

DATE 04/20/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027752

APPLICANT BECKY DUGAN PHONE 752-8653
ADDRESS P.O. BOX 815 LAKE CITY FL 32038
OWNER ERIC & CHRISTNA LARSEN PHONE
ADDRESS 239 SW UNCLE REMUS GLEN FT. WHITE FL 32038
CONTRACTOR BRYAN ZECHER PHONE 752-8653
LOCATION OF PROPERTY 47S, TR WILSON SPRINGS, TL BRIAR PATCH, TR ON UNCLE
REMIS GLEN, 3RD LOT ON RIGHT
TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 24000.00
HEATED FLOOR AREA 480.00 TOTAL AREA 480.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 05-7S-16-04138-102 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 10.00

CBC054575
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 09-205 BK HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE

Check # or Cash 6611

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 120.00 CERTIFICATION FEE \$ 2.40 SURCHARGE FEE \$ 2.40
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 199.80
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

ck# 6611

For Office Use Only Application # 0904-16 Date Received 4/13 By JW Permit # 27752
Zoning Official BLK Date 20.04.09 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner HO Date 4-16-09
Comments _____

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL 55 EXEMPT - Addition to existing dwelling

Septic Permit No. 090205 Fax 758-8920

Name Authorized Person Signing Permit Bryan Zeher / Becky Dyer Phone 752-8653

Address PO Box 815 Lake City FL 32056

Owners Name Eric and Christina Larsen Phone _____

911 Address 239 SW Uncle Remus Glen Ft White FL 32038

Contractors Name Bryan Zeher Construction Phone 752-8653

Address PO Box 815 Lake City FL 32056

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Mark Disasway Lake City, FL

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 05-75-16-04138-102 Estimated Cost of Construction \$36,000

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions From intersection of Hwy 27 & SR 47 in Ft. White, take Hwy 27 West & turn Left onto Cullen Ave. Follow Cullen until it veers Right & becomes Wilson Springs (over) Number of Existing Dwellings on Property 1

Construction of addition to existing home Total Acreage 10 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 480' Side 275' Side 301' Rear 130'

Number of Stories 1 Heated Floor Area 480 Total Floor Area 480 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

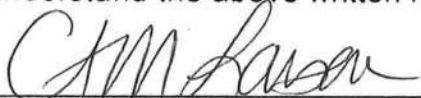
According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permitee)

Contractor's License Number CBC054575
Columbia County
Competency Card Number _____

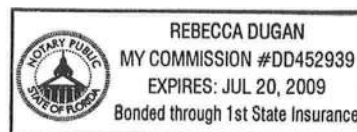
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 10th day of April 2009.

Personally known ☒ or Produced Identification _____



State of Florida Notary Signature (For the Contractor)

SEAL:



NOTICE OF COMMENCEMENT

Inst: 200912005908 Date: 4/13/2009 Time: 11:00 AM
 12 DC, P DeWitt Cason, Columbia County Page 1 of 1 B: 1170 P: 2636

Tax Parcel Identification Number 05-78-16-0438-102

County Clerk's Office Stamp or Seal

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 239 SW Uncle Remus Glu
 a) Street (job) Address: Ft White, FL 32038
2. General description of improvements: addition to home
3. Owner Information
 a) Name and address: Eric/Tina Larsen 239 SW Uncle Remus Glu, Ft White, FL 32038
 b) Name and address of fee simple titleholder (if other than owner) -
 c) Interest in property simple
4. Contractor Information
 a) Name and address: Bryan Zacher Construction Inc PoBox 815, Lake City, FL 32056
 b) Telephone No.: 386-752-8653 Fax No. (Opt.) -
5. Surety Information
 a) Name and address: -
 b) Amount of Bond: -
 c) Telephone No.: - Fax No. (Opt.) -
6. Lender
 a) Name and address: -
 b) Phone No.: -
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 a) Name and address: N/A
 b) Telephone No.: - Fax No. (Opt.) -
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).
 Florida Statutes:
 a) Name and address: N/A
 b) Telephone No.: - Fax No. (Opt.) -
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): -

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

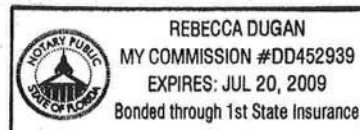
STATE OF FLORIDA
 COUNTY OF COLUMBIA

10. Christina M. Larsen
 Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Christina M. Larsen
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 9th day of April, 20 09, by:
Christina M. Larsen as owner (type of authority, e.g. officer, trustee, attorney
 fact) for - (name of party on behalf of whom instrument was executed).

Personally Known - OR Produced Identification ✓ Type FL

Notary Signature Rebecca Dugan Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Christina M. Larsen
 Signature of Natural Person Signing (in line #10 above.)



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

09-0025
PERMIT NO. 917853
DATE PAID: 4/3/09
FEE PAID: \$1400
RECEIPT #: 1708712

CONSTRUCTION PERMIT FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☒ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Eric LarsenPROPERTY ADDRESS: 239 SW Uncle Remus Glen, Fort White, FL, 32038LOT: 2 BLOCK: na SUBDIVISION: Briar Patch EstatesPROPERTY ID #: 5-7-16-04138-102

[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [9W] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
A ☐ GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
N ☐ GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K ☐ GALLONS DOSING TANK CAPACITY ☐ GALLONS @ ☐ DOSES PER 24 HRS # PUMPS ☐

D [222] SQUARE FEET PRIMARY DRAINFIELD SYSTEMR ☐ SQUARE FEET SYSTEMA TYPE SYSTEM: ☒ STANDARD ☐ FILLED ☐ MOUND ☐I CONFIGURATION: ☒ TRENCH ☐ BED ☐

N

F LOCATION OF BENCHMARK: MAIL IN OAK TREE NE OF SITEI ELEVATION OF PROPOSED SYSTEM SITE [12] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINTE BOTTOM OF DRAINFIELD TO BE [42] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [NA] INCHES EXCAVATION REQUIRED: [NA] INCHES

O

T

H

E

R

SPECIFICATIONS BY: Rock D F TITLE: MASTER CONTRACTORAPPROVED BY: Mr A 2m TITLE: Env. Mngt. Columbia CHDDATE ISSUED: 4-8-09EXPIRATION DATE: 10-8-10

DH 4016, 10/97 (Previous Editions May Be Used)

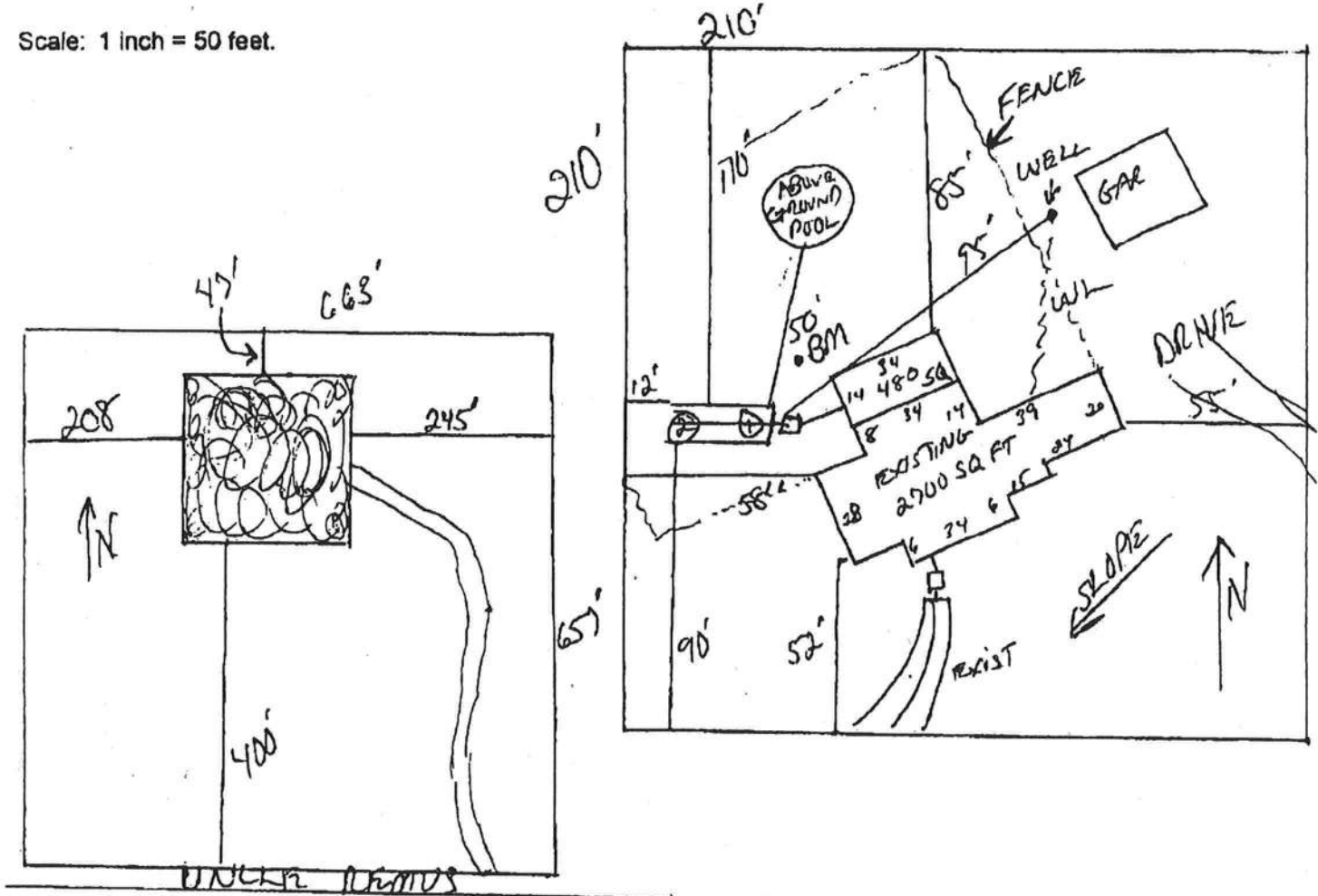
Page 3

**STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number 09-0205

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: 1 of 10 Acres

Site Plan submitted by: Rock D F D MASTER CONTRACTOR
 Plan Approved ☒ Not Approved ☐ Date 4-8-08
 By Mr. Dand Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

09-0205
PERMIT NO. 917853
DATE PAID: 4/3/09
FEE PAID: \$70.00
RECEIPT #: 1108712

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Eric LarsenAGENT: ROCKY FORD, A & B CONSTRUCTIONTELEPHONE: 386-497-2311MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (a) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 2 BLOCK: na SUB: Briar Patch Estates PLATTED: _____PROPERTY ID #: 5-7-16-04138-102 ZONING: As I/M OR EQUIVALENT: ☒ Y / ☒ NPROPERTY SIZE: 10 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ <=2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y / ☒ N DISTANCE TO SEWER: — FTPROPERTY ADDRESS: 239 SW Uncle Remus Glen, Fort White, FL, 32038

