

RC

Columbia County Building Permit Application

CK# 1235

For Office Use Only Application # 607-38 Date Received 7/23/10 By GF Permit # 28770
Zoning Official BLK Date 03.08.10 Flood Zone X Land Use Res. Low Dens Zoning RSF-2
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 8-1
Comments _____
☐ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL N/A Accessory use ☒ VF

Septic Permit No. X-10-265 in box Fax _____
Name Authorized Person Signing Permit PAUL A LIPPI Phone 755-5029
Address 119 SW PLATINUM GLEN LAKE CITY, FL 32024
Owners Name PAUL LIPPI Phone SAME AS ABOVE
911 Address 119 SW PLATINUM GLEN L.C. FL 32024
Contractors Name PAUL A LIPPI Phone 755-5029
Address 119 SW PLATINUM GLEN L.C. FLA
Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address _____
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-45-16-02853-276 Estimated Cost of Construction 11,000
Subdivision Name RUSSWOOD ESTATES Lot 6 Block B Unit 2 Phase 1
* Driving Directions 247 TO TROY ST. RT ON TROY APPROX 1 MI. TO RUSSWOOD ESTATES.
RT. ON RUSSWOOD TO PLATINUM GLEN. RT. ON PLATINUM GLEN - 1ST HOUSE ON LEFT
Number of Existing Dwellings on Property 1

Construction of Detached Garage Total Acreage 1 Lot Size _____
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16
* Actual Distance of Structure from Property Lines - Front 75' Side 8'6" ^{next to house} Side 11' ^{PROPERTY LINE} Rear 151'
107' Russwood Drive see Site Plan
Number of Stories 1 Heated Floor Area _____ Total Floor Area 864 Roof Pitch 6/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

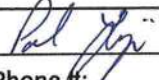
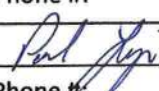
SUBCONTRACTOR VERIFICATION FORM


APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>PAUL LIPPI</u>	Signature <u></u>
	License #:	Phone #:
MECHANICAL/ A/C	Print Name _____	Signature _____
	License #:	Phone #:
PLUMBING/ GAS	Print Name _____	Signature _____
	License #:	Phone #:
ROOFING	Print Name <u>PAUL LIPPI</u>	Signature <u></u>
	License #:	Phone #:
SHEET METAL	Print Name _____	Signature _____
	License #:	Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name _____	Signature _____
	License #:	Phone #:
SOLAR	Print Name _____	Signature _____
	License #:	Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON		623-6374	
OK CONCRETE FINISHER 310	000 310	LARRY PARRISH	
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 10-45-16-02853-276

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): RUSSWOOD ESTATES UNIT 2 LOT 6
a) Street (job) Address: 119 SW PLATINUM GLEN LAKE CITY FL 32024
2. General description of improvements: NEW CONSTRUCTION OF GARAGE

3. Owner Information
a) Name and address: PAUL LIPPI 119 SW PLATINUM GLEN LAKE CITY, FL 32024
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property

4. Contractor Information
a) Name and address: PAUL LIPPI
b) Telephone No.: 755-5029 Fax No. (Opt.)

5. Surety Information
a) Name and address: N/A
b) Amount of Bond: N/A
c) Telephone No.: Fax No. (Opt.)

6. Lender
a) Name and address: N/A
b) Phone No.

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address:
b) Telephone No.: Fax No. (Opt.)

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address:
b) Telephone No.: Fax No. (Opt.)

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Paul A Lippi
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Paul A Lippi
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 22nd day of July, 2010, by:
Paul A Lippi as Owner (type of authority, e.g. officer, trustee, attorney
fact) for Paul A Lippi (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification ☐ Type

Notary Signature Angela Cox Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes, Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Paul A Lippi
Signature of Natural Person Signing (in line #10 above.)

Inst: [REDACTED] Date: 03/19/2003 Time: 13:46

Doc Stamp-Deed : 1120.00

DC, P. DeWitt Cason, Columbia County B: 977 P: 1976

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 03-169
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Property Appraiser's
Identification Number R02853-276

WARRANTY DEED

THIS INDENTURE, made this 17th day of March, 2003, BETWEEN CHRISTOPHER H. DAMPIER and REBECCA L. DAMPIER, Husband and Wife whose post office address is Route 21, Box 926, Lake City, FL 32024, of the County of Columbia, State of Florida, grantor*, and PAUL A. LIPPI and SARAH A. LIPPI, Husband and Wife whose post office address is Route 21, Box 926, Lake City, FL 32024, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 6, Block B, RUSSWOOD ESTATES, Unit 2, a subdivision according to the plat thereof as recorded in Plat Book 6, Pages 102 and 103 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.


and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.


IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:


(Signature of First Witness)
Terry McDavid
(Typed Name of First Witness)


(Signature of Second Witness)
Lisa C. Ogburn
(Typed Name of Second Witness)

 (SEAL)
Grantor
CHRISTOPHER H. DAMPIER
Printed Name

 (SEAL)
Grantor
REBECCA L. DAMPIER
Printed Name

STATE OF Florida
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 17th
day of March, 2003, by CHRISTOPHER H. DAMPIER and REBECCA L.
DAMPIER, Husband and Wife who are personally known to me and who
did not take an oath.

My Commission Expires:


Notary Public
Printed, typed, or stamped name:





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

119 SW PLATINUM GLEN, LAKE CITY, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

28770

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1U3Q8228Z0423144736

Truss Fabricator: Anderson Truss Company
Job Identification: 10-143--Fill in later LIPPIE -- , **
Truss Count: 3
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 9.05.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: A1101505-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	68799--A		10204002	07/23/10
2	68800--A1		10204045	07/23/10
3	68801--AGE		10204001	07/23/10

