

DATE 09/21/2010

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000028875

APPLICANT DARLENE FINDLEY PHONE 454-4626  
ADDRESS 194 SW OTTER LANE FT. WHITE FL 32038  
OWNER RAY & DARLENE FINDLEY PHONE 454-2781  
ADDRESS 194 SW OTTER LANE FT. WHITE FL 32038  
CONTRACTOR SAME AS APPLICANT PHONE \_\_\_\_\_  
LOCATION OF PROPERTY 47S, TL ON 27, TR ON 138, TR ON BOBCAT, TL ON OTTER,  
3RD LOT ON LEFT  
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 8140.00  
HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_  
FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_  
LAND USE & ZONING A-3 MAX. HEIGHT \_\_\_\_\_  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 19-7S-17-10024-056 SUBDIVISION SASSAFRAS ACRES  
LOT 58 BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT 0 TOTAL ACRES 13.00

Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_  
EXISTING X10-303 BK TC N  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: NOC ON FILE

Check # or Cash 667

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Insulation \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ TOTAL FEE 120.00  
INSPECTORS OFFICE [Signature] CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



METAL CARPORT INSTALLATION PLANS AND DETAILS  
AND  
FRAMING AND FASTENER SPECIFICATIONS

FOR CONSTRUCTION IN THE  
STATE OF FLORIDA

PREPARED FOR:  
CAROLINA CARPORTS, INC.  
P.O. BOX 1263  
DOBSON, NORTH CAROLINA 27017

PREPARED BY:  
BECHTOL ENGINEERING AND TESTING, INC.  
605 WEST NEW YORK AVENUE  
DELAND, FLORIDA 32720  
Certificate of Authorization No. 00005492

TABLE 1  
BOW FRAME, END POST, AND PANEL FASTENER SPACING SPECIFICATIONS

WIND EXPOSURE CATEGORY	BASIC WIND SPEED 3-SECOND GUST (MPH)	MAXIMUM BOW AND END POST SPACING (FEET)	AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS (INCHES)	
			INTERIOR BOWS	END BOWS
B OR C	100 TO 130	5.0	6	6
	140 TO 150	4.0	6	6

NOTES: 1. Specifications applicable to 29 gauge (100 to 130 mph) and 26 gauge (100 to 150 mph) metal panels fastened directly to 12 or 14 gauge steel tube bow frames.  
2. Fasteners consist of 1/4"-14X1" self-drilling screws with control seal washer.  
3. Specifications applicable only for mean roof height of 20 feet or less, and roof slopes of 14° (3:12 pitch). Spacing requirements for other roof heights and/or slopes may vary.

APPROVED PRODUCTS LIST

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE	DESIGN PRESSURES (psf)
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6596-R1 10/14/08	+17.2 / -13.3
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL6702-R1 10/14/08	+20.1 / -19.9
EXTERIOR DOORS	SWINGING	ELKIR INDUSTRIES GA. Model 402-14	FL1722.1-R2 01/29/08	+33.3 / -50.0
EXTERIOR DOORS	ROLL-UP	ASTA INDUSTRIES INC. Model 203	FL8888.1 12/10/08	+76.0 / -76.0
WINDOWS	SINGLE HUNG	PHILLIPS PRODUCTS, INC. Model 23V	FL6228-R1 10/11/06	+60.0 / -60.0

NOTE: DESIGN WIND PRESSURES OBTAINED FROM THE FLORIDA BUILDING COMMISSION - PRODUCT APPROVAL WEBSITE.

GENERAL NOTES:

- ALL STEEL TUBING SHALL BE 50 KSI STEEL.
- FASTEN METAL ROOF AND WALL PANELS TO FRAMING WITH 1/4" x 1" SELF DRILLING FASTENERS WITH CONTROL SEAL WASHER @ 6" O.C. AVERAGE. (SEE TABLE 1 FOR FASTENER SPACING SPECIFICATIONS)
- ALL FIELD CONNECTIONS SHALL BE 1/4" x 1" SELF DRILLING SCREWS.
- ALL SHOP CONNECTIONS SHALL BE WELDED.

WINDOW AND DOOR NOTE

EXTERIOR WINDOWS AND GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND BEAR AN AAMA OR WDMA OR OTHER APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT EVALUATION ENTITY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE FOLLOWING SPECIFICATION:

ANSI/AAMA/NWMA 101/IS2 297  
THE CONSTRUCTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 330, STANDARD TEST METHODS FOR STRUCTURAL PERFORMANCE OF EXTERIOR WINDOWS, CURTAIN WALLS, AND DOORS BY UNIFORM STATIC AIR PRESSURE.

THIS IS TO CERTIFY THAT THE CALCULATIONS AND SPECIFICATIONS HEREIN HAVE BEEN PREPARED BY THE UNDERSIGNED PROFESSIONAL ENGINEER, AND ARE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 1609 OF THE 2007 FLORIDA BUILDING CODE, AND 2009 SUPPLEMENTS, THE PLANS ARE VALID UNTIL THE NEXT REVISION OF THE FLORIDA BUILDING CODE.



CAROLINA CARPORTS, INC.

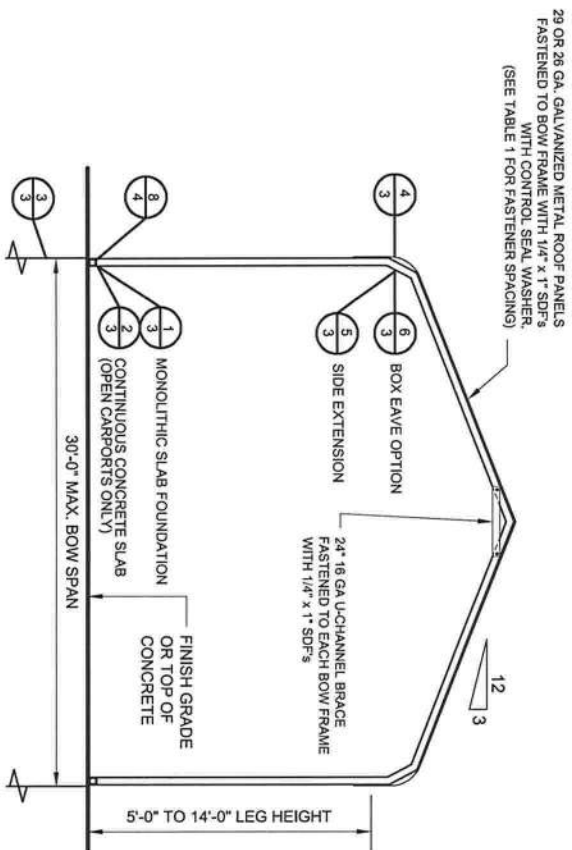


BECHTOL ENGINEERING  
AND TESTING, Inc.

CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS  
Certificate of Authorization No. 00004502

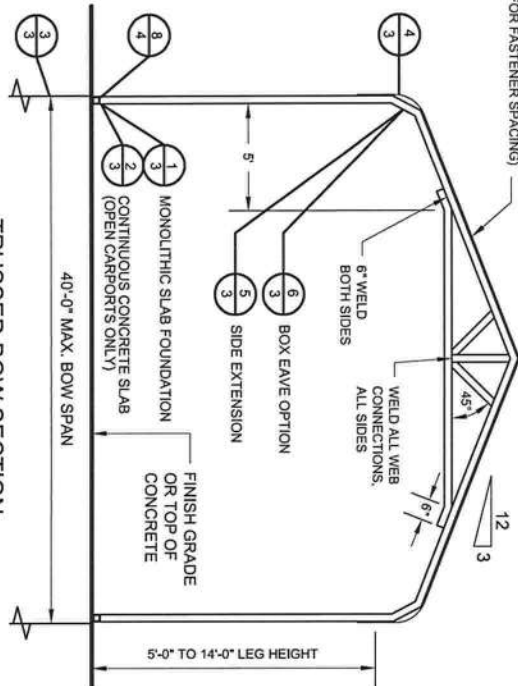
FIELD	DATE
SCALE	4-26-10
CHECKED	NTS
APPROVED	PROJ. NO. 06175
TB	SHEET 1 OF 4





**TYPICAL BOW SECTION**  
Not To Scale

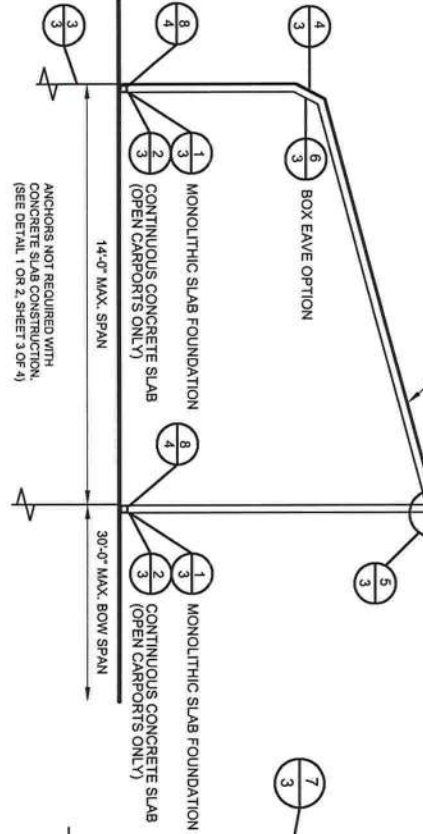
29 OR 26 GA. GALVANIZED METAL ROOF PANELS  
FASTENED TO BOW FRAME WITH 1/4\"/>



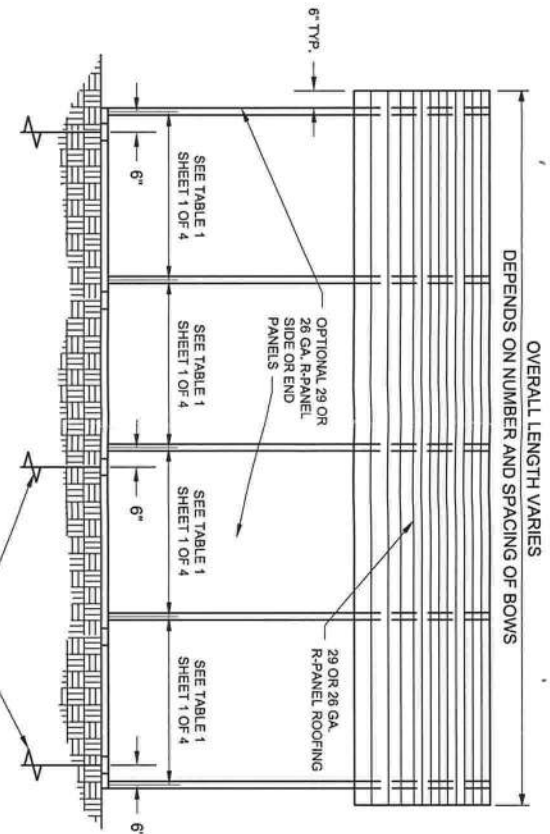
**TRUSSED BOW SECTION**  
Not To Scale

ANCHORS NOT REQUIRED WITH  
CONCRETE SLAB CONSTRUCTION.  
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

29 OR 26 GA. GALVANIZED METAL ROOF PANELS  
FASTENED TO BOW FRAME WITH 1/4\"/>



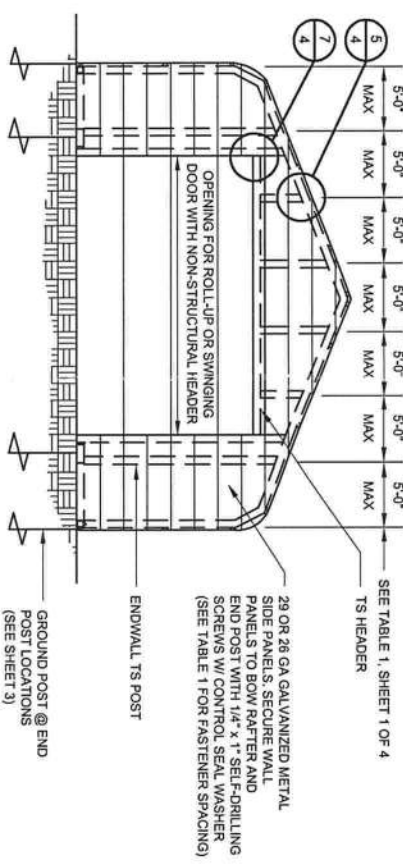
**TYPICAL SIDE EXTENSION SECTION**  
Not To Scale



