

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANT	LORA DAVID	PHONE	365-5671
ADDRESS	426 SW COMMERCE DR STE 130	LAKE CITY	FL 32025
OWNER	THE PERSEVE AT LAUREL LAKE INC	PHONE	755-0757
ADDRESS	437 SW ROSEMARY DR	LAKE CITY	FL 32024
CONTRACTOR	AARON SIMQUE	PHONE	867-5395

LOCATION OF PROPERTY 90 W. L. CR-252-B, R ROSEMARY DR, 3RD ON RIGHT PASS

THE CLUBHOUSE

TYPE DEVELOPMENT	SFD, UTILITY	ESTIMATED COST OF CONSTRUCTION	216700.00
HEATED FLOOR AREA	3119.00	TOTAL AREA	4334.00
FOUNDATION	CONCRETE	WALLS	FRAMED
LAND USE & ZONING	PRD	MAX. HEIGHT	35
Minimum Set Back Requirements:	STREET-FRONT	25.00	REAR 15.00
			SIDE 10.00
NO. EX.D.U.	0	FLOOD ZONE	X SP
DEVELOPMENT PERMIT NO.			

PARCEL ID	03-4S-16-02731-112	SUBDIVISION	PERSEVE AT LAUREL LAKE
LOT 112	BLOCK	PHASE	UNIT 1
TOTAL ACRES	0.33		

000002394	Culvert Permit No.	Culvert Waiver	Contractor's License Number	R282811879	Applicant/Owner/Contractor	TC	N	New Resident	Time/STUP No.									
WAIVER	CITY	BS	LU & Zoning checked by	Approved for Issuance														
Driveaway Connection	Septic Tank Number																	
COMMENTS:	MINIMUM FLOOR ELEVATION SET AT 116.3' PER PLAT, NEED ELEVATION																	
CONFIRMATION LETTER AT SLAB, HOME BEING PLACED OUT OF FLOOD ZONE																		
PER SITE PLAN																		
Check # or Cash 5022																		

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power	date/app. by	Foundation	date/app. by	Monolithic	date/app. by	(Footer/Slab)
Under slab rough-in plumbing	date/app. by	Slab	date/app. by	Sheathing/Nailing	date/app. by	
Framing	date/app. by	Insulation	date/app. by		date/app. by	
Rough-in plumbing above slab and below wood floor	date/app. by	Electrical rough-in	date/app. by		date/app. by	
Heat & Air Duct	date/app. by	Peri. beam (Lintel)	date/app. by	Pool	date/app. by	
Permanent power	date/app. by	C.O. Final	date/app. by	Culvert	date/app. by	
Pump pole	date/app. by	Utility Pole	date/app. by	M/H tie downs, blocking, electricity and plumbing	date/app. by	
Reconnection	date/app. by	RV	date/app. by	Re-roof	date/app. by	

BUILDING PERMIT FEE \$	1085.00	CERTIFICATION FEE \$	21.67	SURCHARGE FEE \$	21.67
MISC. FEES \$	0.00	ZONING CERT. FEE \$	50.00	FIRE FEE \$	0.00
WASTE FEE \$					
PLAN REVIEW FEE \$	271.00	DP & FLOOD ZONE FEE \$	25.00	CULVERT FEE \$	
INSPECTORS OFFICE		CLERKS OFFICE		TOTAL FEE	1474.34

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.
"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.
The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County New Building Permit Application

\$1524.34
ck # 5022

For Office Use Only Application # 1703-58 Date Received 3-15-17 By LM Permit # 2394/35105
 Zoning Official ELMS Date 3-28-17 Flood Zone A1X Land Use RLO Zoning PRO
 FEMA Map # _____ Elevation _____ MFE 116.3' River _____ Plans Examiner TL Date 3-26-17
 Comments Home in Flood Zone "X" / Need Elevation Confirmation Letter at 516
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ E-W Comp. letter
☐ Owner Builder Disclosure Statement ☒ Corp Doc's ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. City OR City Water Fax _____
 Applicant (Who will sign/pickup the permit) LORA DAVID Phone 365 5671
 Address 426 SW Commerce DR STE 130, LC FL 32025
 Owners Name The Perseve At Laurel Lakes Inc Phone 755 0757
 911 Address 437 SW Rosemary DR LC FL 32024
 Contractors Name Aaron Simque Homes Phone 867-5395
 Address 426 SW Commerce DR Ste 130 LC FL 32025
 Contractor Email aaron@aaronsimque.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Ridge Point Design
 Mortgage Lenders Name & Address Renasant Bank PO Box 3880 Valdosta GA 31604