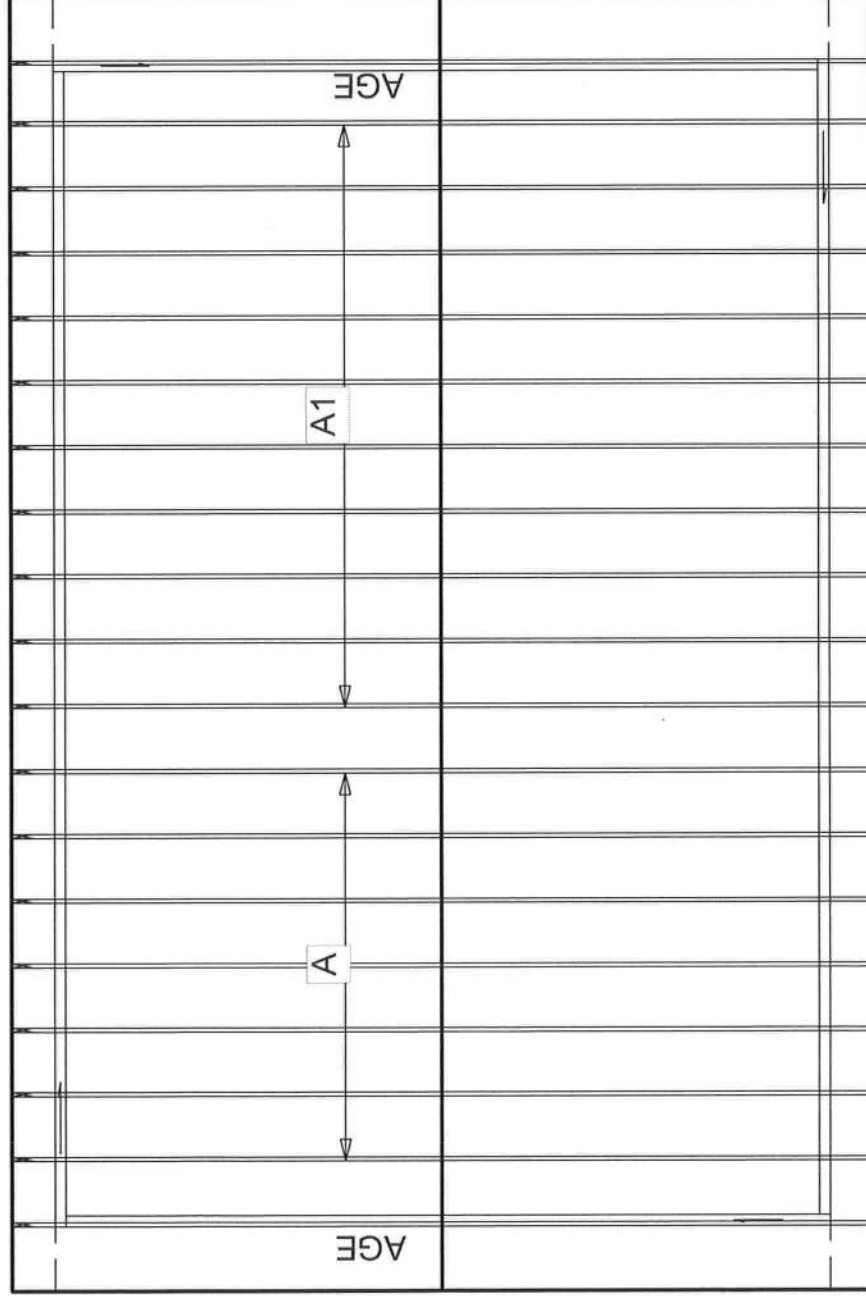


Seal Date: 07/23/2010

-Truss Design Engineer-
Doug Fleming
Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844



Roof Plane Sheathing Area = 1252 sq. ft



36'

PAUL LIPPI

JOB DESCRIPTION: Fill in later
/: LIPPIE

JOB NO:
10-143

PAGE NO:

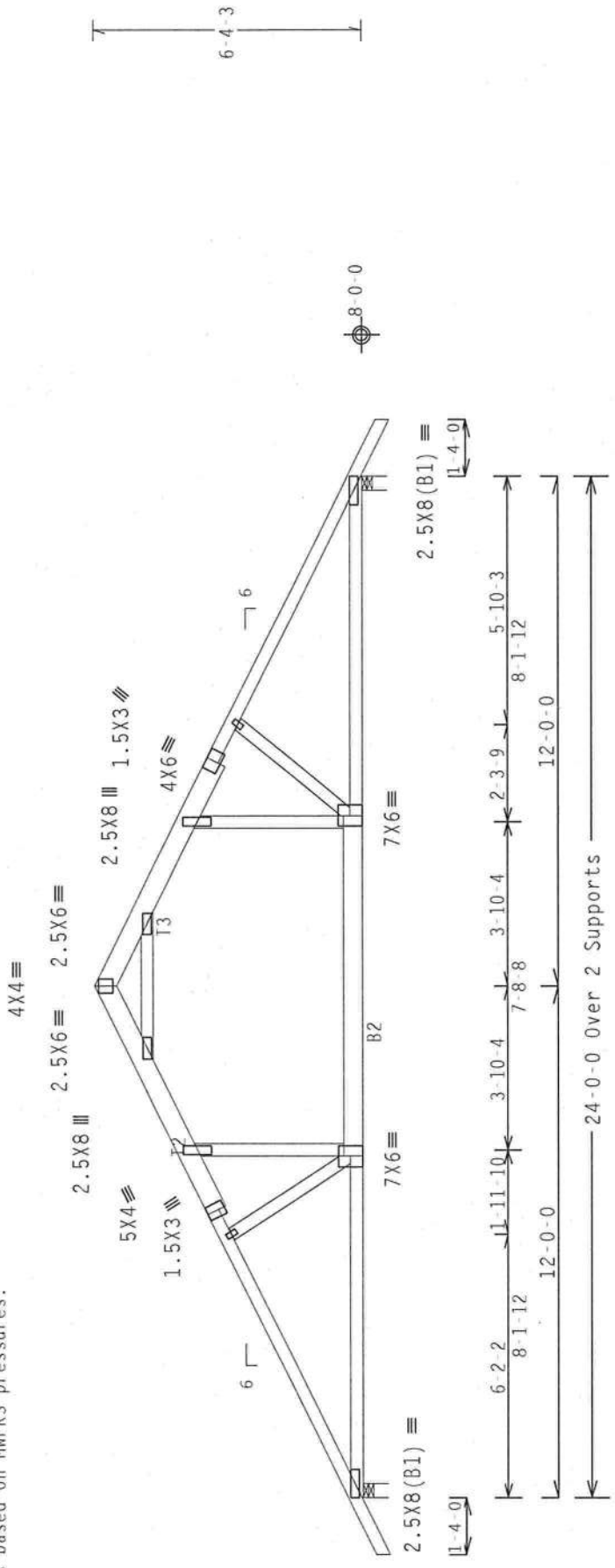
Top chord 2x4 SP #2 Dense :T2, T3 2x6 SP #1 Dense:
Bot chord 2x4 SP #2 Dense :B2 2x6 SP SS:
Webs 2x4 SP #3

110 mph wind, 15.00 ft mean htg, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpi (+/-)=0.18

Special loads

		(Lumber	Dur.Fac.=1.25 /	Plate	Dur.Fac.=1.25)
TC	From	62	plf at -1.33	to	62
TC	From	62	plf at 12.00	to	62
BC	From	4	plf at -1.33	to	4
BC	From	20	plf at 0.00	to	20
BC	From	70	plf at 8.19	to	70
BC	From	120	plf at 8.19	to	120
BC	From	160	plf at 8.38	to	160
BC	From	120	plf at 15.71	to	120
BC	From	20	plf at 15.81	to	20
BC	From	70	plf at 15.99	to	70
BC	From	20	plf at 15.99	to	20
BC	From	4	plf at 24.00	to	4
BC	From	4	plf at 24.00	to	4
BC	From	4	plf at 25.33	to	4

Wind reactions based on MWFRS pressures.