**SIDE ELEVATION**  
Not To Scale

ANCHORS NOT REQUIRED WITH  
CONCRETE SLAB CONSTRUCTION.  
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

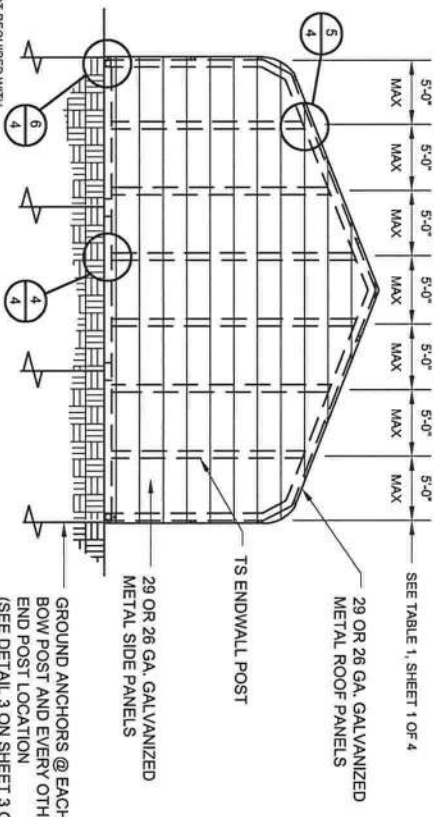
GROUND ANCHORS @ EACH END  
BOW POST AND EVERY OTHER  
INTERIOR BOW POST LOCATION  
(SEE DETAIL 3, SHEET 3 OF 4)



**END WALL OPENING**  
Not To Scale

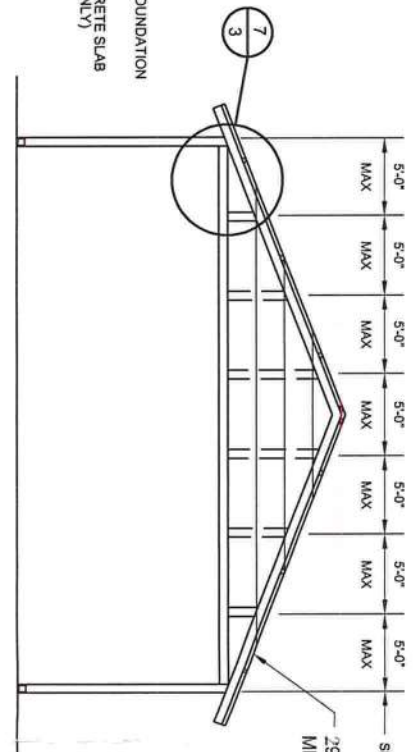
ANCHORS NOT REQUIRED WITH  
CONCRETE SLAB CONSTRUCTION.  
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

ANCHORS NOT REQUIRED WITH  
CONCRETE SLAB CONSTRUCTION.  
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)

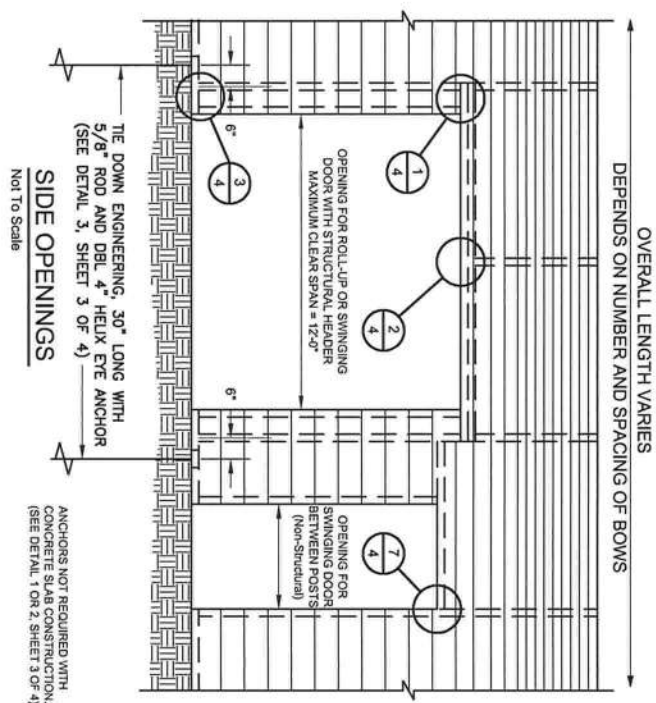


**END WALL SECTION**  
Not To Scale

NOTE:  
14 GA FRAMING IS 2-1/2\"/>

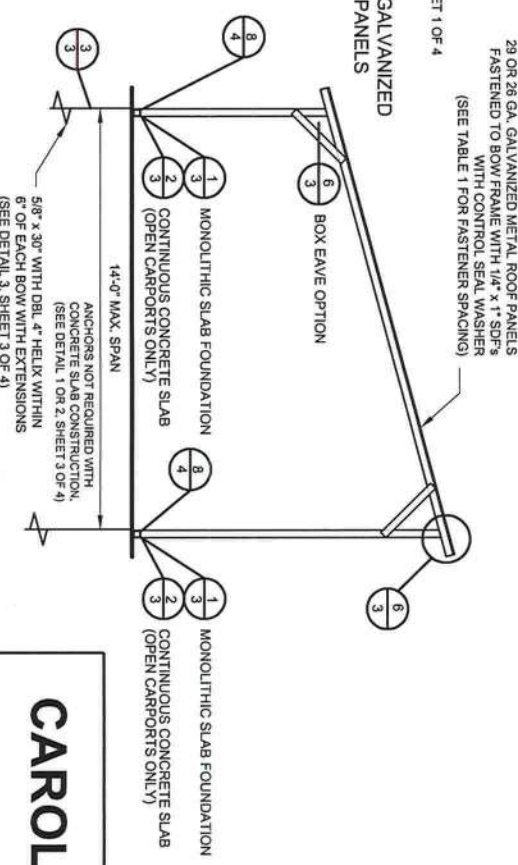


**GABLED OPEN END WALL SECTION**  
Not To Scale



**SIDE OPENINGS**  
Not To Scale

ANCHORS NOT REQUIRED WITH  
CONCRETE SLAB CONSTRUCTION.  
(SEE DETAIL 1 OR 2, SHEET 3 OF 4)