Circle the correct power company - EL Power & Light Clay Elec. - Suwannee Valley Elec. - Duke Energy

Property ID Number 03-45-16-02731-112 Estimated Construction Cost 16012

Subdivision Name Preserve At Laurel Lakes Lot 112 Block _____ Unit 1 Phase _____

Driving Directions from a Major Road Hwy 90 W, turn left on 252 B, turn Right onto Rosemary DR, Property is the 3rd on Right pass the clubhouse.

Construction of SFR Commercial OR ☒ Residential

Intend Use/Occupancy SFR Number of Existing Dwellings on Property _____

Fire Sprinkled? No If Yes, blueprints included _____ Or Explain 8/12 pitch

☐ Culvert Permit or ☒ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing Drive

Structure from Property Lines - Front 25.5' Side 15.9' Side 14.5' Rear 46

Heated Floor Area 3119 Total Floor Area 4334 Acreage .33

Applied for (Site & Development Plan, Special Exception, etc.) _____

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within **180** days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Scott Stewart

Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

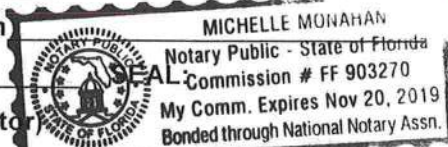
[Signature]
Contractor's Signature

Contractor's License Number RR 282811879
Columbia County
Competency Card Number 000713 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 14 day of March 2017.

Personally known ☒ or Produced Identification ☐

[Signature]
State of Florida Notary Signature (For the Contractor)



Prepared by and return to:

Rob Stewart
Lake City Title
426 SW Commerce Drive, Ste 145
Lake City, FL 32025
(386) 758-1880
File No 2018-2392
Parcel Identification No 03-4S-16-02731-112

[Space Above This Line for Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 27th day of June, 2018 between The Preserve at Laurel Lake, Inc., a Florida Corporation, whose post office address is 426 SW Commerce Drive, Suite 130, Lake City, FL 32025, of the County of Columbia, State of Florida, Grantor, to Rolando Dominguez Mustafa and Evelin Jayo Farrell, Husband and Wife, whose post office address is 437 SW Rosemary Drive, Lake City, FL 32024, of the County of Columbia, State of Florida, Grantees:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

Lot 112, of PRESERVE AT LAUREL LAKE UNIT 1, according to the Plat thereof, as recorded in Plat Book 9, Page 19, of the Public Records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2018 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantees that the Grantor are lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

TO WHOM IT MAY CONCERN,

9-13-18

I need to Reinstate THE Following permits
to get a CO. THE initial permits HAVE EXPIRED
as an oversight on my part as THESE spec
Homes sat on THE market for an EXTENDED time.
THE Following permits are listed below