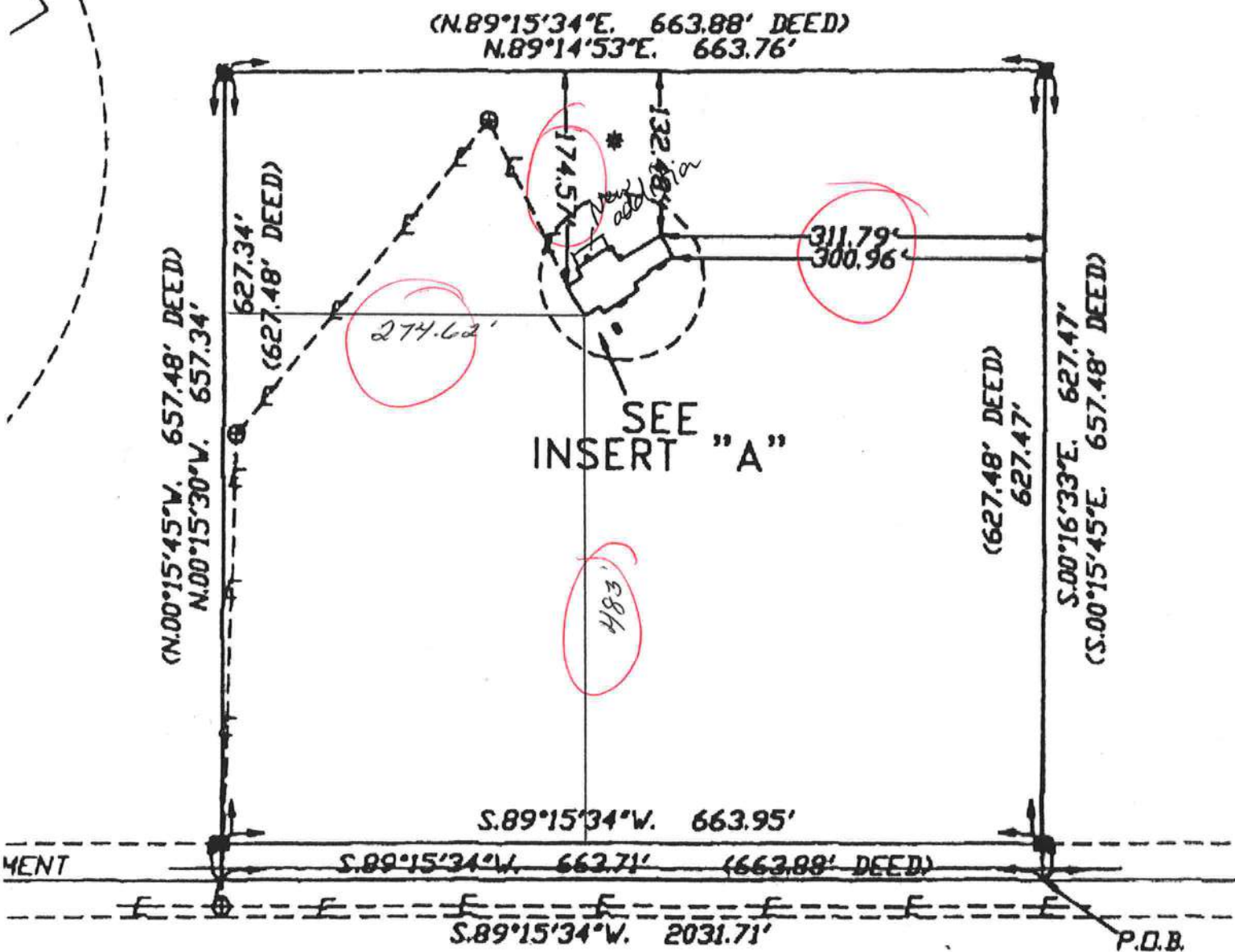
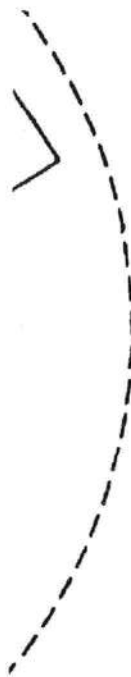
DIRECTIONS TO PROPERTY: 47 South to Fort White, TR on Wilson Springs Road, TL on Briar Patch Terr, TR on Uncle Remus (1st Road to right) to address on right

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	3	3180	2700 EXISTING
2				480 SQ ADDITION
3				

☒ Floor/Equipment/Drains ☒ Other (Specify) _____SIGNATURE: Rocky D FordDATE: 4/1/2009



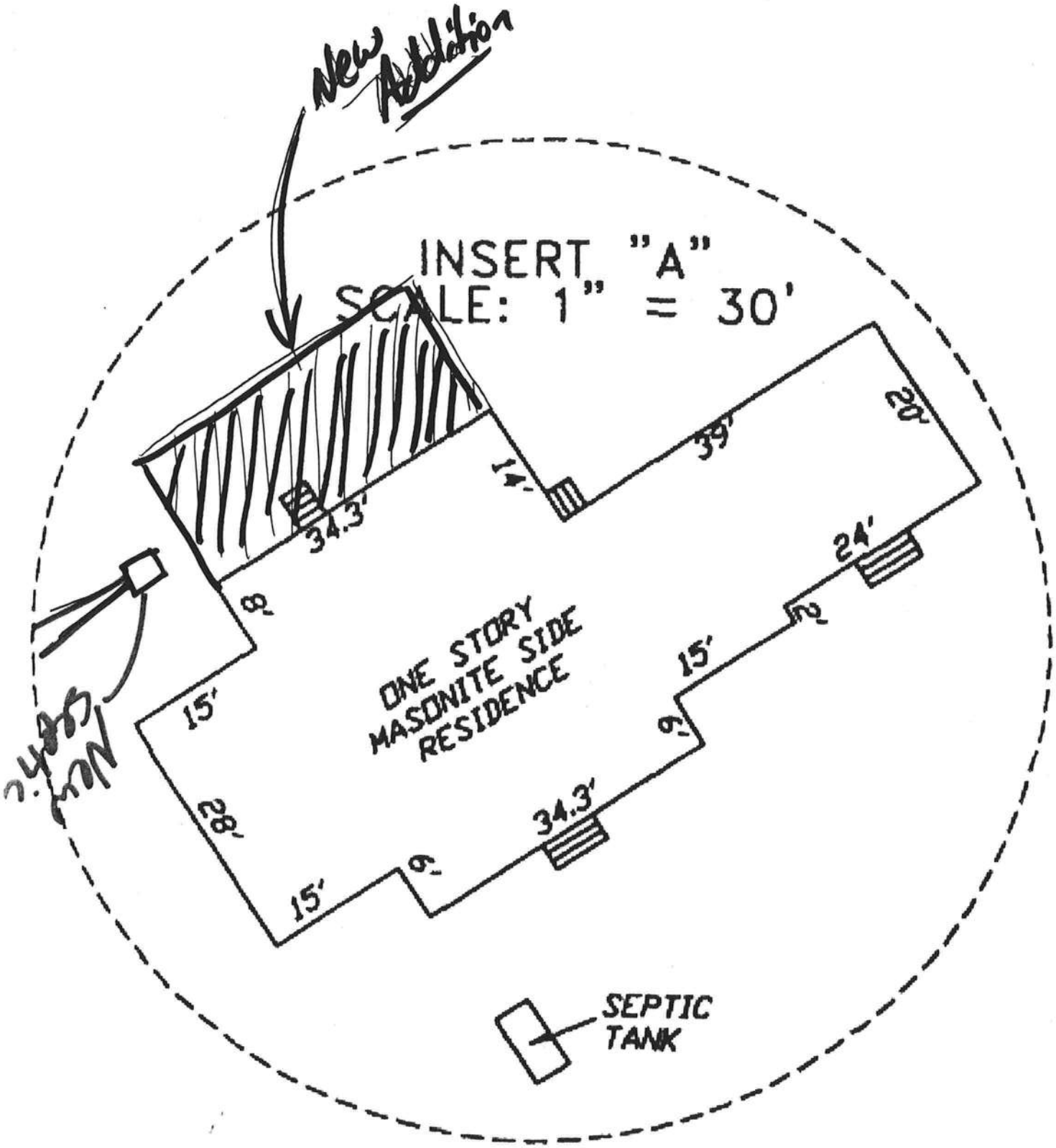
New Addition

INSERT "A"
SCALE: 1" = 30'

ONE STORY
MASONITE SIDE
RESIDENCE

SEPTIC
TANK

*New
Septic*



This Instrument Prepared by: Marshal DeLisle,
of ASSOCIATED LAND TITLE GROUP, INC.,
300 N. MARION STREET, LAKE CITY, FLORIDA 32055,
For Purposes of Title Ins.
File # 170-35263
Parcel ID # [REDACTED]

98-12120

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

1998 JUL 27 PM 1:21

Documentary Stamp \$182.00
Intangible Tax \$
P. DeWitt Cason
Clerk of Court
By [Signature] D.L.

Documentary Stamp \$85.75
Intangible Tax \$49.00
P. DeWitt Cason
Clerk of Court
By [Signature] D.L.



Articles of Agreement, Made this 24th day of July, 1998

Wherever used herein, the term "party" shall include the heirs, personal representatives, successors and/or assigns of the respective parties hereto; the use of the singular number shall include the plural, and the plural the singular; the use of any gender shall include all genders; and, if used, the term "note" shall include all the notes herein described if more than one

Between

Harry G. Dicks a married man not residing on the property
Rt 1 Box 130 Lulu, FL 32061
Eric Larsen and Christina M. Larsen his wife
Rt 3 Box 1123, Ft. White, FL 32038

party of the first part, and

party of the second part,

Witnesseth, that if the said party of the second part shall first make the payments and perform the covenants hereinafter mentioned on his part to be made and performed, the said party of the first part hereby covenants and agrees to convey and assure to the said party of the second part, in fee simple, clear of all incumbrances whatever, by a good and sufficient deed, the lot, piece, or parcel, of ground situated in the County of COLUMBIA, State of Florida, known and described as follows, to-wit:

See Schedule A attached hereto and by this reference made a part hereof.

Restrictions and Easements, see Schedule B attached hereto and by this reference made a part hereof.

