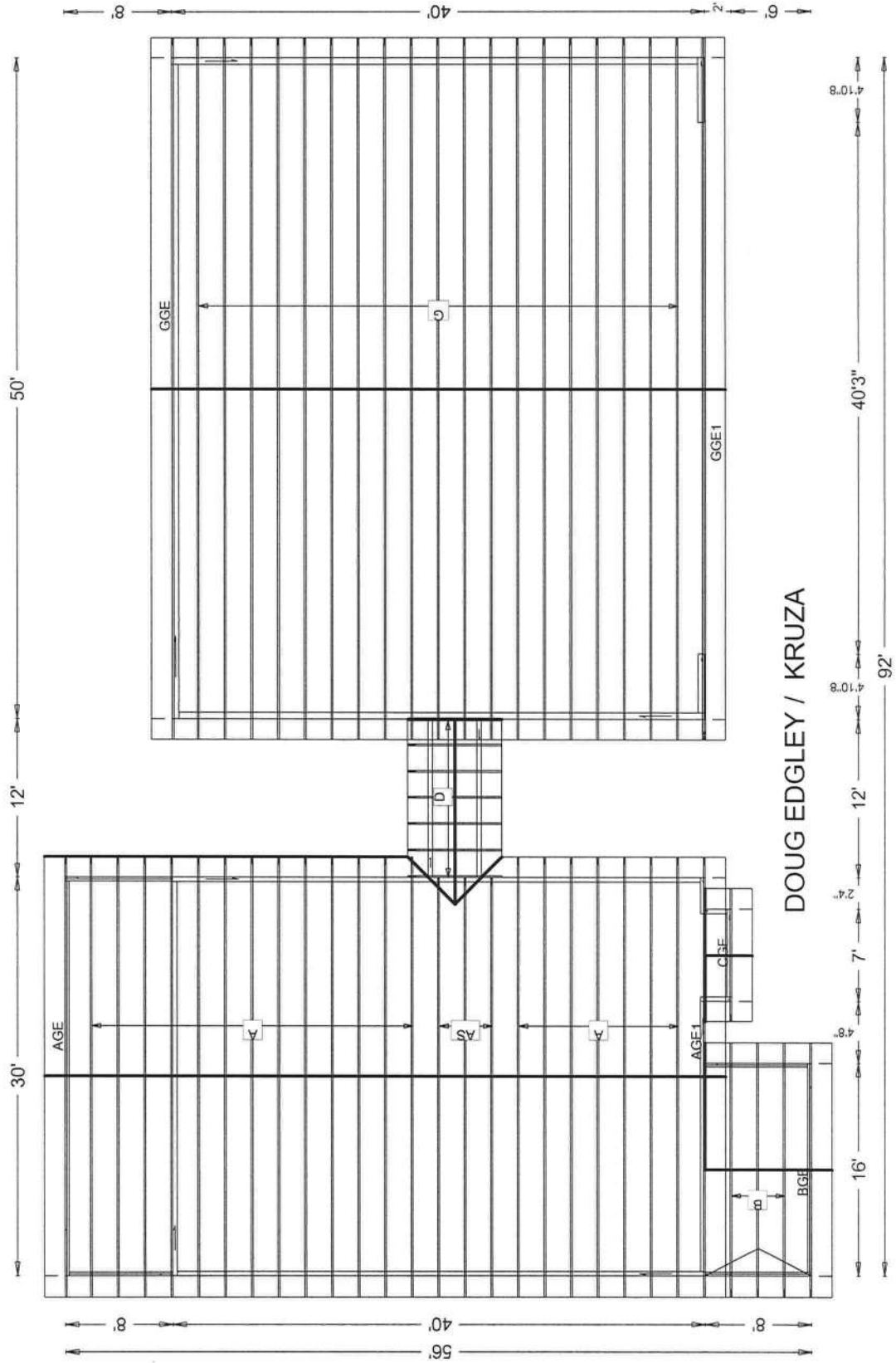


Seal Date: 03/09/2010

-Truss Design Engineer-
James F. Collins Jr.
Florida License Number: 52212
1950 Marley Drive
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	65423--A		10068014	03/09/10
2	65424--AS		10068015	03/09/10
3	65425--AGE		10068002	03/09/10
4	65426--AGE1		10068011	03/09/10
5	65427--B		10068017	03/09/10
6	65428--BGE		10068016	03/09/10
7	65429--CGE		10068018	03/09/10
8	65430--D		10068020	03/09/10
9	65431--G		10068012	03/09/10
10	65432--GGE		10068013	03/09/10
11	65433--GGE1		10068019	03/09/10





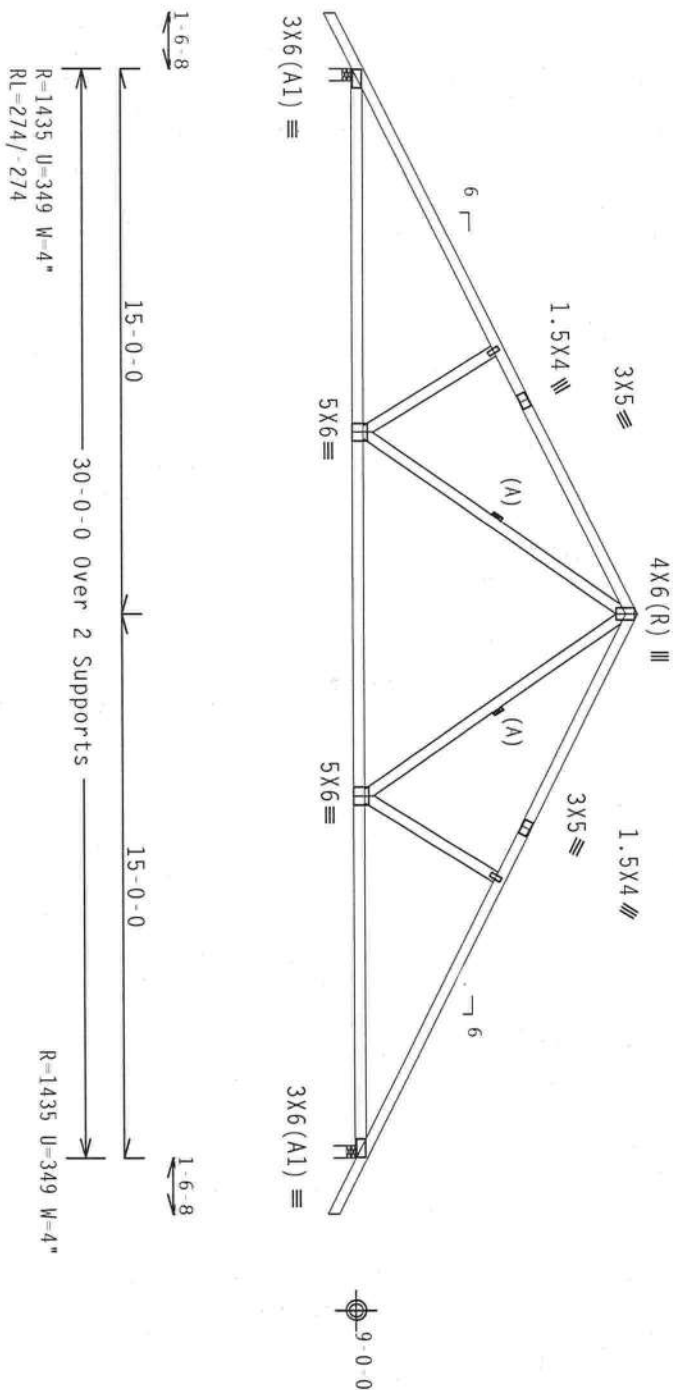
THIS WAS PREPARED FROM COMPUTER INPUT (LEADS & DISSEMINATIONS) SUBMITTED BY LEADS OFF.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G_{CPI}(+)=0.18$

Wind reactions based on MMFRS pressures.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets $L/240$ live and $L/180$ total load.



Scale = .1875" / ft.

JAMES
VIC
No. 52212

.....