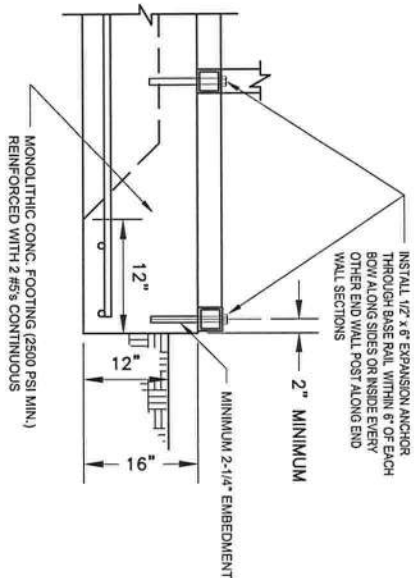
**TYPICAL FREESTANDING LEAN-TO**  
Not To Scale



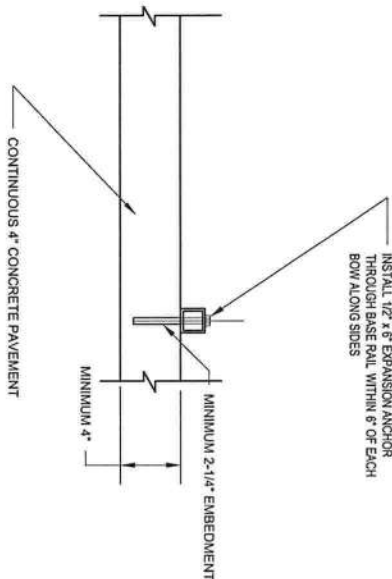
**CAROLINA CARPORTS, INC.**

		DATE: 4-26-10	
DESIGN: RR	CHECKED: TB	SCALE: NTS	PLOT NO.: 06175
APPROVED: TB	SHEET 2 OF 4		

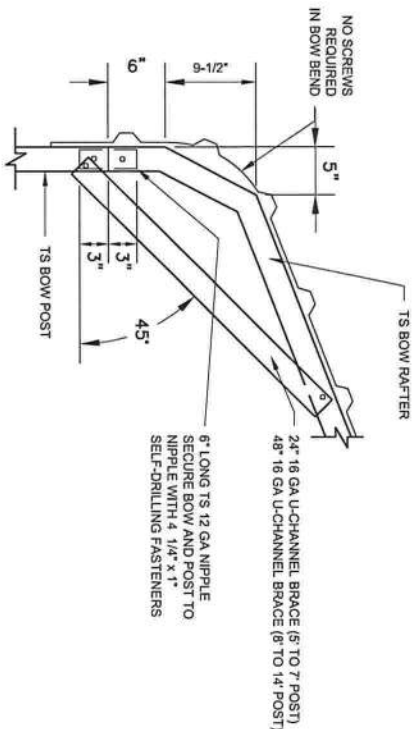




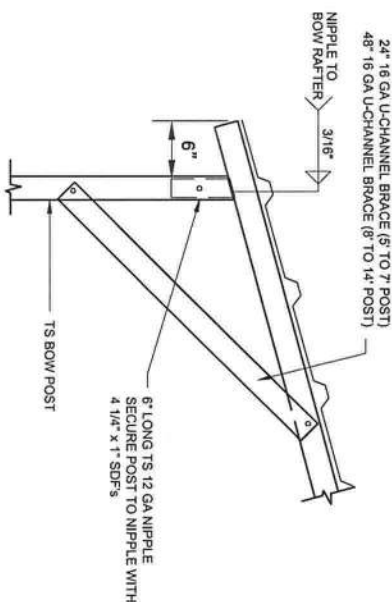
1  
Not To Scale  
**CONCRETE BASE RAIL ANCHORAGE**  
(OPTIONAL)



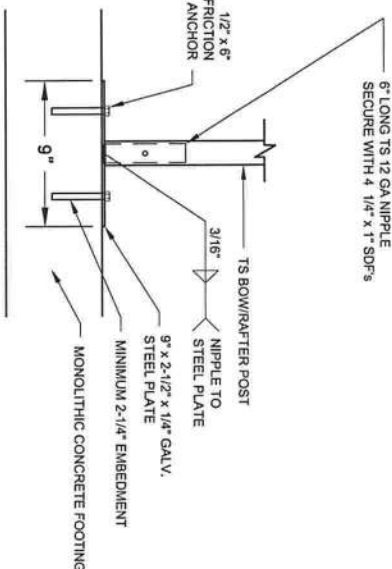
2  
Not To Scale  
**CONCRETE BASE RAIL ANCHORAGE**  
(OPTIONAL - OPEN CARPORTS ONLY)



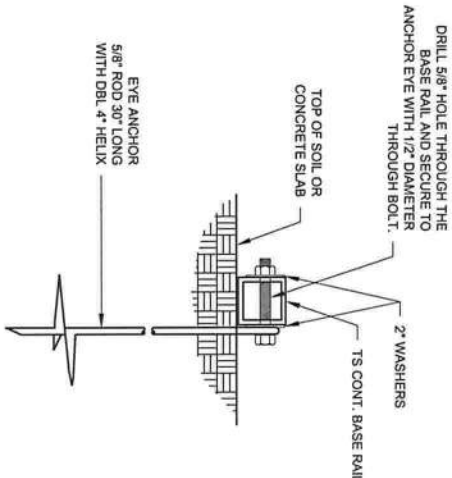
4  
Not To Scale  
**BOW/CORNER POST DETAIL**