PRESERVE AT LAUREL LAKE

✓ Lot 71 35102

✓ Lot 80 35276

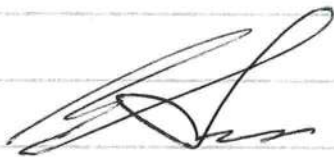
✓ Lot 104 35691

Lot 112 35105

Aaron SIMQUE

President, Aaron SIMQUE HOMES

386-867-5395



35105

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

03-48-16-02731-112

Inst: 201712010652 Date: 06/08/2017 Time: 2:27PM
Page 1 of 1 B: 1338 P: 928, P.DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 112 The Preserve at Laurel Lakes
a) Street (job) Address: 437 SW Rosemary DR.
2. General description of improvements: SFR
3. Owner Information
a) Name and address: The Preserve at Laurel Lake, Inc.
b) Name and address of fee simple titleholder (if other than owner) 426 SW Commerce DR, Ste 120, LC, #1 32025
c) Interest in property Owner
4. Contractor Information
a) Name and address: Adrian Surrigue
b) Telephone No.: 867-0495 Fax No. (Opt.) _____
5. Surety Information
a) Name and address: - N/A -
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: Resurgent Bank P.O. Box 3880, Valdosta, GA 31604
b) Phone No.: ATTN: Ed Hutchinson -
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: Scott Stewart
b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address: Scott Stewart
b) Telephone No.: 386-755-3117 Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Scott Stewart
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 7 day of June, 2017, by:
Scott Stewart as President (type of authority, e.g. officer, trustee, attorney
fact) for The Preserve at Laurel Lake, Inc. (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature [Signature] Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1703-58 CONTRACTOR [Signature] PHONE _____
 THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<input checked="" type="checkbox"/> ELECTRICAL 811	Print Name <u>Ryan Beville</u> License #: <u>EC 13004236</u>	Signature <u>[Signature]</u> Phone #: <u>332-0360</u>
<input type="checkbox"/> MECHANICAL/A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
<input checked="" type="checkbox"/> PLUMBING/GAS 623	Print Name <u>MARK Ganskop</u> License #: <u>CFL 1428040</u>	Signature <u>[Signature]</u> Phone #: <u>386 867-0269</u>
<input type="checkbox"/> ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
<input type="checkbox"/> SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
<input type="checkbox"/> FIRE SYSTEM/SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
<input type="checkbox"/> SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	620	Brent Stovous	[Signature]
CONCRETE FINISHER	1349	Scott Reems	[Signature]
FRAMING	1545	Cole Dean	[Signature]
INSULATION	1320	TYSON HIGGINS	[Signature]
STUCCO	N/A		
DRYWALL		Aaron Simque	[Signature]
PLASTER	N/A		
CABINET INSTALLER		Aaron Simque	[Signature]
PAINTING	000219	BILL HARRIS	[Signature]
ACOUSTICAL CEILING	N/A		
GLASS	000618	CARL BULLARD JR	[Signature]
CERAMIC TILE	20816	TREVOR BLANK	[Signature]
FLOOR COVERING		Aaron Simque	[Signature]
ALUM/VINYL SIDING	000312	Paul Plummer	[Signature]
GARAGE DOOR	000619	CARL BULLARD JR	[Signature]
METAL BLDG ERECTOR	N/A		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1703-59

CONTRACTOR

PHONE

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89 6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name License #	Signature Phone #
MECHANICAL/ A/C	Print Name License #	Signature Phone #
PLUMBING/ GAS	Print Name License #	Signature Phone #
ROOFING 1129	Print Name License #	Signature Phone #
SHEET METAL	Print Name License #	Signature Phone #
FIRE SYSTEM/ SPRINKLER	Print Name License #	Signature Phone #
SOLAR	Print Name License #	Signature Phone #

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440 10 and 440 38, and shall be presented each time the employer applies for a building permit.

City of Lake City

Customer Service

205 North Marion Avenue
Lake City, Florida 32055-3918
Telephone (386) 752-2031 / Fax (386) 719-5837

March 15, 2017

This letter is to verify that the City of Lake City has water, sewer and natural gas service available to tap into at 437 SW Rosemary Dr., parcel 03-4S-16-02731-112.

Please note, a tap will need to be completed before access to the service(s) is available. If you have any questions, please feel free to contact me at (386) 719-5786 during our normal business hours of 8:00 am to 4:30 pm, Monday through Friday. I will be happy to assist you.

