



487.66

Columbia County New Building Permit Application

10/0
1009

For Office Use Only Application # 1908-39 Date Received 8/13/19 By MG Permit # 1009/38554

Zoning Official 12.14 Date 8-22-19 Flood Zone X Land Use AG Zoning A-3

FEMA Map # N/A Elevation N/A MFE 1' Above River N/A Plans Examiner TL Date 8-22-19

Comments Floor 1' Above Rd. Front 30' Sides 25' Rear 25'

☒ NOC ☒ DEH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 19-0545 OR City Water ☐

Fax

Applicant (Who will sign/pickup the permit) Jonathan Deans Phone 386-984-8791Address 7151 290th St Brantford, FL 32008Owners Name Gregory IsomPhone 386-397-3744911 Address 3715 Primrose Terr. Ft. White, FL 32038Contractors Name Jonathan DeansPhone 386-984-8791Address 7151 290th St Brantford, FL 32008Contractor Email garriss61@yahoo.com

***Include to get updates on this job.

Fee Simple Owner Name & Address

N/A

Bonding Co. Name & Address

N/A

Architect/Engineer Name & Address

Disoway Design Group 163 Sw midtown Pl Suite 103 Lake City, FL 32025

Mortgage Lenders Name & Address

None

Circle the correct power company



FL Power & Light



Clay Elec.



Suwannee Valley Elec.



Duke Energy

Property ID Number

07-65-17-09621-413

Estimated Construction Cost

80,000

Subdivision Name

Tustenuggoe woodsLot 13

Block

Unit

Phase

Driving Directions from a Major Road

From lake city - south on Tustenuggoe - Right on Sw Sassatras St - Left on Sw Primrose Ter - Building site on the left.

Construction of

Home

Commercial

OR

☒ Residential

Proposed Use/Occupancy

Single Family Dwelling

Number of Existing Dwellings on Property

0

Is the Building Fire Sprinkled?

NO

If Yes, blueprints included

Or Explain

Circle Proposed



Culvert Permit

or



Culvert Waiver

or



D.O.T. Permit

or



Have an Existing Drive

Actual Distance of Structure from Property Lines - Front

Side

Side

Rear

Number of Stories

1

Heated Floor Area

900

Total Floor Area

1265

Acreage

10

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)

8/27-Spoke w/ Deans, still need well letter MG - Two spoke w/ Jonathan 9.3.19

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Greg Isom
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

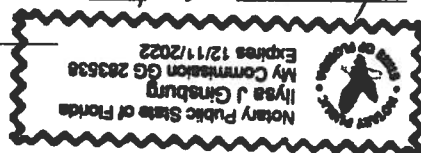
Contractor's License Number CRC1326575
Columbia County
Competency Card Number 2135 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 24 day of JULY 2019

Personally known ☒ or Produced Identification _____

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



Legend

Parcels

2018Aerials

Addresses

SRWMD Wetlands

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A

AE

AH

LidarElevations



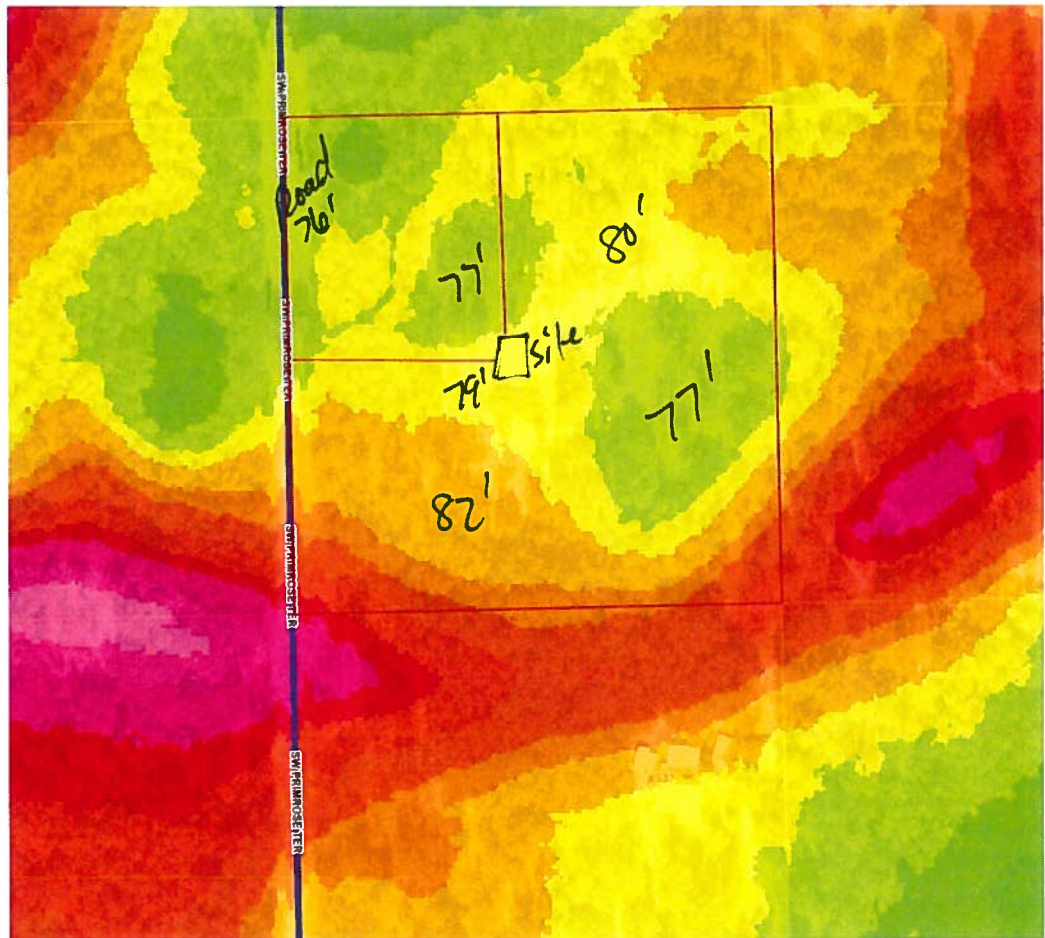
Roads

Roads

others

Columbia County, FLA - Building & Zoning Property Map

Printed: Mon Aug 26 2019 17:23:52 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 07-6S-17-09621-413

Owner: ISOM GREGORY L & CHRISTIE E

Subdivision: TUSTENUGGEE WOODS UNR

Lot:

Acres: 10.01315

Deed Acres: 10.03 Ac

District: District 2 Rocky Ford

Future Land Uses: Agriculture - 3

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Rocky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	7/23/2019 8:15:35 PM
Address:	371 SW PRIMROSE Ter
City:	FORT WHITE
State:	FL
Zip Code	32038
Parcel ID	09621-413

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed: / Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

PERMIT #: **12-SC-1975961**
APPLICATION #: **AP1424501**
DATE PAID: **7/18/19**
FEE PAID: **31800**
RECEIPT #:
DOCUMENT #: **PR1246143**

CONSTRUCTION PERMIT FOR: OSTDS New

APPLICANT: GREGORY**19-0545 ISOM

PROPERTY ADDRESS: 371 PRIMROSE Ter Fort White, FL 32038

LOT: _____ BLOCK: _____ SUBDIVISION: _____

PROPERTY ID #: 09621-413 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD Septic Tank CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [250] SQUARE FEET Drainfield SYSTEM
R [] SQUARE FEET N/A SYSTEM
A TYPE SYSTEM: [x] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [x] TRENCH [] BED []
N

F LOCATION OF BENCHMARK: 8" double oak South of site.

I ELEVATION OF PROPOSED SYSTEM SITE [24.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [52.00] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
L

D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [0.00] INCHES

The system is sized for 1 bedrooms with a maximum occupancy of 2 persons (2 per bedroom), for a total estimated flow of 200 gpd.

SPECIFICATIONS BY: Robert W Ford

TITLE: [Signature]

APPROVED BY: [Signature]
Dustin W Jones

TITLE: Environmental Specialist II

Columbia CHD

DATE ISSUED: 07/29/2019

EXPIRATION DATE: 01/29/2021

DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC

Page 1 of 3

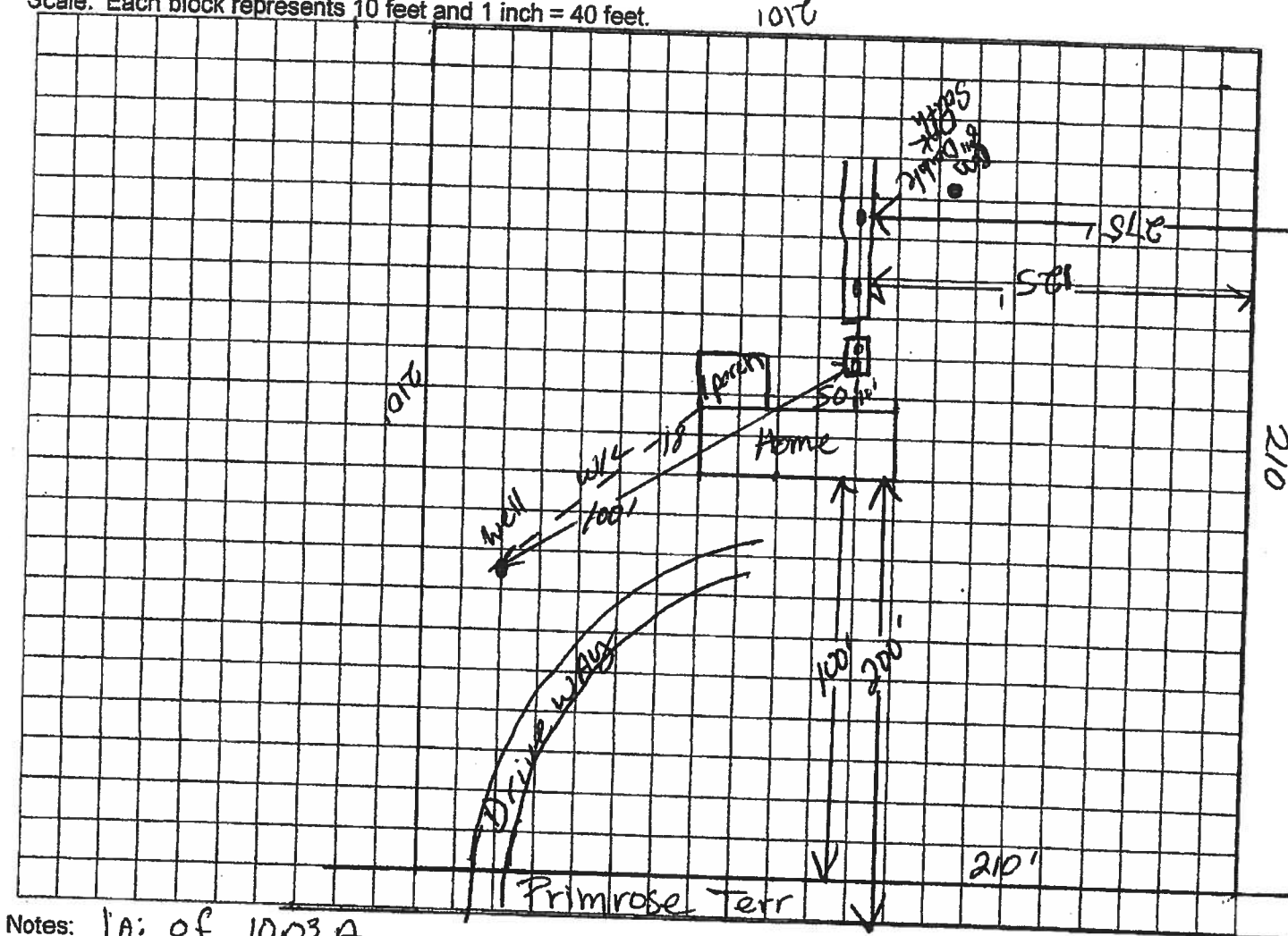
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STATE OF FLORIDA 19
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

PART II - SITEPLAN

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: 1A: of 10.03 A

Site Plan submitted by: Robert W. Ford, Jr. DATE 7/16/19

Plan Approved *D*

Not Approved

Date 7/29/19

By

Columbia CHD

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 6/25/2019

Parcel: << 07-6S-17-09621-413 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	ISOM GREGORY L & CHRISTIE E 23279 NW 200TH LANE HIGH SPRINGS, FL 32643		
Site	371 PRIMROSE TER, FORT WHITE		
Description*	COMM SW COR, RUN E 1257.24 FT, N 667.95 FT, E 17.07 FT, N 671.49 FT, E 1300.06 FT FOR POB, CONT E 650.03 FT, N 671.46 FT, W 650.03 FT, S 671.46 FT TO POB. (AKA LOT 13 TUSTENUGGEE WOODS S/D UNREC) ORB 925-1976, CT 1255-2358, QC 1286-322, WD 1288-1020, WD 13 ...more>>>		
Area	10.03 AC	S/T/R	07-6S-17E
Use Code**	VACANT (000000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$44,751	Mkt Land (1)	\$44,751
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$44,751	Just	\$44,751
Class	\$0	Class	\$0
Appraised	\$44,751	Appraised	\$44,751
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$44,751	Assessed	\$44,751
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$44,750 city:\$44,750 other:\$44,750 school:\$44,751	Total Taxable	county:\$44,751 city:\$44,751 other:\$44,751 school:\$44,751

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
6/29/2018	\$43,000	1363/1504	WD	V	Q	01
1/26/2015	\$39,500	1288/1020	WD	V	Q	01
12/4/2014	\$39,500	1286/0322	QC	V	U	11
5/15/2013	\$100	1255/2358	CT	V	U	18
4/2/2001	\$27,000	925/1976	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