SUBJECT TO: Mortgage Deed in the original principal amount of \$135,276.00 given by J. L. Dicks and Harry G. Dicks to Jesse G. Bailey and wife, Helen L. Bailey dated April 18, 1997, filed April 21, 1997, and recorded in OR Book 838, Page 583, and Corrective Mortgage Deed dated April 18, 1997, filed September 5, 1997, and recorded in OR Book 845, Page 382.

and the said party of the second part hereby covenants and agrees to pay to the said party of the first part the sum of Twenty Six Thousand Dollars & No/100

Dollars, in the manner following

The Sum of \$1,500.00 as down payment, receipt of which is acknowledged and the balance of \$ 24,500.00 to be paid in 180 consecutive monthly installments of \$278.47 each, principal and interest, the first payment being due one month from the date hereof, and a like payment each and every month thereafter, until paid in full, as evidenced by Promissory Note executed of even date herewith.

with interest at the rate of 11 per centum, per annum payable monthly on the whole sum remaining from time to time unpaid;

(Page 1 of 2 pages)

EX 0863 PG 0560

OFFICIAL RECORDS

and to pay all taxes, assessments or impositions that may be legally levied or imposed upon said land subsequent to the year 1997, and to keep the buildings upon said premises insured in some company satisfactory to the party of the first part in a sum not less than n/a Dollars during the term of this agreement. And in case of failure of the said party of the second part to make either of the payments or any part thereof, or to perform any of the covenants on his part hereby made and entered into, this contract shall, at the option of the party of the first part, be forfeited and terminated, and the party of the second part shall forfeit all payments made on this contract; and such payments shall be retained by the said party of the first part in full satisfaction and liquidation of all damages by him sustained, and said party of the first part shall have the right to re-enter and take possession of the premises aforesaid without being liable to any action therefore, and at the option of the party of the first part the unpaid balance shall without demand become due and payable, and all costs and expenses of collection of said moneys by foreclosure or otherwise, including solicitor's fees, shall be paid by the party of the second part, and the same are hereby secured.

It Is Mutually Agreed, by and between the parties hereto, that the time of payment shall be an essential part of this contract, and that all covenants and agreements herein contained shall extend to and be obligatory upon the heirs, executors, administrators and assigns of the respective parties.

In Witness Whereof, The parties to these presents have hereunto set their hands and seals the day and year first above written.

Signed, Sealed and Delivered in the presence of:

Marshal DeLisle
Marshal DeLisle

Harry G. Dicks (L.S.)
Harry G. Dicks (L.S.)

Donald W. Cook Jr.
Donald W. Cook Jr.

Eric Larsen (L.S.)
Christina M. Larsen (L.S.)
Christina M. Larsen (L.S.)
(L.S.)

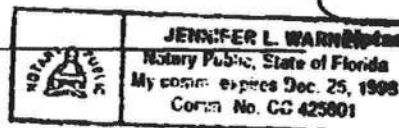
State of Florida, Columbia County.

I Hereby Certify, That on July 24, 1998 before me personally appeared, Harry G. Dicks a married man not residing on the property and Eric Larsen and Christina M. Larsen his wife who are personally known to me or have produced the identification identified below, who are the persons described in and who executed the foregoing instrument, and who after being duly sworn say that the execution hereof is their free act and deed for the uses and purposes herein mentioned.

Sworn to and Subscribed before me the undersigned Notary Public by my hand and official seal, the day and year last aforesaid.

☐ To me personally known ☒ Identified by Driver's License ☐ Identified by

My Commission Expires



Jennifer L. Warner
Jennifer L. Warner

Schedule A

OFFICIAL RECORDS

TOWNSHIP 7 SOUTH, RANGE 16 EAST

SECTION 5: Parcel No. 2: Commence at the Northeast Corner of SW 1/4, Section 5, Township 7 South, Range 16, East, Columbia County, Florida and run thence S 0°15'45" E along the East line of said SW 1/4, 657.48 feet; thence S 89°15'34" W, 663.88 feet to the Point of Beginning, thence continue S 89°15'34" W, 663.88 feet, thence N 0°15'45" W, 657.48 feet to the North line of said SW 1/4, thence N 89°15'34" E along said North line, 663.88 feet, thence S 0°15'45" E, 657.48 feet to the Point of Beginning, the South 30 feet of said lands being subject to an easement for ingress and egress. Also, the East 10 feet and the West 10 feet of said lands being subject to Utility Easement for Clay Electric.

And

Easement for Ingress and Egress: A strip of land 60 feet in width being 60 feet to the right of a line described as follows: Commence at the Northeast corner of the NW 1/4, Section 5, Township 7 South, Range 16 East, Columbia County, Florida and run thence S 0°14'05" E along the East line of said NW 1/4, 51.29 feet to the South line of Wilson Springs Road and to the Point of Beginning, thence continue S 0°14'05" E along said East line, 2534.56 feet to the Northeast corner of the SW 1/4 of said Section 5, thence S 0°15'45" E along the East line of said SW 1/4, 657.48 feet to reference Point "A", thence continue S 0°15'45" E along said East line 1292.93 feet to reference Point "B", thence continue S 0°15'45" E along said East line, 30.00 feet to the Point of Termination. Also a strip of land 60 feet in width being 30 feet each side of a centerline described as follows: Begin at reference Point "A" and run thence S 89°15'34" W, 2031.64 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and the Point of Termination. Also a strip of land 60 feet in width being 30 feet each side of a centerline described as follows: Begin at Reference Point "B" and run thence S 89°15'34" W, 1382.98 feet to the Point of Termination.

File No: 170-35263

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name: 903253ZecherBryanLarsenEricAddition
 Street: 239 SW Uncle Remus Glen
 City, State, Zip: Ft. White, FL, 32028-
 Owner: Eric Larsen
 Design Location: FL, Gainesville

Builder Name: Beyan Zecher
 Permit Office: *Columbia*
 Permit Number: *27752*
 Jurisdiction: *221000*

1. New construction or existing	New (From Plans)	
2. Single family or multiple family	Single-family	
3. Number of units, if multiple family	1	
4. Number of Bedrooms	0	
5. Is this a worst case?	No	
6. Conditioned floor area (ft ²)	480	
7. Windows	Description	Area
a. U-Factor:	Dbl, U=0.30	91.00 ft ²
	SHGC: SHGC=0.35	
b. U-Factor:	N/A	ft ²
	SHGC:	
c. U-Factor:	N/A	ft ²
	SHGC:	
d. U-Factor:	N/A	ft ²
	SHGC:	
e. U-Factor:	N/A	ft ²
	SHGC:	
8. Floor Types	Insulation	Area
a. Slab-On-Grade Edge Insulation	R=0.0	480.00 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	498.67 ft ²
b. Frame - Wood, Adjacent	R=13.0	274.67 ft ²
c. N/A	R=	ft ²
d. N/A	R=	ft ²
10. Ceiling Types	Insulation	Area
a. Under Attic (Vented)	R=30.0	480.00 ft ²
b. N/A	R=	ft ²
c. N/A	R=	ft ²
11. Ducts		
a. Sup: Attic Ret: Interior AH: Interior Sup. R= 6, 72 ft ²		
12. Cooling systems		
a. Central Unit	Cap: 12 kBtu/hr	SEER: 13
13. Heating systems		
a. Electric Heat Pump	Cap: 12 kBtu/hr	HSPF: 7.9
14. Hot water systems		
a. Electric	Cap: 50 gallons	EF: 0.92
b. Conservation features	None	
15. Credits	Pstat	

Glass/Floor Area: 0.190

Total As-Built Modified Loads: 12.16

Total Baseline Loads: 14.38

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*DATE: *4/9/09* *ERAN BEAMSCOT*

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: *[Signature]*DATE: *4/8/09*

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____

DATE: _____

PROJECT

Title: 903253ZecherBryanLarsenEri	Bedrooms: 0	Address Type: Street Address
Building Type: FLAsBuilt	Bathrooms: 0	Lot #
Owner: Eric Larsen	Conditioned Area: 480	SubDivision:
# of Units: 1	Total Stories: 1	PlatBook:
Builder Name: Beyan Zecher	Worst Case: No	Street: 239 SW Uncle Remus
Permit Office:	Rotate Angle: 0	County: Columbia
Jurisdiction:	Cross Ventilation:	City, State, Zip: Ft. White ,
Family Type: Single-family	Whole House Fan:	FL , 32028-
New/Existing: New (From Plans)		
Comment:		

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

✓	#	Floor Type	Perimeter	R-Value	Area	Tile	Wood	Carpet
_____	1	Slab-On-Grade Edge Insulatio	62.3 ft	0	480 ft²	0	0	1

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Gable or shed	Composition shingles	537 ft²	120 ft²	Dark	0.96	No	0	26.6 deg

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	480 ft²	N	N

CEILING

✓	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	30	480 ft²	0.11	Wood

WALLS

✓	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	SE	Exterior	Frame - Wood	13	112 ft²		0.23	0.5
_____	2	SW	Exterior	Frame - Wood	13	274.67 ft²		0.23	0.5
_____	3	NW	Exterior	Frame - Wood	13	112 ft²		0.23	0.5
_____	4	NE	Garage	Frame - Wood	13	274.67 ft²		0.23	0.01

DOORS

✓	#	Ornt	Door Type	Storms	U-Value	Area
✓	1	SW	Insulated	None	0.4	10 ft²

WINDOWS

Window orientation below is as entered. Actual orientation is modified by rotate angle shown in "Project" section above.

✓	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Separation	Int Shade	Screening
✓	1	SE	Vinyl	Low-E Double	Yes	0.3	0.35	N	15 ft²	1 ft 6 in	0 ft 6 in	HERS 2006	None
✓	2	SE	Vinyl	Low-E Double	Yes	0.3	0.35	N	6 ft²	1 ft 6 in	0 ft 6 in	HERS 2006	None
✓	3	SW	Vinyl	Low-E Double	Yes	0.3	0.35	N	30 ft²	1 ft 6 in	7 ft 0 in	HERS 2006	None
✓	4	SW	Vinyl	Low-E Double	Yes	0.3	0.35	N	10 ft²	1 ft 6 in	9 ft 6 in	HERS 2006	None
✓	5	NW	Vinyl	Low-E Double	Yes	0.3	0.35	N	30 ft²	1 ft 6 in	0 ft 6 in	HERS 2006	None

INFILTRATION & VENTING

✓	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM	Exhaust CFM	Run Time Fraction	Fan Watts
✓	Default	0.00036	453	7.08	24.9	46.8	0 cfm	0 cfm	0	0

GARAGE

✓	#	Floor Area	Ceiling Area	Exposed Wall Perimeter	Avg. Wall Height	Exposed Wall Insulation
✓	1	1 ft²	1 ft²	1 ft	8 ft	11

COOLING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ductless
✓	1	Central Unit	Split	SEER: 13	12 kBtu/hr	360 cfm	0.75	False

HEATING SYSTEM

✓	#	System Type	Subtype	Efficiency	Capacity	Ductless
✓	1	Electric Heat Pump	None	HSPF: 7.9	12 kBtu/hr	False

HOT WATER SYSTEM

✓	#	System Type	EF	Cap	Use	SetPnt	Conservation
✓	1	Electric	0.92	50 gal	30 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
✓	None	None			ft²		

DUCTS

✓	#	--- Supply ---			--- Return ---		Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
		Location	R-Value	Area	Location	Area						
	1	Attic	6	72 ft²	Interior	1 ft²	Default Leakage	Interior				