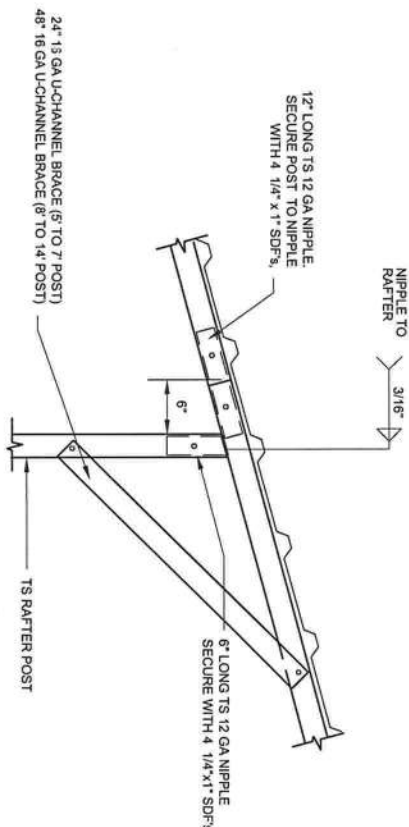
6  
Not To Scale  
**BOX EAVE RAFTER/  
CORNER POST DETAIL**



3  
Not To Scale  
**BASE RAIL ANCHORAGE**



5  
Not To Scale  
**SIDE EXTENSION RAFTER/  
CORNER POST DETAIL**



7  
Not To Scale  
**GABLE RAIL TO RAFTER/POST  
CONNECTION DETAIL**

NOTE:  
14 GA FRAMING IS 2-1/2\"/>

CONCRETE:  
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

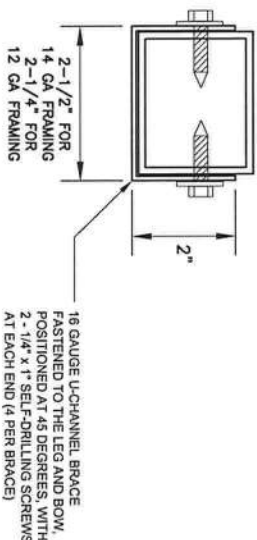
COVER OVER REINFORCING STEEL  
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE: 3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER AND 1 1/2 INCHES ELSEWHERE. REINFORCING BARS EMBEDDED IN GROUTED CELLS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 1/4 INCH FOR FINE GROUT OR 1/2 INCH FOR COARSE GROUT BETWEEN REINFORCING BARS AND ANY FACE OF A CELL. REINFORCING BARS USED IN MASONRY WALLS SHALL HAVE A MASONRY COVER (INCLUDING GROUT) OF NOT LESS THAN 2 INCHES FOR MASONRY UNITS WITH FACE EXPOSED TO EARTH OR WEATHER 1 1/2 INCHES FOR MASONRY UNITS NOT EXPOSED TO EARTH OR WEATHER.

REINFORCING STEEL:  
THE REINFORCING STEEL SHALL BE MINIMUM GRADE 40.

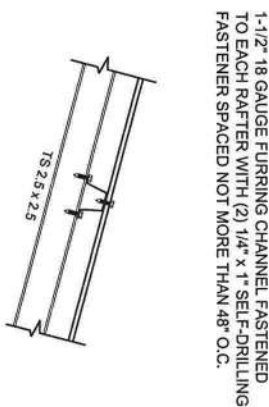
GALVANIZATION:  
METAL ACCESSORIES FOR USE IN EXTERIOR WALL CONSTRUCTION AND NOT DIRECTLY EXPOSED TO THE WEATHER SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS B-2. METAL PLATE CONNECTORS, SCREWS, BOLTS AND NAILS EXPOSED DIRECTLY TO THE WEATHER SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZED.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:  
1. ALL REINFORCEMENT IS BENT COLD.  
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS AND  
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

EXCEPTION: WHERE BENDING IS NECESSARY TO ALIGN DOWEL BARS WITH A VERTICAL CELL, BARS PARTIALLY EMBEDDED IN CONCRETE SHALL BE PERMITTED TO BE BENT AT A SLOPE OF NOT MORE THAN 1 INCH OF HORIZONTAL DISPLACEMENT TO 6 INCHES OF VERTICAL BAR LENGTH.




**BRACE SECTION**  
Not To Scale



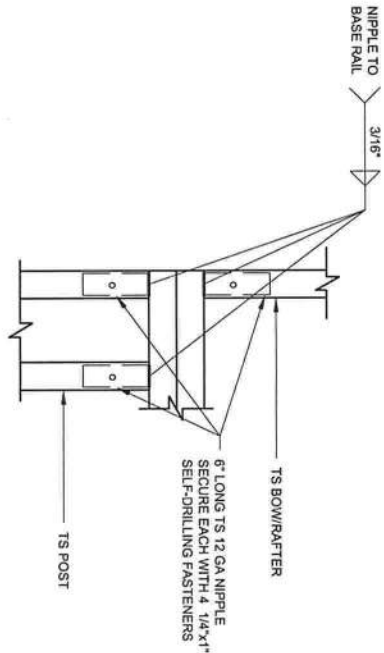
**ROOF PANEL ATTACHMENT**  
(ALTERNATE FOR VERTICAL ROOF PANELS)  
Not To Scale



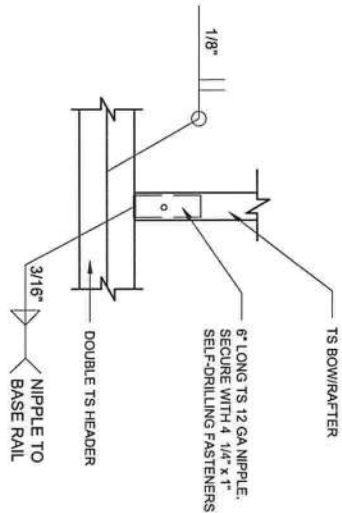
**CAROLINA CARPORTS, INC.**

	FIELD		DATE	
	DRAWN	RR	SCALE	4-26-10
CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS	CHECKED	TB	PROJECT NO.	06175
	APPROVED	TB	SHEET 3 OF 4	