GIVE OF

FLORIDA
VE

ENCLOSURE

March 2010

[illegible]

100

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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TC LL	20.0 PSF	REF	R8228- 65423
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068014
BC LL	0.0 PSF	HC-ENG	JB/AP *
TOT.LD.	40.0 PSF	SEQN-	79637
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202

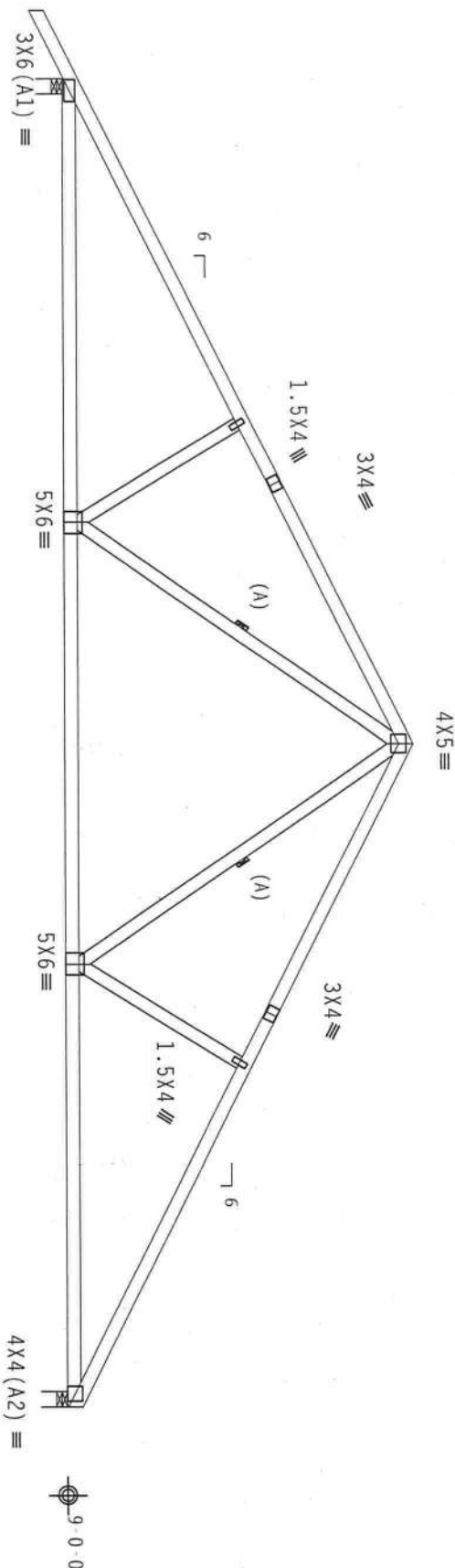
THIS WAS PREPARED FROM UNPUBLISHED (LUNAS & VILLENBROUVE) SUBMITTAL BY LUNAS IN 1964.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G_{CPI}(+/-)=0.18$

Wind reactions based on MMFRS pressures.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets $L/240$ live and $L/180$ total load.



15-0-0

30-0-0 Over 2 Supports

R=1438 U=350 W=4"

$$RL = 245 / -257$$

R=1328 U=311 W=4"

PLT TYP. Wave

Design Crit: FBC2007Res/TP1 - 2002(STD)
FT/RT=20%(0%)/0(0)

$$FT/RT = 20\%(0\%)/0(0)$$

9.02.00.0

QTY: 3

FL/-/4/-/-/R/-

Scale = .25" / Ft.

WARNING—FIRE RESISTIVE CEILING CASE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND MOUNTING REFER TO NC-1 (BUILDING COMPONENT FOR SAFETY INFORMATION), PUBLISHED BY FTI (FIBERS PAPER INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND AFCA (ARCO TROSS COMPANY OF AMERICA, ONESSA ENTERPRISES LLC, 601509, MI 58719) FOR SAFETY PRACTICES AND PROCEDURES TO PERFORMING THESE OPERATIONS. UNLESS OTHERWISE INDICATED FOR CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED FIELD CELLING.

****IMPORTANT*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITM BCG, INC. SHALL NOT

BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN COMPLIANCE WITH THE RESPONSIBILITIES OF THE TRUSS MANUFACTURER, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: DESIGN, MATERIALS, FABRICATION, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DISTANCE BETWEEN THE APPLICABLE PROVISIONS OF MOS (NATIONAL DESIGN SPEC., BY AREA) AND T-1.
CONDUCTOR PLATES ARE MADE OF 20/18/16GA (W./H./SS/K). ASTM A653 GRADE 40/60 (W./H./SS) GALV. STEEL. APPLY
PLATE TO EACH FACE OF RIBBONS AND
IMPRESS IDENTIFIER ORIENTED ON THIS SIDE OF POSITION PER DRAWINGS 160A-2.

[illegible]

DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/FP 1 SEC. 2.

11

1

TC LL	20.0 PSF	REF	R8228 - 65424
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068015
BC LL	0.0 PSF	HC-ENG	JB/AP
TOT.LD.	40.0 PSF	SEQN-	79645
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202

JREF - 1TZY8228Z02

THIS WORK PREPARED FROM UNPUBLISHED SOURCES OF THE NATIONAL ARCHIVES

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, lw=1.00 gcpl (+/-)=0.18

Wind reactions based on MMFRS pressures.
Gable end supports 8" max rake overhang.

Stacked top chord must NOT be notched or cut in area (NWL). Dropped

(SC) to dropped top chord in notchable area using 3x4 tie-plates 24 o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

Deflection meets $L/240$ live and $L/180$ total load

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF, FLOOR AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS AND SUPPORTING SHEAR WALLS. DIAPHRAGMS AND SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS ARE TO BE PROVIDED BY THE BUILDING DESIGNER.



Design Crit: FBC2007Res/TP1-2002(STD)

$$FT/RT=20\%(0\%)/0(0)$$

FL/-/4/-/-/R/-/

Scale = .1875"/Ft.

JAMES H. BULLING, JR.
MAY 21 1960
No. 52812

NOT

BCG

 2×2

DATE: 00/00/00

FL/-/4/-/-/R/-		Scale = .1875"/ft.
TC LL	20.0 PSF	REF R8228- 65425
TC DL	10.0 PSF	DATE 03/09/10
BC DL	10.0 PSF	DRW HCUR84228 10068002
BC LL	0.0 PSF	HC-ENG DF/DF
TOT.LD.	40.0 PSF	SEQN- 80259
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 117V8228202

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

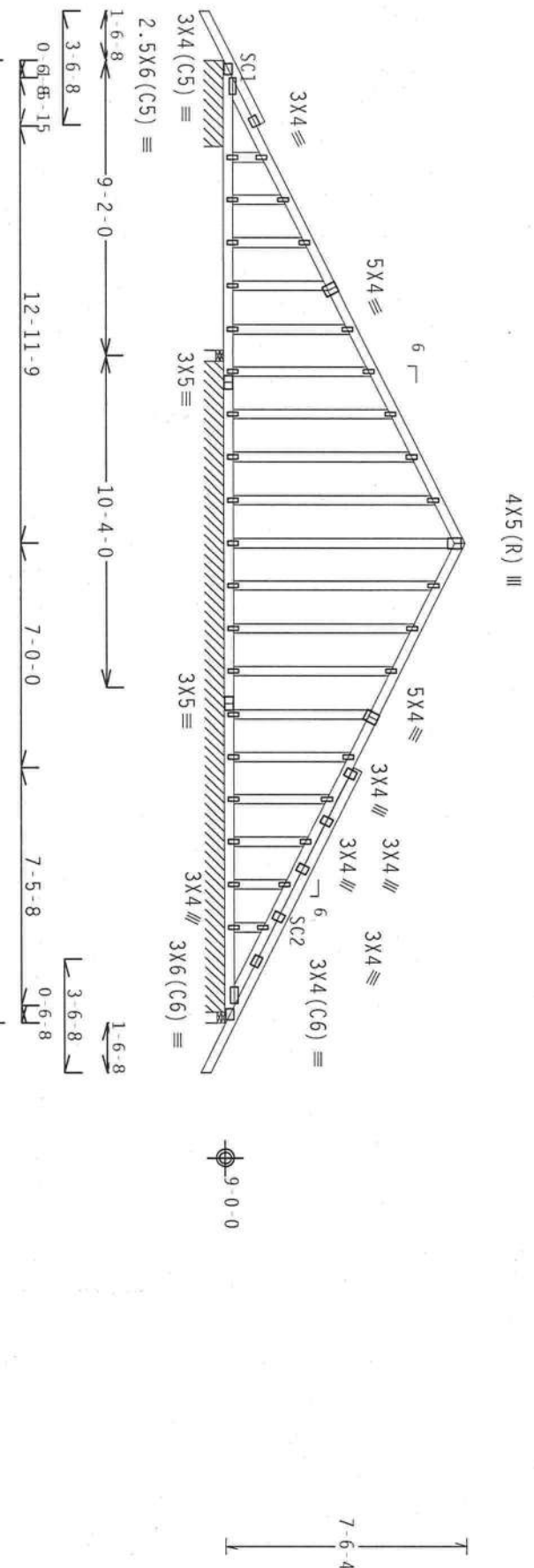
See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ GCPI(+/-)=0.18
Wind reactions based on MMFRS pressures.
Gable end supports 8" max rake overhang.
Stacked top chord must NOT be notched or cut in area (NNL).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