Sincerely,



Shasta M. Pelham
Utility Service Coordinator

Cc: Jason Dumas
Customer Service Manager

		SYSADM.RPT		
LOT139	ROSEMARY	798 SW ROSEMARY	DR	32024
LOT91	ROSEMARY	797 SW ROSEMARY	DR	32024
LOT92	ROSEMARY	777 SW ROSEMARY	DR	32024
LOT93	ROSEMARY	761 SW ROSEMARY	DR	32024
LOT94	ROSEMARY	747 SW ROSEMARY	DR	32024
LOT95	ROSEMARY	731 SW ROSEMARY	DR	32024
LOT96	ROSEMARY	715 SW ROSEMARY	DR	32024
LOT97	ROSEMARY	701 SW ROSEMARY	DR	32024
LOT98	ROSEMARY	691 SW ROSEMARY	DR	32024
LOT99	ROSEMARY	687 SW ROSEMARY	DR	32024
LOT100	ROSEMARY	679 SW ROSEMARY	DR	32024
LOT101	ROSEMARY	659 SW ROSEMARY	DR	32024
LOT102	ROSEMARY	641 SW ROSEMARY	DR	32024
LOT103	ROSEMARY	623 SW ROSEMARY	DR	32024
LOT104	ROSEMARY	601 SW ROSEMARY	DR	32024
LOT105	ROSEMARY	563 SW ROSEMARY	DR	32024
LOT106	ROSEMARY	541 SW ROSEMARY	DR	32024
LOT107	ROSEMARY	523 SW ROSEMARY	DR	32024
LOT108	ROSEMARY	505 SW ROSEMARY	DR	32024
LOT109	ROSEMARY	491 SW ROSEMARY	DR	32024
LOT110	ROSEMARY	471 SW ROSEMARY	DR	32024
LOT111	ROSEMARY	453 SW ROSEMARY	DR	32024
LOT112	ROSEMARY	437 SW ROSEMARY	DR	32024
LOT113	ROSEMARY	421 SW ROSEMARY	DR	32024
LOT114	ROSEMARY	407 SW ROSEMARY	DR	32024
LOT115	ROSEMARY	391 SW ROSEMARY	DR	32024
LOT116	ROSEMARY	375 SW ROSEMARY	DR	32024
NEW	ROSEMARY	333 SW ROSEMARY	DR	32024
MIN	SILVER PALM	100 SW SILVER PALM	DR	32024
TB	SILVER PALM	242 SW SILVER PALM	DR	32024
MAX	SILVER PALM	486 SW SILVER PALM	DR	32024
LOT56	SILVER PALM	114 SW SILVER PALM	DR	32024
LOT57	SILVER PALM	132 SW SILVER PALM	DR	32024
LOT58	SILVER PALM	148 SW SILVER PALM	DR	32024
LOT59	SILVER PALM	164 SW SILVER PALM	DR	32024
LOT60	SILVER PALM	178 SW SILVER PALM	DR	32024
LOT61	SILVER PALM	192 SW SILVER PALM	DR	32024
LOT62	SILVER PALM	206 SW SILVER PALM	DR	32024
LOT63	SILVER PALM	220 SW SILVER PALM	DR	32024

OLDNUM	OLDSTR	NEWNUM	NE	NEWSTR	NEW	NEWZI
LOT64	SILVER PALM	234	SW	SILVER PALM	DR	32024
LOT65	SILVER PALM	250	SW	SILVER PALM	DR	32024
LOT66	SILVER PALM	264	SW	SILVER PALM	DR	32024
LOT67	SILVER PALM	278	SW	SILVER PALM	DR	32024
LOT68	SILVER PALM	292	SW	SILVER PALM	DR	32024
LOT69	SILVER PALM	306	SW	SILVER PALM	DR	32024
LOT70	SILVER PALM	322	SW	SILVER PALM	DR	32024
LOT71	SILVER PALM	336	SW	SILVER PALM	DR	32024
LOT72	SILVER PALM	350	SW	SILVER PALM	DR	32024
LOT73	SILVER PALM	366	SW	SILVER PALM	DR	32024
LOT74	SILVER PALM	382	SW	SILVER PALM	DR	32024
LOT75	SILVER PALM	396	SW	SILVER PALM	DR	32024
LOT76	SILVER PALM	410	SW	SILVER PALM	DR	32024
LOT77	SILVER PALM	424	SW	SILVER PALM	DR	32024
LOT78	SILVER PALM	436	SW	SILVER PALM	DR	32024
LOT79	SILVER PALM	448	SW	SILVER PALM	DR	32024

Prepared by and return to:
Cornerstone Homes of Lake City
PO Box 1208
Lake City, FL 32056

Inst: 201712003902 Date: 03/03/2017 Time: 8:00AM
Page 1 of 1 B: 1332 P: 238, P.DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy ClerkDoc Stamp-Deed: 0.70

Folio Number: 03-4S-16-02731-071, 03-4S-16-02731-072, 03-4S-16-02731-080, 03-4S-16-02731-112

THIS WARRANTY DEED made this 27th day of February 27, 2017 by Cornerstone Homes of Lake City, Inc., a Florida Corporation, whose post office address is PO Box 1208, Lake City, FL 32056, hereinafter called the Grantor, to The Preserve at Laurel Lake, Inc., a Florida Corporation, whose post office address is PO Box 1208, Lake City, FL 32056 hereinafter called the Grantee.

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations).