TEMPERATURES

Programable Thermostat: Y					Ceiling Fans:								
Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec	
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec	
Venting	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input checked="" type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec	
Thermostat Schedule: HERS 2006 Reference													
Schedule Type		1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	80	80	80	80
	PM	80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66
Heating (WEH)	AM	66	66	66	66	66	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	66	66

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: 239 SW Uncle Remus Glen
Ft. White, FL, 32028-

PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

1. New construction or existing	New (From Plans)		9. Wall Types	Insulation	Area
2. Single family or multiple family	Single-family		a. Frame - Wood, Exterior	R=13.0	498.67 ft ²
3. Number of units, if multiple family	1		b. Frame - Wood, Adjacent	R=13.0	274.67 ft ²
4. Number of Bedrooms	0		c. N/A	R=	ft ²
5. Is this a worst case?	No		d. N/A	R=	ft ²
6. Conditioned floor area (ft ²)	480		10. Ceiling Types	Insulation	Area
7. Windows**	Description	Area	a. Under Attic (Vented)	R=30.0	480.00 ft ²
a. U-Factor:	Dbl, U=0.30	91.00 ft ²	b. N/A	R=	ft ²
SHGC:	SHGC=0.35		c. N/A	R=	ft ²
b. U-Factor:	N/A	ft ²	11. Ducts		
SHGC:			a. Sup: Attic Ret: Interior AH: Interior Sup. R= 6, 72 ft ²		
c. U-Factor:	N/A	ft ²	12. Cooling systems		
SHGC:			a. Central Unit	Cap: 12 kBtu/hr	SEER: 13
d. U-Factor:	N/A	ft ²	13. Heating systems		
SHGC:			a. Electric Heat Pump	Cap: 12 kBtu/hr	HSPF: 7.9
e. U-Factor:	N/A	ft ²	14. Hot water systems		
SHGC:			a. Electric	Cap: 50 gallons	EF: 0.92
8. Floor Types	Insulation	Area	b. Conservation features		
a. Slab-On-Grade Edge Insulation	R=0.0	480.00 ft ²	None		
b. N/A	R=	ft ²	15. Credits		Pstat
c. N/A	R=	ft ²			

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

Residential System Sizing Calculation

Summary

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

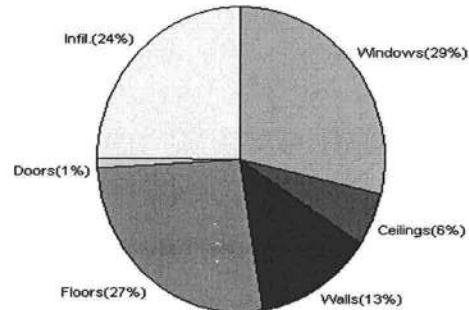
4/9/2009

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
Total heating load calculation	10111 Btuh	Total cooling load calculation	10663 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	118.7 12000	Sensible (SHR = 0.75)	99.0 9000
Heat Pump + Auxiliary(0.0kW)	118.7 12000	Latent	191.1 3000
		Total (Electric Heat Pump)	112.5 12000

WINTER CALCULATIONS

Winter Heating Load (for 480 sqft)

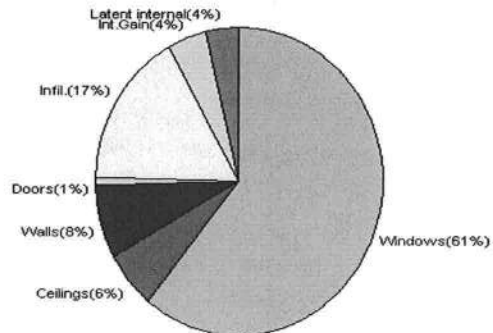
Load component	Load
Window total 91 sqft	2929 Btuh
Wall total 397 sqft	1304 Btuh
Door total 10 sqft	130 Btuh
Ceiling total 480 sqft	566 Btuh
Floor total 62 sqft	2720 Btuh
Infiltration 61 cfm	2463 Btuh
Duct loss	0 Btuh
Subtotal	10111 Btuh
Ventilation 0 cfm	0 Btuh
TOTAL HEAT LOSS	10111 Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 480 sqft)

Load component	Load
Window total 91 sqft	6470 Btuh
Wall total 397 sqft	828 Btuh
Door total 10 sqft	98 Btuh
Ceiling total 480 sqft	642 Btuh
Floor total	0 Btuh
Infiltration 32 cfm	596 Btuh
Internal gain	460 Btuh
Duct gain	0 Btuh
Sens. Ventilation 0 cfm	0 Btuh
Total sensible gain	9093 Btuh
Latent gain(ducts)	0 Btuh
Latent gain(infiltration)	1169 Btuh
Latent gain(ventilation)	0 Btuh
Latent gain(internal/occupants/other)	400 Btuh
Total latent gain	1569 Btuh
TOTAL HEAT GAIN	10663 Btuh



For Florida residences only

EnergyGauge® System Sizing

PREPARED BY:

DATE: 4/9/09 EVAN BEHNSLEY

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

4/9/2009

Component Loads for Whole House

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	SE	15.0	32.2	483 Btuh
2	2, Clear, Metal, 0.87	SE	6.0	32.2	193 Btuh
3	2, Clear, Metal, 0.87	SW	30.0	32.2	966 Btuh
4	2, Clear, Metal, 0.87	SW	10.0	32.2	322 Btuh
5	2, Clear, Metal, 0.87	NW	30.0	32.2	966 Btuh
Window Total			91(sqft)		2929 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	397	3.3	1304 Btuh
Wall Total			397		1304 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exterior		10	12.9	130 Btuh
Door Total			10		130 Btuh
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/L/Shin)	30.0	480	1.2	566 Btuh
Ceiling Total			480		566 Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	62.3 ft(p)	43.7	2720 Btuh
Floor Total			62		2720 Btuh
Zone Envelope Subtotal:					7648 Btuh
Infiltration	Type	ACH X	Zone Volume	CFM=	Load
	Natural	0.95	3840	60.8	2463 Btuh
Ductload	Average sealed, R6.0, Supply(Attic), Return(Conditioned) (DLM of 0.00)				0 Btuh
Zone #1	Sensible Zone Subtotal				10111 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	10111 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	10111 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear ()
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



For Florida residences only

System Sizing Calculations - Winter

Residential Load - Room by Room Component Details

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

4/9/2009

Component Loads for Zone #1: Main

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	SE	15.0		32.2	483 Btuh
2	2, Clear, Metal, 0.87	SE	6.0		32.2	193 Btuh
3	2, Clear, Metal, 0.87	SW	30.0		32.2	966 Btuh
4	2, Clear, Metal, 0.87	SW	10.0		32.2	322 Btuh
5	2, Clear, Metal, 0.87	NW	30.0		32.2	966 Btuh
Window Total			91(sqft)			2929 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	397		3.3	1304 Btuh
Wall Total			397			1304 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Exterior		10		12.9	130 Btuh
Door Total			10			130Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic/L/Shin)	30.0	480		1.2	566 Btuh
Ceiling Total			480			566Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Slab On Grade	0	62.3 ft(p)		43.7	2720 Btuh
Floor Total			62			2720 Btuh
Zone Envelope Subtotal:						7648 Btuh
Infiltration	Type	ACH	Zone Volume		CFM=	
	Natural	0.95	3840		60.8	2463 Btuh
Ductload	Average sealed, R6.0, Supply(Attic), Return(Conditioned) (DLM of 0.00)					0 Btuh
Zone #1	Sensible Zone Subtotal					10111 Btuh

WHOLE HOUSE TOTALS

	Subtotal Sensible	10111 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	10111 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear ()
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

4/9/2009

Component Loads for Whole House

Window	Type*	Ornt	Overhang		Window Area(sqft)			HTM		Load
	Pn/SHGC/U/InSh/ExSh/IS		Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2, Clear, 0.87, None,N,N	SE	1.5ft	5.5ft	15.0	6.1	8.9	29	63	734 Btuh
2	2, Clear, 0.87, None,N,N	SE	1.5ft	3.5ft	6.0	4.0	2.0	29	63	239 Btuh
3	2, Clear, 0.87, None,N,N	SW	1.5ft	11.5f	30.0	0.0	30.0	29	63	1876 Btuh
4	2, Clear, 0.87, None,N,N	SW	1.5ft	16ft.	10.0	0.0	10.0	29	63	625 Btuh
5	2, Clear, 0.87, None,N,N	NW	1.5ft	5.5ft	30.0	0.0	30.0	29	60	1801 Btuh
	Excursion									1194 Btuh
	Window Total				91 (sqft)					6470 Btuh
Walls	Type		R-Value/U-Value		Area(sqft)			HTM		Load
1	Frame - Wood - Ext		13.0/0.09		397.0			2.1		828 Btuh
	Wall Total				397 (sqft)					828 Btuh
Doors	Type				Area (sqft)			HTM		Load
1	Insulated - Exterior				10.0			9.8		98 Btuh
	Door Total				10 (sqft)					98 Btuh
Ceilings	Type/Color/Surface		R-Value		Area(sqft)			HTM		Load
1	Vented Attic/Light/Shingle		30.0		480.0			1.3		642 Btuh
	Ceiling Total				480 (sqft)					642 Btuh
Floors	Type		R-Value		Size			HTM		Load
1	Slab On Grade		0.0		62 (ft(p))			0.0		0 Btuh
	Floor Total				62.3 (sqft)					0 Btuh
	Zone Envelope Subtotal:									8038 Btuh
Infiltration	Type		ACH		Volume(cuft)			CFM=		Load
	SensibleNatural		0.50		3840			32.0		596 Btuh
Internal gain			Occupants		Btuh/occupant			Appliance		Load
			2		X 230 +			0		460 Btuh
Duct load	Average sealed, R6.0, Supply(Attic), Return(Conditioned)									0.0 Btuh
	Sensible Zone Load									9093 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

4/9/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	9093 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	9093 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	9093 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	1169 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	1569 Btuh
	TOTAL GAIN	10663 Btuh

*Key: Window types (Pn - Number of panes of glass)

(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(U - Window U-Factor or 'DEF' for default)

(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))

(ExSh - Exterior shading device: none(N) or numerical value)

(BS - Insect screen: none(N), Full(F) or Half(H))

(Ornt - compass orientation)