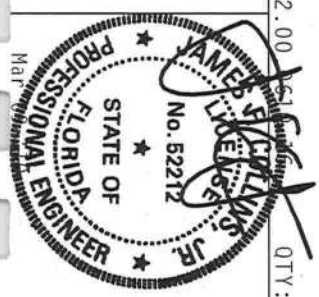


Note: All Plates Are 1.5X4 Except As Shown.
Design Crit: FBC2007Res/TP1-2002 (STD)
PLT TYP. Wave

9.02.00
QTY:1
FL/-/4/-/-/R/-

TC LL	20.0 PSF	REF	R8228 - 65426
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068011
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT.LD.	40.0 PSF	SEQN-	79898
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202

ALPINE
Haines City, FL 33844
FL 33844
FL 33844



TC LL	20.0 PSF	REF	R8228 - 65426
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068011
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT.LD.	40.0 PSF	SEQN-	79898
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202

110 mph wind, 15.00 ft mean hgt., ASCE 7-05, CLOSED bldg, located anywhere in roof, CAI II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpl(+/-)=0.18

Wind reactions based on MAFRS pressures.

Deflection meets $L/240$ live and $L/180$ total load.

~~9.02~~

Scale = .375" / ft.

James H. Collins, Jr.
No. 52212
JAMES H. COLLINS, JR.
LICENSE
No. 52212

No. 52212

2.

DRW HC11SR8228 100680

017

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844

Ma

SPACING

24.0"

JREF- 1TZY8228Z02

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

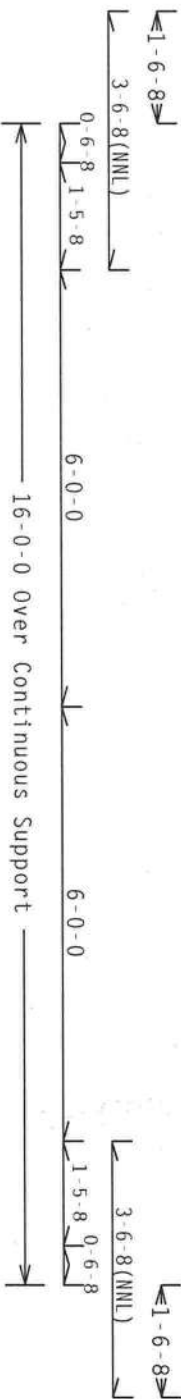
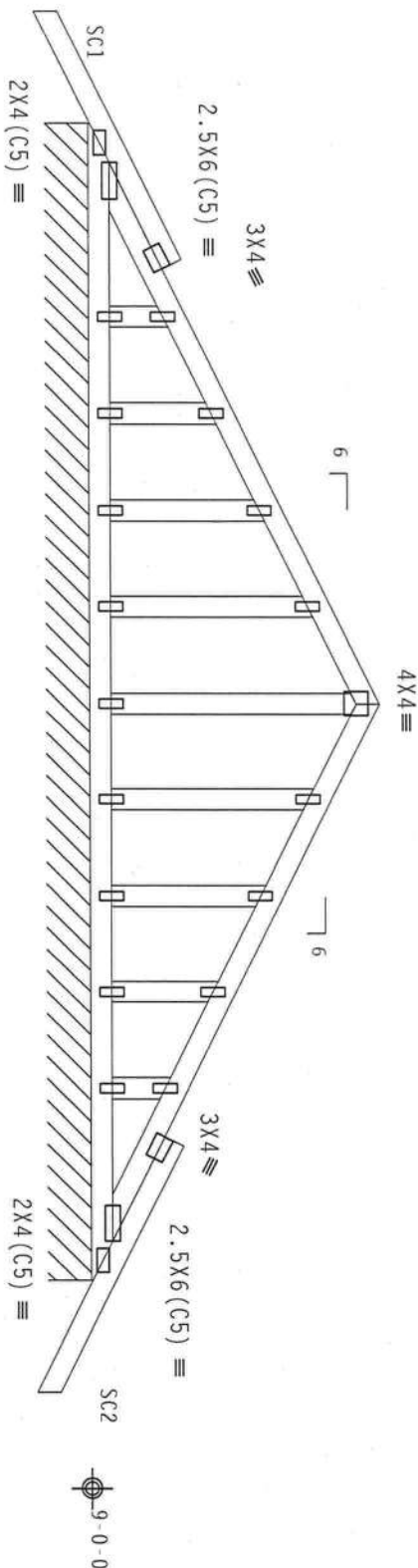
:Stack Chord SC1 2x4 SP #2 Dense:::Stack Chord SC2 2x4 SP #2 Dense:

Roof overhang supports 2.00 psf soffit load.

Stacked top chord must NOT be notched or cut in area (NNL).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top
chord (SC) to dropped top chord in noticable area using 3x4
tie-plates 24" o.c. Center plate on stacked/dropped chord
interface, plate length perpendicular to chord length. Splice top
chord in noticable area using 3x6.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE
ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND
SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS
LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE
DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located
anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC
DL=5.0 psf. $1w=1.00 GCPi(+/-)=-0.18$
Wind reactions based on MMFRS pressures.
See DWGS A11015050109 & GBLLETIN0109 for more requirements.
In lieu of structural panels use purlins to brace TC @ 24" OC.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.



Note: All Plates Are 1.5X4 Except As Shown.

Design Crit: FBC2007Res/TP1-2002(STD)

PLT TYP. Wave

FT/RT=20%(0%)/0(0)

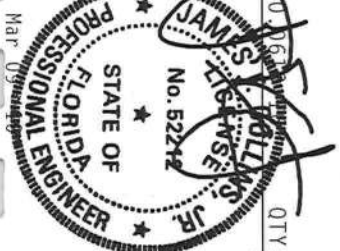
9.02.00

QTY:1 FL/-/4/-/-/R/-

Scale = .375"/Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO DCST (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WCA (WOOD TRUSS COUNCIL OF AMERICA, 6500 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW REC, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FACTORS OF SAFETY OR PERFORMANCE WITHIN THIS DESIGN ARE BASED ON THE ASSUMPTIONS OF THE DESIGNER. THE TRUSS IS TO BE CONFORMANT WITH THE DESIGN CONDITIONS WITH APPLICABLE PROVISIONS OF THE NATIONAL DESIGN SPEC. (BY AIA/PA) AND TPI. ITW REC DESIGN CONDITIONS ARE BASED ON 20/10/160A (W, WIND) AND 40/60 (U, KIN, 55) GALE, STEEL, APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOCIETY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