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars, and other variable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situated in Columbia County, Florida, viz:

LOT 71, LOT 72, LOT 80, LOT 112, PRESERVE AT LAUREL LAKE UNIT 1, as per the plat thereof recorded in Plat Book 9, Page 19, of the Public Records of Columbia County, Florida

SUBJECT TO restrictions, reservations, easements and limitations of record, if any, provided that this shall not serve to reimpose same, zoning ordinances, and taxes for the current year and subsequent years.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except as mentioned above.

IN WITNESS WHEREOF, the said grantor has signed and sealed the day and year first above written.

Signed, sealed and delivered in the presence of:

Linda Walser

Witness

Print Name Linda Walser

Gracie Morton

Witness

Print Name Gracie Morton

Scott Stewart
Cornerstone Homes of Lake City, Inc.
Scott Stewart, President

STATE OF: FLORIDA
COUNTY OF: COLUMBIA

The foregoing instrument was acknowledged before me this 27 day of February, 2017 by Scott Stewart, as President of Cornerstone Homes of Lake City, Inc, A Florida Corporation, who is/are personally known to me or has/have produced _____ as identification and who did not take an oath.

Michelle Monahan
Notary Public

Michelle Monahan
Printed Notary Name





Detail by Entity Name

Florida Profit Corporation

THE PRESERVE AT LAUREL LAKE, INC.

Filing Information

Document Number	P14000092433
FEI/EIN Number	<u>47-2334288</u>
Date Filed	11/13/2014
State	FL
Status	ACTIVE