R-1607 U-447 W-4"
RL-222/-222

R=1611 U=448 W=4"

PLT TYP. Wave

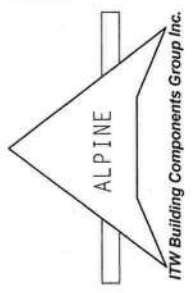
Design Crit: FBC2007Res/TPI-2002(STD)
 $FT/RT=20\%(0\%)/0(0)$

QTY:10 FL/-/4/-/-/R/- Scale = .25"/Ft.

TC LL	20.0	PSF	REF	R8228 - 68800
TC DL	10.0	PSF	DATE	07/23/10
BC DL	10.0	PSF	DRW	HCUSR8228 10204045
BC LL	0.0	PSF	HC-ENG	DF/DF
TOT.LD.	40.0	PSF	SEQN-	89957
DUR.FAC.	1.25			



*****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION, PUBLISHED BY THE TRUSS PLATE INSTITUTE, 219 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314 AND WICA (4000 TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

[illegible]

1110 mph wind, 15.00 ft mean hgt., ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ GCPI (+/-)=0.18

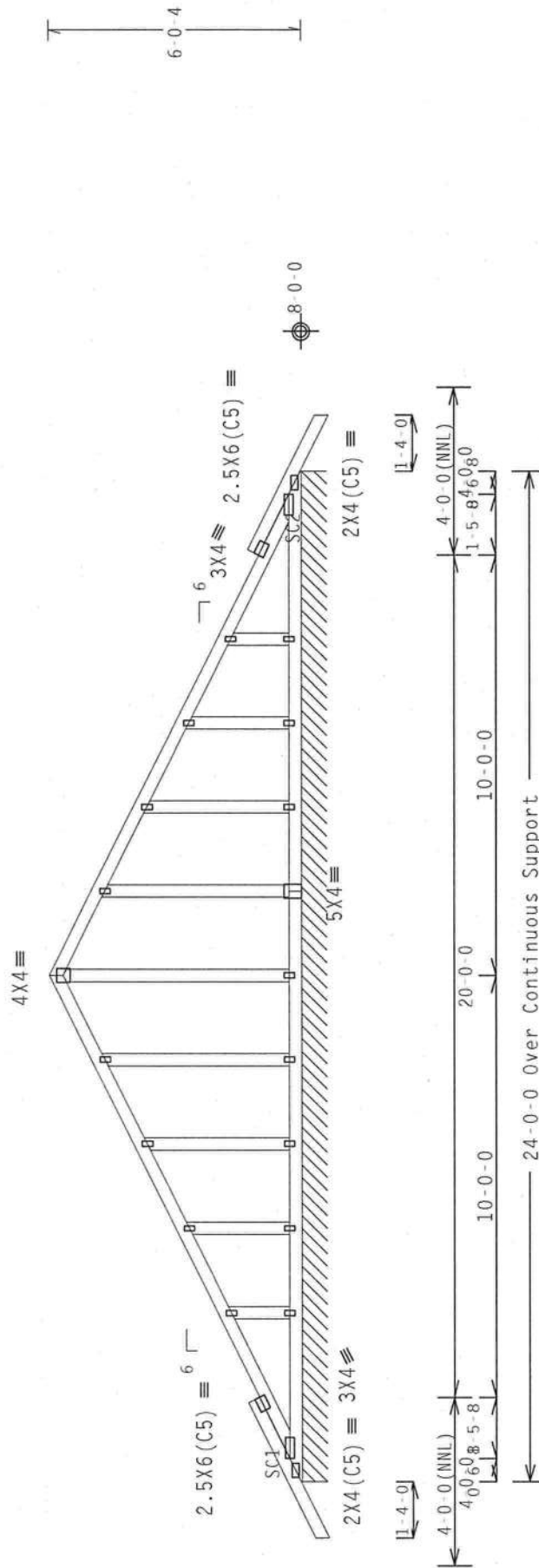
Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Bottom chord checked for 10.00 psf non-concurrent live load.

The Building Designer is responsible for the design of the roof and ceiling diaphragms, gable end shear walls, and supporting shear walls. Shear walls must provide continuous lateral restraint to the gable end. All connections to be designed by the Building Designer.



Note: All Plates Are 1.5X3 Except As Shown.
Design Crit: FBC2007Res/TPI - 2002 (STD)

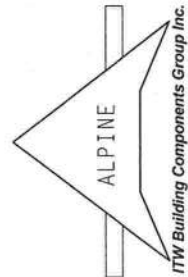
QTY:2 FL/-/4/-/-/R/-
Scale = .25"/Ft.

TC LL	20.0 PSF	REF R8228- 68801
TC DL	10.0 PSF	DATE 07/23/10
BC DL	10.0 PSF	DRW HCUSR8228 10204001
BC LL	0.0 PSF	HC-ENG TCE/DF
TOT.LD.	40.0 PSF	SEQN- 127647
DUR.FAC.	1.25	



WARNING THUSSES REQUIRE EXTREME CARE IN INSTALLATION. HOLDING, SHIPPING, UNLOADING AND BRACING MUST BE DONE PROPERLY TO PREVENT DAMAGE TO THE THUSSES. THIS PUBLICATION, PUBLISHED BY THE CRUSS PLANT INSTITUTE, 219 NORTH LEE STREET, SUITE 312, ALBUQUERQUE, NM 87102, AND MICA (6060) THUSS, COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, WAHOO 58130, ARE THE SOLE SOURCES OF INFORMATION FOR THE PROPER INSTALLATION OF THESE THUSSES. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CELLING.

IMPORTANT: FURNISH A COPY OF THIS DESIGN TO THE INSULATION CONTRACTOR. ITH BCG, INC., SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS IN COMPLIANCE WITH
TPI'S MANUFACTURING, SHIPPING, HANDLING OR BRACING OF TRUSSES.
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AISC (NATIONAL DESIGN SPEC., BY AISC) AND TPI.
CONNECTION PLATES ARE MADE OF 2018/T16SSA LATCH GR50/A573 GRADE 49/60 (A, K/H-SS). GALV. STEEL, APPLY
PLATE TO EACH FACE OF TRUSS, AND UNLESS OTHERWISE NOTED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z.
ANY INSPECTION OF PLATES FOLLOWING ACCEPTANCE OF PIP SHALL BE PER ABRIAS AS OF TP11-2002-SEC-3.
DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SELECT FOR THE TRUSS COMPUTER
PROGRAMMING. SEE COMMENTS FOR MORE INFORMATION.



GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

2X4 GABLE VERTICAL SPACING		BRACE		(1) 1X4 "L" BRACE		(2) 2X4 "L" BRACE		(1) 2X6 "L" BRACE		(2) 2X6 "L" BRACE	
MAX GABLE VERTICAL LENGTH	GABLE VERTICAL SPACING	GABLE SPECIES	GRADE	NO BRACES		GROUP A		GROUP B		GROUP A	
				#1 / #2	#3	#1	#2	#1	#2	#1	#2
12" O.C.	SPF	SP	#1	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	12' 5"	12' 9"
	HF	SP	#2	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	12' 4"	14' 0"
	SP	SP	#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	12' 3"	14' 0"
	DFL	SP	#4	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	10' 7"	14' 0"
24" O.C.	SPF	SP	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	13' 5"	14' 0"
	HF	SP	#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	13' 5"	14' 0"
	SP	SP	#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	12' 8"	14' 0"
	DFL	SP	#4	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	12' 6"	14' 0"
16" O.C.	SPF	SP	#1	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	10' 10"	14' 0"
	HF	SP	#2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	14' 0"	14' 0"
	SP	SP	#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	14' 0"	14' 0"
	DFL	SP	#4	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	14' 0"	14' 0"
12" O.C.	SPF	SP	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	14' 0"	14' 0"
	HF	SP	#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	14' 0"	14' 0"
	SP	SP	#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	14' 0"	14' 0"
	DFL	SP	#4	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	14' 0"	14' 0"
12" O.C.	SPF	SP	#1	4' 11"	8' 5"	8' 5"	10' 0"	10' 3"	11' 11"	13' 3"	14' 0"
	HF	SP	#2	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	14' 0"	14' 0"
	SP	SP	#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	14' 0"	14' 0"
	DFL	SP	#4	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	14' 0"	14' 0"
12" O.C.	SPF	SP	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"
	HF	SP	#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"
	SP	SP	#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"
	DFL	SP	#4	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:	
SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2
STANDARD	STANDARD
#3	#3
STANDARD	STANDARD
DOUGLAS FIR-LARCH	
#3	#3
STANDARD	STANDARD

GROUP B:	
HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1
#1	#2
STANDARD	STANDARD

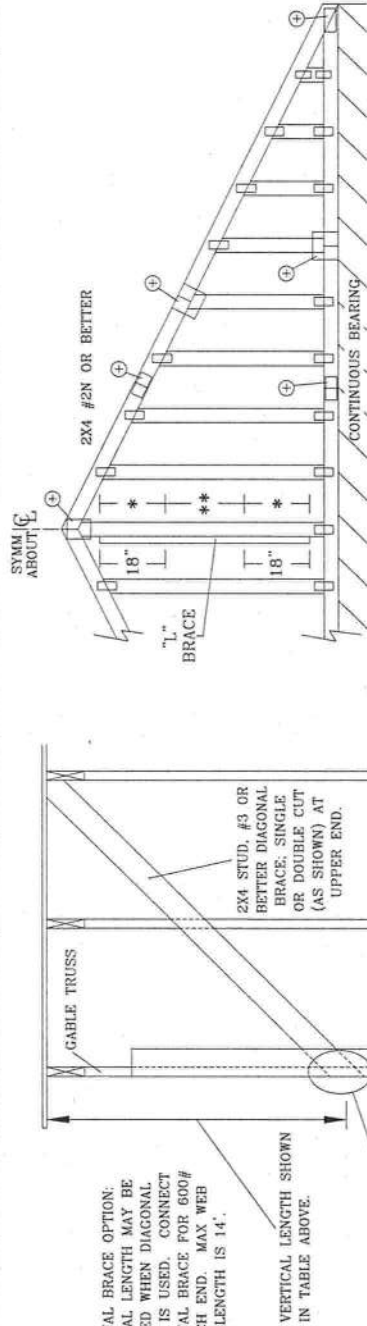
GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.
 PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER
 CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
 GABLE END SUPPORTS LOAD FROM 4' 0"
 OUTLOOKERS WITH 2' 0" OVERHANG, OR 12"
 PLYWOOD OVERHANG.

ATTACH EACH "L" BRACE WITH 10d NAILS.
 * FOR (1) "L" BRACE: SPACE NAILS AT 2' O.C.
 IN 18" END ZONES AND 4' O.C. BETWEEN ZONES.
 ** FOR (2) "L" BRACES: SPACE NAILS AT 3' O.C.
 IN 18" END ZONES AND 6' O.C. BETWEEN ZONES.
 "L" BRACING MUST BE A MINIMUM OF 80% OF WEB
 MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

* REFER TO COMMON TRUSS DESIGN FOR
 PEAK, SPLICE, AND HEEL PLATES.



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

WARNING: READ AND FOLLOW ALL NOTES ON THIS SHEET.
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow
 BCSI Building Component Safety Information, by TPI and WCA. For safety practices prior to performing
 these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord
 shall have properly attached structural panels and bottom chord shall have a properly attached rigid
 ceiling. Locations shown for structural lateral restraint of webs shall have bracing installed per BCSI
 sections B3 & B7. See this job's general notes page for more information.

IMPORTANT: FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.
 ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design.
 any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing &
 bracing of trusses. ITWBCG connector plates are made of 2018/16GA (40/40) ASTM A653 grade 37/40/60
 (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.
 A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely
 of the Building Designer per ANSI/TP1 1, Sec. 2.
 ITW - BCG: www.itwbcg.com; TPI: www.tpinet.com; WCA: www.abcdindustry.com; ICC: www.iccsafe.org



Earth City, MO 63045

REF	ASCE7-05-GABI015
DATE	1/1/09
DRWG	A11015050109

MAX. TOT. LD. 60 PSF	MAX. SPACING 24.0"
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ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: IU3M8228Z0119135027

Truss Fabricator: Anderson Truss Company
Job Identification: 10-143--Fill in later LIPPIE -- , **
Truss Count: 3
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 9.05.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61G15-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

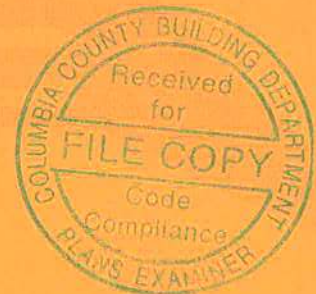
Details: A1101505-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	49765--A		10200001	07/19/10
2	49766--A1		10200002	07/19/10
3	49767--AGE		10200003	07/19/10