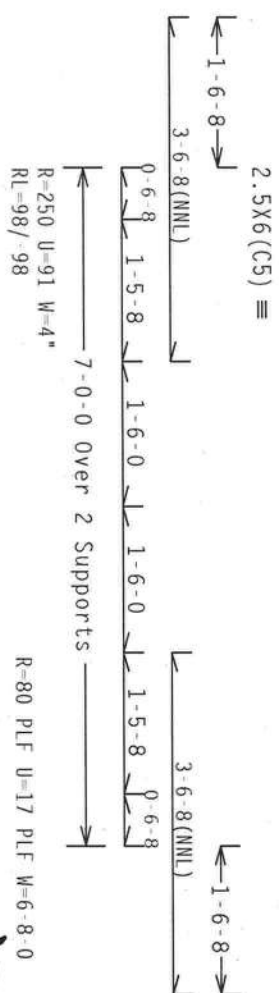
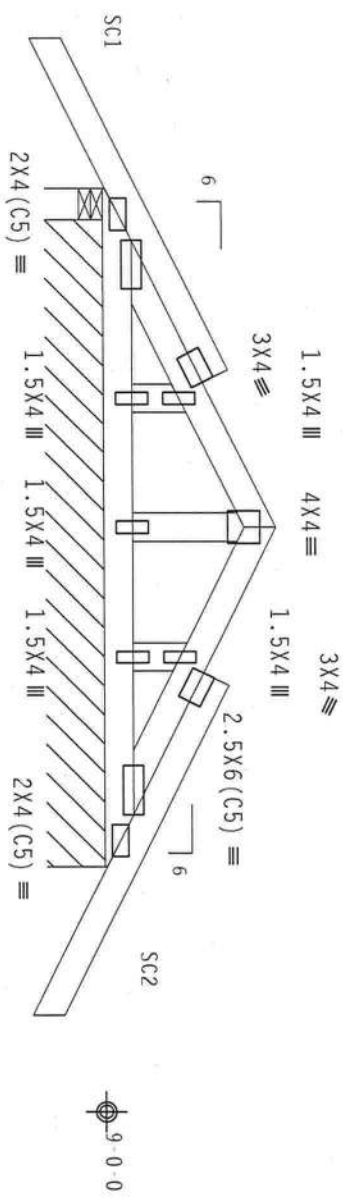


TC LL	20.0 PSF	REF	R8228- 65428
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068016
BC LL	0.0 PSF	HC-ENG	JB/AP
TOT.LD.	40.0 PSF	SEQN-	79663
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3
Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:
Roof overhang supports 2.00 psf soffit load.
See DMGS A11015050109 & GBLLETIN0109 for more requirements.
In lieu of structural panels use purlins to brace TC @ 24" OC.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt. ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ GCp(+/-)=0.18
Wind reactions based on MMFRS pressures.
Gable end supports 8" max rake overhang.
Stacked top chord must NOT be notched or cut in area (NML).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



PLT TYP. Wave
Design Crit: FBC2007Res/TP1-2002 (STD)
FT/RT=20%(0)/0(0) 9.02.00 QTY:1 FL/-/4/-/1/R/- Scale =.5"/ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND ERECTING. REFER TO BCST (PROVIDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22313) AND WCA (WOOD TRUSS - CONSTRUCTION OF AMERICA, 6500 ENTERPRISE LANE, MADISON, WI, 53719) FOR SAFETY PRACTICES PRIOR TO REPAIRING OR RE-ERECTING. UNLESS OTHERWISE INDICATED ON THIS DRAWING, ALL TRUSSES SHALL BE PROPERLY ATTACHED TO THE BUILDING STRUCTURE AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THE TYPE OF FABRICATING, HANDLING, SHIPPING, INSTALLING A BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY AIA/PA) AND TPI. THE BCG CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/SS/K) ASTM A653 GRADE 40/60 (U, K/H,SS) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER AMEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER AMST/TP1 SEC. 2.

ITW Building Components Group Inc.
Haines City, FL 33844
FL 00000 278

Mar 09 2010

TC LL	20.0 PSF	REF R8228 - 65429
TC DL	10.0 PSF	DATE 03/09/10
BC DL	10.0 PSF	DRW HCUR8228 10068018
BC LL	0.0 PSF	HC-ENG JB/AP
TOT.LD.	40.0 PSF	SEON - 79667
DUR.FAC.	1.25	
SPACING	24.0"	JREF - 1TZY8228202

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

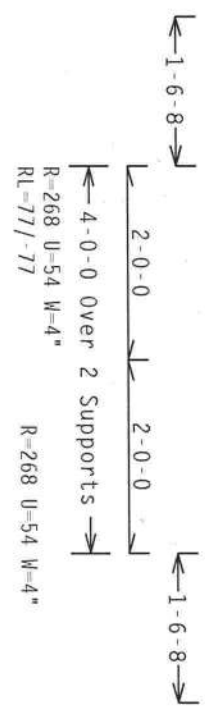
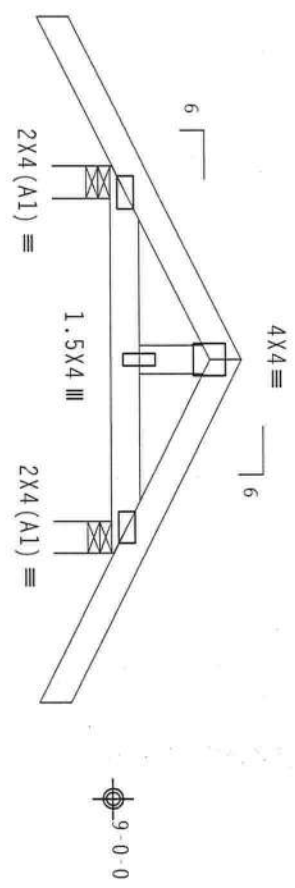
Bottom chord checked for 10.00 psf non-concurrent live load.

MMFRS loads based on trusses located at least 30.00 ft. from roof edge.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, lw=1.00 gcpl(+/-)=0.18

Wind reactions based on MMFRS pressures.

Deflection meets L/240 live and L/180 total load.



PLT TYP. Wave

Design Crit: FBC2007Res/TP1-2002 (STD)
FT/RT=20%(0%)/0(0)

9.02.00

QTY: 7

FL/-/4/-/-/R/-

Scale = .5"/ft.

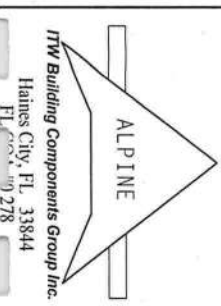
****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO DECS (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI TRUSS PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314 AND WCA (WOOD TRUSS CONDUCT OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORDS SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORDS SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS.

COPIES OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS. THE REG. INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING IN CONNECTION WITH THE TRUSS.



TC LL	20.0 PSF	REF R8228 - 65430
TC DL	10.0 PSF	DATE 03/09/10
BC DL	10.0 PSF	DRW HCURR8228 10068020
BC LL	0.0 PSF	HC-ENG JB/AP
TOT.LD.	40.0 PSF	SEON- 79696
DUR.FAC.	1.25	
SPACING	24.0"	
JREF	1TZY8228202	



Top chord 2x6 SP #2
Bot chord 2x6 SP #2
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

(A) Continuous lateral bracing equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

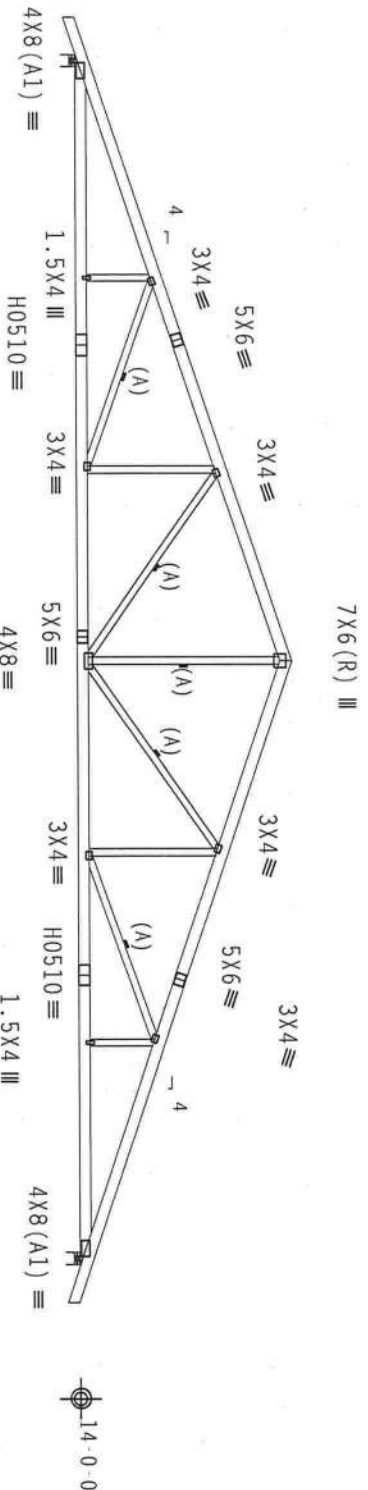
WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

110 mph wind, 18.41 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G_{CPI}(+/-)=0.18$

Wind reactions based on MMFRS pressures.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets L/240 live and L/180 total load.