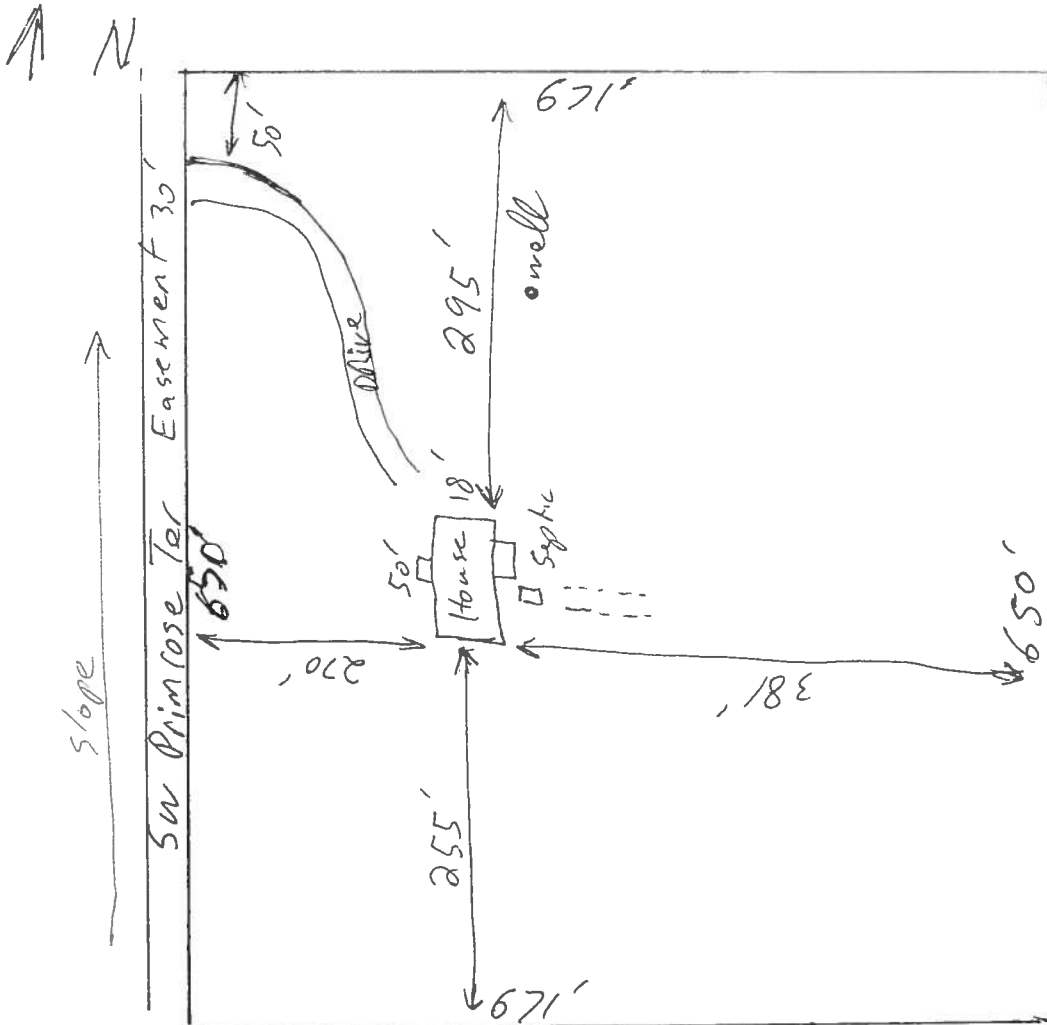
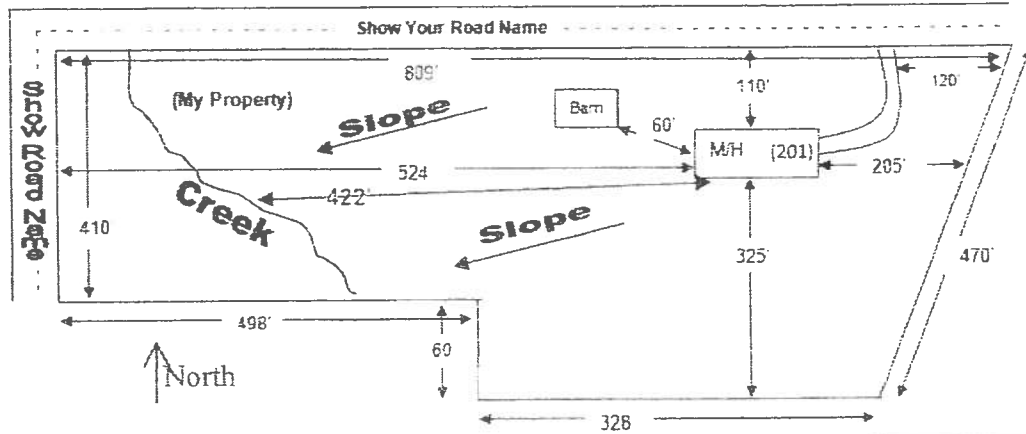
- ✓ 1) Property Dimensions
- ✓ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ✓ 3) Distance from structures to all property lines
- ✓ 4) Location and size of easements
- ✓ 5) Driveway path and distance at the entrance to the nearest property line
- NA 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ✓ 7) Show slopes and or drainage paths
- ✓ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____ JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

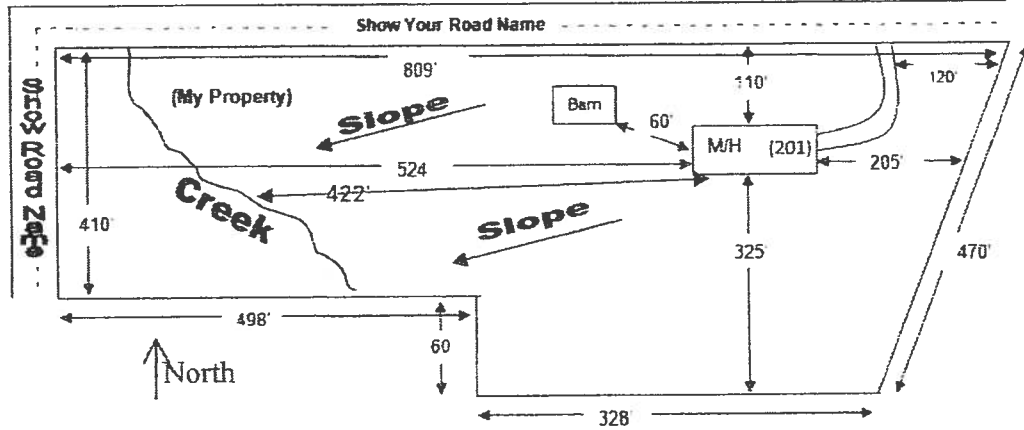
Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Marc Matthews</u> Signature <u>[Signature]</u> Company Name: <u>Matthews Electric LLC</u> License #: <u>EC13005459</u> Phone #: <u>386-344-2029</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>Anthony Franks</u> Signature <u>[Signature]</u> Company Name: <u>Franks & Lane Heating and Air, LLC</u> License #: <u>CAC 1818631</u> Phone #: <u>386-466-7514</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input checked="" type="checkbox"/>	Print Name <u>James L Butler</u> Signature <u>[Signature]</u> Company Name: <u>Butler Plumbing Inc</u> License #: <u>CFC 057960</u> Phone #: <u>352-472-3677</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

- ✓1) Property Dimensions
- ✓2) Footprint of proposed and existing structures (including decks), label these with existing addresses
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- ✓7) Show slopes and or drainage paths
- ✓8) Arrow showing North direction

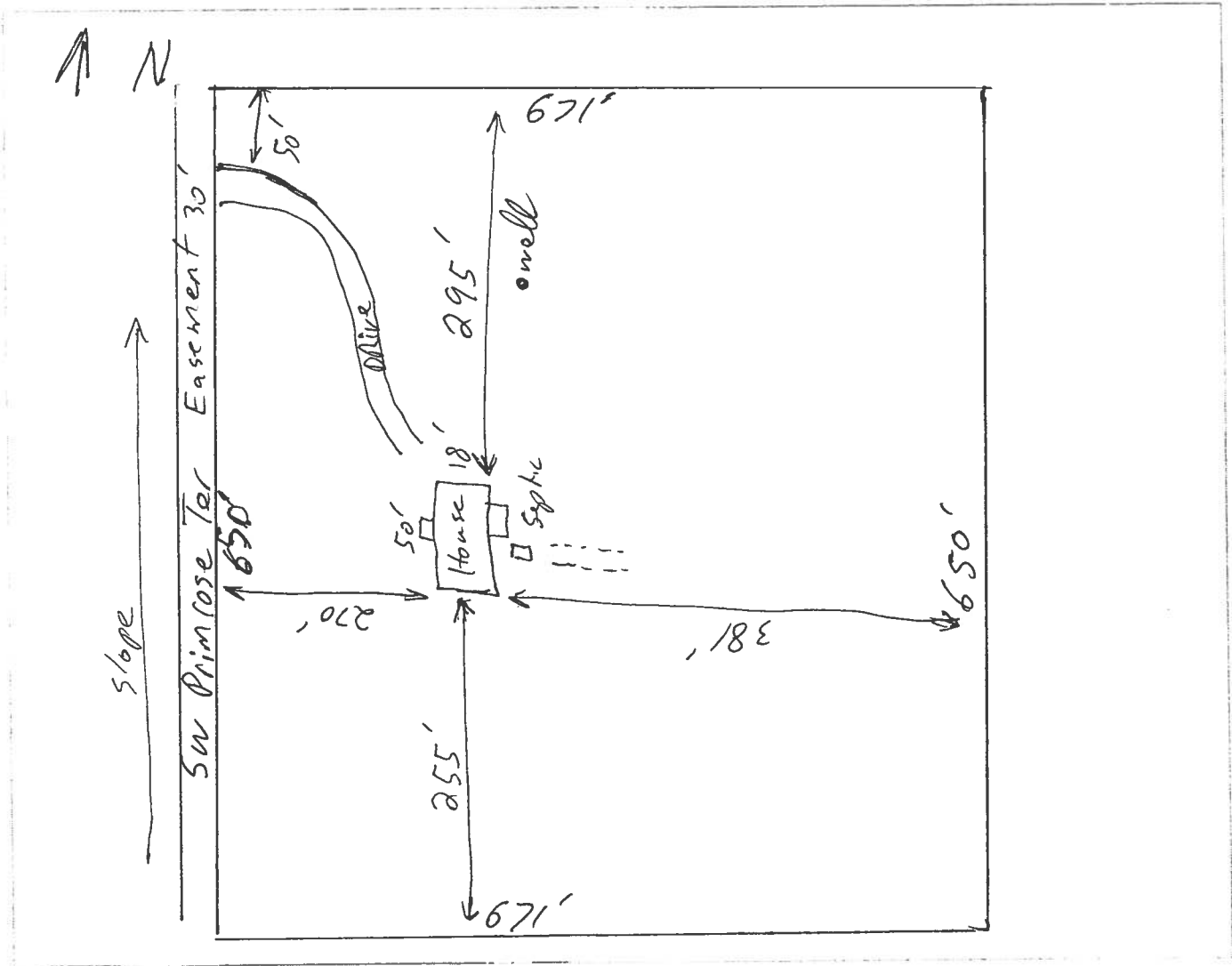
SITE PLAN EXAMPLE

Revised 7/1/15



NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



Jan 06 06 03:59p

Gar

ROBERT McMILLAN
(386) 454-PUMP (7867)
(386) 462-PUMP (7867)



p. 4.

NORTH FLORIDA
WATER SYSTEMS, INC.

PUMP SALES AND SERVICE
4" WELLS

11814 N.W. 202nd St., Alachua, Florida 32615

Private Well Affidavit

Customer:

Greg Isom

Address:

371 SW Primrose Terrace
Fort White FL 32038

Size of Pump Motor:

1 hp

Size of Pressure Tank:

60 gallon

Cycle Stop Valve:

Yes

Or

No

Other:

4" well, 1hp submersible pump, 60 gallon
equiv. tank with cycle stop valve, Florida code

X

Installer's Signature





COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2017 EFFECTIVE 1 JANUARY 2018
AND THE NATIONAL ELECTRICAL 2014 EFFECTIVE 1 JANUARY 2018

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT FLORIDA BUILDING CODES RESIDENTIAL AND THE NATIONAL ELECTRICAL CODE. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS, FBC 1609.3.1 THRU 1609.3.3.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES
Revised 7/1/18

Website: <http://www.columbiacountyfla.com/BuildingandZoning.asp>

Items to Include-
Each Box shall be
Circled as
Applicable

GENERAL REQUIREMENTS:

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Select From Drop down

1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) <u>900</u>	Total (Sq. Ft.) under roof <u>1265</u>	Yes	No NA

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL 107.1.

Site Plan information including:

4	Dimensions of lot or parcel of land	- <input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	- <input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	- <input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	- <input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	Yes	No	NA
		Select From Drop down		
9	Basic wind speed (3-second gust), miles per hour	- <input checked="" type="checkbox"/>		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	-		
11	Wind importance factor and nature of occupancy	-		
12	The applicable internal pressure coefficient, Components and Cladding	- <input checked="" type="checkbox"/>		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	- <input checked="" type="checkbox"/>		

Elevations Drawing including:

14	All side views of the structure	- <input checked="" type="checkbox"/>		
15	Roof pitch	- <input checked="" type="checkbox"/>		
16	Overhang dimensions and detail with attic ventilation	- <input checked="" type="checkbox"/>		
17	Location, size and height above roof of chimneys	-		
18	Location and size of skylights with Florida Product Approval	-		
19	Number of stories	- <input checked="" type="checkbox"/>		
20	Building height from the established grade to the roofs highest peak	- <input checked="" type="checkbox"/>		

Floor Plan Including:

21	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	- ✓		
22	Raised floor surfaces located more than 30 inches above the floor or grade	- ✓		
23	All exterior and interior shear walls indicated	- ✓		
24	Shear wall opening shown (Windows, Doors and Garage doors)	- ✓		
25	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	- ✓		
26	Safety glazing of glass where needed	-		
27	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	NA		
28	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	NA		
29	Identify accessibility of bathroom (see FBCR SECTION 320)	- ✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

FBCR 403: Foundation Plans

		Select From Drop down		
30	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	- ✓		
31	All posts and/or column footing including size and reinforcing	- ✓		
32	Any special support required by soil analysis such as piling.	-		
33	Assumed load-bearing value of soil _____ Pound Per Square Foot	-		
34	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	- ✓		

FBCR 506: CONCRETE SLAB ON GRADE

35	Show Vapor retarder (6mil. Polyethylene with joints taped 6 inches and sealed)	- ✓		
36	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	- ✓		

FBCR 318: PROTECTION AGAINST TERMITES

37	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	- ✓		
----	--	-----	--	--

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

38	Show all materials making up walls, wall height, and Block size, mortar type	- ✓		
39	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	-		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