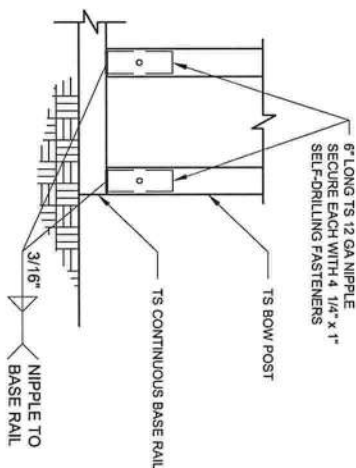




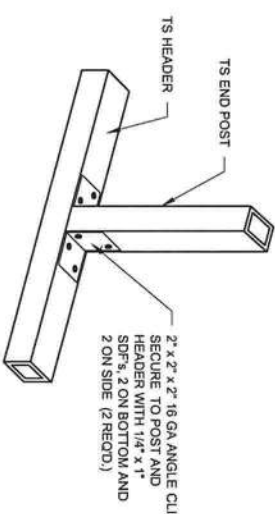
1 BOW (OR RAFTER)/POST DETAIL  
Not To Scale



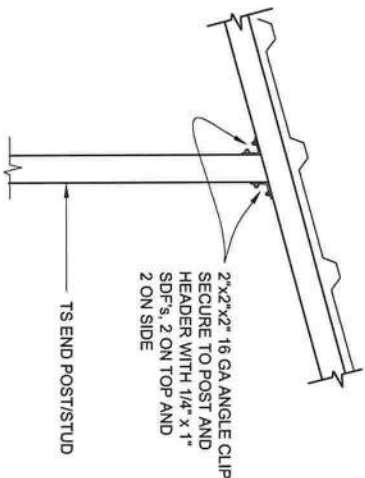
2 BOW (OR RAFTER)/HEADER DETAIL  
Not To Scale



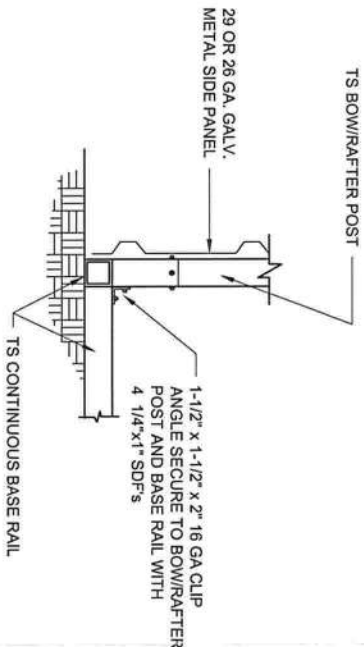
3 POST/BASE RAIL CONN. DETAIL  
Not To Scale



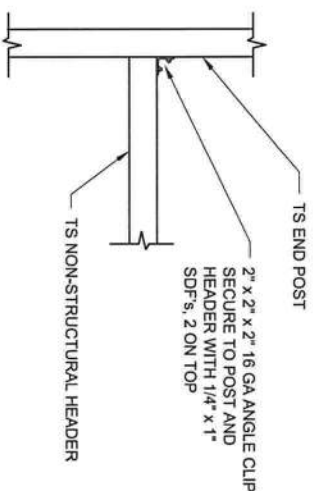
4 END POST TO HEADER/RAIL CONN.  
Not To Scale



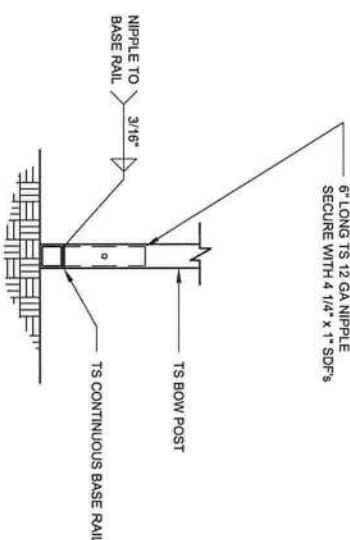
5 END POST/BOW (OR RAFTER)  
CONNECTION DETAIL  
Not To Scale



6 END BOW (OR RAFTER)/BASE  
RAIL CONNECTION  
Not To Scale

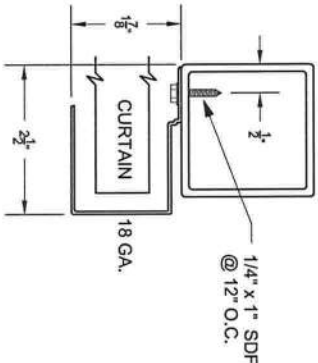


7 HEADER TO POST CONN. DETAIL  
Not To Scale

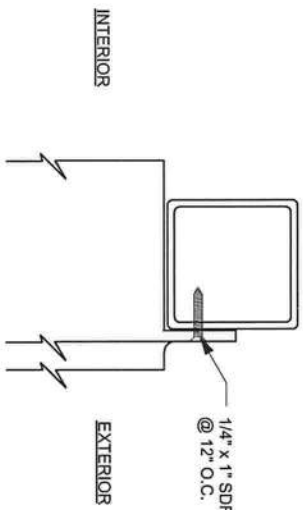
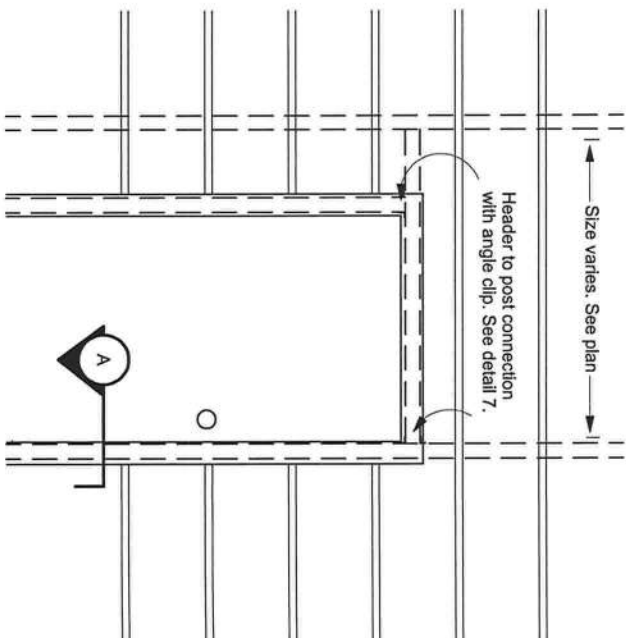


8 POST/BASE RAIL CONN. DETAIL  
Not To Scale

NOTE:  
14 GA FRAMING IS 2-1/2" x 2-1/2" TUBE STEEL.  
12 GA FRAMING IS 2-1/4" x 2-1/4" TUBE STEEL.  
NIPPLES ARE 2-1/4" x 2-1/4" 12 GA T.S. FOR 14 GA FRAMING.  
NIPPLES ARE 2" x 2" 12 GA T.S. FOR 12 GA FRAMING.