PLT TYP. 20 Gauge HS, Wave

Design Crit: FBC2007Res/TP1-2002 (STD)
FT/RT=20%(0%)/0(0)

9.02.00

OTY:19 FL/-/4/-/R/-

Scale = .125"/Ft.

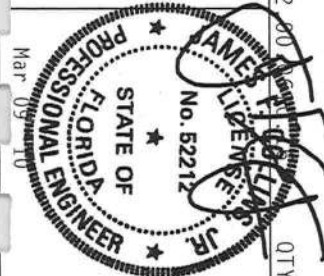
WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCST (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WCA (WOOD TRUSS COMPANY, 6000 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED THE CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE BCG, INC. SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE TRUSS OR THE INSTALLATION OF THE TRUSS IN CONFORMANCE WITH THE BCG DESIGN SPECIFICATIONS. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666.

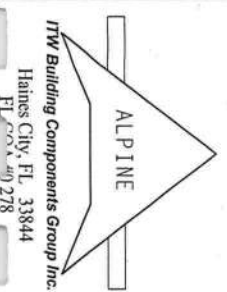
ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER AMERICAN INSTITUTE OF STEEL CONSTRUCTION, INC. (AISC) 360-10. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. THE SEAL OF THE PROFESSIONAL ENGINEER IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/ASCE 10-11. SEC. 2.

THE BCG, INC. SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE TRUSS OR THE INSTALLATION OF THE TRUSS IN CONFORMANCE WITH THE BCG DESIGN SPECIFICATIONS. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666. THE BCG DESIGN SPECIFICATIONS ARE AVAILABLE FROM THE BCG, INC. (800) 455-6666.

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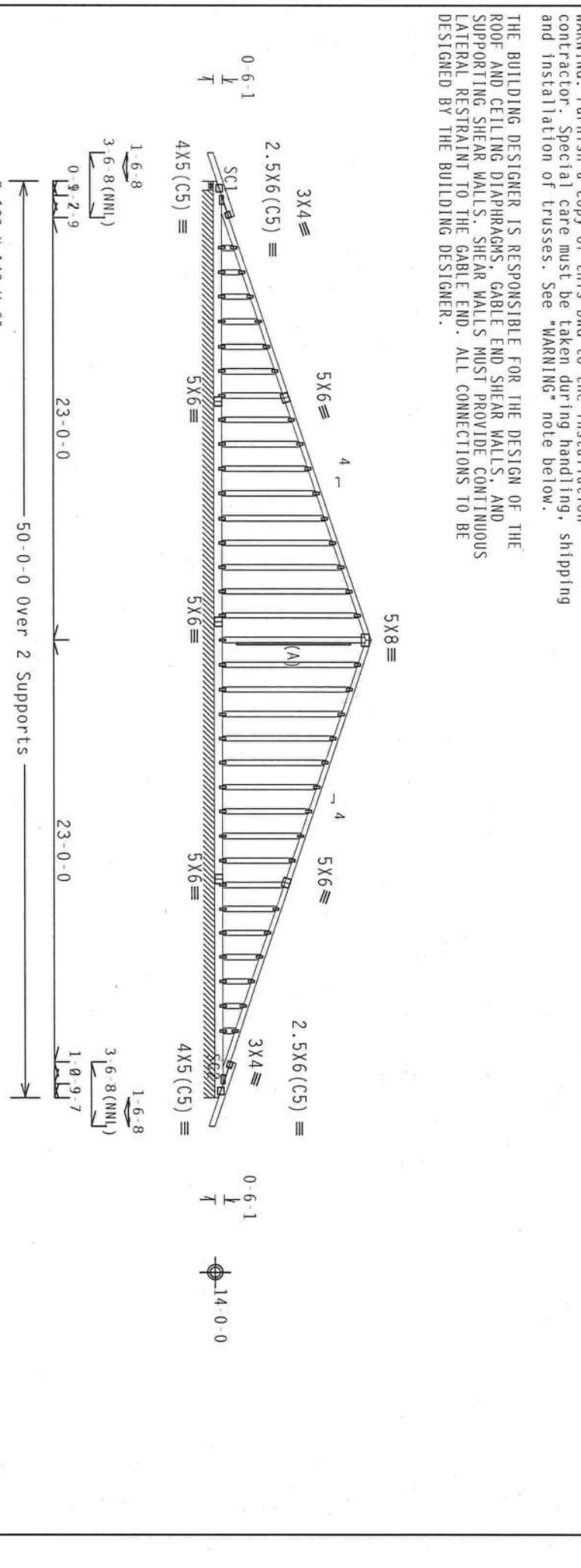


TC LL	20.0 PSF	REF	R8228 - 65431
TC DL	10.0 PSF	DATE	03/09/10
BC DL	10.0 PSF	DRW	HCUSR8228 10068012
BC LL	0.0 PSF	HC-ENG	JB/AP
TOT.LD.	40.0 PSF	SEON-	79703
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1TZY8228202



Top chord 2x4 SP #2 Dense
Bot chord 2x6 SP #2
Webs 2x4 SP #3
Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:
Roof overhang supports 2.00 psf soffit load.
See DWGS A11030050109 & GBLETTIN0109 for more requirements.
(A) 1x4 #3SRB SPF-S or better "L" brace, 80% length of web member.
Attach with 8d Box or Gun (0.113"x2.5", min.) nails @ 6" OC.
In lieu of structural panels use purlins to brace TC @ 24" OC.
Bottom chord checked for 10.00 psf non-concurrent live load.
WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.
THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 18.26 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, lw=1.00 GCpl(+/-)=0.18
Wind reactions based on MMFRS pressures.
Gable end supports 8" max rake overhang.
Stacked top chord must NOT be notched or cut in area (NML).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.
Deflection meets L/240 live and L/180 total load.



Note: All Plates Are 1.5X4 Except As Shown.
Design Cnt: FBC2007Res/TP1-2002 (STD)
PLT TYP. Wave
Scale = .125"/ft.
QTY: 1
FL/-/4/-/-/R/-
TC LL 20.0 PSF
TC DL 10.0 PSF
BC DL 10.0 PSF
BC LL 0.0 PSF
TOT. LD. 40.0 PSF
DUR. FAC. 1.25
SPACING 24.0"

Scale = .125"/ft.
REF R8228- 65A32
DATE 03/09/10
DRW HCUSR8228 10068013
HC-ENG JB/AP
SEON- 79710

JREF- 1TZY8228Z02

ALPINE
Haines City, FL 33844
FL 33844 278

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 52212
JAMES A. COLLINS, P.E.

2 COMPLETE TRUSSES REQUIRED

Nett Schedule: 0.131"x3" nails
Top Chord: 1 Row @ 12.00" o.c.
Bot Chord: 1 Row @ 10.50" o.c.
Webs: 1 Row @ 4" o.c.
Use equal spacing between rows and stagger nails in each row to avoid splitting.

(**) 17 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 18.26 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT 11, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf, 1W=1.00 Gcpl(+/-)=0.18

Roof overhang supports 2.00 psf soffit load.

See DWGS A11030050109 & G8LLETIN0109 for more requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" o.c. intervals. Attach stacked top chord (SC) to dropped top chord in noticable area using 3x4 tie plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in noticable area using 3x6.

+ MEMBER TO BE LATERALLY BRACED FOR OUT OF PLANE WIND LOADS. BRACING SYSTEM TO BE DESIGNED AND FURNISHED BY OTHERS.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE DESIGNED BY THE BUILDING DESIGNER.