40	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	-		
41	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	-		
42	Girder type, size and spacing to load bearing walls, stem wall and/or piers	-		
43	Attachment of joist to girder	-		
44	Wind load requirements where applicable	-		
45	Show required under-floor crawl space	-		
46	Show required amount of ventilation opening for under-floor spaces	-		
47	Show required covering of ventilation opening	-		
48	Show the required access opening to access to under-floor spaces	-		
49	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	-		
50	Show Draftstopping, Fire caulking and Fire blocking	-		
51	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	-		
52	Provide live and dead load rating of floor framing systems (psf).	-		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
Select from Drop down				
53	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	-	✓	
54	Fastener schedule for structural members per table FBC-R602.3.2 are to be shown	-	✓	
55	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	-	✓	
56	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	-	✓	
57	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBC-R602.7.	-	✓	
58	Indicate where pressure treated wood will be placed	-	✓	
59	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	-	✓	
60	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	-	✓	

FBCR :ROOF SYSTEMS:

61	Truss design drawing shall meet section FBC-R 802.10. 1 Wood trusses	-	✓	
62	Include a layout and truss details, signed and sealed by Florida Professional Engineer	-	✓	
63	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	-	✓	
64	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	-	✓	
65	Provide dead load rating of trusses	-	✓	

FBCR 802:Conventional Roof Framing Layout

66	Rafter and ridge beams sizes, span, species and spacing	-		
67	Connectors to wall assemblies' include assemblies' resistance to uplift rating	-		
68	Valley framing and support details	-		
69	Provide dead load rating of rafter system	-		

FBCR 803 ROOF SHEATHING

70	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	-	✓	
71	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	-	✓	

ROOF ASSEMBLIES FRC Chapter 9

72	Include all materials which will make up the roof assemblies covering	-	✓		
73	Submit Florida Product Approval numbers for each component of the roof assemblies covering	-	✓		

FBCR Chapter 11 Energy Efficiency Code for Residential Building

Residential construction shall comply with this code by using the following compliance methods in the FBCR Chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable			
---	--	--	--	--	--

Select from Drop Down

74	Show the insulation R value for the following areas of the structure	-			
75	Attic space	-	✓		
76	Exterior wall cavity	-	✓		
77	Crawl space	-			

HVAC information

78	Submit two copies of a Manual J sizing equipment or equivalent computation study	-	✓		
79	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	-	✓		
80	Show clothes dryer route and total run of exhaust duct	-	✓		

Plumbing Fixture layout shown

81	All fixtures waste water lines shall be shown on the foundation plan	-	✓		
82	Show the location of water heater	-	✓		

Private Potable Water

83	Pump motor horse power	-	✓		
84	Reservoir pressure tank gallon capacity	-	✓		
85	Rating of cycle stop valve if used	-			

1 HP
41 Gal

Electrical layout shown including

86	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	-	✓		
87	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	-	✓		
88	Show the location of smoke detectors & Carbon monoxide detectors	-	✓		
89	Show service panel, sub-panel, location(s) and total ampere ratings	-	✓		
90	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	-			
91	Appliances and HVAC equipment and disconnects	-	✓		
92	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter, Protection device.	-	✓		

Notice Of Commencement:

A notice of commencement form RECORDED in the Columbia County Clerk Office is required to be filed with the Building Department BEFORE ANY INSPECTIONS can be performed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
ITEMS 95, 96, & 98 Are Required After APPROVAL from the ZONING DEPT.				
<i>Select from Drop down</i>				
93	Building Permit Application A current Building Permit Application is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.	-	✓	
94	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. www.columbiacountyfla.com	-	✓	
95	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	-		
96	City of Lake City A City Water and/or Sewer letter. Call 386-752-2031	-		
97	Toilet facilities shall be provided for all construction sites	-	✓	
98	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	-	NA	
99	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations (Municode.com)	-	NA	
100	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.	-	NA	
101	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00	-		
102	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	-	NA	
103	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	-	✓	

Ordinance Sec. 90-75. - Construction debris. (e) It shall be unlawful for any person to dispose of or discard solid waste, including construction or demolition debris at any place within the county other than on an authorized disposal site or at the county's solid waste facilities. The temporary storage, not to exceed seven days of solid waste (excluding construction and demolition debris) on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance, shall not be deemed a violation of this section. The temporary storage of construction and demolition debris on the premises where generated or vegetative trash pending disposition as authorized by law or ordinance shall not be deemed in violation of this section; provided, however, such construction and demolition debris must be disposed of in accordance with this article prior to the county's issuance of a certificate of occupancy for the premises. The burning of lumber from a construction or demolition project or vegetative trash when done so with legal and proper permits from the authorized agencies and in accordance with such agencies' rules and regulations, shall not be deemed a violation of this section. No person shall bury, throw, place, or deposit, or cause to be buried, thrown, placed, or deposited, any solid waste, special waste, or debris of any kind into or on any of the public streets, road right-of-way, highways, bridges, alleys, lanes, thoroughfares, waters, canals, or vacant lots or lands within the county. No person shall bury any vegetative trash on any of the public streets, road right-of-way, highways, bridges, lanes, thoroughfares, waters, canals, or lots less than ten acres in size within the county.

Disclosure Statement for Owner Builders:

If you as the Applicant will be acting as your own contractor or owner/builder under section 489.103(7) Florida Statutes, you must submit the required notarized Owner Builder Disclosure Statement form.

****This form can be printed from the Columbia County Website on the Building and Zoning page under Documents. Web address is - <http://www.columbiacountyfla.com/BuildingandZoning.asp>**

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	<i>Plastpro</i>	<i>Frt Door</i>	<i>FI-15213.14</i>
B. SLIDING	<i>PGT</i>	<i>Sliding Porch Door</i>	<i>FI251-R3</i>
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	<i>YKK</i>	<i>Vingl window</i>	<i>FI8114-R4</i>
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED	<i>YKK</i>	<i>Vingl window</i>	<i>FI8197-R1</i>
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING	<i>Hardie</i>	<i>Lap Siding</i>	<i>FI13192-R5</i>
B. SOFFITS	<i>Key Com</i>	<i>Soffit</i>	<i>FI16503-R3</i>
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL	<i>Gulf Coast</i>	<i>Metal Roofing</i>	<i>11651.26 R3</i>
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS	<i>Simpson</i>	<i>Face mount Hangers</i>	<i>FI10531</i>
B. WOOD ANCHORS	<i>FI10444 Simpson</i>	<i>Hold-down Connectors</i>	<i>FI10444</i>
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite: 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: _____



Lumber design values are in accordance with ANSI/TPI 1 section 6.3
These truss designs rely on lumber values established by others.

RE: 0619-032 -

MiTek USA, Inc.

6904 Parke East Blvd.
Tampa, FL 33610-4115

Site Information:

Customer Info: John Deans Project Name: . Model: .
Lot/Block: . Subdivision: .
Address: ., .
City: Columbia County State: FL

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

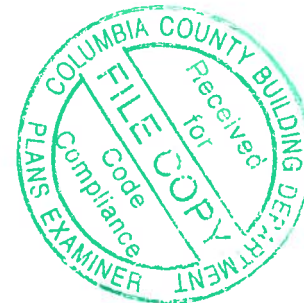
Name: License #:
Address:
City: State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2017/TPI2014 Design Program: MiTek 20/20 8.2
Wind Code: ASCE 7-10 Wind Speed: 130 mph
Roof Load: 40.0 psf Floor Load: N/A psf

This package includes 4 individual, Truss Design Drawings and 0 Additional Drawings.
With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Truss Name	Date
1	T17599292	A1	7/15/19
2	T17599293	A2	7/15/19
3	T17599294	B1	7/15/19
4	T17599295	B2GE	7/15/19

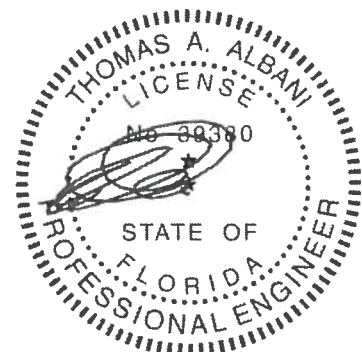


The truss drawing(s) referenced above have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Mayo Truss Company, Inc..

Truss Design Engineer's Name: Albani, Thomas

My license renewal date for the state of Florida is February 28, 2021.

IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek or TRENCO. Any project specific information included is for MiTek's or TRENCO's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek or TRENCO has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.

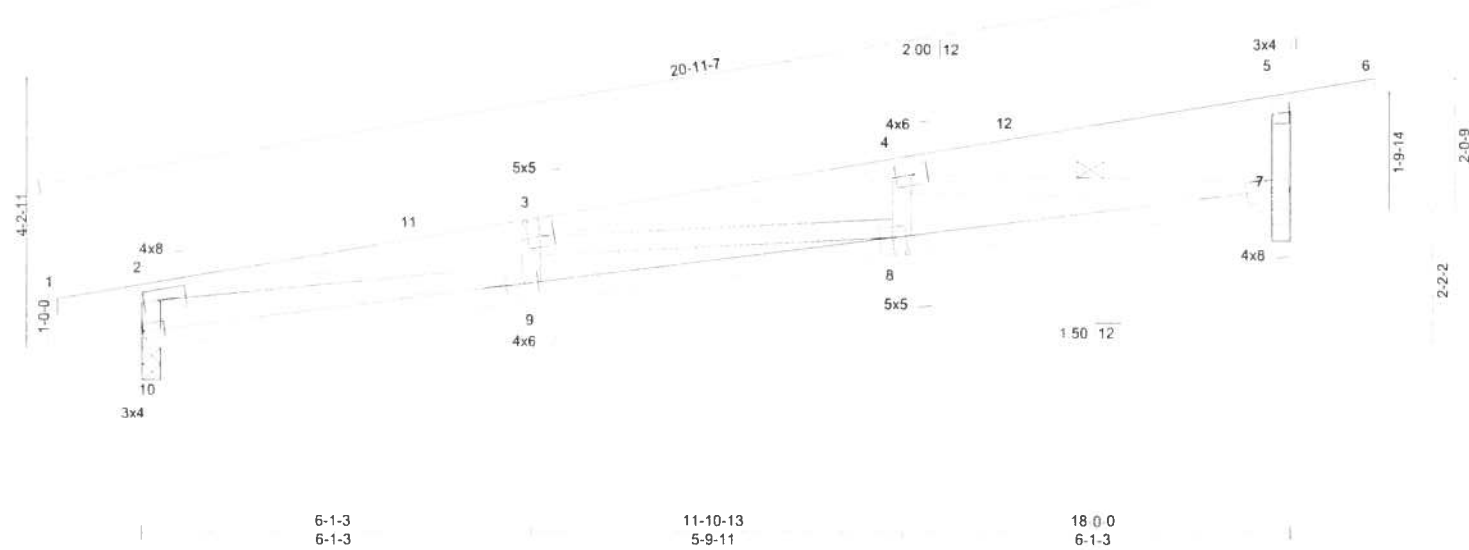


Thomas A. Albani PE No.39380
MiTek USA, Inc. FL Cert 6634
6904 Parke East Blvd. Tampa FL 33610
Date:

July 15, 2019

Job	Truss	Truss Type	Qty	Ply	
0619-032	A1	MONO SCISSOR	19	1	T17599292

Mayo Truss Company, Inc., Mayo, FL - 32066, 8 220 s Nov 16 2018 MiTek Industries, Inc. Mon Jul 15 12:13:11 2019 Page 1
 ID KBIV7UDhJ35ZQdEarAMMaJz5R6f-9R5PxH7BHAELk9Xr99xA2xb57dDz5axyPIZzBqyxq5M
 Job Reference (optional)
 -1-4-0 1-4-0 6-1-3 6-1-3 11-10-13 5-9-11 18-0-0 6-1-3 19-4-0 1-4-0
 Scale = 1.348



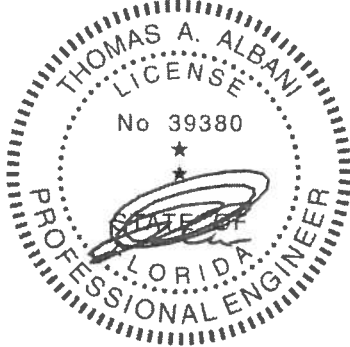
LOADING (psf)	SPACING-	CSL	DEFL.	PLATES	GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.51	in (loc) l/defl L/d	MT20	244/190
TCDL 10.0	Lumber DOL 1.25	BC 0.75	Vert(LL) -0.23 8-9 >912 240		
BCLL 0.0	Rep Stress Incr YES	WB 0.52	Vert(CT) -0.47 8-9 >448 180		
BCDL 10.0	Code FBC2017/TPI2014	Matrix-AS	Horz(CT) 0.05 7 n/a n/a	Weight: 89 lb	FT = 0%

LUMBER-	BRACING-
TOP CHORD 2x4 SP No.2	TOP CHORD Structural wood sheathing directly applied, except end verticals
BOT CHORD 2x4 SP No.2	BOT CHORD Rigid ceiling directly applied
WEBS 2x4 SP No.2	WEBS 1 Row at midpt 4-7
OTHERS 2x4 SP No.2	

REACTIONS. (lb/size) 10=797/0-3-8, 7=797/0-3-8
 Max Horz 10=109(LC 9)
 Max Uplift 10=40(LC 8), 7=59(LC 9)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3= 2819/639, 3-4= 2401/527, 5-7= 258/178, 2-10= 766/284
 BOT CHORD 9-10= 282/449, 8-9= 789/2793, 7-8= 629/2357
 WEBS 3-8= 421/163, 4-8= 0/300, 4-7= 2194/573, 2-9= 509/2303

- NOTES-**
- 1) Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph, TCDL=6.0psf; BCDL=6.0psf, h=15ft, B=45ft; L=24ft; eave=4ft, Cat. II; Exp B; Encl., GCpi=0.18; MWFRS (directional) and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 3) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - 4) Bearing at joint(s) 10, 7 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 10, 7.
 - 6) This truss design requires that a minimum of 7/16" structural wood sheathing be applied directly to the top chord and 1/2" gypsum sheetrock be applied directly to the bottom chord.