For Florida residences only

System Sizing Calculations - Summer

Residential Load - Room by Room Component Details

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

4/9/2009

Component Loads for Zone #1: Main

Window	Type*		Overhang		Window Area(sqft)			HTM		Load
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2, Clear, 0.87, None,N,N	SE	1.5ft	5.5ft	15.0	6.1	8.9	29	63	734 Btuh
2	2, Clear, 0.87, None,N,N	SE	1.5ft	3.5ft	6.0	4.0	2.0	29	63	239 Btuh
3	2, Clear, 0.87, None,N,N	SW	1.5ft	11.5f	30.0	0.0	30.0	29	63	1876 Btuh
4	2, Clear, 0.87, None,N,N	SW	1.5ft	16ft.	10.0	0.0	10.0	29	63	625 Btuh
5	2, Clear, 0.87, None,N,N	NW	1.5ft	5.5ft	30.0	0.0	30.0	29	60	1801 Btuh
Excursion										1194 Btuh
Window Total					91 (sqft)					6470 Btuh
Walls	Type		R-Value/U-Value		Area(sqft)		HTM		Load	
	1 Frame - Wood - Ext		13.0/0.09		397.0		2.1		828 Btuh	
	Wall Total				397 (sqft)				828 Btuh	
Doors	Type				Area (sqft)		HTM		Load	
	1 Insulated - Exterior				10.0		9.8		98 Btuh	
	Door Total				10 (sqft)				98 Btuh	
Ceilings	Type/Color/Surface		R-Value		Area(sqft)		HTM		Load	
	1 Vented Attic/Light/Shingle		30.0		480.0		1.3		642 Btuh	
	Ceiling Total				480 (sqft)				642 Btuh	
Floors	Type		R-Value		Size		HTM		Load	
	1 Slab On Grade		0.0		62 (ft(p))		0.0		0 Btuh	
	Floor Total				62.3 (sqft)				0 Btuh	
	Zone Envelope Subtotal:									8038 Btuh
Infiltration	Type		ACH		Volume(cuft)		CFM=		Load	
	SensibleNatural		0.50		3840		32.0		596 Btuh	
Internal gain			Occupants		Btuh/occupant		Appliance		Load	
			2		X 230 +		0		460 Btuh	
Duct load	Average sealed, R6.0, Supply(Attic), Return(Conditioned)							DGM = 0.00		0.0 Btuh
	Sensible Zone Load									9093 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

Class 3 Rating
Registration No. 0
Climate: North

4/9/2009

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	9093 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	9093 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	9093 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	1169 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (2 people @ 200 Btuh per person)	400 Btuh
	Latent other gain	0 Btuh
	Latent total gain	1569 Btuh
	TOTAL GAIN	10663 Btuh

*Key: Window types (Pn - Number of panes of glass)
(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(U - Window U-Factor or 'DEF' for default)
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))
(ExSh - Exterior shading device: none(N) or numerical value)
(BS - Insect screen: none(N), Full(F) or Half(H))
(Ornt - compass orientation)



For Florida residences only

Residential Window Diversity

MidSummer

Eric Larsen
239 SW Uncle Remus Glen
Ft. White, FL

Project Title:
903253ZecherBryanLarsenEricMANJ

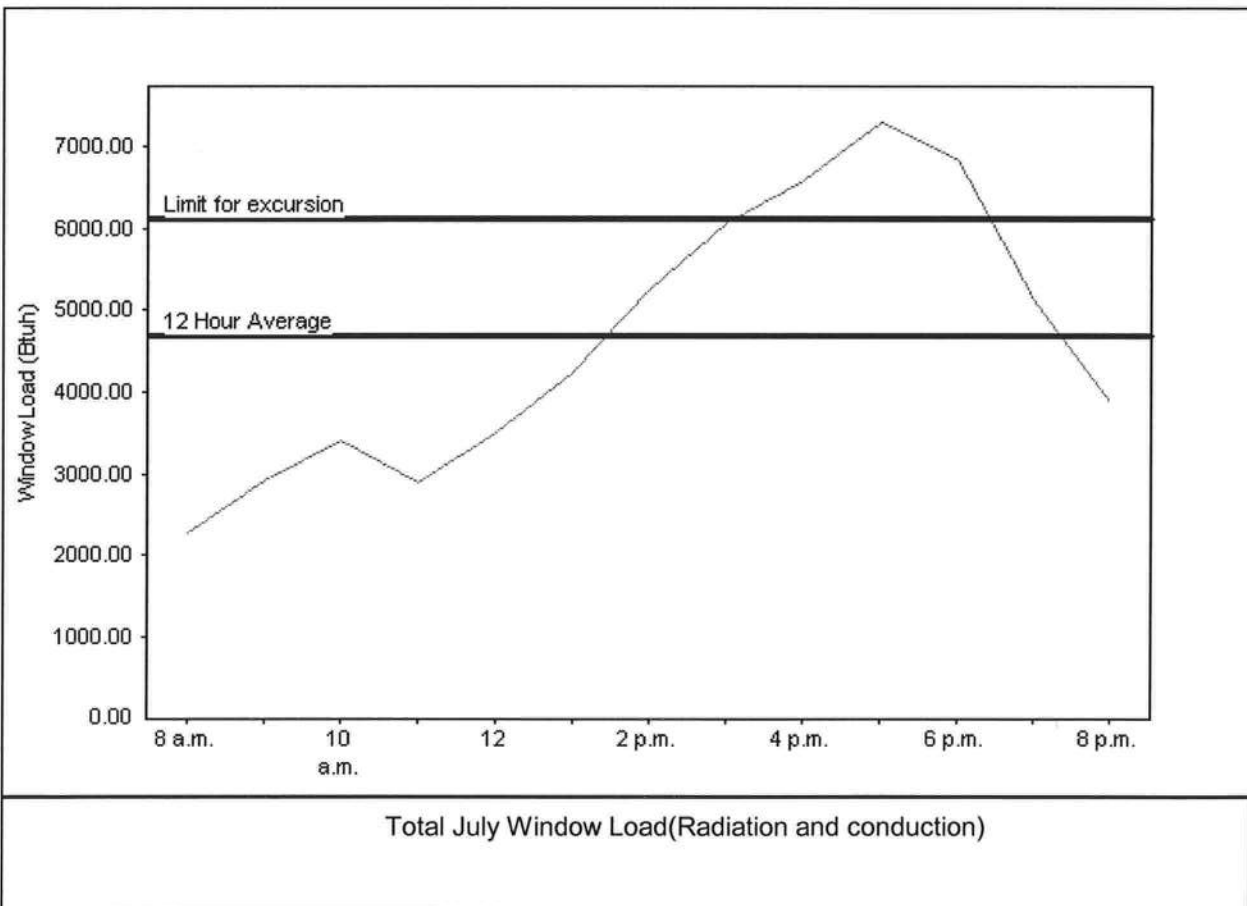
Class 3 Rating
Registration No. 0
Climate: North

4/9/2009

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	4700 Btuh
Summer setpoint	75 F	Peak window load for July	7303 Btuh
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	6110 Btuh
Latitude	29 North	Window excursion (July)	1194 Btuh

WINDOW Average and Peak Loads



This application has glass areas that produce large heat gains for part of the day. Variable air volume devices are required to overcome spikes in solar gain for one or more rooms. Install a zoned system or provide zone control for problem rooms. Single speed equipment may not be suitable for the application.

EnergyGauge® System Sizing for Florida residences only

PREPARED BY: [Signature]

DATE: 4/9/09 EVAN BEANSLEY

EnergyGauge® FLR2PB v4.1



ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
 Florida Engineering Certificate of Authorization Number: 0 278
 Florida Certificate of Product Approval # FL1999
 Page 1 of 1 Document ID: ITQL8228Z0306163649

Truss Fabricator: Anderson Truss Company
 Job Identification: 9-082--BRYAN ZECHER Larsen Addition -- , **

Truss Count: 5
 Model Code: Florida Building Code 2007 and 2009 Supplement
 Truss Criteria: FBC2007Res/TPI-2002(STD)
 Engineering Software: Alpine Software, Version 8.07.
 Structural Engineer of Record: The identity of the structural EOR did not exist as of the seal date per section 61615-31.003(5a) of the FAC
 Address: Roof - 40.0 PSF @ 1.25 Duration
 Floor - N/A
 Wind - 110 MPH ASCE 7-05 - Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings: the drawing number is preceded by: HCUSR8228

Details: A1101505-GBULLETIN-

#	Ref	Description	Drawing#	Date
1	72610--A1	09096006	04/06/09	
2	72611--A2	09096007	04/06/09	
3	72612--A3	09096008	04/06/09	
4	72613--A-GE	09096005	04/06/09	
5	72614--A4-GDR	09096047	04/06/09	

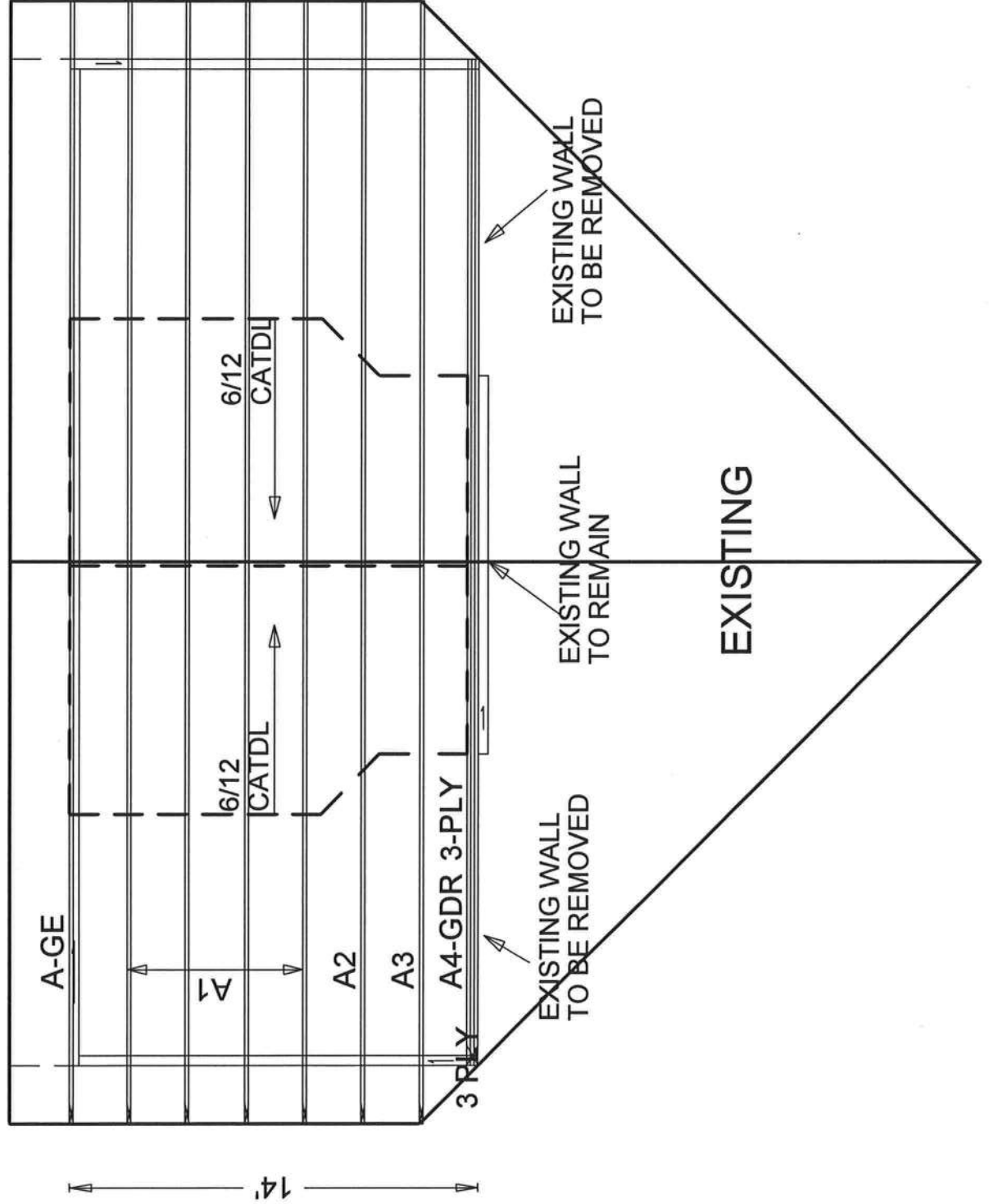
-Truss Design Engineer-
 James F. Collins Jr.
 Florida License Number: 52212
 1950 Marley Drive
 Haines City, FL 33844

Seal Date: 04/06/2009



#9-082
BRYAN ZECHER-
LARSEN ADDITION

34'4"



JOB DESCRIPTION: BRYAN ZECHER
/: Larsen Addition

JOB NO:
9-082

PAGE NO:
1 OF 1

1110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi (+/-)=0.18

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.