SECTION THROUGH ROLL UP  
DOOR HEADER  
Not To Scale



A SECTION  
Not To Scale

CAROLINA CARPORTS, INC.



<b>BECHTOL ENGINEERING</b>		<b>BECHTOL ENGINEERING AND TESTING, INC.</b>	
CONSULTING GEOTECHNICAL, ENVIRONMENTAL, AND MATERIALS TESTING ENGINEERS		Certificate of Authorization No. 5492	
FIELD	DATE	SCALE	4-26-10
DRAWN	RR	SCALE	NTS
CHECKED	TB	PROJ. NO.	06175
APPROVED	TB	SHEET 4 OF 4	

**COLUMBIA COUNTY**  
**FLORIDA**

# COMPLETION

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 19-7S-17-10024-056

Building permit No. 000028875

Permit Holder SAME AS APPLICANT

Owner of Building RAY & DARLENE FINDLEY

Location: 194 SW OTTER LANE, FT. WHITE, FL

Date: 09/30/2010

*Ray Lee*

Building Inspector



**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*



**Columbia County Building Permit Application**

*C/C #667*

<b>For Office Use Only</b>		Application # <u>1009-33</u>	Date Received <u>9/16/10</u>	By <u>[Signature]</u>	Permit # <u>28875</u>
Zoning Official <u>BLK</u>	Date <u>21.07.10</u>	Flood Zone <u>X</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>T.C.</u>	Date <u>9-21-10</u>
Comments _____					
<input checked="" type="checkbox"/> NUC <input checked="" type="checkbox"/> EH <input checked="" type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter					
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____					
School _____ = TOTAL <u>N/A Accessory Use</u>					

Septic Permit No. X10-303 inbox Darlene Fax \_\_\_\_\_

Name Authorized Person Signing Permit Raymond Findley Phone (386) 454-4626

Address 194 S.W. OTTER Ln Ft White FL 32038

Owners Name Raymon Findley Phone (386) 454-4626

911 Address 194 S.W. OTTER Ln Ft White FL 32038

Contractors Name N/A Phone \_\_\_\_\_

Address \_\_\_\_\_

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Bechtel Engineering & Testing  
605 W. New York Ave Deland FL 32720

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 19-7S-17-10624-056-HX Estimated Cost of Construction \$8140.00

Subdivision Name Sassafras Acres Lot 58 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions 475, TL US27, TR CR138, TR Bobcat, TL,  
OTter Lane, 3rd property on left -

Number of Existing Dwellings on Property \_\_\_\_\_

Construction of Detached Garage Total Acreage 13 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'3"

Actual Distance of Structure from Property Lines - Front 112' Side 55' Side 245' Rear 160'

Number of Stories \_\_\_\_\_ Heated Floor Area \_\_\_\_\_ Total Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

*Spoke to Darlene*  
*9/21/10*

## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

*Raymond Lindley*  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number NA  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 14 day of September 2010.

Personally known \_\_\_\_\_ or Produced Identification FL Drivers License

*Kristin M. Beckerink*  
State of Florida Notary Signature (For the Contractor)

SEAL:





# SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER \_\_\_\_\_ CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

<b>ELECTRICAL</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____
<b>ROOFING</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____
<b>SHEET METAL</b> ✓	Print Name <u>Michael R. Johnson</u>	Signature <u>Michael R Johnson</u>
	License #: <u>CBC1254822</u>	Phone #: <u>(229) 400-2034</u>
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____
<b>SOLAR</b>	Print Name <u>N/A</u>	Signature _____
	License #: _____	Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR	<u>CBC1254822</u>	<u>Michael R. Johnson</u>	<u>Michael R Johnson</u>

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



# WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This document prepared by and to be returned to:

Kyle E. Petteway  
Grunder & Petteway, P. A.  
23349 NW CR 236, Suite 10  
High Springs, Florida, 32643

Inst:2007001336 Date:01/18/2007 Time:11:42

Doc Stamp-Deed : 0.70

DC, P. DeWitt Cason, Columbia County B:1108 P:562

Tax Parcel Number: A part of R-10024-056

THIS INDENTURE made this 16<sup>th</sup> day of January, 2007,

BETWEEN Raymond E. Findley and Darlene Findley, husband and wife, whose post office address is PO Box 785, High Springs, FL 32655, herein called Grantor, and

Raymond E. Findley and Darlene Findley, husband and wife, whose post office address is PO Box 785, High Springs, FL 32655, Florida, herein called Grantee,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the county(ies) of Columbia state of Florida, to wit:

Lot 58 of Sassafras Acres, according to the Plat thereof as recorded in Plat Book 4, Page 8, of the Public Records of Columbia County, Florida.

AND SAID GRANTOR does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

Grantor and grantee are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Sumner S. Minshaw Raymond E. Findley  
Witness: Print Name Sumner S. Minshaw Raymond E. Findley

Kyle E. Petteway  
Witness: Print Name Kyle E. Petteway  
Sumner S. Minshaw Darlene Findley  
Witness: Print Name Sumner S. Minshaw Darlene Findley

Kyle E. Petteway  
Witness: Print Name Kyle E. Petteway

State of Florida  
County of Alachua

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of January, 2007 by Raymond E. Findley and Darlene Findley who

- ( ) are personally known to me  
(☒) who have produced a valid Florida driver's license as identification  
( ) who produced \_\_\_\_\_ as identification

Kyle E. Petteway  
Notary Public at Large, State of Florida

(SEAL)  
8600



STATE OF FLORIDA, COUNTY OF COLUMBIA  
I HEREBY CERTIFY, that the above and foregoing  
is a true copy of the original filed in this office.  
P. DeWITT CASON, CLERK OF COURTS

By [Signature] Deputy Clerk  
Date 1/18/07





(DIRTY PUBLIC)

owners phone 386 454-4626

N.88°27'02"E. 326.79' (FIELD)  
N.88°24'46"E. 326.31' (PLAT)