Top chord 2x6 SP #2 Dense
Bot chord 2x12 SP #3 Dense
Webs 2x4 SP #2 Dense
Stack Chord SC1 2x4 SP #2 Dense
Stack Chord SC2 2x4 SP #2 Dense

Special loads
----- (Lumber Dur.Fac.=1.25 / Plate Dur.Fac.=1.25)
TC - From 61 pif at -1.54 to 61 pif at 3.11
TC - From 61 pif at 3.11 to 61 pif at 25.00
TC - From 61 pif at 25.00 to 61 pif at 48.28
TC - From 61 pif at 48.28 to 61 pif at 51.54
BC - From 4 pif at -1.54 to 4 pif at 0.00
BC - From 110 pif at 0.00 to 110 pif at 50.00
BC - From 4 pif at 50.00 to 4 pif at 51.54
BC - 1456 lb Conc. Load at 4.88
BC - 400 lb Conc. Load at 11.28
38.72

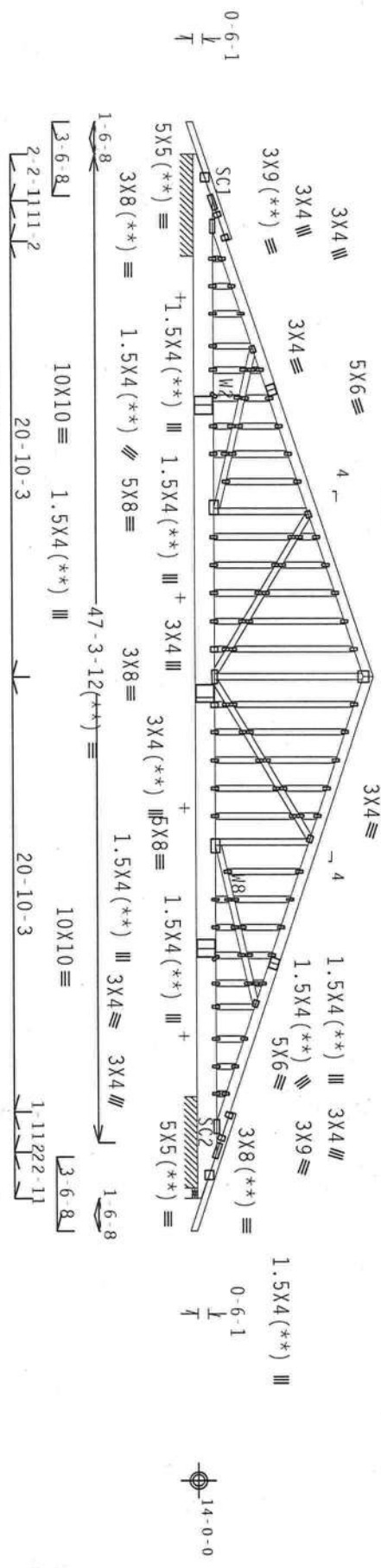
Wind reactions based on MMFRS pressures.

Truss spaced at 24.0" OC designed to support 1.4-0 top chord outlookers. Cladding load shall not exceed 7.00 PSF. Top chord must not be cut or notched.

Deflection meets L/240 live and L/180 total load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

IT IS THE RESPONSIBILITY OF THE BUILDING DESIGNER AND TRUSS FABRICATOR TO REVIEW THIS DWG PRIOR TO CUTTING LUMBER TO VERIFY THAT ALL DATA, INCLUDING DIMENSIONS AND LOADS, CONFORM TO THE ARCHITECTURAL PLANS/ SPECIFICATIONS AND FABRICATOR'S TRUSS LAYOUT.



Note: All Plates Are 1.5X4 Except As Shown.

PLT TYP. Wave Design Crit: FBC2007Res/TP1-2002(STD)
FT/RT=20%(0%)/0(0)

9.05.00.02

QTY: 1 FL/-/4/-/R/-

Scale = .125"/Ft.

ALPINE		ITW Building Components Group Inc.		Haines City, FL 33844		FL 33844 278				
TC LL	20.0 PSF	REF	R8228 -	65433						
TC DL	10.0 PSF	DATE	03/09/10							
BC DL	10.0 PSF	DRW	HCUSR8228	10068019						
BC LL	0.0 PSF	HC-ENG	JB/DF							
TOT.LD.	40.0 PSF	SEON-	2359	REV						
DUR.FAC.	1.25									
SPACING	24.0"									
		JREF- 1TZ8228202								

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE, FOR MINIMUM ALTERNATIVE BRACING, RE-RUN DESIGN WITH APPROPRIATE BRACING.

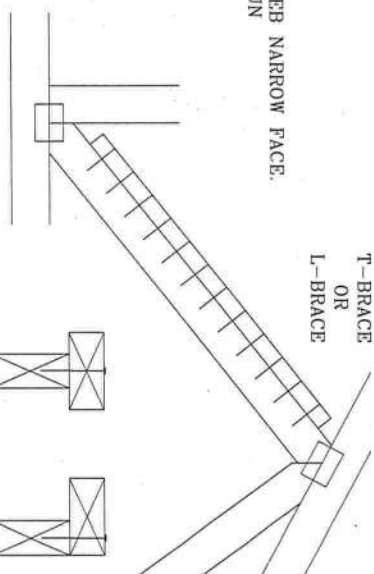
WEB MEMBER SIZE	SPECIFIED CLB BRACING	T OR L-BRACE	ALTERNATIVE BRACING SCAB BRACE
2X3 OR 2X4	1 ROW	2X4	1-2X4
2X3 OR 2X4	2 ROWS	2X6	2-2X4
2X6	1 ROW	2X4	1-2X6
2X6	2 ROWS	2X6	2-2X4(*)
2X8	1 ROW	2X6	1-2X8
2X8	2 ROWS	2X6	2-2X6(*)

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.

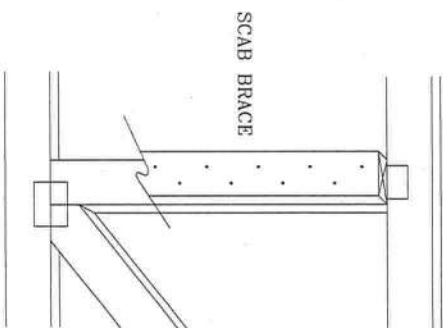
T-BRACING OR L-BRACING:

APPLY TO EITHER SIDE OF WEB NARROW FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3" MIN) NAILS. AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB. NO MORE THAN (1) SCAB PER FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3" MIN) NAILS. AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



Building Components Group Inc.

Earth City, MO 63045

****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET.** Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow BCSI (Building Component Safety Information, by TPI and WTC) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, for chored shall have properly attached structural panels and bottom chord shall have a properly attached, rigid ceiling. Locations shown for permanent lateral restraint of web members. See BCSI for more information. sections B3 & B7. See this job's general notes page for more information.

****IMPORTANT** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.** ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBCG connector plates are made of 2016/1604 W41/S/K ASTM A653 grade 37/48/50 (K/R/S) galv. steel. Apply plates to each face of truss, positioned as shown. ITWBCG plates are not responsible for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

ITW-BCG: www.itwbcg.com TPI: www.tpi.net WTC: www.steelindustry.com ICC: www.iccsafe.org

Mar 09 10 No. 52212

DR. FAC.

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DATE 1/1/09

DRWG BRCLBSUB0109

REF CLB SUBST.

DATE 1/1/09

DRWG BRCLBSUB0109

REF CLB SUBST.

DATE 1/1/09

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REF CLB SUBST.

DATE 1/1/09

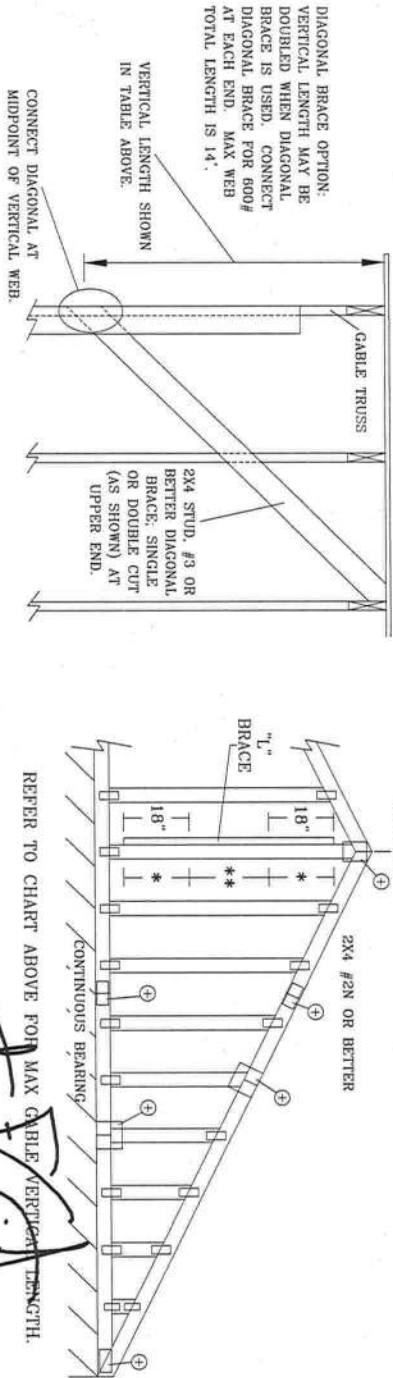
DRWG BRCLBSUB0109

REF CLB SUBST.