R=1568 U=139 W=4"
RL=224/-224

Design Crit: FBC2007Res/TPI-2002 (STD)
FT/RT=10%(0%)/0(0)

Scale = .1875"/Ft.

FL/-/4/-/-/R/-

00:00:00

08

****WARNING**** THUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. ALWAYS USE PROPER LIFTING TECHNIQUES TO PREVENT DAMAGE TO THE THUSSES OR THE STRUCTURE BEING LIFTED.
NORTH LEE STREET SUITE 312 • ALEXANDRIA, VA 22304 • VICA HARBOR TRUSS, COUNCIL OF AMERICA, 6300
LINDEN AVENUE, WOODSIDE, NJ 07075 • 800-955-5555 • FAX 201-261-5555 • WWW.VICATRUSS.COM
OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CELLING.

[illegible]

TC LL	20.0	PSF	REF	R8228-	72610
TC DL	10.0	PSF	DATE	04/06/09	
BC DL	10.0	PSF	DRW	HCUSR8228	09096000
BC LL	0.0	PSF	HC-ENG	SSB/WHK	
TOT.LD.	40.0	PSF	SEQN-	13789	
DUR.FAC.	1.25		FROM	AH	
PACKING	24.0"		DEE-	1T01	8228703

A circular professional engineer seal for the State of Florida. The outer ring contains the text "STATE OF FLORIDA" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by stars. The inner circle contains the name "JAMES L. LEWIS, JR." at the top, the number "No. 52212" in the center, and the expiration date "Exp. 06/01/99" at the bottom. The seal is stamped over the signature of James L. Lewis, Jr.



ING.

CLINICAL

PING.

DLING

CONCLUSIONS

RE 100

EXT 1 X 3

USES

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1

ITW Building Components Group Inc.
Haines City, FL 33844
FL 800.441.278

Haines City, FL 33844
FL 33844-278

	Top chord	2x4	SP	#2	Dense
	Bot chord	2x4	SP	#2	Dense
	Webbs	2x4	SP	#3	
	Filler	2x4	SP	#2	Dense

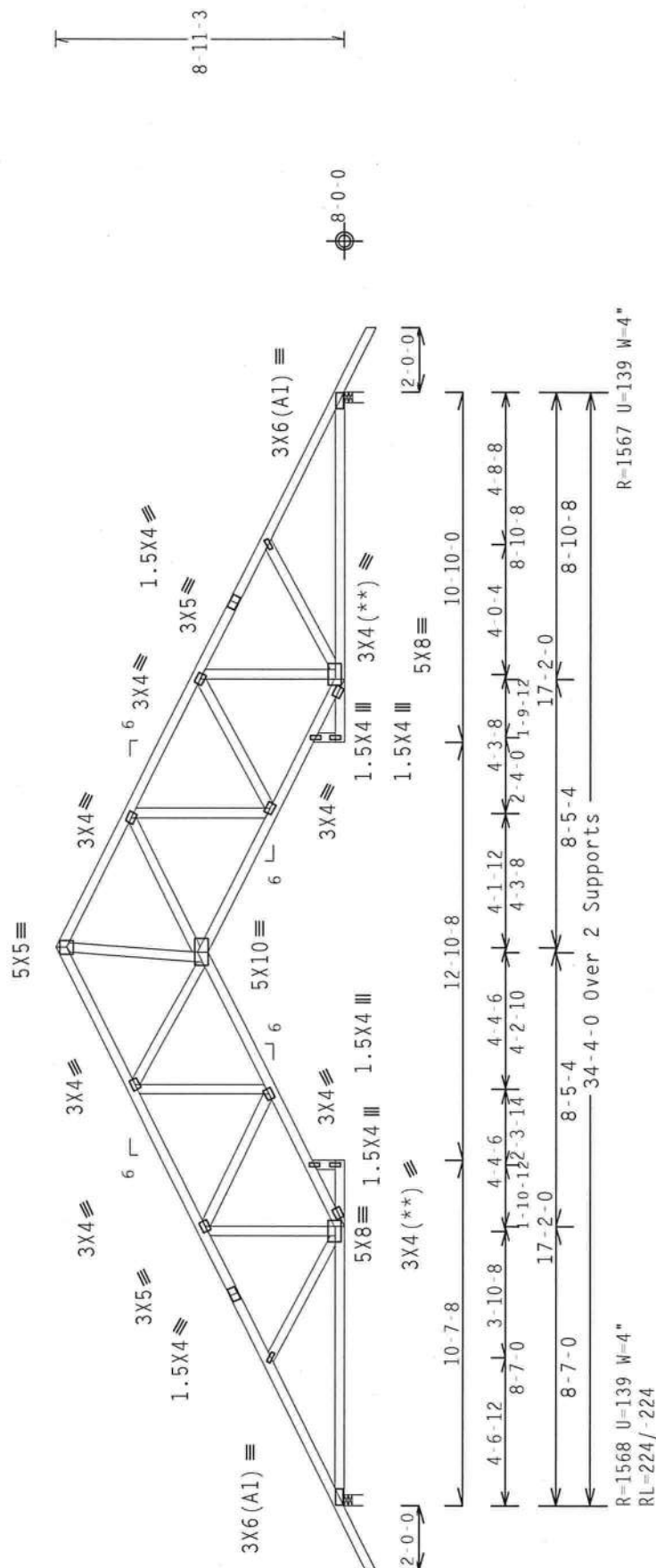
(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpi(+/-)=0.18

Bottom chord checked for 10.00 psf non-concurrent live load.

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.

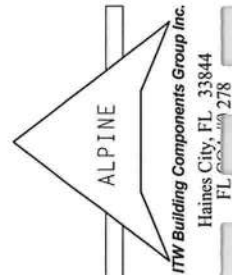


Design Crit: FBC2007Res/TPI -2002(STD)
 FT/RT=10%(0%)/0(0) 8.07.00 12.11.00 QTY: 1
 FL / - / 4 / - / - / R /
 Scale = .1875" / Ft.

WARNING: THUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. THESE THUSSES ARE THE PROPERTY OF THE THUSS COMPANY, 6200 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA 22314, AND VICA THUSS, COUNCIL OF AMERICA, ENTERPRISE LANE, MOBILE, AL 36719. TO PERFORM THESE FUNCTIONS, UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

*****IMPORTANT***** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TP1; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CONSIDERS WITH APPLICABLE PROVISIONS OF AISC (NATIONAL DESIGN SPEC., BY AISC) AND TP1. ITW BCG HAS CONDUCTED VISUAL INSPECTIONS OF THIS DESIGN. THIS DESIGN IS NOT A SUBSTITUTE FOR PERMANENTLY MARKED PLATES TO EACH FACE OF TRUSS AND MUST BE USED IN CONJUNCTION WITH THE DESIGN FOR PERMANENTLY MARKED PLATES. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A-2 OF TP1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUBMITTAL AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANNEX B-2.



TC LL	20.0 PSF	REF	R8228- 72612
TC DL	10.0 PSF	DATE	04/06/09
BC DL	10.0 PSF	DRW	HCUSR8228 09096008
BC LL	0.0 PSF	HC-ENG	SSB/WHK
TOT.LD.	40.0 PSF	SEQN-	13813
DUR.FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TOL8228Z03