P.R.M. 38

L.L. LEE  
P.L.S. 1950

L.L. LEE  
P.L.S. 1950

Parcel: Raymond + Darlene Findley  
19-75-17-10024-056 HX

enclosed car port  
crushed gravel style floor

DIRT  
DRIVE

LOT 58

ONE STORY  
HARDY BOARD  
RESIDENCE

SEPTIC  
TANK

L.L. LEE  
P.L.S. 1950

326.45' (PLAT)  
327.40' (FIELD)

53.47' (FIELD)

S.01°44'58"E. 300.35' (FIELD)  
300.46' (PLAT)

S.01°45'31"E. 300.62' (PLAT)  
300.65' (FIELD)

S.01°51'57"E. 300.65' (FIELD)

245.61

69' 10"

14.6'

12.2'

4.3'

19'

24.3'

87.16'

61.08'

326.45' (PLAT)  
327.40' (FIELD)

53.47' (FIELD)



# Columbia County Property Appraiser

DB Last Updated: 8/5/2010

2009 Tax Roll Year

Tax Collector    Tax Estimator    Property Card  
 Parcel List Generator  
[Interactive GIS Map](#)    Print

Parcel: 19-7S-17-10024-056

&lt;&lt; Next Lower Parcel    Next Higher Parcel &gt;&gt;

&lt;&lt; Prev    Search Result: 2 of 3    Next &gt;&gt;

## Owner & Property Info

Owner's Name	FINDLEY RAYMOND E & DARLENE		
Mailing Address	P O BOX 785 HIGH SPRINGS, FL 32655-0785		
Site Address	194 SW OTTER LN		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	19717
Land Area	2.240 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 58 SASSAFRAS ACRES S/D. ORB 388-654, 394-248, 394-246, 739-688, 743-412, 745-2335, WD 1108-560 THRU 562.			



## Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$16,853.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$145,389.00
XFOB Value	cnt: (1)	\$2,300.00
Total Appraised Value		\$164,542.00
Just Value		\$164,542.00
Class Value		\$0.00
Assessed Value		\$164,542.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value	Cnty: \$114,542 Other: \$114,542   Schl: \$139,542	

## 2010 Working Values

**NOTE:**  
 2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
NONE						

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
2	SINGLE FAM (000100)	2007	(32)	2836	3321	\$140,922.00
Note: All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0180	FPLC 1STRY	2007	\$2,000.00	0000001.000	0 x 0 x 0	(000.00)

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	2.24 AC	1.00/1.00/1.00/0.80	\$6,771.43	\$15,168.00





## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.



I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

---

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.



Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

#### TYPE OF CONSTRUCTION

- ( ) Single Family Dwelling    ( ) Two-Family Residence    ( ) Farm Outbuilding  
( ) Addition, Alteration, Modification or other Improvement  
( ) Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
( ) Other 26x26 Accessory Structure

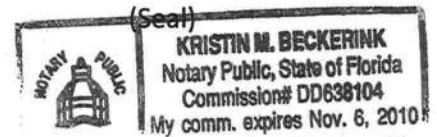
I Raymond Findley, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Raymond Findley \_\_\_\_\_ Date sept 14-2010  
Owner/Builder Signature

#### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FL DL

Notary Signature Kristin M. Beckerink Date 9/14/2010

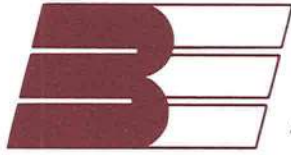


#### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative \_\_\_\_\_





**BECHTOL ENGINEERING  
AND TESTING, inc.**

June 26, 2008

TO: Columbia County Building & Zoning Division  
P.O. Box 1529  
Lake City, Florida 32056-1529

RE: Response to Building Division Concerns  
Carolina Carport Structure  
194 SW Otter Lane  
Fort White, Florida

It has come to my attention that there is some concern regarding the basic wind speed noted in Table 1, page 1 of 4 of the Metal Carport Installation Plans and Framing and Fastener Specifications submitted for permitting of the proposed Carolina Carport structure at the above referenced property. The maximum post and fastener spacings noted in row 1, noted as basic wind speed 100 to 130, are applicable for wind speeds of 130 mph or less. The basic wind speed for the western portion of Columbia County is 110 mph. The maximum post and fastener spacings noted in row 1 of Table 1 therefore are applicable for this permit application.

Respectfully,

Bechtol Engineering and Testing, Inc.  
Certificate of Authorization No. 00005492

Thomas Bechtol, P.E.  
President \*  
Florida License No. 38538  
TB/tb  
Columbia County RA response.wpd



Inst: 201012014928 Date: 9/16/2010 Time: 2:18 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1201 P: 1109

# NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 19-7S-17-10024-056 HX

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**

1. Description of property (legal description):

a) Street (job) Address: 194 S.W. OTTER Ln. Ft White FL 32038

2. General description of improvements:

3. Owner Information

a) Name and address: Raymond Findley 194 SW OTTER Ln Ft white FL 32038  
b) Name and address of fee simple titleholder (if other than owner) N/A  
c) Interest in property owner

4. Contractor Information

a) Name and address: Michael R Johnson 2465 Colquitt Ave Colquitt GA 39837  
b) Telephone No.: (229) 246-0449 Fax No. (Opt.) (229) 243-0837

5. Surety Information

a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

6. Lender

a) Name and address: N/A  
b) Phone No. \_\_\_\_\_

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

a) Name and address: N/A Fax No. (Opt.) \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name and address: N/A Fax No. (Opt.) \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Raymond Findley  
Signature of Owner or Owner's Authorized Officer/Partner/Manager  
Raymond Findley  
Print Name

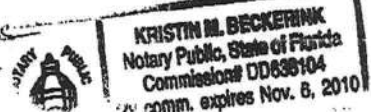
The foregoing instrument was acknowledged before me, a Florida Notary, this 14 day of September, 2010, by:

Raymond Findley as owner (type of authority, e.g. officer, trustee, attorney

fact) for Raymond Findley (name of party on behalf of whom instrument was executed)

Personally Known \_\_\_\_\_ OR Produced Identification X Type FL Drivers license

Notary Signature Kristin Beckerink Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Raymond Findley  
Signature of Natural Person Signing (in line #10 above)