Principal Address

426 SW COMMERCE DRIVE, SUITE 130
LAKE CITY, FL 32025

Mailing Address

426 SW COMMERCE DRIVE, SUITE 130
LAKE CITY, FL 32025

Registered Agent Name & Address

STEWART, SCOTT D
426 SW COMMERCE DRIVE, SUITE 130
LAKE CITY, FL 32025

Officer/Director Detail

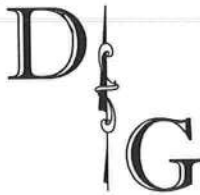
Name & Address

Title President

Stewart, Scott
P O Box 1208
Lake City, FL 32056

Title VP

Simque, Aaron
333 SW Rosemary Drive
Lake City, FL 32024



DANIEL & GORE, LLC

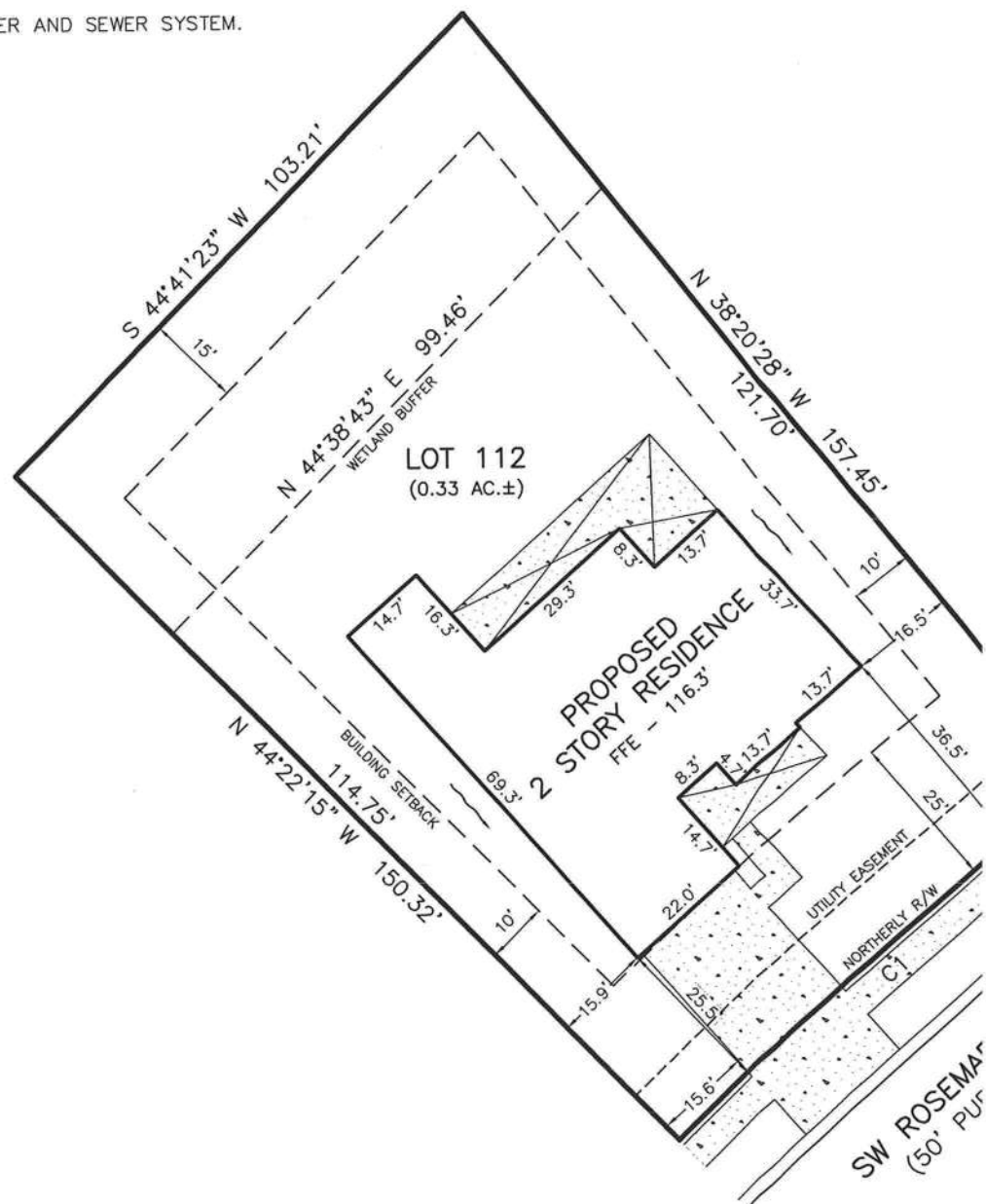
Professional Surveying and Mapping

P.O. BOX 1501
LAKE CITY, FL 32056
PH.: (386) 208-4176
Fax: (904) 339-9229

11564 74th TER.
LIVE OAK, FL 32060
Email: sdaniel@dgsurveying.com
LICENSE NO. LB 7683

NOTES:

1. BEARINGS ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF SW ROSEMARY DRIVE, BEING S 48°38'38" W, ASSUMED.
2. THE PURPOSE OF THIS SURVEY IS TO SHOW PROPOSED IMPROVEMENTS IN RELATION TO LOT LINES.
3. NO ATTEMPT WAS MADE BY THIS SURVEY TO DETERMINE IF THE SUBJECT PROPERTY LIES WITHIN A FLOOD PRONE AREA.
4. RESIDENCE TO BE ON A COMMUNITY WATER AND SEWER SYSTEM.



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

0345160273112

Clerk's Office Stamp

Inst: 201712005773 Date: 03/30/2017 Time: 10:26AM
Page 1 of 1 B: 1333 P: 1947, P. DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): LOT 112 Preserve At Laurel Lakes
a) Street (job) Address: 437 SW Roseman DR LC FL 32024
2. General description of improvements: SFE
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: The Preserve At Laurel Lakes
b) Name and address of fee simple titleholder (if other than owner): 126 SW Comm DR Ste 130 LC FL 32024
c) Interest in property: owner
4. Contractor Information
a) Name and address: Arnon Sique
b) Telephone No.: 867 0495
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: Penasant Bank PO Box 3880 Valdosta GA 31604
b) Phone No.: Ann. Ed Hutchinson
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: SCOTT STEWART of The Preserve At Laurel Lakes
b) Telephone No.: 386 755 6757
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Scott Stewart
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 29 day of March, 2017 by:

Scott Stewart as President for The Preserve At Laurel Lakes, Inc.
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature

[Signature]