Thomas A. Albani PE No.39380
 MiTek USA, Inc. FL Cert 6634
 6904 Parke East Blvd. Tampa FL 33610
 Date:

July 15,2019

Job	Truss	Truss Type	Qty	Ply	
0619-032	A2	MONO SCISSOR	7	1	

T17599293

Mayo Truss Company, Inc., Mayo, FL - 32066,

8.220 s Nov 16 2018 MiTek Industries, Inc. Mon Jul 15 12 13 12 2019 Page 1

ID KBiV7UdhJ35ZQdEarAMMaJz5R6f-ddfn8c8p2TMCLJ61jsTPb87EK1Zrq1q5eyJWjHyxq5L

-7-4-0	-6-0-0	6-1-3	11-10-13	18-0-0	19-4-0
1-4-0	6-0-0	6-1-3	5-9-11	6-1-3	1-4-0

Scale = 1/4" = 1'-0"

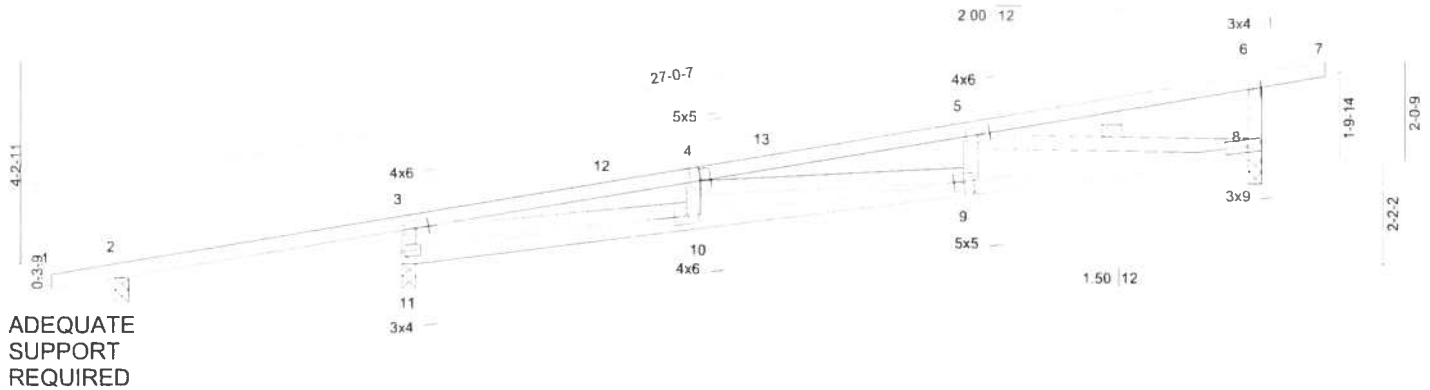
ADEQUATE
SUPPORT
REQUIRED

Plate Offsets (X,Y)--	4:0-2-8,0-3-0], [8:0-5-11,0-1-8], [9:0-2-8,0-3-0], [11:0-0-11,0-1-8]	6-1-3	11-10-13	18-0-0
LOADING (psf)	SPACING- 2-0-0	CSI.	DEFL. in (loc) l/defl L/d	PLATES GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.60	Vert(LL) -0.22 9-10 >952 240	MT20 244/190
TCDL 10.0	Lumber DOL 1.25	BC 0.71	Vert(CT) -0.46 9-10 >464 180	
BCLL 0.0	Rep Stress Incr YES	WB 0.54	Horz(CT) 0.05 8 n/a n/a	
BCDL 10.0	Code FBC2017/TPI2014	Matrix-AS		Weight: 98 lb FT = 0%

LUMBER-
 TOP CHORD 2x4 SP No.2
 BOT CHORD 2x4 SP No.2
 WEBS 2x4 SP No.2
 OTHERS 2x4 SP No.2

BRACING-
 TOP CHORD Structural wood sheathing directly applied, except end verticals
 BOT CHORD Rigid ceiling directly applied.
 WEBS 1 Row at midpt 5-8

REACTIONS. (lb/size) 11=948/0-3-8, 8=782/0-3-8, 2=224/0-3-8
 Max Horz 11=125(LC 9)
 Max Uplift 11=-28(LC 12), 8=-58(LC 9), 2=-83(LC 8)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 3-4=-2635/584, 4-5=-2323/510, 6-8=-257/178, 3-11=-884/307
 BOT CHORD 9-10=-722/2609, 8-9=-604/2287
 WEBS 4-9=-309/125, 5-9=0/289, 5-8=-2126/549, 3-10=-519/2400

NOTES-

- 1) Wind: ASCE 7-10, Vult=130mph (3-second gust) Vasd=101mph; TCDL=6.0psf; BCDL=6.0psf; h=15ft; B=45ft; L=24ft; eave=4ft; Cat. II, Exp B; Endl., GCpi=0.18; MWFRS (directional) and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 3) * This truss has been designed for a live load of 20.0 psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 4) Bearing at joint(s) 11, 8 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 11, 8, 2.
- 6) Beveled plate or shim required to provide full bearing surface with truss chord at joint(s) 2.
- 7) This truss design requires that a minimum of 7/16" structural wood sheathing be applied directly to the top chord and 1/2" gypsum sheetrock be applied directly to the bottom chord.



Thomas A. Albani PE No.39380
 MiTek USA, Inc. FL Cert 6634
 6904 Parke East Blvd. Tampa FL 33610
 Date:

July 15, 2019

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/3/2015 BEFORE USE
 Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see **ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information** available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.

MiTek

6904 Parke East Blvd
 Tampa, FL 33610

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
0619-032	B1	MONO SCISSOR	9	1	

T17599294

Mayo Truss Company, Inc., Mayo, FL - 32066

8.220 s Nov 16 2018 MiTek Industries, Inc. Mon Jul 15 12 13 13 2019 Page 1
ID KBIV7UDhJ35ZQdEarAMMaJz5R6f-5pD9My9SpnU3zThEHa_7MgQZRuwZW0Esc24Fjyxq5K

-1-4-0	6-10-7	10-9-3	14-8-0
1-4-0	6-10-7	3-10-13	3-10-13

Scale = 1.267

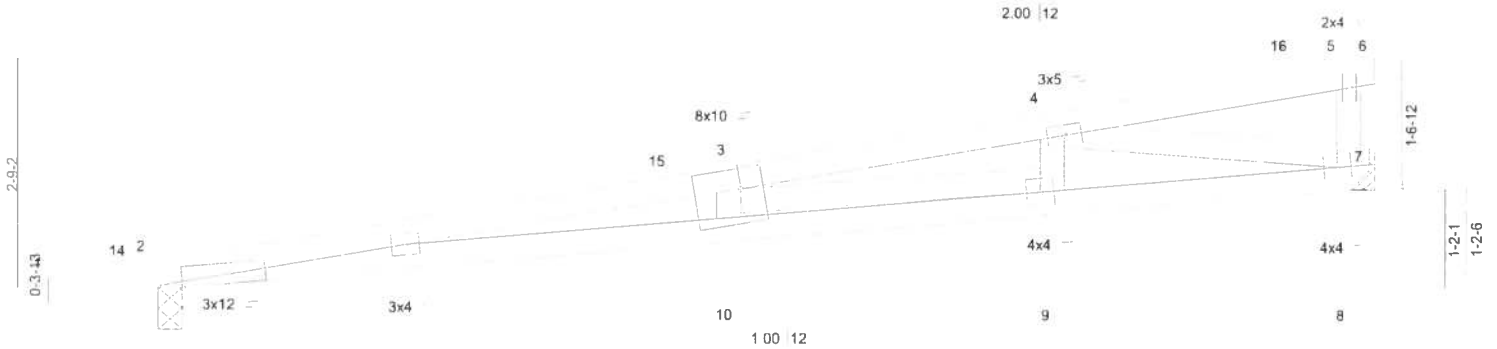


Plate Offsets (X,Y)--	2:0-3-8,Edge	3:0-3-4,0-3-0	10:0-1-12,0-0-2
-----------------------	--------------	---------------	-----------------

LOADING (psf)	SPACING-	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.57	Vert(LL)	-0.24 10-13	>707	240	MT20	244/190
TCDL 10.0	Lumber DOL 1.25	BC 0.78	Vert(CT)	-0.49 10-13	>349	180		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.42	Horz(CT)	0.05 8	n/a	n/a		
BCDL 10.0	Code FBC2017/TPI2014	Matrix-AS					Weight: 59 lb	FT = 0%

LUMBER-

TOP CHORD 2x4 SP No.2
 BOT CHORD 2x4 SP No.1
 WEBS 2x4 SP No.2

BRACING-

TOP CHORD Structural wood sheathing directly applied, except end verticals.
 BOT CHORD Rigid ceiling directly applied.

REACTIONS.

(lb/size) 2=658/0-3-8, 8=596/Mechanical
 Max Horz 2=80(LC 9)
 Max Uplift 2=-43(LC 8), 8=-22(LC 9)

FORCES.

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-3243/810, 3-4=-1682/434
 BOT CHORD 2-10=-895/3207, 9-10=-902/3182, 8-9=-473/1664
 WEBS 4-9=-19/336, 3-9=-1527/430, 4-8=-1577/433

NOTES-

- 1) Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=6.0psf; BCDL=6.0psf; h=15ft; B=45ft; L=24ft; eave=4ft; Cat. II, Exp B; Encl., GCp=0.18; MWFRS (directional) and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 2) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 3) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 4) Refer to girder(s) for truss to truss connections.
- 5) Bearing at joint(s) 2 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 8.
- 7) This truss design requires that a minimum of 7/16" structural wood sheathing be applied directly to the top chord and 1/2" gypsum sheetrock be applied directly to the bottom chord.



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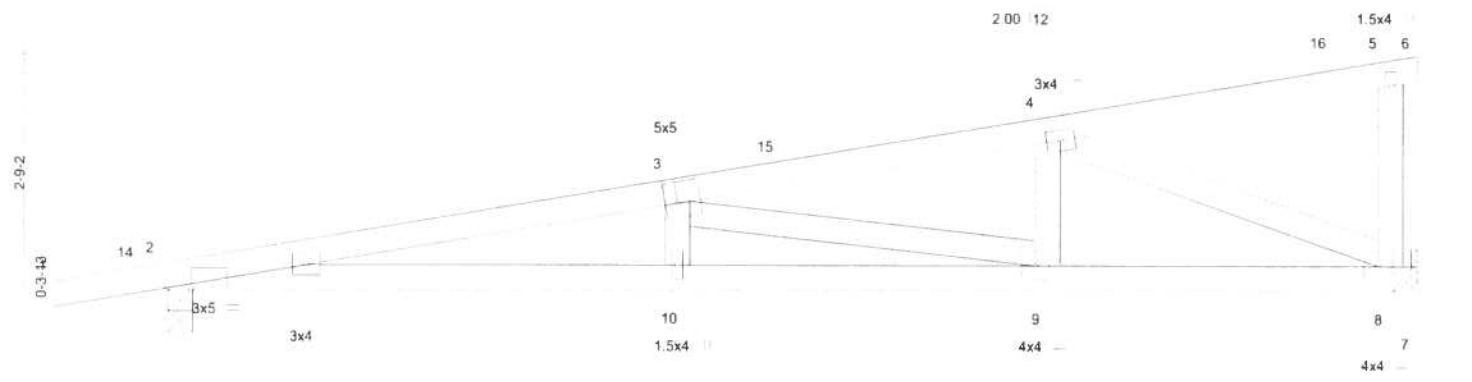
July 15,2019

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE

Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see **ANSI/TPI 1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information** available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd
 Tampa, FL 33610



		5-11-11		10-3-13		14-8-0	
		5-11-11		4-4-3		4-4-3	
Plate Offsets (X,Y)--		[2:0-3-4,Edge], [3.0-1-12,0-3-0]					
LOADING (psf)		SPACING-	2-0-0	CSI.		DEFL.	in (loc) l/defl L/d
TCLL 20.0		Plate Grip DOL	1.25	TC 0.37		Vert(LL)	-0.10 10-13 >999 240
TCDL 10.0		Lumber DOL	1.25	BC 0.66		Vert(CT)	-0.22 10-13 >798 180
BCLL 0.0 *		Rep Stress Incr	YES	WB 0.36		Horz(CT)	0.04 8 n/a n/a
BCDL 10.0		Code FBC2017/TPI2014		Matrix-AS			
						PLATES	GRIP
						MT20	244/190
						Weight 65 lb	FT = 0%

LUMBER-		BRACING-	
TOP CHORD	2x4 SP No.2	TOP CHORD	Structural wood sheathing directly applied, except end verticals.
BOT CHORD	2x4 SP No.2	BOT CHORD	Rigid ceiling directly applied.
WERS	2x4 SP No.2		

REACTIONS. (lb/size) 2=658/0-3-8, 8=596/Mechanical
Max Horz 2=94(LC 9)
Max Uplift 2=-43(LC 8), 8=-22(LC 9)

FORCES. (lb) - Max. Comp /Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-2068/507, 3-4=-1041/274
BOT CHORD 2-10=-583/2029, 9-10=-582/2031, 8-9=-303/1006
WEBS 4-9=-9/354, 3-9=-1053/286, 4-8=-1058/293

NOTES-

- 1) Wind: ASCE 7-10, Vult=130mph (3-second gust) Vasd=101mph; TC DL=6 0psf; BC DL=6 0psf; h=15ft, B=45ft, L=24ft, eave=4ft; Cat II, Exp B; Encl., GCp=0.18; MWFRS (directional) and C-C Exterior(2) zone, cantilever left and right exposed ; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown, Lumber DOL=1.60 plate grip DOL=1.60
- 2) Truss designed for wind loads in the plane of the truss only For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- 3) Gable studs spaced at 2-0-0 oc.
- 4) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 5) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 6) Refer to girder(s) for truss to truss connections.
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 8.
- 8) This truss design requires that a minimum of 7/16" structural wood sheathing be applied directly to the top chord and 1/2" gypsum sheetrock be applied directly to the bottom chord.



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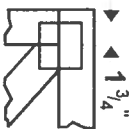
WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MIL-7473 rev. 10/03/2015 BEFORE USE

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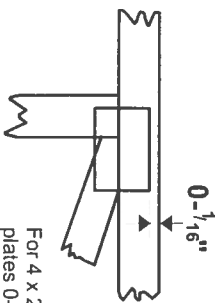
Mii
MiTek
6904 Parke East Blvd
Tampa, FL 36610

Symbols

PLATE LOCATION AND ORIENTATION



Center plate on joint unless x, y offsets are indicated. Dimensions are in ft-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 x 2 orientation, locate plates 0- $\frac{1}{16}$ " from outside edge of truss.

— This symbol indicates the required direction of slots in connector plates.

* Plate location details available in Mitek 20/20 software or upon request.