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH

2x4 GABLE VERTICAL SPECIES	BRACE GRADE	NO BRACES	(1) 1x4 "L" BRACE *				(1) 2x4 "L" BRACE *				(1) 2x6 "L" BRACE **				(2) 2x6 "L" BRACE **			
			GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
SPF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
SP	#1	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
SPF	#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
SP	#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	#1 / #2	4' 11"	8' 5"	8' 8"	10' 0"	10' 0"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
SPF	#3	4' 9"	8' 5"	8' 8"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	4' 9"	8' 5"	8' 8"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
SP	#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STUD	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	STANDARD	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
	#1	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"



GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1x4 OR 2x3
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2.5x4
GREATER THAN 11' 6"	3x4
* REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.	

ATTACH EACH "L" BRACE WITH 10d NAILS.
 * FOR (1) "L" BRACE: SPACE NAILS AT 2' 0" O.C. IN 16' END ZONES AND 4' 0" O.C. BETWEEN ZONES.
 ** FOR (2) "L" BRACES: SPACE NAILS AT 3' 0" O.C. IN 16' END ZONES AND 6' 0" O.C. BETWEEN ZONES.
 "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.
 PROVIDE UPLIFT CONNECTIONS FOR 80 PSF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
 GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

GROUP A:	
SPRUCED PINE-FIR	HEM-FIR
#1 / #2 STANDARD	#2 STUD
#3 STUD	#3 STANDARD

GROUP B:	
DOUGLAS FIR-LARCH	DOUGLAS FIR-LARCH
#1	#1
#2	#2

BRACING GROUP SPECIES AND GRADES:

GROUP A:	
SPRUCED PINE-FIR	HEM-FIR
#1 / #2 STANDARD	#2 STUD
#3 STUD	#3 STANDARD

GROUP B:	
DOUGLAS FIR-LARCH	DOUGLAS FIR-LARCH
#1	#1
#2	#2



Building Components Group Inc.

Earth City, MO 63045

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET. Trusses require extreme care in fabrication, handling, shipping, installing and bracing. Refer to and follow BCSI Building Component Safety Information, by TPI and WCA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural panels and bottom chord shall have a properly attached rigid panel ceiling. Details shown for permanent lateral bracing are shown for information only. Bracing installed per BCSI sections B3 & D7. See this job's general notes page for more information.

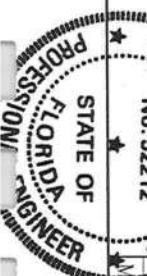
****IMPORTANT**** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing, & bracing of trusses. ITWBCG connector plates are made of 20/16/100A W/H/S/K. ASH 1603 pin and details (R/R/AS) galv steel. Apply plates to each end of truss. ITWBCG shall not be responsible for the design, fabrication, handling, shipping, installing, & bracing of trusses. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

ITW-BCG: www.itwbcg.com; TPI: www.tpi.com; WCA: www.wcaindustry.com; ICC: www.iccsafe.org

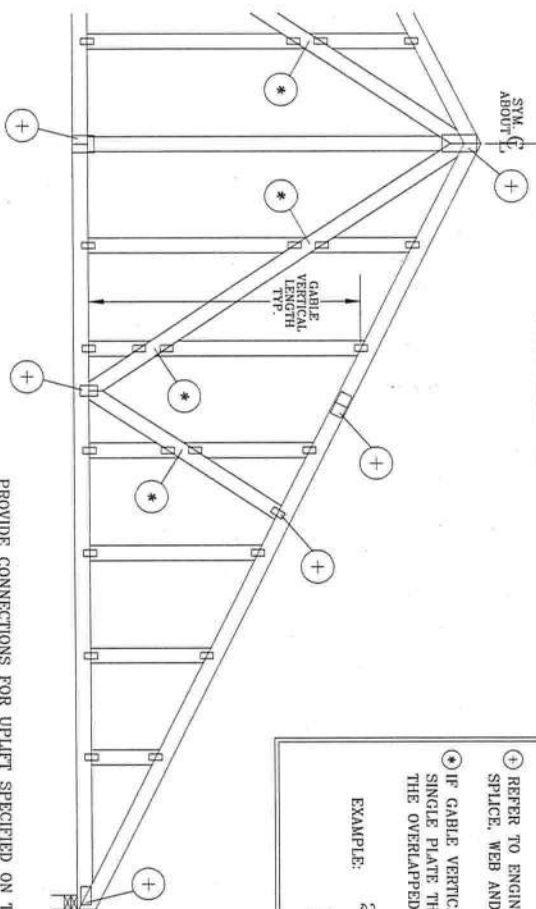
MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF ASCE7-05-CAB11015
 DATE 1/1/09
 DRWG A11015050109



CABLE DETAIL FOR LET-IN VERTICALS



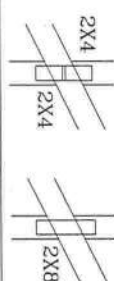
GABLE TRUSS PLATE SIZES

REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

⊙ IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE:



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

10d COMMON (0.148" x 3.125") NAILS AT 4" O.C. PLUS
(4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:

10d COMMON (0.148" x 3.125") TOENAILS AT 4" O.C. PLUS
(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE

WIND LOAD.

ASCE 7-99 GABLE DETAIL DRAWINGS

A13015980109, A12015980109, A11015980109,

A13030980109, A12030980109, A11030980109

ASCE 7-02 GABLE DETAIL DRAWINGS

A13015020109, A12015020109, A11015020109,

A13030020109, A12030020109, A11030020109

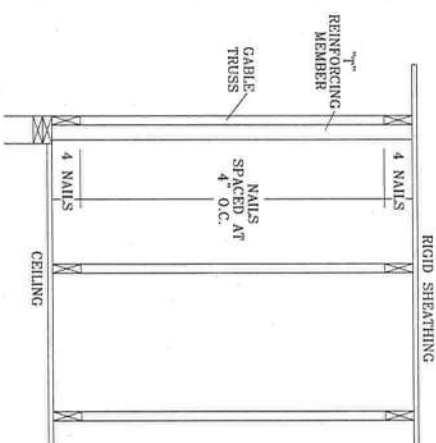
ASCE 7-05 GABLE DETAIL DRAWINGS

A13015050109, A12015050109, A11015050109,

A13030050109, A12030050109, A11030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM

UNREINFORCED GABLE VERTICAL LENGTH.



WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow these instructions. Trusses shall be installed in accordance with the manufacturer's instructions. Trusses shall have properly attached structural panels and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCS sections 63 & 67. See this job's general notes page for more information.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.

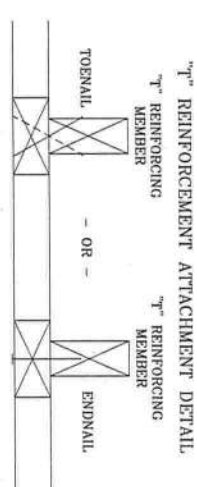
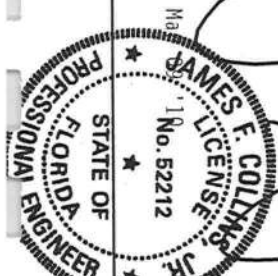
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing & bracing of trusses. ITWBCG connector plates are made of 20/16/160A (W/H/S/N) ASTM A663 grade 37/40/60 (R/W/H/S) gale steel. Apply plates to each face of truss, perpendicular to the web. ITWBCG connector plates shall be applied to the top and bottom chord of the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

ITW-BCG: www.itwbcg.com; TPI: www.tpinet.com; WTCA: www.steelindustry.com; ICC: www.iccsafe.org



Building Components Group Inc.