Top chord 2x4 SP #2 Dense
Bot chord 2x8 SP #1 Dense
Webs 2x4 SP #3

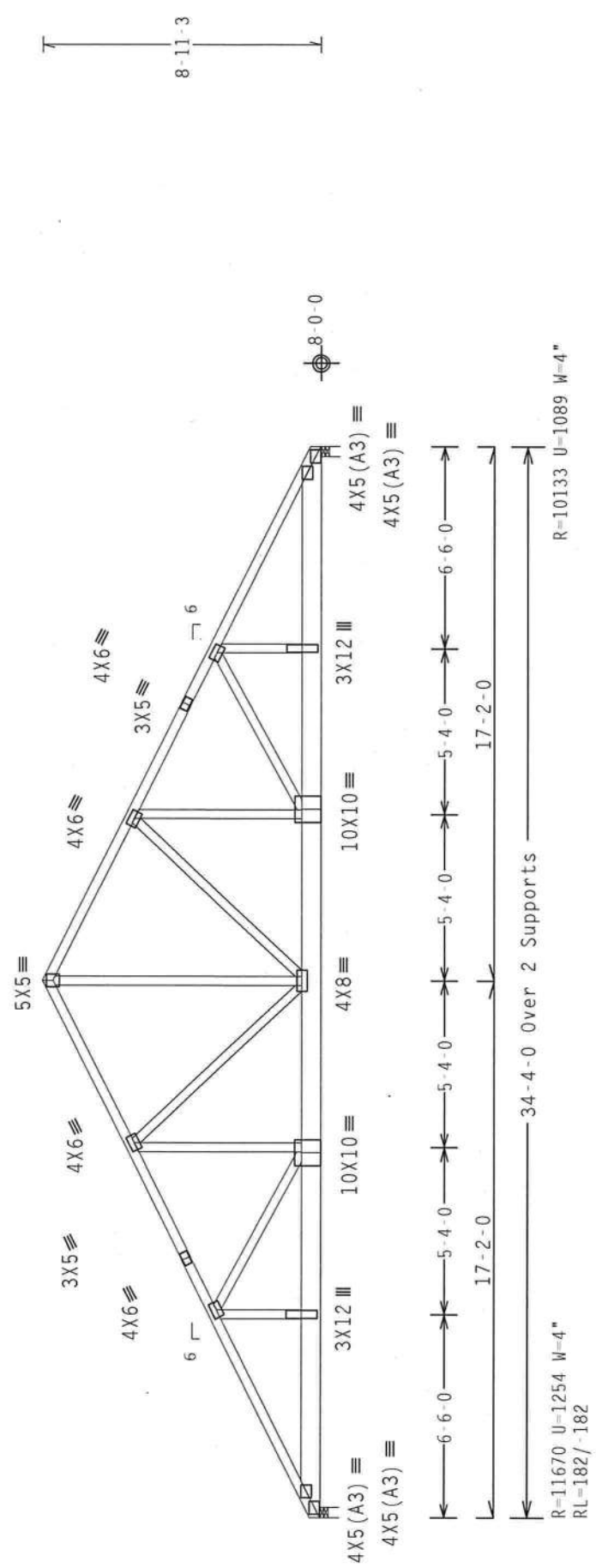
SPECIAL LOADS

(LUMBER DUR.FAC.=1.25 / PLATE DUR.FAC.=1.25)
TC - From 62 PLF at 0.00 to 62 PLF at 8.22
TC - From 62 PLF at 8.22 to 62 PLF at 17.17
TC - From 62 PLF at 17.17 to 62 PLF at 26.11
TC - From 62 PLF at 26.11 to 62 PLF at 34.33
BC - From 20 PLF at 0.00 to 20 PLF at 12.00
BC - From 20 PLF at 12.00 to 20 PLF at 22.33
BC - From 20 PLF at 22.33 to 20 PLF at 34.33
BC - 1725 LB Conc. Load at 0.33, 2.33, 4.33, 6.33, 8.33
10.33, 24.33, 26.33, 28.33, 30.33, 32.33

THE BUILDING DESIGNER SHALL EVALUATE AND APPROVE LOAD MAGNITUDES AND LOCATIONS. THE TRUSS ENGINEER IS NOT RESPONSIBLE FOR LOAD MAGNITUDES AND LOCATIONS.

3 COMPLETE TRUSSES REQUIRED

Nailing Schedule: (12d Common (0.148"x3.25", min.)_nails)
Top Chord: 1 Row @12.00" o.c.
Bot Chord: 1 Row @ 3.25" o.c.
Webs : 1 Row @ 4" o.c.
Repeat nailing as each layer is applied. Use equal spacing between rows and stagger nails in each row to avoid splitting.
110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 Gcpi(+/-)=0.18
Wind reactions based on MWFRS pressures.
Deflection meets L/240 live and L/180 total load.



Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=10%(0%)/0(0)

Scale = .1875"/Ft.

TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	40.0 PSF
DUR.FAC.	1.25
SPACING	SFF ABOVE

QTY:1

8.07.00.1

FL/-/4/-/4/-/R/-

REF	R8228- 72614
DATE	04/06/09
DRW	HCUSR8228 09096047
HC-ENG	DF/DF
SEON	13909
FROM	AH
JREF	1TQ18228Z03

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION, PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND AITCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, MI 48071) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TTM BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI'S OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF IBCS (NATIONAL DESIGN SPEC. BY AITCA) AND TPI. TTM BCG CONNECTOR PLATES ARE MADE OF 2018/1766A (4-H/55/K) ASTM A553 GRADE 40/60 (4, K/2,SS) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. FABRICATOR SHALL BE PER AITCA AS OF TPI-2002, SEC.3. A SEAL ON THIS DRAWING INDICATES THE SUSTAINABILITY AND USE OF THIS COMPONENT FOR THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ALPINE

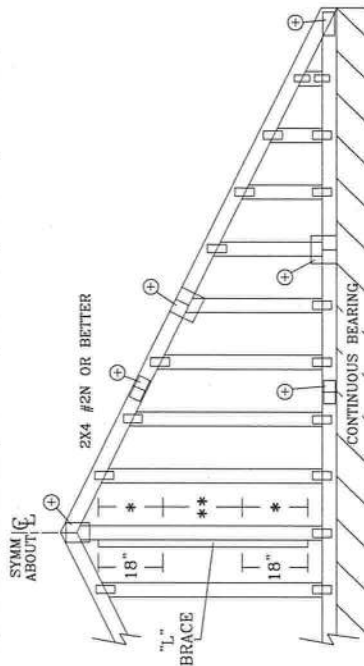
ITW Building Components Group Inc.
Haines City, FL 33844
FL 33844 278

2x4 GABLE VERTICAL SPACING		BRACE GRADE		NO BRACES	(1) 1x4 "L" BRACE *				(1) 2x4 "L" BRACE *				(2) 2x4 "L" BRACE **				(1) 2x6 "L" BRACE *				(2) 2x6 "L" BRACE *																																																																																																									
					GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B																																																																																																							
		SPF	HF		#1 / #2 #3	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"	SPF	HF	#1 / #2 #3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	7' 11"	8' 1"	9' 5"	9' 5"	9' 8"	12' 4"	12' 4"	14' 0"	14' 0"																																																																																												
12" O.C.	O.C.	SP	DFL	STANDARD	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#3	4' 0"	6' 2"	7' 11"	8' 1"	9' 5"	12' 5"	12' 8"	14' 0"	14' 0"																																																																																		
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STANDARD	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#3	4' 0"	6' 2"	7' 11"	8' 1"	9' 5"	12' 5"	12' 8"	14' 0"	14' 0"																																																																																						
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																																																																																																																											STANDARD	#1	4' 3"	6' 8"
STANDARD	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	SP	DFL	STANDARD	#3	4' 0"	6' 2"	7' 11"	8' 1"	9' 5"	12' 5"	12' 8"	14' 0"	14' 0"																																																																																						
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DIAGONAL BRACE OPTION:
VERTICAL LENGTH MAY BE
DOUBLED WHEN DIAGONAL
BRACE IS USED. CONNECT
DIAGONAL BRACE FOR 600#
AT EACH END. MAX WEB
TOTAL LENGTH IS 14'.

VERTICAL LENGTH SHOWN
IN TABLE ABOVE.

CONNECT DIAGONAL AT
MIDPOINT OF VERTICAL.



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER
CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORT'S LOAD FROM 4' 0"

OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.
(0.128"x3" min)

* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C.

IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
 *** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR
PEAK, SPLICE, AND HEEL PLATES.

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET
Trusses require extreme care in fabricating, handling, shipping and
installation. The following information, by TPI and W
BCSI (Building Component Safety Institute), by TPI and W
BCSI, shall provide temporary bracing and support
information for the installation of the trusses. The
trusses shall have properly attached structural panels and bottom
chords. The trusses shall be installed in accordance with the
instructions shown for permanent lateral restraint
and bracing. See this job's general notes page for
sections B3 & B7.

*****IMPORTANT** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.**

ITWB Building Components Group Inc. (ITWB) shall not be responsible for any deviation from this design, or any failure to build the truss in conformance with TPI, or fabricating, assembling, installing & erecting trusses. ITWB connector plates are made of 2018/18GA (WH/S/K) ASTM A663 grade 37/40/80 galv. steel. Apply plates at each face of truss, positioned as shown above and on Joint Details. A seal on each cover plate indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.

responsibility of the building designer per ANSI/TPI 1 Sec. 2.
ITW-BGC: www.itwbcg.com; TPI: www.tpinst.com; WTCA: www.sbcindustry.com; ICC: www.iccsafe.org

REF ASCE7-05-GABI1015

DATE 1/1/09

DRWG A11015050109

MAX. TOT. LD. 60 PSF

MAX. TOT. LD. 60 PSF

MAX. SPACING	24.0"
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MAX. SPACING	24.0"
--------------	-------

Earth City, MO 63045

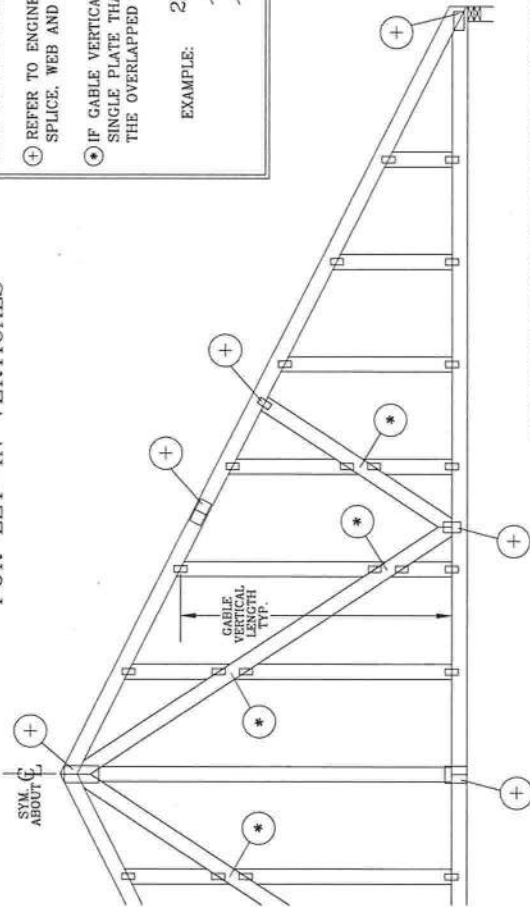
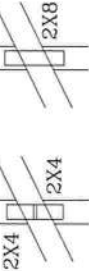
GABLE DETAIL
FOR LET-IN VERTICALS

GABLE TRUSS PLATE SIZES

REFER TO APPROPRIATE ITW GABLE DETAIL FOR
MINIMUM PLATE SIZES FOR VERTICAL STUDS.

- ⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK,
SPICE, WEB AND HEEL PLATES.
- ⊙ IF GABLE VERTICAL PLATES OVERLAP, USE A
SINGLE PLATE THAT COVERS THE TOTAL AREA OF
THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE:



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

- 10d COMMON (0.148"x 3" MIN) NAILS AT 4" O.C. PLUS
- (4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:

- 10d COMMON (0.148"x 3" MIN) TOENAILS AT 4" O.C. PLUS
- (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE

WIND LOAD.

ASCE 7-98 GABLE DETAIL DRAWINGS

- A13015980109, A12015980109, A11015980109, A10015980109,
- A13030980109, A12030980109, A11030980109, A10030980109

ASCE 7-02 GABLE DETAIL DRAWINGS

- A13015020109, A12015020109, A11015020109, A10015020109,
- A13030020109, A12030020109, A11030020109, A10030020109

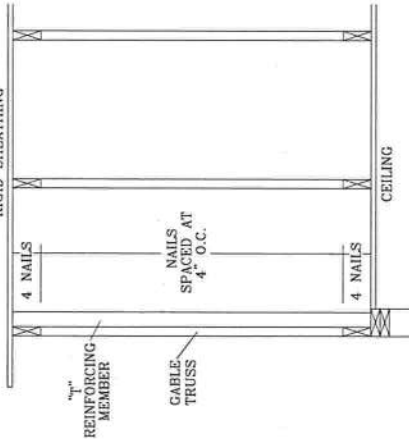
ASCE 7-05 GABLE DETAIL DRAWINGS

- A13015050109, A12015050109, A11015050109, A10015050109,
- A13030050109, A12030050109, A11030050109, A10030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM

UNREINFORCED GABLE VERTICAL LENGTH.