PLATE SIZE

4 X 4

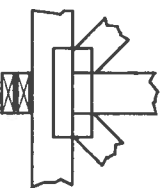
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or I bracing if indicated.

BEARING



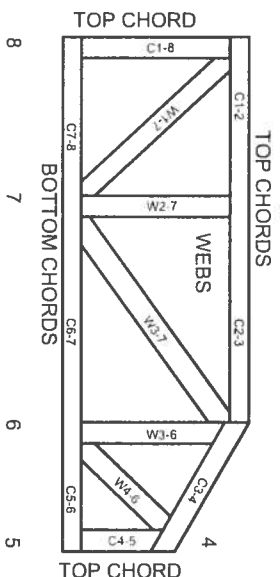
Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

Industry Standards:

ANSI/TP1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System

6-4-8 dimensions shown in ft-in-sixteenths (Drawings not to scale)



Ph. (386) 294-3988
Fax (386) 294-3981
mayotruess@windstream.net

YKK AP RESIDENTIAL

StyleView Picture Window



INSTALLATION NOTES:

- ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
- THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION.
- INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF 1/2 INCH OF THE DEPICTED LOCATION IN THE ANCHOR LAYOUT DETAIL (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
- FOR INSTALLATION INTO WOOD FRAMING USE #10 WOOD SCREWS OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
- FOR INSTALLATION INTO METAL STUD USE #10 TEK SCREWS THROUGH THE FRAME OF SUFFICIENT LENGTH TO ACHIEVE A MINIMUM OF 3 THREADS PENETRATION BEYOND METAL FRAME SUBSTRATE.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
- INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
- INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - STEEL - MINIMUM YIELD STRENGTH OF 33 KSI - MINIMUM 18 GA. WALL THICKNESS.

GENERAL NOTES:

- THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE CURRENT EDITION FLORIDA BUILDING CODE (FBC), EXCLUDING HVHZ AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - AIAA/WDMA/CSA 101/15.2/4440-11
- ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, 2X FRAMING AND METAL STUD FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT IN NON-HVHZ AREAS.

APPROVED IMPACT PROTECTIVE SYSTEM IS REQUIRED ON THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.

- WINDOW FRAME MATERIAL: PVC
- DESIGNATIONS "X" AND "O" STAND FOR THE FOLLOWING:
 - X: OPERABLE PANEL
 - O: FIXED PANEL
- GLAZING SHALL MEET ASTM E1300 REQUIREMENTS. SEE SHEET 2 FOR GLAZING DETAILS.

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	A	INSTALLATION & GENERAL NOTES
2	A	ELEVATION, ANCHOR SCHEDULE & GLAZING DETAIL
3	A	VERTICAL & HORIZONTAL SECTIONS

UNIT DIMENSIONS			
CONFIGURATION	DESIGN PRESSURE	MAXIMUM SIZE	MISSILE IMPACT RATING
O	+50 / -50 PSF	79 1/2" x 79 1/2"	NON-IMPACT

Digitally signed by Hermes F. Horacio, P.E.
Reason: I am approving this document
Date: 2016.05.30 13:06:20 -0400

STYLEVIEW PICTURE WINDOW	DATE	DESCRIPTION	BY
INSTALLATION & GENERAL NOTES	05.18.16	ADDITIONAL 80" X 80" UNIT	LS
PREPARED BY:			
398 E DANITA BEACH BLVD #338 DANITA BEACH, FL 33004			
YKK AP AMERICA RESIDENTIAL 270 Riverchase Parkway, Suite A Austin, GA 30388 PH: (578) 838 6000 (toll-free)			

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	05.18.16	ADDITIONAL 80" X 80" UNIT	LS
2			
3			
4			
5			
6			
7			
8			
9			
10			

HERMES F. HORACIO
P.E.
No. 73178
STATE OF FLORIDA
Professional Engineer
Exp. 05/31/2019
Firm: YKK AP AMERICA RESIDENTIAL
Firm No. 29578

DATE
06.09.16

DWG BY
LS

CHK BY
HFN

SCALE
NTS

YKK131

SHEET: 1 OF 3

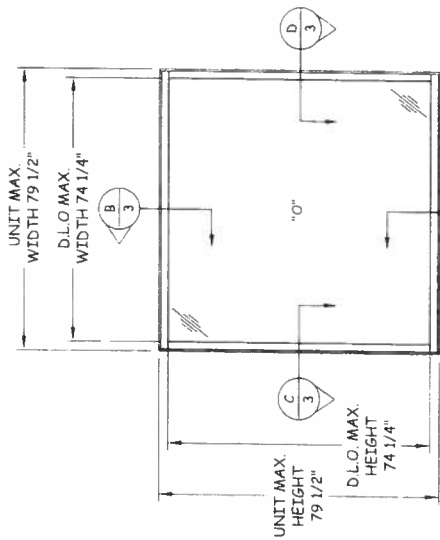
TITLE: STYLEVIEW
 PICTURE WINDOW
 ELEVATION, ANCHOR SCHEDULE
 & GLAZING DETAIL
 PREPARED BY: 398 E DANIA BEACH BLVD #338
 DANIA BEACH, FL 33004
 PH (954) 399-8478 FX (954) 744-4738

NO.	DESCRIPTION	BY	DATE
1	ADDITIONAL 80" X 80" UNIT	LS	05.18.16

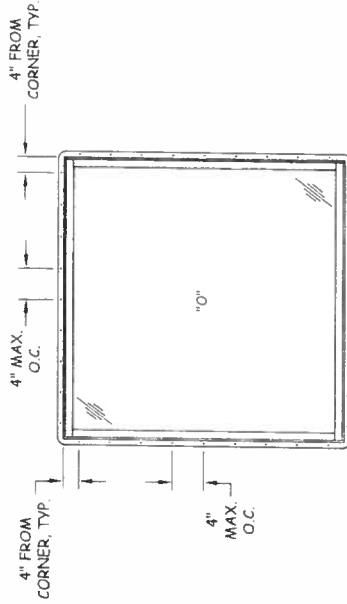
HERMES F. NORRIS
 LICENSED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 NO. 73778
 EXPIRATION DATE 12/31/2018

DATE: 06.09.15
 DWN BY: LS
 CHK BY: HFN
 SCALE: NTS

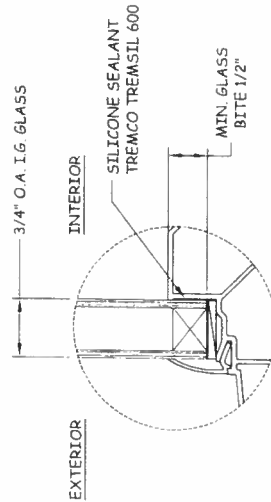
DWG #: **YKK131**
 SHEET: 2 OF 3



TYPICAL ELEVATION
 FIXED WINDOW



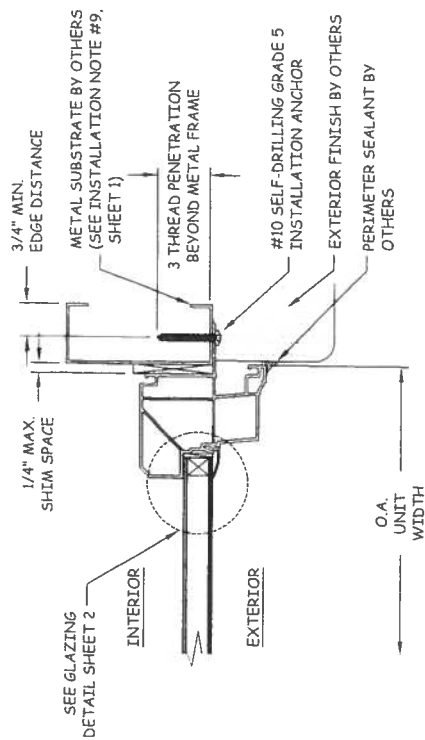
ANCHOR LAYOUT
 NAIL FIN INSTALLATION



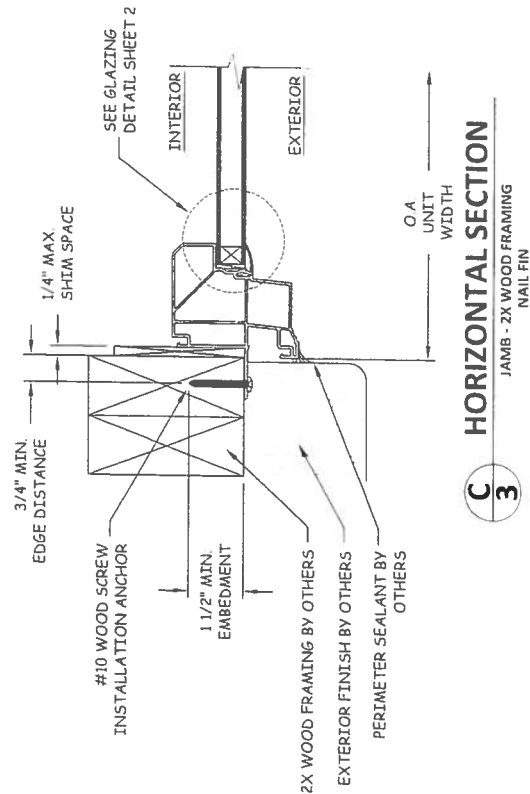
GLAZING DETAIL

GLAZING NOTES:
 GLASS THICKNESS AND TYPE SHALL COMPLY WITH ASTM E1300 GLASS STRENGTH REQUIREMENTS
 ALL GLAZING CONFIGURATIONS SHALL COMPLY WITH SAFETY GLAZING REQUIREMENTS OUTLINED IN CURRENT FBC.

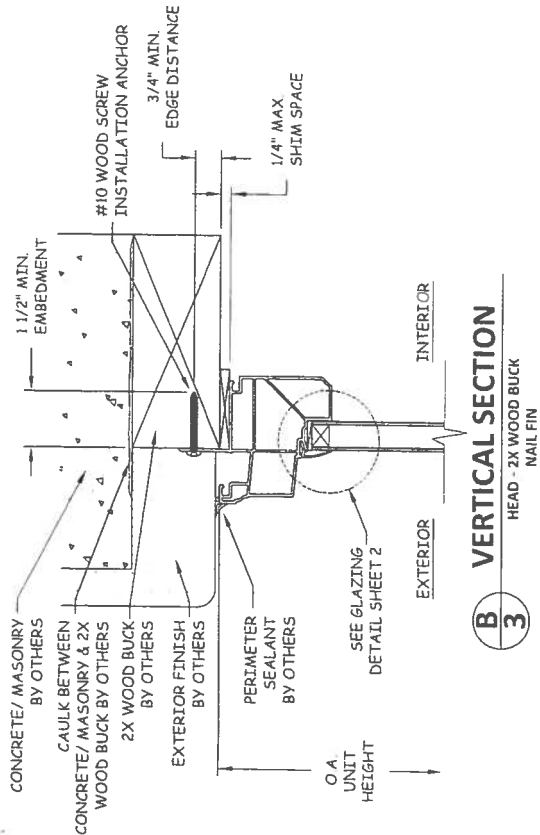
ANCHOR SCHEDULE				
METHOD	SUBSTRATE	ANCHOR	MIN. EMBEDMENT	MIN. EDGE DISTANCE
NAIL FIN	MIN. S.G. = 0.55 WOOD	#10 WOOD SCREW	1.5"	0.75"
	18 GAUGE STEEL, MIN. $f_y = 33 \text{ ksi}$	#10 TEK SCREW	3 THREADS PENETRATION BEYOND METAL	0.75"



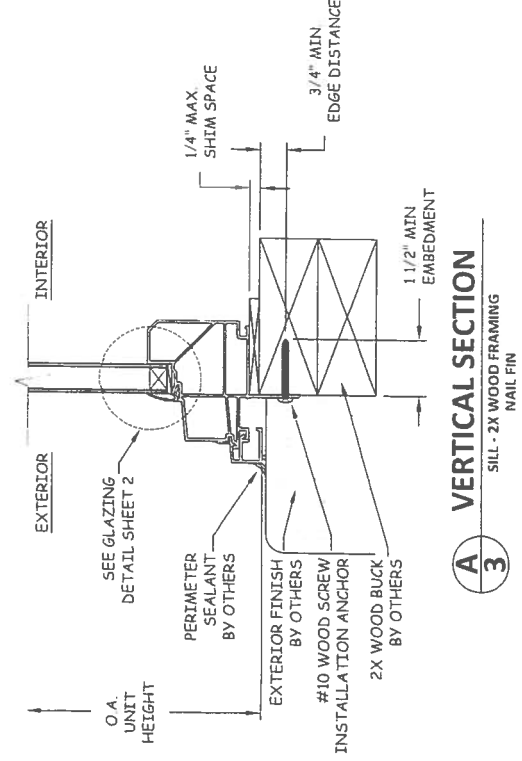
D **HORIZONTAL SECTION**
JAMB - STEEL STUD
NAIL FIN



C 3 **HORIZONTAL SECTION**
JAMB - 2X WOOD FRAMING



B **3** **VERTICAL SECTION**
HEAD - 2X WOOD BUCK
NAIL FIN



A **VERTICAL SECTION**
3 SILL - 2X WOOD FRAMING
NAIL FIN

STYLE VIEW
SINGLE HUNG
HORIZONTAL SECTION

TITLE: PREPARED BY: 398 E DANITA BEACH BLVD #338
DANITA BEACH, FL 33004
PH (954) 399 8478 FX (954) 744-4738

REVISIONS

NO.	DESCRIPTION	BY	DATE

DATE 06/04/15

DWN BY BB

CHK BY HFN

SCALE: NTS

DWG # YKK123

SHEET 4 OF 4

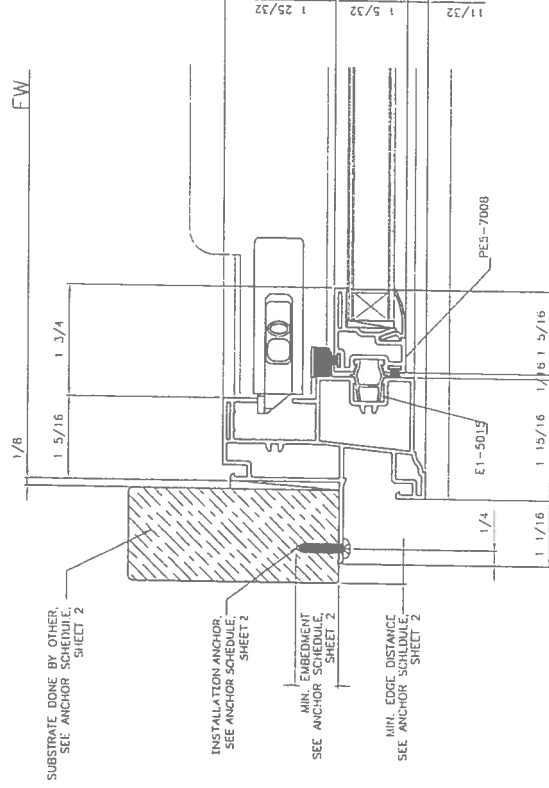
HERMES F. NOBRE

PROF. OF ARCHT.