Earth City, MO 63045



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MHR	"T" REINFORCING MEMBER SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	50 %
110 MPH	2x4	10 %
15 FT	2x6	50 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	10 %
15 FT	2x6	50 %
100 MPH	2x4	10 %
30 FT	2x6	50 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH

MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00

GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2x4

"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10

(1) 2x4 "L" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH

1.10 x 6' 7" = 7' 3"

REF LET-IN VERT

DATE 1/1/09

DRWG GBLTIN0109

MAX TOT. LD. 60 PSF

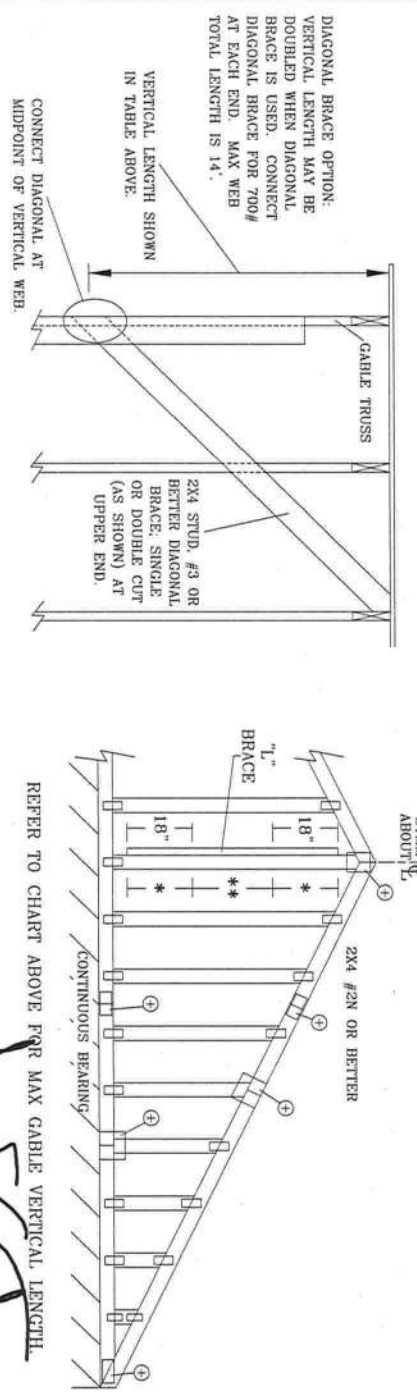
DUR. FAC. ANY

MAX SPACING 24.0"

ASCE 7-05: 110 MPH WIND SPEED, 30' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

CABLE STUD REINFORCEMENT DETAIL

MAX GABLE VERTICAL LENGTH																							
GABLE VERTICAL SPACING SPECIES	2x4 GRADE	BRACE NO BRACES	(1) 1x4 "L" BRACE *				(1) 2x4 "L" BRACE *				(2) 2x4 "L" BRACE **				(1) 2x6 "L" BRACE *				(2) 2x6 "L" BRACE *				
			GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B					
24" O.C.	SPF	#1 / #2	3' 8"	6' 4"	6' 6"	7' 6"	7' 8"	8' 11"	9' 2"	11' 9"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			3' 7"	5' 5"	5' 5"	7' 2"	7' 2"	8' 11"	8' 11"	11' 2"	11' 2"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STUD	3' 7"	5' 5"	5' 5"	7' 1"	7' 1"	8' 11"	8' 11"	11' 1"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	HF	STANDARD	3' 7"	4' 8"	4' 8"	6' 1"	6' 1"	8' 3"	8' 3"	9' 6"	9' 6"	12' 11"	12' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#1	4' 0"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	3' 11"	6' 4"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	SP	#3	3' 9"	5' 7"	5' 7"	5' 7"	7' 4"	8' 11"	9' 5"	11' 5"	11' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STUD	3' 9"	5' 6"	5' 6"	7' 3"	7' 3"	8' 11"	9' 5"	11' 4"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STANDARD	3' 8"	4' 9"	4' 9"	6' 3"	6' 3"	8' 5"	8' 5"	9' 9"	9' 9"	13' 3"	13' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	DFL	#1 / #2	4' 2"	7' 3"	7' 5"	8' 7"	8' 10"	10' 3"	10' 6"	13' 5"	13' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#3	4' 1"	6' 8"	6' 8"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STUD	4' 1"	8' 0"	8' 0"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
16" O.C.	SPF	#1 / #2	4' 1"	8' 0"	8' 0"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STUD	4' 1"	5' 8"	5' 8"	7' 6"	7' 6"	10' 1"	10' 1"	11' 8"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STANDARD	4' 1"	5' 8"	5' 8"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	HF	#1	4' 7"	7' 3"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 6"	7' 3"	7' 3"	7' 9"	8' 7"	9' 3"	10' 3"	11' 0"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#3	4' 4"	6' 10"	6' 10"	8' 7"	9' 0"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	SP	STUD	4' 4"	6' 9"	6' 9"	8' 7"	8' 11"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 4"	6' 9"	6' 9"	8' 7"	8' 11"	10' 3"	10' 9"	13' 5"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#3	4' 2"	5' 10"	5' 10"	7' 8"	7' 8"	10' 3"	10' 4"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	DFL	#1 / #2	4' 7"	8' 0"	8' 0"	8' 2"	9' 5"	9' 8"	11' 3"	11' 7"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#3	4' 6"	7' 8"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			STUD	4' 6"	7' 8"	7' 8"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
12" O.C.	SPF	STUD	4' 6"	6' 7"	6' 7"	6' 7"	8' 8"	8' 8"	11' 3"	11' 3"	13' 6"	13' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#1	5' 1"	8' 0"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 11"	8' 0"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	HF	STUD	4' 6"	6' 7"	6' 7"	6' 7"	8' 8"	8' 8"	11' 3"	11' 3"	13' 6"	13' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#1	5' 1"	8' 0"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 11"	8' 0"	8' 0"	8' 7"	9' 5"	10' 2"	11' 3"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	SP	STUD	4' 9"	7' 9"	7' 9"	7' 9"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 9"	7' 9"	7' 9"	7' 9"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#3	4' 9"	7' 9"	7' 9"	7' 9"	9' 5"	9' 11"	11' 3"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
	DFL	STANDARD	4' 7"	6' 9"	6' 9"	6' 9"	8' 10"	8' 10"	11' 3"	11' 7"	13' 10"	13' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#1	4' 7"	6' 9"	6' 9"	6' 9"	8' 10"	8' 10"	11' 3"	11' 7"	13' 10"	13' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
			#2	4' 7"	6' 9"	6' 9"	6' 9"	8' 10"	8' 10"	11' 3"	11' 7"	13' 10"	13' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

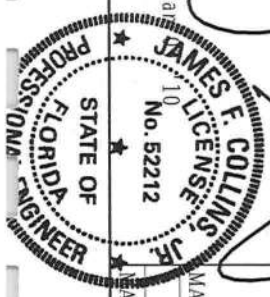
LIVE LOAD DEFLECTION CRITERIA IS L/240.
PROVIDE UPLIFT CONNECTIONS FOR 100 PSF OVER CONTINUOUS BEARING (6 PSF TC DEAD LOAD).
GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
ATTACH EACH "L" BRACE WITH 10d NAILS.
* FOR (1) "L" BRACE: SPACE NAILS AT 2' 0" O.C. IN 16" END ZONES AND 4' 0" O.C. BETWEEN ZONES.
** FOR (2) "L" BRACES: SPACE NAILS AT 3' 0" O.C. IN 16" END ZONES AND 6" O.C. BETWEEN ZONES.
"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4
+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.	

BRACING GROUP SPECIES AND GRADES:			
GROUP A:		GROUP B:	
SPRUCE-PINE-FIR	HEM-FIR	SPRUCE-PINE-FIR	HEM-FIR
#1 / #2 STANDARD	#2 STUD	#1 / #2 STANDARD	#2 STUD
#3 STUD	#3 STANDARD	#3 STUD	#3 STANDARD
DOUGLAS FIR-LARCH		DOUGLAS FIR-LARCH	
#3 STUD	#3 STUD	#3 STUD	#3 STUD
STANDARD	STANDARD	STANDARD	STANDARD
GROUP B:		GROUP B:	
HEM-FIR	HEM-FIR	HEM-FIR	HEM-FIR
#1 & BTR	#1 & BTR	#1 & BTR	#1 & BTR
#1	#1	#1	#1
DOUGLAS FIR-LARCH	DOUGLAS FIR-LARCH	DOUGLAS FIR-LARCH	DOUGLAS FIR-LARCH
#1	#1	#1	#1
#2	#2	#2	#2



Building Components Group Inc.
Earth City, MO 63045



REF	ASCE7-05-CAB11030
DATE	1/1/09
DRWG	A11030050109
MAX. TOT. LD.	60 PSF
MAX. SPACING	24.0"