RIGID SHEATHING



WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow
BCSI (Building Component Safety Information, by TPI and WTCA) for safety practices prior to performing
these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord
shall have properly attached structural panels and bottom chord shall have a properly attached rigid
ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI
sections B3 & B7. See this job's general notes page for more information.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design,
any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing &
bracing of trusses. ITWBCG connector plates are made of 2018/16GA (W.H./K) ASTM A653 grade 37/40/60
(K.W./H.S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.
A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely
for the design shown. The undersigned hereby certifies that he/she is duly licensed and that the design is the
responsibility of the Building Designer per ANSI/TPI 1, Sec. 2.
ITW-BCSI: www.itwbcg.com; TPI: www.tpinet.com; WTCA: www.abcdindustry.com; ICC: www.iccsafe.org



Earth City, MO 63045

"T" REINFORCEMENT ATTACHMENT DETAIL

"T" REINFORCING MEMBER

"T" REINFORCING MEMBER

TOENAIL

OR

ENDNAIL

TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS,
MULTIPLY "T" INCREASE BY LENGTH (BASED ON
APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL
LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH
MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00
GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2X4

"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10

(1) 2X4 "T" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH

1.10 x 6' 7" = 7' 3"

REF LET-IN VERT

DATE 1/1/09

DRWG GBLLETIN0109

MAX TOT. LD. 60 PSF

EUR. FAC. ANY

MAX SPACING 24.0"



New Construction Subterranean Termite Soil Treatment Record

OMB Approval No 2502-0525

(exp. 10/31/2005)

This form is completed by the licensed Pest Control Company

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

Section 1: General information (Treating Company information)Company Name: Florida Pest Control & Co.Company Address: 536 SE Baya Dr City: Lake City State: FL Zip 32025Company Business License No. 3460Company Phone No. 386-752-1703

FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name _____ Phone No. _____

Section 3: Property Information

Location of Structure (s) Treated (Street Address or Legal Description, City, State and Zip) _____

Type of Construction (More than one box may be checked) ☐ Slab ☐ Basement ☐ Crawl ☐ Other _____

Approximate Depth of Footing: Outside _____ Inside _____ Type of Fill _____

Section 4: Treatment Information

Date(s) of Treatment _____

Brand Name of Product(s) Used Bora-CareEPA Registration No. 64405-1Approximate Final Mix Solution % 1.0

Approximate Size of Treatment Area: Sq. ft. _____ Linear ft. _____ Linear ft. of Masonry Voids _____

Approximate Total Gallons of Solution Applied _____

Was treatment completed on exterior? ☐ Yes ☐ NoService Agreement Available? ☐ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) _____

Certification No. (if required by State law) _____

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature _____

Date _____

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. 18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up	N/A		
5. Automatic	N/A		
6. Other	—		
B. WINDOWS			
1. Single hung	Capital /		FL 675 /
2. Horizontal Slider	"		FL 685 /
3. Casement	—		
4. Double Hung	—		
5. Fixed	C /		FL 681 /
6. Awning	—		
7. Pass-through	—		
8. Projected	—		
9. Mullion	—		
10. Wind Breaker	—		
11. Dual Action	—		
12. Other			
C. PANEL WALL			
1. Siding	Hardy Plank		FL 889-R1
2. Soffits	Ashley Aluminum		FL 4968
3. EIFS	—		
4. Storefronts	—		
5. Curtain walls	—		
6. Wall louver	—		
7. Glass block	—		
8. Membrane	—		
9. Greenhouse	—		
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	FLK / CertainTeed		FL 728-R1 / FL 250-R1
2. Underlayments	Felt		FL 1814
3. Roofing Fasteners	Nails		ROM 3378
4. Non-structural Metal Rf	—		
5. Built-Up Roofing	—		
6. Modified Bitumen	—		
7. Single Ply Roofing Sys	—		
8. Roofing Tiles	—		
9. Roofing Insulation	—		
10. Waterproofing	—		
11. Wood shingles /shakes	—		
12. Roofing Slate	—		



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS**

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007
ONE (1) AND TWO (2) FAMILY DWELLINGS**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH

ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH

NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-
Each Box shall be
Circled as
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) <u>480 #</u>	IIIIIIII	IIIIIIII	IIII
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIIII	IIII	IIIIII
		YES	NO	N.A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	N/A		
18	Location and size of skylights with Florida Product Approval	N/A		
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)	N/A		
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)	N/A		
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS:
APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.	✓		
32	Assumed load-bearing value of soil <u>1000</u> Pound Per Square Foot	✓		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	N/A		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	✓		
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	N/A		
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	✓		
42	Attachment of joist to girder	✓		
43	Wind load requirements where applicable	N/A		
44	Show required under-floor crawl space	N/A		
45	Show required amount of ventilation opening for under-floor spaces	N/A		
46	Show required covering of ventilation opening	N/A		
47	Show the required access opening to access to under-floor spaces	N/A		
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			

48	intermediate of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking	✓		
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309	N/A		
51	Provide live and dead load rating of floor framing systems (psf).	N/A		

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		
68	Provide dead load rating of rafter system	✓		

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	<input checked="" type="checkbox"/>		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>		
74	Attic space	<input checked="" type="checkbox"/>		
75	Exterior wall cavity	<input checked="" type="checkbox"/>		
76	Crawl space			<input checked="" type="checkbox"/>

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	<input checked="" type="checkbox"/>		
78	Exhaust fans locations in bathrooms	<input checked="" type="checkbox"/>		
79	Show clothes dryer route and total run of exhaust duct	<input checked="" type="checkbox"/>		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	<input checked="" type="checkbox"/>		
81	Show the location of water heater	<input checked="" type="checkbox"/>		

Private Potable Water

82	Pump motor horse power			<input checked="" type="checkbox"/>
83	Reservoir pressure tank gallon capacity			<input checked="" type="checkbox"/>
84	Rating of cycle stop valve if used			<input checked="" type="checkbox"/>

Electrical layout shown including

85	Switches, outlets receptacles, lighting and all required GFCI outlets identified	<input checked="" type="checkbox"/>		
86	Ceiling fans	<input checked="" type="checkbox"/>		
87	Smoke detectors & Carbon dioxide detectors	<input checked="" type="checkbox"/>		
88	Service panel, sub-panel, location(s) and total ampere ratings			<input checked="" type="checkbox"/>
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.			

90	Appliances and HVAC equipment and disconnects	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
91	Arc Fault Circuits (AFCI) in bedrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center">GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
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THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
95	City of Lake City A permit showing an approved waste water sewer tap	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
96	Toilet facilities shall be provided for all construction sites	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
100	A development permit will also be required. Development permit cost is \$50.00	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

27753 UP

Columbia County Property Appraiser

DB Last Updated: 3/5/2009

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

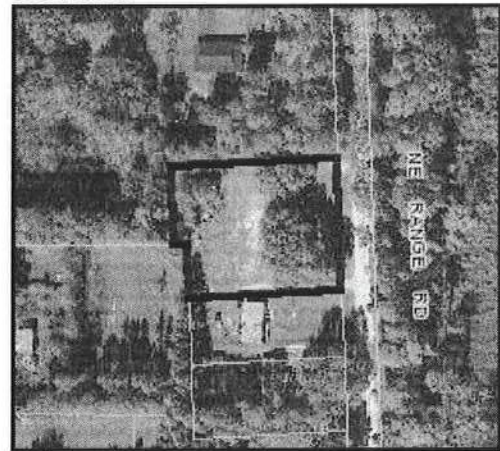
Parcel: 27-3S-17-05587-007

Owner & Property Info

Search Result: 1 of 1

Owner's Name	MYERS MORGAN		
Site Address	RANGE		
Mailing Address	26015 NW 160TH PLACE HIGH SPRINGS, FL 32643		
Use Desc. (code)	MOBILE HOM (000200)		
Neighborhood	27317.00	Tax District	3
UD Codes	MKTA03	Market Area	04
Total Land Area	0.900 ACRES		
Description	COMM NE COR OF SW1/4 OF SW1/4, RUN S 284 FT FOR POB, CONT S 188 FT, W 110 FT, N 188 FT, E 110 FT TO POB. & COMM NE COR OF SW1/4 OF SW1/4, S 472 FT, W 110 FT FOR POB, CONT W 100 FT, N 188 FT, E 100 FT, S 188 FT TO POB. ORB 809-1297.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (3)	\$17,437.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$7,461.00
XFOB Value	cnt: (1)	\$400.00
Total Appraised Value		\$25,298.00

Just Value	\$25,298.00
Class Value	\$0.00
Assessed Value	\$25,298.00
Exempt Value	\$0.00
Total Taxable Value	\$25,298.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1970	Alum Siding (26)	1482	1482	\$7,461.00
Note: All S.F. calculations are based on <u>exterior</u> building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	1995	\$400.00	1.000	8 x 12 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000102	SFR/MH (MKT)	.470 AC	1.00/1.00/1.53/1.00	\$18,312.77	\$8,607.00
009947	SEPTIC (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$750.00	\$750.00
000700	MISC RES (MKT)	.430 AC	1.00/1.00/1.57/1.00	\$18,790.70	\$8,080.00

COLUMBIA COUNTY OFFICE OF CIVIL ENGINEERING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 05-7S-16-04138-102

Building permit No. 000027752

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder BRYAN ZECHER

Waste: 0.00

Owner of Building ERIC & CHRISTINA LARSEN

Total: 0.00

Location: 239 SW UNCLE REMUS GLEN, FT. WHITE, FL

Date: 07/27/2009

Wayne A. Puse

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

27752

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE BAY AVE

City: LAKE CITY **Phone:** 752-1703

Site Location: Subdivision N/A

Lot # _____ **Block #** _____ **Permit #** _____

Address _____

<u>Product used</u>	<u>Active Ingredient</u>	<u>% Concentration</u>
<input checked="" type="checkbox"/> Premise	Imidacloprid	0.1%
<input type="checkbox"/> Termidor	Fipronil	0.12%
<input type="checkbox"/> Bora-Care	Disodium Octaborate Tetrahydrate	23.0%

Type treatment:

☒ Soil

☐ Wood

<u>Area Treated</u>	<u>Square feet</u>	<u>Linear feet</u>	<u>Gallons Applied</u>
<u>BATH ROOM Addition</u>	<u>480</u>	<u>96</u>	<u>60</u>
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line JDP.

5/1/09

Date

0830

Time

James D. Portor

Print Technician's Name

F254 / Gunny

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