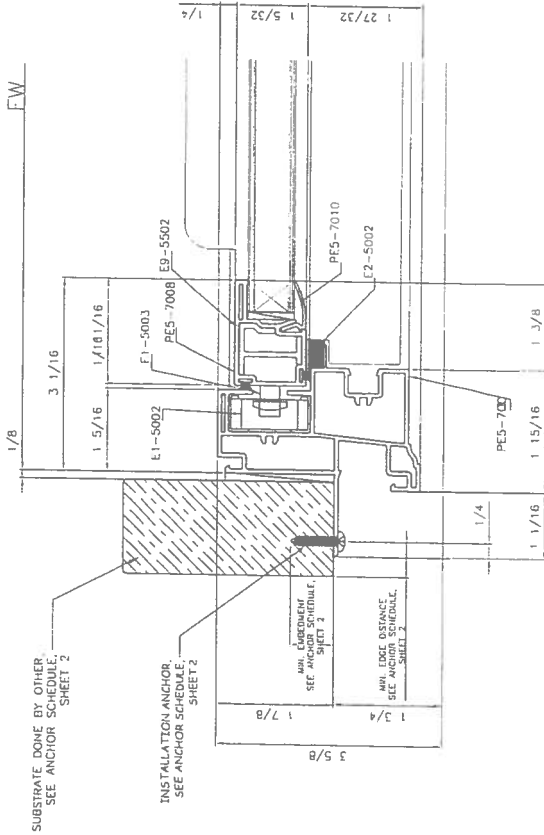
STATE OF FLORIDA

NO. 73778

EXPIRATION DATE 06/30/16



DETAIL 4



DETAIL 5

RESIDENTIAL ENERGY CONSERVATION CODE DOCUMENTATION CHECKLIST

Florida Department of Business and Professional Regulation Simulated Performance Alternative (Performance) Method

Applications for compliance with the 2017 Florida Building Code, Energy Conservation via the residential Simulated Performance Method shall include:

- ☐ This checklist
- ☐ A Form R405 report that documents that the Proposed Design complies with Section R405.3 of the Florida Energy Code. This form shall include a summary page indicating home address, e-ratio and the pass or fail status along with summary areas and types of components, whether the home was simulated as a worst-case orientation, name and version of the compliance software tool, name of individual completing the compliance report (one page) and an input summary checklist that can be used for field verification (usually four pages/may be greater).
- ☐ Energy Performance Level (EPL) Display Card (one page)
- ☐ HVAC system sizing and selection based on ACCA Manual S or per exceptions provided in Section R403.7
- ☐ Mandatory Requirements (five pages)

Required prior to CO for the Performance Method:

- ☐ Air Barrier and Insulation Inspection Component Criteria checklist (Table R402.4.1.1 - one page)
- ☐ A completed Envelope Leakage Test Report (usually one page)
- ☐ If Form R405 duct leakage type indicates anything other than "default leakage" then a completed Form R405 Duct Leakage Test Report (usually one page)



INPUT SUMMARY CHECKLIST REPORT

PROJECT												
Title:	190870 Isom	Bedrooms:	1	Address Type:	Street Address							
Building Type:	User	Conditioned Area:	900	Lot #								
Owner Name:	Isom Res	Total Stories:	1	Block/Subdivision:								
# of Units:	1	Worst Case:	Yes	PlatBook:								
Builder Name:		Rotate Angle:	270	Street:	371 SW Primrose Terr							
Permit Office:		Cross Ventilation:		County:	Columbia							
Jurisdiction:		Whole House Fan:		City, State, Zip:	Fort White , FL , 32038							
Family Type:	Single-family											
New/Existing:	New (From Plans)											
Comment:												
CLIMATE												
✓	Design Location	TMY Site	Design Temp 97.5 %	2.5 %	Int Design Temp Winter	Summer	Heating Degree Days	Design Moisture	Daily Temp Range			
_____	FL, Gainesville	FL_GAINESVILLE_REGI	32	92	70	75	1305.5	51	Medium			
BLOCKS												
	Number	Name	Area	Volume								
	1	Block1	900	9000								
SPACES												
	Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated	
	1	Main	900	9000	Yes	4	1	1	Yes	Yes	Yes	
FLOORS												
✓	#	Floor Type	Space	Perimeter	R-Value	Area			Tile	Wood	Carpet	
_____	1	Slab-On-Grade Edge Insulatio	Main	136 ft	0	900 ft²	_____		0.3	0.3	0.4	
ROOF												
✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Rad Barr	Solar Absor.	SA Tested	Emitt Tested	Deck Insul.	Pitch (deg)
_____	1	Flat	Metal	913 ft²	76 ft²	Dark	N	0.9	No	0.9	No	0 9.5
ATTIC												
✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC					
_____	1	Full cathedral ceilin	Vented	300	900 ft²	N	N					
CEILING												
✓	#	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type				
_____	1	Under Attic (Vented)	Main	38	Blown	920 ft²	0	Wood				

INPUT SUMMARY CHECKLIST REPORT

WALLS

✓ #	Omt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor.	Below Grade%
1	N=>W	Exterior	Frame - Wood	Main	13	20		9		180.0 ft²		0.23	0.75	0
2	E=>N	Exterior	Frame - Wood	Main	13	18		10		180.0 ft²		0.23	0.75	0
3	S=>E	Exterior	Frame - Wood	Main	13	50		11	2	558.3 ft²		0.23	0.75	0
4	W=>S	Exterior	Frame - Wood	Main	13	18		10		180.0 ft²		0.23	0.75	0
5	N=>W	Exterior	Frame - Wood	Main	13	30		9		270.0 ft²		0.23	0.75	0

DOORS

✓ #	Omt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area
1	S=>E	Insulated	Main	None	.4	3		6	8	20 ft²

WINDOWS

Orientation shown is the entered orientation (=>) changed to Worst Case.

✓ #	Omt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Imp	Area	Overhang Depth	Separation	Int Shade	Screening
1	N=>W	1	Metal	Low-E Double	Yes	0.3	0.2	N	90.7 ft²	14 ft 8 in	0 ft 0 in	None	None
2	N=>W	5	Metal	Low-E Double	Yes	0.3	0.2	N	36.0 ft²	1 ft 0 in	3 ft 6 in	None	None
3	E=>N	2	Metal	Low-E Double	Yes	0.3	0.2	N	12.0 ft²	1 ft 0 in	5 ft 0 in	None	None
4	S=>E	3	Metal	Low-E Double	Yes	0.3	0.2	N	54.0 ft²	1 ft 0 in	6 ft 0 in	None	None
5	W=>S	4	Metal	Low-E Double	Yes	0.3	0.2	N	12.0 ft²	1 ft 0 in	5 ft 0 in	None	None

INFILTRATION

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	Wholehouse	Proposed ACH(50)	.000445	1050	57.64	108.41	.183	7

HEATING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Block	Ducts
1	Electric Heat Pump/	None	HSPF: 8.9	21 kBtu/hr	1	sys#1

COOLING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
1	Central Unit/	None	SEER: 16	21 kBtu/hr	630 cfm	0.75	1	sys#1

HOT WATER SYSTEM

✓ #	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation
1	Electric	None	Main	0.95	40 gal	40 gal	120 deg	None

INPUT SUMMARY CHECKLIST REPORT

SOLAR HOT WATER SYSTEM															
✓	FSEC Cert #	Company Name		System Model #		Collector Model #		Collector Area	Storage Volume	FEF					
_____		None	None					ft²							
DUCTS															
✓	#	--- Supply --- Location		R-Value	Area	--- Return --- Location		Area	Leakage Type	Air Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC # Heat Cool
_____		1	Attic	6	180 ft²	Attic		45 ft²	Default Leakage	Main	(Default)	(Default)			1 1
TEMPERATURES															
Programable Thermostat: Y					Ceiling Fans:										
Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec			
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec			
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec			
Thermostat Schedule: HERS 2006 Reference															
Schedule Type			1	2	3	4	5	6	7	8	9	10	11	12	
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	80	80	80	80	
	PM	80	80	78	78	78	78	78	78	78	78	78	78	78	
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78	78	
	PM	78	78	78	78	78	78	78	78	78	78	78	78	78	
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68	68	
	PM	68	68	68	68	68	68	68	68	68	68	68	66	66	
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68	68	
	PM	68	68	68	68	68	68	68	68	68	68	68	66	66	
MASS															
Mass Type		Area		Thickness		Furniture Fraction		Space							
Default(8 lbs/sq.ft.)		0 ft²		0 ft		0.3		Main							

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 100

The lower the Energy Performance Index, the more efficient the home.

1. New home or, addition	1. <u>New (From Plans)</u>	12. Ducts, location & insulation level
2. Single-family or multiple-family	2. <u>Single-family</u>	a) Supply ducts R <u>6.0</u>
3. No. of units (if multiple-family)	3. <u>1</u>	b) Return ducts R <u>6.0</u>
4. Number of bedrooms	4. <u>1</u>	c) AHU location <u>Main</u>
5. Is this a worst case? (yes/no)	5. <u>Yes</u>	13. Cooling system: Capacity <u>21.0</u>
6. Conditioned floor area (sq. ft.)	6. <u>900</u>	a) Split system SEER <u> </u>
7. Windows, type and area		b) Single package SEER <u> </u>
a) U-factor:(weighted average)	7a. <u>0.300</u>	c) Ground/water source SEER/COP <u> </u>
b) Solar Heat Gain Coefficient (SHGC)	7b. <u>0.200</u>	d) Room unit/PTAC EER <u> </u>
c) Area	7c. <u>204.7</u>	e) Other <u>16.0</u>
8. Skylights		14. Heating system: Capacity <u>21.0</u>
a) U-factor:(weighted average)	8a. <u>NA</u>	a) Split system heat pump HSPF <u> </u>
b) Solar Heat Gain Coefficient (SHGC)	8b. <u>NA</u>	b) Single package heat pump HSPF <u> </u>
9. Floor type, insulation level:		c) Electric resistance COP <u> </u>
a) Slab-on-grade (R-value)	9a. <u>0.0</u>	d) Gas furnace, natural gas AFUE <u> </u>
b) Wood, raised (R-value)	9b. <u> </u>	e) Gas furnace, LPG AFUE <u> </u>
c) Concrete, raised (R-value)	9c. <u> </u>	f) Other <u>8.90</u>
10. Wall type and insulation:		15. Water heating system
A. Exterior:		a) Electric resistance EF <u>0.95</u>
1. Wood frame (Insulation R-value)	10A1. <u>13.0</u>	b) Gas fired, natural gas EF <u> </u>
2. Masonry (Insulation R-value)	10A2. <u> </u>	c) Gas fired, LPG EF <u> </u>
B. Adjacent:		d) Solar system with tank EF <u> </u>
1. Wood frame (Insulation R-value)	10B1. <u> </u>	e) Dedicated heat pump with tank EF <u> </u>
2. Masonry (Insulation R-value)	10B2. <u> </u>	f) Heat recovery unit HeatRec% <u> </u>
11. Ceiling type and insulation level		g) Other <u> </u>
a) Under attic	11a. <u>38.0</u>	16. HVAC credits claimed (Performance Method)
b) Single assembly	11b. <u> </u>	a) Ceiling fans <u> </u>
c) Knee walls/skylight walls	11c. <u> </u>	b) Cross ventilation <u>No</u>
d) Radiant barrier installed	11d. <u>No</u>	c) Whole house fan <u>No</u>
		d) Multizone cooling credit <u> </u>
		e) Multizone heating credit <u> </u>
		f) Programmable thermostat <u>Yes</u>

*Label required by Section R303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

I certify that this home has complied with the Florida Building Code, Energy Conservation, through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL display card will be completed based on installed code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: 371 SW Primrose Terr

City/FL Zip: Fort White, FL 32038

Florida Building Code, Energy Conservation, 6th Edition (2017)

Mandatory Requirements for Residential Performance, Prescriptive and ERI Methods

ADDRESS: 371 SW Primrose Terr
Fort White, FL, 32038

Permit Number:

MANDATORY REQUIREMENTS See individual code sections for full details.

✓

SECTION R401 GENERAL

- ☐ **R401.3 Energy Performance Level (EPL) display card (Mandatory).** The building official shall require that an energy performance level (EPL) display card be completed and certified by the builder to be accurate and correct before final approval of the building for occupancy. Florida law (Section 553.9085, Florida Statutes) requires the EPL display card to be included as an addendum to each sales contract for both presold and nonpresold residential buildings. The EPL display card contains information indicating the energy performance level and efficiencies of components installed in a dwelling unit. The building official shall verify that the EPL display card completed and signed by the builder accurately reflects the plans and specifications submitted to demonstrate code compliance for the building. A copy of the EPL display card can be found in Appendix RD.

- ☐ **R402.4 Air leakage (Mandatory).** The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.

Exception: Dwelling units of R-2 Occupancies and multiple attached single family dwellings shall be permitted to comply with Section C402.5.

- ☐ **R402.4.1 Building thermal envelope.** The building thermal envelope shall comply with Sections R402.4.1.1 and R402.4.1.2. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.

- ☐ **R402.4.1.1 Installation.** The components of the building thermal envelope as listed in Table R402.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria listed in Table R402.4.1.1, as applicable to the method of construction. Where required by the code official, an approved third party shall inspect all components and verify compliance.

- ☐ **R402.4.1.2 Testing.** The building or dwelling unit shall be tested and verified as having an air leakage rate not exceeding seven air changes per hour in Climate Zones 1 and 2, and three air changes per hour in Climate Zones 3 through 8. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inch w.g. (50 pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7), Florida Statutes, or individuals licensed as set forth in Section 489.105(3)(f), (g) or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

Exception: Testing is not required for additions, alterations, renovations, or repairs, of the building thermal envelope of existing buildings in which the new construction is less than 85 percent of the building thermal envelope.