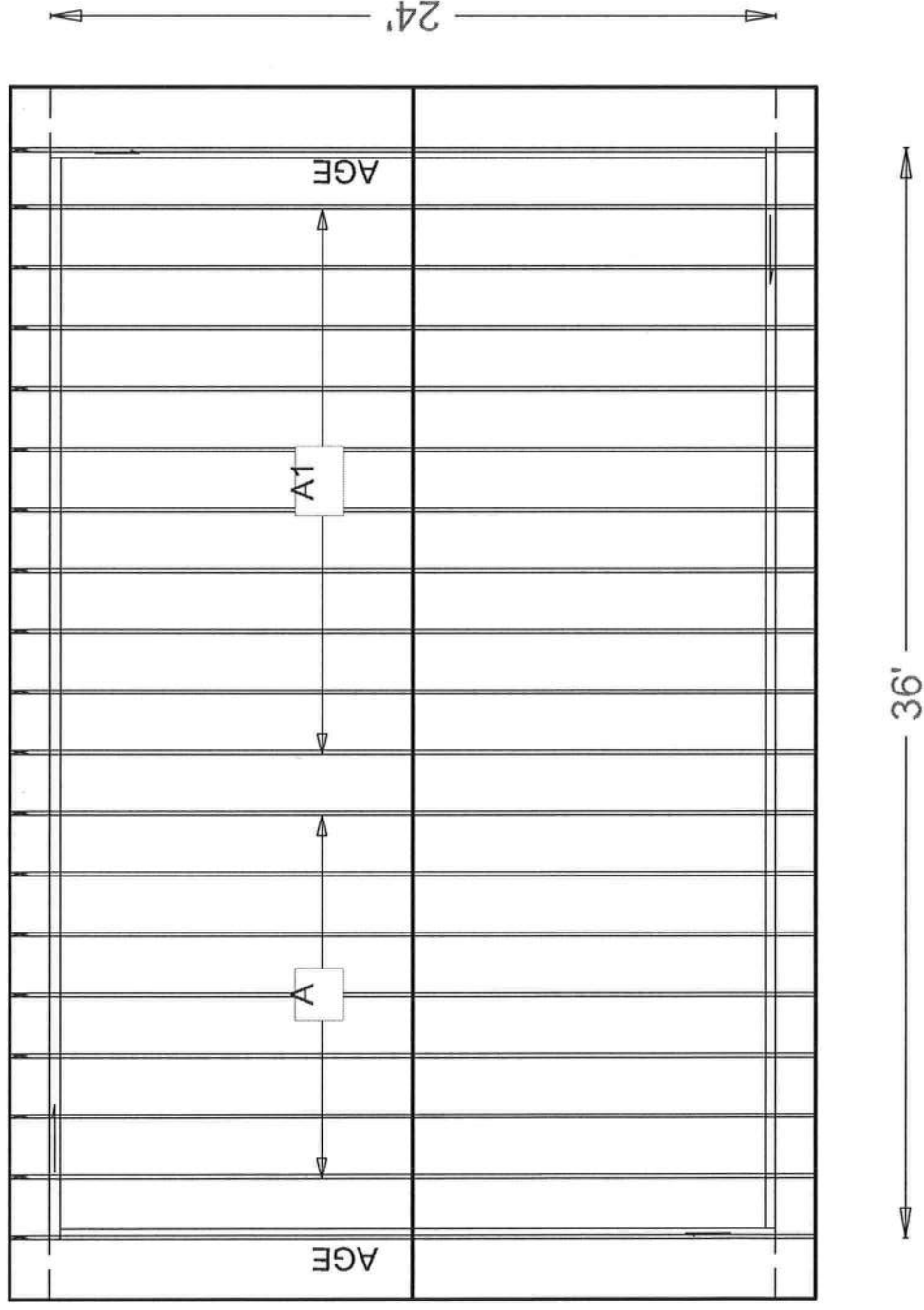
Seal Date: 07/19/2010

-Truss Design Engineer-
Doug Fleming

Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844



Roof Plane Sheathing Area = 1252 sq. ft



JOB DESCRIPTION: Fill in later
/ LIPPIE

JOB NO:
10-143

PAGE NO:
1 OF 1

PAUL LIPPI

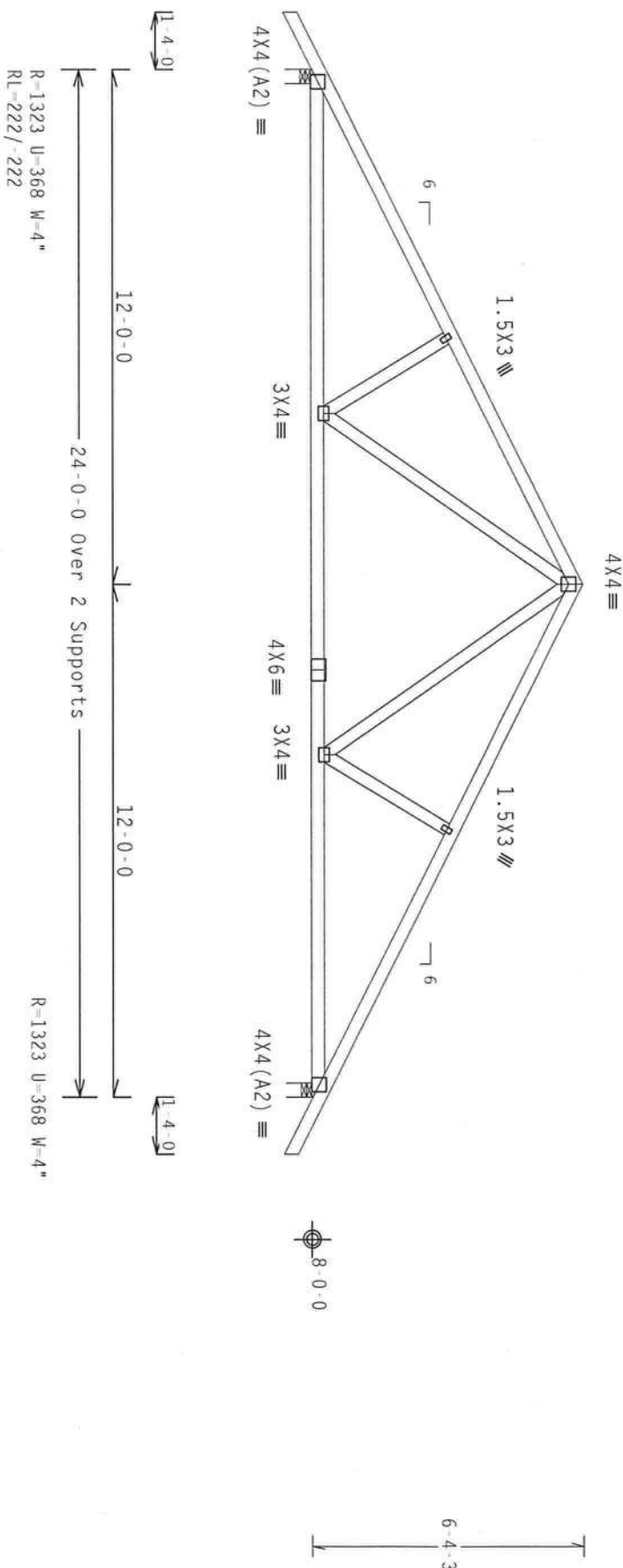
Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Special loads