During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

- ☐ **R402.4.2 Fireplaces.** New wood-burning fireplaces shall have tight-fitting flue dampers or doors, and outdoor combustion air. Where using tight-fitting doors on factory-built fireplaces listed and labeled in accordance with UL 127, the doors shall be tested and listed for the fireplace. Where using tight-fitting doors on masonry fireplaces, the doors shall be listed and labeled in accordance with UL 907.

- ☐ **R402.4.3 Fenestration air leakage.** Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m²), when tested according to NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.

Exception: Site-built windows, skylights and doors.

MANDATORY REQUIREMENTS - (Continued)

- ☐ **R402.4.4 Rooms containing fuel-burning appliances.** In Climate Zones 3 through 8, where open combustion air ducts provide combustion air to open combustion fuel burning appliances, the appliances and combustion air opening shall be located outside the building thermal envelope or enclosed in a room, isolated from inside the thermal envelope. Such rooms shall be sealed and insulated in accordance with the envelope requirements of Table R402.1.2, where the walls, floors and ceilings shall meet not less than the basement wall R-value requirement. The door into the room shall be fully gasketed and any water lines and ducts in the room insulated in accordance with Section R403. The combustion air duct shall be insulated where it passes through conditioned space to a minimum of R-8.

Exceptions:

1. Direct vent appliances with both intake and exhaust pipes installed continuous to the outside.
2. Fireplaces and stoves complying with Section R402.4.2 and Section R1006 of the Florida Building Code, Residential.

- ☐ **R402.4.5 Recessed lighting.** Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.

SECTION R403 SYSTEMS

R403.1 Controls.

- ☐ **R403.1.1 Thermostat provision (Mandatory).** At least one thermostat shall be provided for each separate heating and cooling system.

- ☐ **R403.1.3 Heat pump supplementary heat (Mandatory).** Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.

- ☐ **R403.3.2 Sealing (Mandatory)** All ducts, air handlers, filter boxes and building cavities that form the primary air containment passageways for air distribution systems shall be considered ducts or plenum chambers, shall be constructed and sealed in accordance with Section C403.2.9.2 of the Commercial Provisions of this code and shall be shown to meet duct tightness criteria below.

Duct tightness shall be verified by testing in accordance with ANSI/RESNET/ICC 380 by either individuals as defined in Section 553.993(5) or (7), Florida Statutes, or individuals licensed as set forth in Section 489.105(3)(f), (g) or (i), Florida Statutes, to be "substantially leak free" in accordance with Section R403.3.3.

- ☐ **R403.3.2.1 Sealed air handler.** Air handlers shall have a manufacturer's designation for an air leakage of no more than 2 percent of the design airflow rate when tested in accordance with ASHRAE 193.

- ☐ **R403.3.3 Duct testing (Mandatory).** Ducts shall be pressure tested to determine air leakage by one of the following methods:

1. Rough-in test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the system, including the manufacturer's air handler enclosure if installed at the time of the test. All registers shall be taped or otherwise sealed during the test.
2. Postconstruction test: Total leakage shall be measured with a pressure differential of 0.1 inch w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. Registers shall be taped or otherwise sealed during the test.

Exceptions:

1. A duct air leakage test shall not be required where the ducts and air handlers are located entirely within the building thermal envelope.
2. Duct testing is not mandatory for buildings complying by Section 405 of this code.

A written report of the results of the test shall be signed by the party conducting the test and provided to the code official.

- ☐ **R403.3.5 Building cavities (Mandatory).** Building framing cavities shall not be used as ducts or plenums.

- ☐ **R403.4 Mechanical system piping insulation (Mandatory).** Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.

- ☐ **R403.4.1 Protection of piping insulation.** Piping insulation exposed to weather shall be protected from damage, including that caused by sunlight, moisture, equipment maintenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Adhesive tape shall not be permitted.

- ☐ **R403.5.1 Heated water circulation and temperature maintenance systems (Mandatory)** Heated water circulation systems shall be in accordance with Section R403.5.1.1. Heat trace temperature maintenance systems shall be in accordance with Section R403.5.1.2. Automatic controls, temperature sensors and pumps shall be accessible. Manual controls shall be readily accessible.

- ☐ **R403.5.1.1 Circulation systems.** Heated water circulation systems shall be provided with a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity and thermosiphon circulation systems shall be prohibited. Controls for circulating hot water system pumps shall start the pump based on the identification of a demand for hot water within the occupancy. The controls shall automatically turn off the pump when the water in the circulation loop is at the desired temperature and when there is no demand for hot water.

- ☐ **R403.5.1.2 Heat trace systems.** Electric heat trace systems shall comply with IEEE 515.1 or UL 515. Controls for such systems shall automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping in accordance with the times when heated water is used in the occupancy.

MANDATORY REQUIREMENTS - (Continued)

- ☐ **R403.5.5 Heat traps (Mandatory).** Storage water heaters not equipped with integral heat traps and having vertical pipe risers shall have heat traps installed on both the inlets and outlets. External heat traps shall consist of either a commercially available heat trap or a downward and upward bend of at least 3 ½ inches (89 mm) in the hot water distribution line and cold water line located as close as possible to the storage tank.
- R403.5.6 Water heater efficiencies (Mandatory).**
- ☐ **R403.5.6.1.1 Automatic controls.** Service water-heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use. The minimum temperature setting range shall be from 100°F to 140°F (38°C to 60°C).
- ☐ **R403.5.6.1.2 Shut down.** A separate switch or a clearly marked circuit breaker shall be provided to permit the power supplied to electric service systems to be turned off. A separate valve shall be provided to permit the energy supplied to the main burner(s) of combustion types of service water-heating systems to be turned off.
- ☐ **R403.5.6.2 Water-heating equipment.** Water-heating equipment installed in residential units shall meet the minimum efficiencies of Table C404.2 in Chapter 4 of the Florida Building Code, Energy Conservation, Commercial Provisions, for the type of equipment installed. Equipment used to provide heating functions as part of a combination system shall satisfy all stated requirements for the appropriate water-heating category. Solar water heaters shall meet the criteria of Section R403.5.6.2.1.
- ☐ **R403.5.6.2.1 Solar water-heating systems.** Solar systems for domestic hot water production are rated by the annual solar energy factor of the system. The solar energy factor of a system shall be determined from the Florida Solar Energy Center Directory of Certified Solar Systems. Solar collectors shall be tested in accordance with ISO Standard 9806, Test Methods for Solar Collectors, and SRCC Standard TM-1, Solar Domestic Hot Water System and Component Test Protocol. Collectors in installed solar water-heating systems should meet the following criteria:
1. Be installed with a tilt angle between 10 degrees and 40 degrees of the horizontal; and
 2. Be installed at an orientation within 45 degrees of true south.
- ☐ **R403.6 Mechanical ventilation (Mandatory).** The building shall be provided with ventilation that meets the requirements of the Florida Building Code, Residential, or Florida Building Code, Mechanical, as applicable, or with other approved means of ventilation including: Natural, Infiltration or Mechanical means. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.
- ☐ **R403.6.1 Whole-house mechanical ventilation system fan efficacy.** When installed to function as a whole-house mechanical ventilation system, fans shall meet the efficacy requirements of Table R403.6.1.
- Exception:** Where whole-house mechanical ventilation fans are integral to tested and listed HVAC equipment, they shall be powered by an electronically commutated motor.
- ☐ **R403.6.2 Ventilation air.** Residential buildings designed to be operated at a positive indoor pressure or for mechanical ventilation shall meet the following criteria:
1. The design air change per hour minimums for residential buildings in ASHRAE 62.2, Ventilation for Acceptable Indoor Air Quality, shall be the maximum rates allowed for residential applications.
 2. No ventilation or air-conditioning system make-up air shall be provided to conditioned space from attics, crawlspaces, attached enclosed garages or outdoor spaces adjacent to swimming pools or spas.
 3. If ventilation air is drawn from enclosed space(s), then the walls of the space(s) from which air is drawn shall be insulated to a minimum of R-11 and the ceiling shall be insulated to a minimum of R-19, space permitting, or R-10 otherwise.
- R403.7 Heating and cooling equipment (Mandatory).**
- ☐ **R403.7.1 Equipment sizing.** Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on the equipment loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies, based on building loads for the directional orientation of the building. The manufacturer and model number of the outdoor and indoor units (if split system) shall be submitted along with the sensible and total cooling capacities at the design conditions described in Section R302.1. This Code does not allow designer safety factors, provisions for future expansion or other factors that affect equipment sizing. System sizing calculations shall not include loads created by local intermittent mechanical ventilation such as standard kitchen and bathroom exhaust systems. New or replacement heating and cooling equipment shall have an efficiency rating equal to or greater than the minimum required by federal law for the geographic location where the equipment is installed.

**TABLE R403.6.1
WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY**

FAN LOCATION	AIRFLOW RATE MINIMUM (CFM)	MINIMUM EFFICACY ^a (CFM/WATT)	AIRFLOW RATE MAXIMUM (CFM)
Range hoods	Any	2.8 cfm/watt	Any
In-line fan	Any	2.8 cfm/watt	Any
Bathroom, utility room	10	1.4 cfm/watt	<90
Bathroom, utility room	90	2.8 cfm/watt	Any

For SI: 1 cfm = 28.3 L/min.

a. When tested in accordance with HVI Standard 916

MANDATORY REQUIREMENTS - (Continued)

- ☐ **R403.7.1.1 Cooling equipment capacity.** Cooling only equipment shall be selected so that its total capacity is not less than the calculated total load but not more than 1.15 times greater than the total load calculated according to the procedure selected in Section 403.7, or the closest available size provided by the manufacturer's product lines. The corresponding latent capacity of the equipment shall not be less than the calculated latent load.

The published value for AHRI total capacity is a nominal, rating-test value and shall not be used for equipment sizing. Manufacturer's expanded performance data shall be used to select cooling-only equipment. This selection shall be based on the outdoor design dry-bulb temperature for the load calculation (or entering water temperature for water-source equipment), the blower CFM provided by the expanded performance data, the design value for entering wet-bulb temperature and the design value for entering dry-bulb temperature.

Design values for entering wet-bulb and dry-bulb temperatures shall be for the indoor dry bulb and relative humidity used for the load calculation and shall be adjusted for return side gains if the return duct(s) is installed in an unconditioned space.

Exceptions:

1. Attached single- and multiple-family residential equipment sizing may be selected so that its cooling capacity is less than the calculated total sensible load but not less than 80 percent of that load.
2. When signed and sealed by a Florida-registered engineer, in attached single- and multiple-family units, the capacity of equipment may be sized in accordance with good design practice.

R403.7.1.2 Heating equipment capacity.

- ☐ **R403.7.1.2.1 Heat pumps.** Heat pump sizing shall be based on the cooling requirements as calculated according to Section R403.7.1.1, and the heat pump total cooling capacity shall not be more than 1.15 times greater than the design cooling load even if the design heating load is 1.15 times greater than the design cooling load.

- ☐ **R403.7.1.2.2 Electric resistance furnaces.** Electric resistance furnaces shall be sized within 4 kW of the design requirements calculated according to the procedure selected in Section R403.7.1.

- ☐ **R403.7.1.2.3 Fossil fuel heating equipment.** The capacity of fossil fuel heating equipment with natural draft atmospheric burners shall not be less than the design load calculated in accordance with Section R403.7.1.

- ☐ **R403.7.1.3 Extra capacity required for special occasions.** Residences requiring excess cooling or heating equipment capacity on an intermittent basis, such as anticipated additional loads caused by major entertainment events, shall have equipment sized or controlled to prevent continuous space cooling or heating within that space by one or more of the following options:

1. A separate cooling or heating system is utilized to provide cooling or heating to the major entertainment areas.
2. A variable capacity system sized for optimum performance during base load periods is utilized.

- ☐ **R403.8 Systems serving multiple dwelling units (Mandatory).** Systems serving multiple dwelling units shall comply with Sections C403 and C404 of the IECC—Commercial Provisions in lieu of Section R403.

- ☐ **R403.9 Snow melt and ice system controls (Mandatory)** Snow- and ice-melting systems, supplied through energy service to the building, shall include automatic controls capable of shutting off the system when the pavement temperature is above 50°F (10°C), and no precipitation is falling and an automatic or manual control that will allow shutoff when the outdoor temperature is above 40°F (4.8°C).

- ☐ **R403.10 Pools and permanent spa energy consumption (Mandatory).** The energy consumption of pools and permanent spas shall be in accordance with Sections R403.10.1 through R403.10.5.

- ☐ **R403.10.1 Heaters.** The electric power to heaters shall be controlled by a readily accessible on-off switch that is an integral part of the heater mounted on the exterior of the heater, or external to and within 3 feet (914 mm) of the heater. Operation of such switch shall not change the setting of the heater thermostat. Such switches shall be in addition to a circuit breaker for the power to the heater. Gas-fired heaters shall not be equipped with continuously burning ignition pilots.

- ☐ **R403.10.2 Time switches.** Time switches or other control methods that can automatically turn off and on according to a preset schedule shall be installed for heaters and pump motors. Heaters and pump motors that have built-in time switches shall be in compliance with this section.

Exceptions:

1. Where public health standards require 24-hour pump operation.
2. Pumps that operate solar- and waste-heat-recovery pool heating systems.
3. Where pumps are powered exclusively from on-site renewable generation.

- ☐ **R403.10.3 Covers.** Outdoor heated swimming pools and outdoor permanent spas shall be equipped with a vapor-retardant cover on or at the water surface or a liquid cover or other means proven to reduce heat loss.

Exception: Where more than 70 percent of the energy for heating, computed over an operation season, is from site-recovered energy, such as from a heat pump or solar energy source, covers or other vapor-retardant means shall not be required.

- ☐ **R403.10.4 Gas- and oil-fired pool and spa heaters.** All gas- and oil-fired pool and spa heaters shall have a minimum thermal efficiency of 82 percent for heaters manufactured on or after April 16, 2013, when tested in accordance with ANSI Z 21.56. Pool heaters fired by natural or LP gas shall not have continuously burning pilot lights.

- ☐ **R403.10.5 Heat pump pool heaters.** Heat pump pool heaters shall have a minimum COP of 4.0 when tested in accordance with AHRI 1160, Table 2, Standard Rating Conditions-Low Air Temperature. A test report from an independent laboratory is required to verify procedure compliance. Geothermal swimming pool heat pumps are not required to meet this standard.
- ☐ **R403.11 Portable spas (Mandatory)** The energy consumption of electric-powered portable spas shall be controlled by the requirements of APSP-14.