TC - From	Dur.Fac.=1.25 / Plate Dur.Fac.=1.25	62 pif at 12.00
TC - From	62 pif at -1.33 to 62 pif at 12.00	
BC - From	4 pif at 12.00 to 4 pif at 25.33	
BC - From	4 pif at -1.33 to 4 pif at 0.00	
BC - From	20 pif at 0.00 to 20 pif at 8.19	
BC - From	70 pif at 8.19 to 70 pif at 10.67	
BC - From	110 pif at 10.67 to 110 pif at 13.42	
BC - From	70 pif at 13.42 to 70 pif at 15.81	
BC - From	20 pif at 15.81 to 20 pif at 24.00	
BC - From	4 pif at 24.00 to 4 pif at 25.33	

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G C p_i(+/-)=-0.18$
Wind reactions based on MMFRS pressures.
Roof overhang supports 2.00 psf soffit load.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.

The Building Designer shall evaluate and approve load magnitudes and locations as shown under "SPECIAL LOADS".
Truss Engineer & Fabricator are not responsible for load magnitudes and locations.



PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=20%(0%)/0(0)

9.05.03

OTV:7

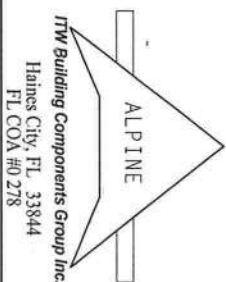
FL/-/4/-/-/R/-

Scale=.25"/Ft.

IMPORTANT READ AND FOLLOW ALL NOTES ON THIS SHEET.
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI (Building Component Safety) Information, by TPI and WCA for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Trusses must be properly braced during erection. Trusses shall be braced during erection. Trusses shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

The Building Components Group Inc. (BTBGI) shall not be responsible for any deviation from this design, any failure to build the truss in conformance with the BTBGI/TPI 1, or for handling, shipping, installation & erection of the truss. The user of this design shall be responsible for the design, fabrication, erection, detailing, unless noted listing this drawing. The suitability and use of this design for any structure is the responsibility of the building designer per ABSI/TPI 1 Sec.2. For more information see: This job's general notes page: BTBGI: www.btbgi.com; TPI: www.tpiinc.org; WCA: www.theindustry.com; ICC: www.iccsafe.org



ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

		19 '10	
TC LL	20.0 PSF	REF	R8228-49765
TC DL	10.0 PSF	DATE	07/19/10
BC DL	10.0 PSF	DRW	HCUSR8228 10200001
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	127627
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1U3M8228Z01

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $G_{cpi}(+)=0.18$

Wind reactions based on MIFRS pressures.

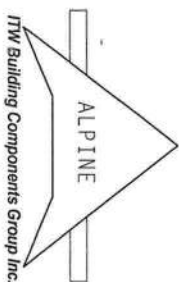
Roof overhang supports 2.00 psf soffit load.
Bottom chord checked for 10.00 psf non-concurrent live load.
Deflection meets L/240 live and L/180 total load.

 $4 \times 5 =$ Design Crit: FBC2007Res/TPI-2002(STD)
FT/RT=20%(0%)/0(0)

9.05.03

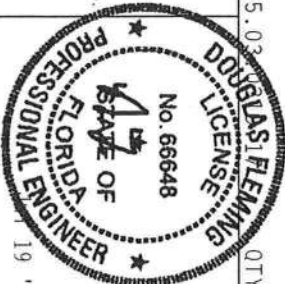
QTY:10 FL/-/4/-/-/R/-

Scale = .25"/ft.



ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

THROUFAST
 UNBOLDED THIS DESIGN IS TO ALL CONTRACTORS INCLUDING INSTALLERS.
 TRUSSES require extreme care in erecting, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI Building Component Safety Information, by IPI and WIDA, for safety practices prior to performing these functions. Installers shall provide component bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections 3.5, 87 or B10, as applicable.
 If Building Components Group Inc. (BIBCG) shall not be responsible for any deviation from this design any failure to build the truss in conformance with ASIS/IPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the detail. Details, unless noted otherwise, refer to drawings 100A-2 for standard plate positions. A seal on this detailing or cover page listing this drawing, indicating acceptance of professional engineering responsibility for the design shown, per ASIS/IPI 1 Sec.2, for more information see: This job's the responsibility of the Building Designer, per ASIS/IPI 1 Sec.2. For more information see: This job's the general notes page: BIBCG: www.bibcg.com; IPI: www.ipi-net.org; WIDA: www.sbcindustry.com; www.throfast.org



TC LL	20.0 PSF	REF	R8228- 49766
TC DL	10.0 PSF	DATE	07/19/10
BC DL	10.0 PSF	DRW	HCUS88228 10200002
BC LL	0.0 PSF	HC-ENG	TCE/DF
TOT.LD.	40.0 PSF	SEQN-	127636
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	IU3M8228Z01

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT 11, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ gcpi (+)=-0.18

Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24" wide clearance.

Bottom chord checked for 10.00 psf non-concurrent live load.



RL=9/-9 PLF

Design Crit: FBC2007Res/TPI-2002(STD)

$$FT/RT=20\%(0\%)/0(0)$$

QTY:2 FL/-/4/-/-/R/-/-

Scale = .25"/Ft.

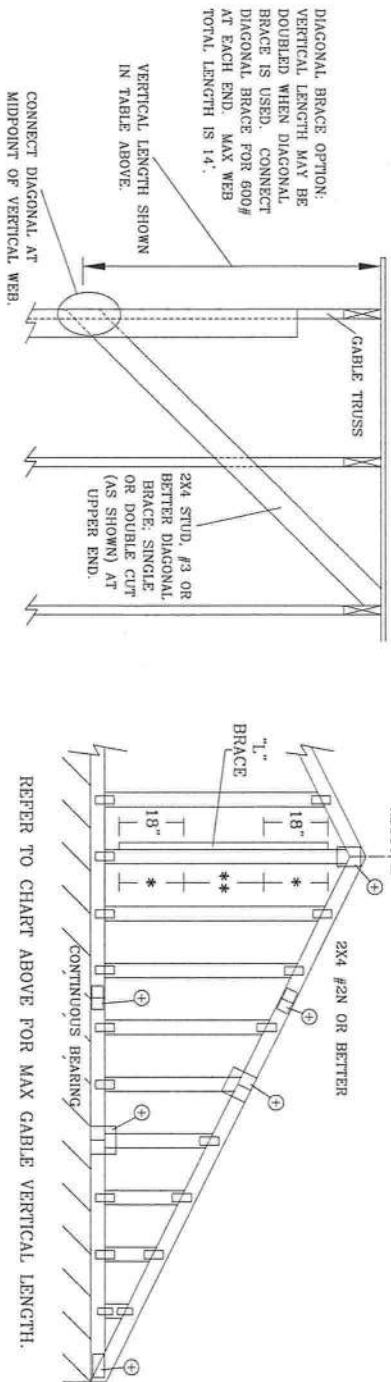
1

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webs

[illegible]

REF	R8228-49767
DATE	07/19/10
DRW	HCUSR8228.102000
HC-ENG	TCE/DF
SEON-	127647
JREF-	1U3M8228Z01

MAX GABLE VERTICAL LENGTH															
GABLE VERTICAL SPACING	2x4 SPECIES	BRACE GRADE	NO BRACES	(1) 1x4 "L" BRACE •		(1) 2x4 "L" BRACE •		(2) 2x4 "L" BRACE ••		(1) 2x6 "L" BRACE •		(2) 2x6 "L" BRACE •		(2) 2x6 "L" BRACE ••	
				GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B		
12" O.C.	SPF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"	14' 0"	
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"	14' 0"	
		STANDARD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"	14' 0"	
	HF	STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"	14' 0"	
		#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	14' 0"	
	SP	#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"	14' 0"	
		STANDARD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"	14' 0"	
		#1 / #2	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	
	16" O.C.	SPF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			STANDARD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
HF		#1	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"	14' 0"	
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
		#3	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
24" O.C.	SPF	STANDARD	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
		#1	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
		#2	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"	14' 0"	
	HF	#1 / #2	4' 11"	8' 5"	8' 5"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
		STANDARD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	
DfL	STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		
	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		
	#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		
DfL	#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		
	STANDARD	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		
	#1	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"		



GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	25X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

BRACING GROUP SPECIES AND GRADES:	
GROUP A:	
SPRUCE-PINE-FIR	HEM-FIR
#1 / #2 STUD	#2 STUD
#3 STUD	#3 STANDARD
DOUGLAS FIR-LARCH	
#3 STUD	#3 STUD
STANDARD	STANDARD
GROUP B:	
HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1
SOUTHERN PINE	DOUGLAS FIR-LARCH
#1	#2

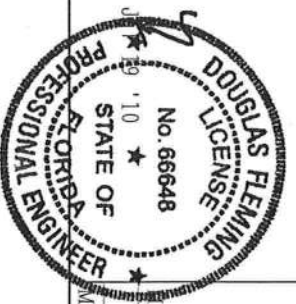
GABLE TRUSS DETAIL NOTES:

- LIVE LOAD DEFLECTION CRITERIA IS $L/240$.
- PROVIDE UPLIFT CONNECTIONS FOR 80 PSF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
- GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
- ATTACH EACH "L" BRACE WITH 10d NAILS.
- * FOR (1) "L" BRACE: SPACE NAILS AT 2' 0" O.C. IN 18" END ZONES AND 4' 0" O.C. BETWEEN ZONES.
- ** FOR (2) "L" BRACES: SPACE NAILS AT 3' 0" O.C. IN 18" END ZONES AND 6' 0" O.C. BETWEEN ZONES.
- "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.



Building Components Group Inc.

Earth City, MO 63045

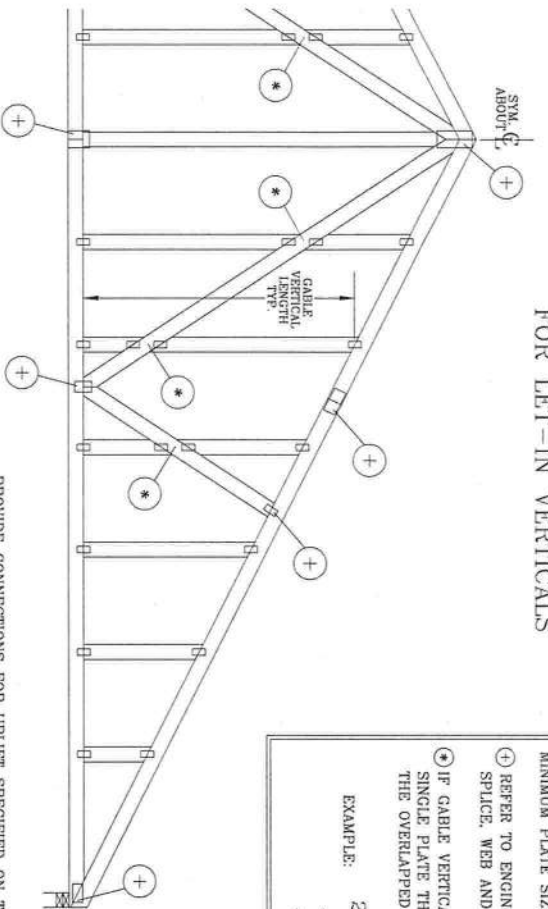


MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF	ASCE7-05-CAB11015
DATE	1/1/09
DRWG	A11015050109

CABLE DETAIL FOR LET-IN VERTICALS



GABLE TRUSS PLATE SIZES

REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUUS.

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

⊙ IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE:



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

- 10d COMMON (0.148" X 3.3" MIN) NAILS AT 4" O.C. PLUS
- (4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILD NAILS:

- 10d COMMON (0.148" X 3.3" MIN) TOENAILS AT 4" O.C. PLUS
- (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE WIND LOAD.