SECTION R404

ELECTRICAL POWER AND LIGHTING SYSTEMS

- ☐ **R404.1 Lighting equipment (Mandatory).** Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps.

Exception: Low-voltage lighting.

R404.1.1 Lighting equipment (Mandatory) Fuel gas lighting systems shall not have continuously burning pilot lights.

2017 - AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

TABLE 402.4.1.1
AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

Project Name:	190870 Isom	Builder Name:		CHECK
Street:	371 SW Primrose Terr	Permit Office:		
City, State, Zip:	Fort White , FL , 32038	Permit Number:		
Owner:	Isom Res	Jurisdiction:		
Design Location:	FL, Gainesville			
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA		
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.		
Ceiling/attic	The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.		
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance of R-3 per inch minimum. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.		
Windows, skylights and doors	The space between window/door jambs and framing, and skylights and framing shall be sealed.			
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.		
Floors (including above-garage and cantilevered floors)	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking, or floor framing cavity insulation shall be permitted to be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing and extends from the bottom to the top of all perimeter floor framing members.		
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Where provided instead of floor insulation, insulation shall be permanently attached to the crawlspace		
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.			
Narrow cavities		Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity spaces.		
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.			
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the drywall.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.		
Plumbing and wiring		Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall <u>extend behind piping and wiring.</u>		
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate them from the showers and tubs.	Exterior walls adjacent to showers and tubs shall be insulated.		
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical or communication boxes or air-sealed boxes shall be installed.			
HVAC register boots	HVAC register boots that penetrate building thermal envelope shall be sealed to the sub-floor or drywall.			
Concealed sprinklers	When required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids <u>between fire sprinkler cover plates and walls or ceilings.</u>			

a. In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.

Envelope Leakage Test Report (Blower Door Test)
Residential Prescriptive, Performance or ERI Method Compliance
2017 Florida Building Code, Energy Conservation, 6th Edition

Jurisdiction:

Permit #:

Job Information

Builder:

Community:

Lot: NA

Address: 371 SW Primrose Terr

City: Fort White

State: FL

Zip: 32038

Air Leakage Test Results *Passing results must meet either the Performance, Prescriptive, or ERI Method*

☐ **PRESCRIPTIVE METHOD**-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 7 air changes per hour at a pressure of 0.2 inch w.g. (50 Pascals) in Climate Zones 1 and 2.

☐ **PERFORMANCE or ERI METHOD**-The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding the selected ACH(50) value, as shown on Form R405-2017 (Performance) or R406-2017 (ERI), section labeled as infiltration, sub-section ACH50.
ACH(50) specified on Form R405-2017-Energy Calc (Performance) or R406-2017 (ERI): 7.000

$$\frac{\text{CFM}(50)}{\text{Building Volume}} \times 60 \div \frac{9000}{\text{ACH}(50)} = \text{ACH}(50)$$



PASS

☐ When ACH(50) is less than 3, Mechanical Ventilation installation must be verified by building department.

Method for calculating building volume:

☐ Retrieved from architectural plans

☒ Code software calculated

☐ Field measured and calculated

R402.4.1.2 Testing. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7), *Florida Statutes* or individuals licensed as set forth in Section 489.105(3)(f), (g), or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures.
2. Dampers including exhaust, intake, makeup air, back draft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures.
3. Interior doors, if installed at the time of the test, shall be open.
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed.
5. Heating and cooling systems, if installed at the time of the test, shall be turned off.
6. Supply and return registers, if installed at the time of the test, shall be fully open.

Testing Company

Company Name: _____ Phone: _____

I hereby verify that the above Air Leakage results are in accordance with the 2017 6th Edition Florida Building Code Energy Conservation requirements according to the compliance method selected above.

Signature of Tester: _____ Date of Test: _____

Printed Name of Tester: _____

License/Certification #: _____ Issuing Authority: _____

Residential System Sizing Calculation

Summary

Isom Res
371 SW Primrose Terr
Fort White, FL 32038

Project Title:
190870 Isom

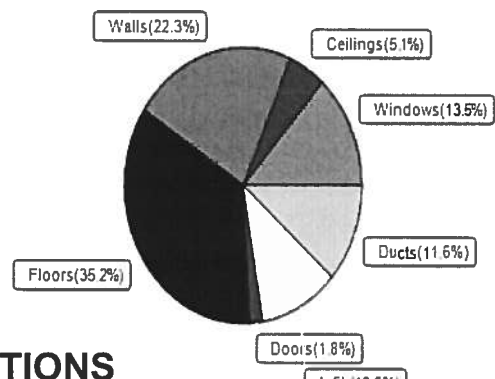
2019-08-01

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M)					
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)					
Winter design temperature(TMY3 99%)	30	F	Summer design temperature(TMY3 99%)	94	F
Winter setpoint	70	F	Summer setpoint	75	F
Winter temperature difference	40	F	Summer temperature difference	19	F
Total heating load calculation	18218	Btuh	Total cooling load calculation	16705	Btuh
Submitted heating capacity	% of calc	Btuh	Submitted cooling capacity	% of calc	Btuh
Total (Electric Heat Pump)	115.3	21000	Sensible (SHR = 0.75)	110.4	15750
Heat Pump + Auxiliary(0.0kW)	115.3	21000	Latent	215.3	5250
			Total (Electric Heat Pump)	125.7	21000

WINTER CALCULATIONS

Winter Heating Load (for 900 sqft)

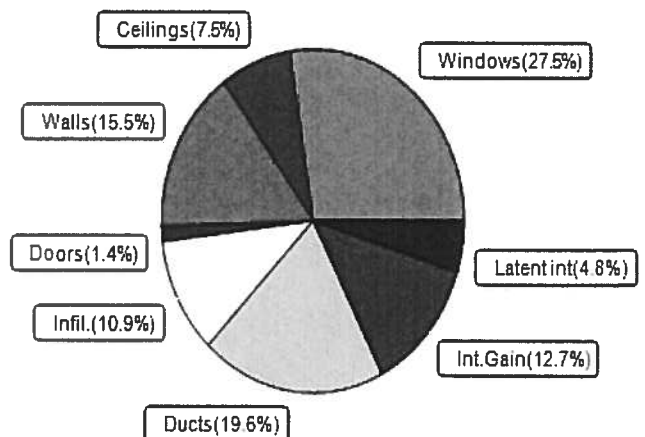
Load component			Load	
Window total	205	sqft	2456	Btuh
Wall total	1144	sqft	4060	Btuh
Door total	20	sqft	320	Btuh
Ceiling total	920	sqft	934	Btuh
Floor total	900	sqft	6419	Btuh
Infiltration	44	cfm	1923	Btuh
Duct loss			2105	Btuh
Subtotal			18218	Btuh
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			18218	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 900 sqft)

Load component			Load	
Window total	205	sqft	4594	Btuh
Wall total	1144	sqft	2589	Btuh
Door total	20	sqft	240	Btuh
Ceiling total	920	sqft	1261	Btuh
Floor total			0	Btuh
Infiltration	33	cfm	685	Btuh
Internal gain			2120	Btuh
Duct gain			2777	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			14266	Btuh
Latent gain(ducts)			502	Btuh
Latent gain(infiltration)			1137	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			800	Btuh
Total latent gain			2438	Btuh
TOTAL HEAT GAIN			16705	Btuh



8th Edition

EnergyGauge® System Sizing
PREPARED BY: Evan Beamsley
DATE: 2019-08-01

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Isom Res
371 SW Primrose Terr
Fort White, FL 32038

Project Title:
190870 Isom
Building Type: User

2019-08-01

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 40.0 F (TMY3 99%)
This calculation is for Worst Case. The house has been rotated 270 degrees.

Component Loads for Whole House								
Window	Panes/Type	Frame	U	Orientation	Area(sqft)	X	HTM=	Load
1	2, NFRC 0.20	Metal	0.30	W	90.7		12.0	1088 Btuh
2	2, NFRC 0.20	Metal	0.30	W	36.0		12.0	432 Btuh
3	2, NFRC 0.20	Metal	0.30	N	12.0		12.0	144 Btuh
4	2, NFRC 0.20	Metal	0.30	E	54.0		12.0	648 Btuh
5	2, NFRC 0.20	Metal	0.30	S	12.0		12.0	144 Btuh
	Window Total				204.7(sqft)			2456 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area	X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	89		3.55	317 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	168		3.55	596 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	484		3.55	1720 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	168		3.55	596 Btuh
5	Frame - Wood	- Ext	(0.089)	13.0/0.0	234		3.55	831 Btuh
	Wall Total				1144(sqft)			4060 Btuh
Doors	Type	Storm	Ueff.		Area	X	HTM=	Load
1	Insulated - Exterior, n		(0.400)		20		16.0	320 Btuh
	Door Total				20(sqft)			320Btuh
Ceilings	Type/Color/Surface		Ueff.	R-Value	Area	X	HTM=	Load
1	Vented Attic/D/Metal		(0.025)	38.0/0.0	920		1.0	934 Btuh
	Ceiling Total				920(sqft)			934Btuh
Floors	Type		Ueff.	R-Value	Size	X	HTM=	Load
1	Slab On Grade		(1.180)	0.0	136.0 ft(perim.)		47.2	6419 Btuh
	Floor Total				900 sqft			6419 Btuh
	Envelope Subtotal:							14190 Btuh
Infiltration	Type	Wholehouse	ACH	Volume(cuft)	Wall Ratio	CFM=		Load
	Natural		0.29	9000	1.00	43.9		1923 Btuh
Duct load	Average sealed, R6.0, Supply(Att), Return(Att)					(DLM of 0.131)		2105 Btuh
All Zones	Sensible Subtotal All Zones							18218 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Isom Res
371 SW Primrose Terr
Fort White, FL 32038

Project Title:
190870 Isom
Building Type: User

2019-08-01

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss	18218 Btuh
	Ventilation Sensible Heat Loss	0 Btuh
	Total Heat Loss	18218 Btuh

EQUIPMENT

1. Electric Heat Pump	#	21000 Btuh
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Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)
U - (Window U-Factor)
HTM - (ManualJ Heat Transfer Multiplier)



Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Isom Res
371 SW Primrose Terr
Fort White, FL 32038

Project Title:
190870 Isom

2019-08-01

Reference City: Gainesville, FL Temperature Difference: 19.0F(TMY3 99%) Humidity difference: 51gr.
This calculation is for Worst Case. The house has been rotated 270 degrees.

Component Loads for Whole House

Window	Type*						Overhang		Window Area(sqft)			HTM		Load		
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded			
1	2 NFRC	0.20, 0.30	No	No	W		14.7f	0.0ft.	90.7	90.7	0.0	10	25	898	Btuh	
2	2 NFRC	0.20, 0.30	No	No	W		1.0ft.	3.5ft.	36.0	0.0	36.0	10	25	899	Btuh	
3	2 NFRC	0.20, 0.30	No	No	N		1.0ft.	5.0ft.	12.0	0.0	12.0	10	10	119	Btuh	
4	2 NFRC	0.20, 0.30	No	No	E		1.0ft.	6.0ft.	54.0	0.0	54.0	10	25	1349	Btuh	
5	2 NFRC	0.20, 0.30	No	No	S		1.0ft.	5.0ft.	12.0	4.1	7.9	10	11	131	Btuh	
	Excursion													1197	Btuh	
	Window Total								205 (sqft)					4594 Btuh		
Walls	Type						U-Value		R-Value		Area(sqft)		HTM		Load	
									Cav/Sheath							
1	Frame - Wood - Ext						0.09		13.0/0.0		89.3		2.3		202 Btuh	
2	Frame - Wood - Ext						0.09		13.0/0.0		168.0		2.3		380 Btuh	
3	Frame - Wood - Ext						0.09		13.0/0.0		484.3		2.3		1096 Btuh	
4	Frame - Wood - Ext						0.09		13.0/0.0		168.0		2.3		380 Btuh	
5	Frame - Wood - Ext						0.09		13.0/0.0		234.0		2.3		530 Btuh	
	Wall Total										1144 (sqft)				2589 Btuh	
Doors	Type										Area (sqft)		HTM		Load	
1	Insulated - Exterior										20.0		12.0		240 Btuh	
	Door Total										20 (sqft)				240 Btuh	
Ceilings	Type/Color/Surface						U-Value		R-Value		Area(sqft)		HTM		Load	
1	Vented Attic/DarkMetal						0.025		38.0/0.0		920.0		1.37		1261 Btuh	
	Ceiling Total										920 (sqft)				1261 Btuh	
Floors	Type								R-Value		Size		HTM		Load	
1	Slab On Grade								0.0		900 (ft-perimeter)		0.0		0 Btuh	
	Floor Total										900.0 (sqft)				0 Btuh	
	Envelope Subtotal:													8684 Btuh		
Infiltration	Type						Average ACH		Volume(cuft)		Wall Ratio		CFM=		Load	
	Natural						0.22		9000		1		32.9		685 Btuh	
Internal gain							Occupants		Btuh/occupant				Appliance		Load	
							4		X 230		+		1200		2120 Btuh	
	Sensible Envelope Load:													11489 Btuh		
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Attic)										(DGM of 0.242)				2777 Btuh	
	Sensible Load All Zones													14266 Btuh		

Manual J Summer Calculations

Residential Load - Component Details (continued)

Isom Res
371 SW Primrose Terr
Fort White, FL 32038

Project Title:
190870 Isom

Climate:FL_GAINESVILLE_REGIONAL_A

2019-08-01

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	11489 Btuh
	Sensible Duct Load	2777 Btuh
	Total Sensible Zone Loads	14266 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	14266 Btuh
	Latent infiltration gain (for 51 gr. humidity difference)	1137 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	502 Btuh
	Latent occupant gain (4.0 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	2438 Btuh
	TOTAL GAIN	16705 Btuh

EQUIPMENT

1. Central Unit	#	21000 Btuh
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*Key: Window types (Panels - Number and type of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value)
(U - Window U-Factor)
(InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
- For Blinds: Assume medium color, half closed
- For Draperies: Assume medium weave, half closed
- For Roller shades: Assume translucent, half closed
(IS - Insect screen: none(N), Full(F) or Half(½))
(Ornt - compass orientation)



Version 8