ASCE 7-98 GABLE DETAIL DRAWINGS

A13015980109, A12015980109, A1015980109,

A13030980109, A12030980109, A1030980109

ASCE 7-02 GABLE DETAIL DRAWINGS

A13015020109, A12015020109, A1015020109, A14015020109,

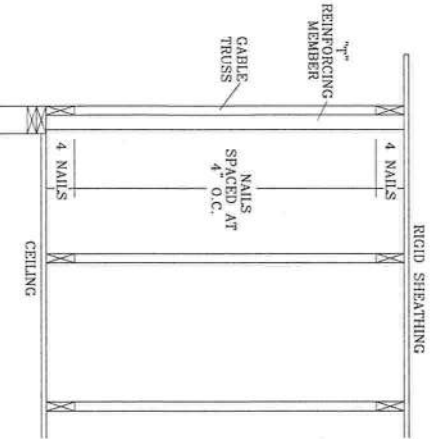
A13030020109, A12030020109, A1030020109, A14030020109

ASCE 7-05 GABLE DETAIL DRAWINGS

A13015050109, A12015050109, A1015050109, A14015050109,

A13030050109, A12030050109, A1030050109, A14030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.



WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the instructions on the ITW Gable Detail drawings. Do not use any other truss components or bracing. These functions shall be properly attached structural panels and bottom chord shall have a properly attached field ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCIS sections B3 & B7. See this job's general notes page for more information.

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.

ITW Building Components Group Inc. (ITWBC) shall retain the right to make any deviation from this design, any failure to build the truss in conformance with ITW, or fabricating, handling, shipping, installing & bracing of trusses. ITWBC connector plates are made of 20/18/16GA (W/H/S/R) ASTM A653 grade 37/40/60 (K/R/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ASCE 7-10 Sec. 2.

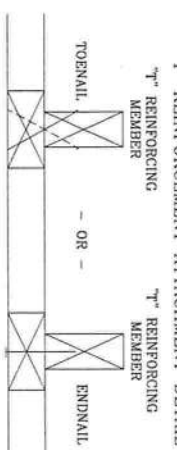
ITW-BCG www.itwbcg.com, ITW www.itw.com, ITCA www.itcainc.org



Building Components Group Inc.

Earth City, MO 63045

"T" REINFORCEMENT ATTACHMENT DETAIL



TO CONVERT FROM "T" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MPH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH

MEAN ROOF HEIGHT = 30 FT, K_{z1} = 1.00

GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2X4

(1) 2X4 "T" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH 1.10 x 6' 7" = 7' 3"

REF LET-IN VERT

DATE 1/1/09

DRWG GBLTNO109

TAX TOT. LD. 60 PSF

TUR. FAC. ANY

TAX SPACING 24.0"





COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST REQUIRMENTS

MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	✓		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	✓		
3	Condition space (Sq. Ft.)			
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land			
5	Dimensions of all building set backs			
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.			
7	Provide a full legal description of property.			

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIIII	IIII	IIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour			
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)			
11	Wind importance factor and nature of occupancy			
12	The applicable internal pressure coefficient, Components and Cladding			
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifiably designed by the registered design professional.			

Elevations Drawing including:

14	All side views of the structure			
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	✓		
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories			✓
20A	Building height from the established grade to the roofs highest peak			

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)			✓
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)			✓

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the pla (see Florida product approval form)

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**Items to Include-
Each Box shall be
Circled as
Applicable**

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing			✓
31	Any special support required by soil analysis such as piling.			✓
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type			
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			
42	Attachment of joist to girder			
43	Wind load requirements where applicable			
44	Show required under-floor crawl space			✓
45	Show required amount of ventilation opening for under-floor spaces			✓
46	Show required covering of ventilation opening			
47	Show the required access opening to access to under-floor spaces			✓
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			✓

48	intermediate of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A

52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown			
54	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)			
57	Indicate where pressure treated wood will be placed			
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses			
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details			✓
68	Provide dead load rating of rafter system			

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assemblies covering			
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering			

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			✓
74	Attic space			
75	Exterior wall cavity			
76	Crawl space			✓

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			✓
78	Exhaust fans locations in bathrooms			✓
79	Show clothes dryer route and total run of exhaust duct			✓

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			✓
81	Show the location of water heater			✓

Private Potable Water

82	Pump motor horse power			✓
83	Reservoir pressure tank gallon capacity			✓
84	Rating of cycle stop valve if used			✓

Electrical layout shown including

85	Switches, outlets, receptacles, lighting and all required GFCI outlets identified	✓		
86	Ceiling fans			✓
87	Smoke detectors & Carbon dioxide detectors			✓
88	Service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.	✓		

90	Appliances and HVAC equipment and disconnects			✓
91	Arc Fault Circuits (AFCI) in bedrooms			✓

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable
---	--	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested 10-45-16-02853-276			
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058			✓
95	City of Lake City A permit showing an approved waste water sewer tap			✓
96	Toilet facilities shall be provided for all construction sites			✓
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			✓
100	A development permit will also be required. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			✓
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125			✓

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004**. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			FL 4242 R1
2. Sliding			
3. Sectional			
4. Roll up			FL 5675-17
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			FL 10694
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			FL 586 R2
2. Underlayments			FL 1814 R1
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

Permit # (FOR STAFF USE ONLY)

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SW BAYVIEW AVE

City: LAKE CITY Phone: 321-1703

Site Location: Subdivision Russwood

Lot # _____ Block# _____ Permit # 28770

Address 119 SW PLATINUM BLVD

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Exterior perimeter
(Detached Garage)

N/A

120

25

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line JDP.

9/14/10
Date

0855
Time

James D. Parker
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE Baya Dr

City: Lake City **Phone:** 752-1903

Site Location: Subdivision Russwood

Lot # _____ **Block #** _____ **Permit #** 28770

Address 1195W Platinum Glw

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Garage

864

120

45

125

118

118

45

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

8/9/10
Date

1:10
Time

No. 1
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



DATE 08/03/2010

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028770

APPLICANT PAUL LIPPI PHONE 755-50292030
ADDRESS 119 SW PLATINUM GLEN LAKE CITY FL 32024
OWNER PAUL & SARAH LIPPI PHONE 755-5029
ADDRESS 119 SW PLANTATION GLEN LAKE CITY FL 32024
CONTRACTOR SAME AS APPLICANT PHONE
LOCATION OF PROPERTY 90W, TL 247S, TR TROY, TR RUSSWOOD DR., TR PLANTATION GLEN, 1ST ON LEFT
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 11000.00
HEATED FLOOR AREA TOTAL AREA 864.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING RSF-2 MAX. HEIGHT 16
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-4S-16-02853-276 SUBDIVISION RUSSWOOD ESTATES
LOT 6 BLOCK B PHASE UNIT 2 TOTAL ACRES 1.00

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X10-265 BK HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ACCESSORY USE, NOC ON FILE

Check # or Cash 1235

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 55.00 CERTIFICATION FEE \$ 4.32 SURCHARGE FEE \$ 4.32

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 138.64

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.