Notary

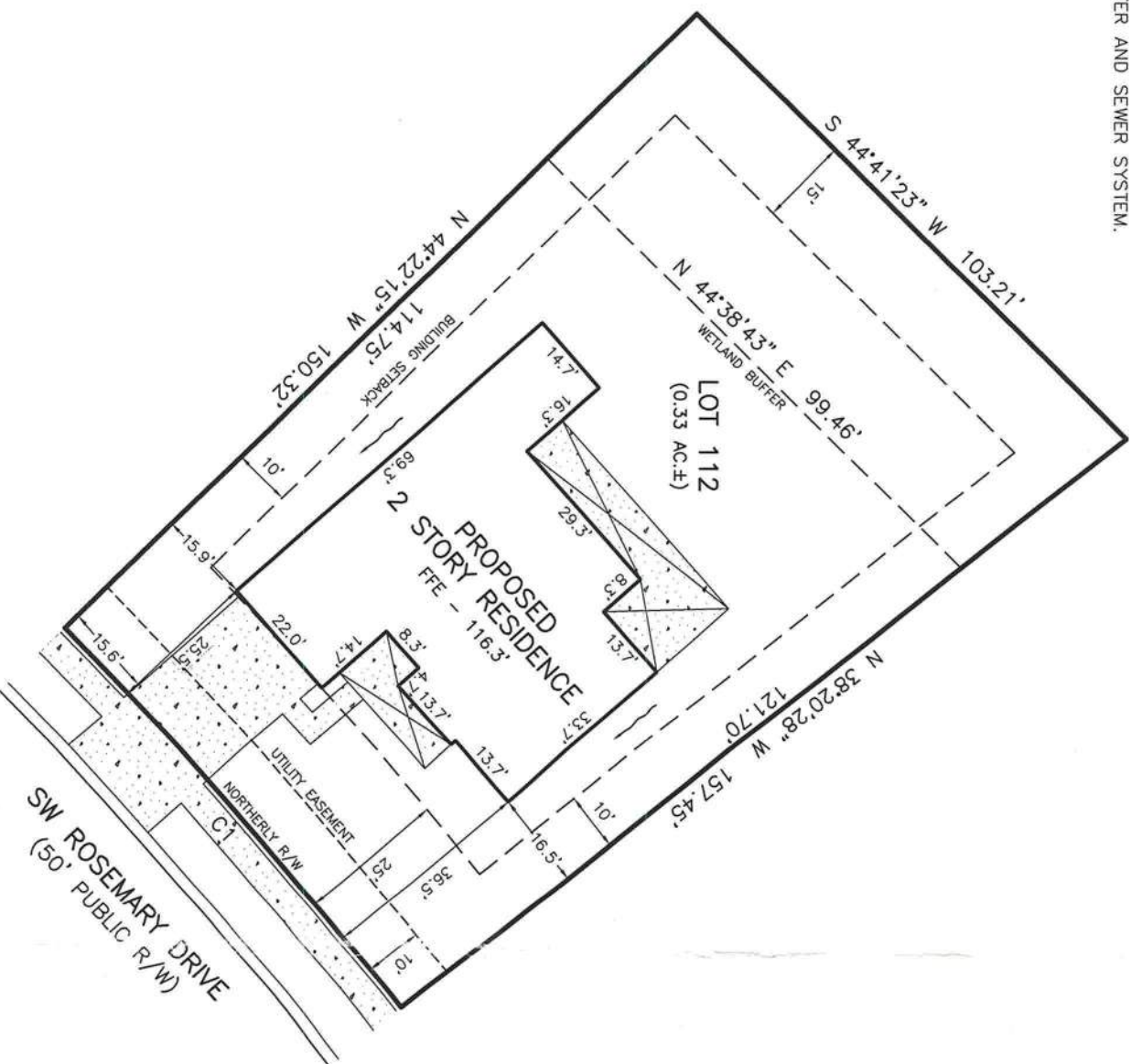


Culvert Waiver No.
000002394



NOTES:

1. BEARINGS ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF SW ROSEMARY DRIVE, BEING S 48°38'38" W, ASSUMED.
2. THE PURPOSE OF THIS SURVEY IS TO SHOW PROPOSED IMPROVEMENTS IN RELATION TO LOT LINES.
3. NO ATTEMPT WAS MADE BY THIS SURVEY TO DETERMINE IF THE SUBJECT PROPERTY LIES WITHIN A FLOOD PRONE AREA.
4. RESIDENCE TO BE ON A COMMUNITY WATER AND SEWER SYSTEM.



SPECIFIC PURPOSE SURVEY

SITE PLAN OF
LOT 112, PRESERVE AT
LAUREL LAKE, UNIT 1
SECTION 3, TWP 3-S, RNG 16-E
COLUMBIA COUNTY, FLORIDA

DESCRIPTION

LOT 112, PRESERVE AT LAUREL LAKE, UNIT 1, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGE 19-25 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

CURVE TABLE			
CURVE	RADIUS	DELTA ANGLE	ARC LENGTH
C1	825.00'	6°01'47"	86.82'
			S 48°38'38" W 86.78'

LEGEND

- DENOTES 5/8" IRON ROD & CAP SET (LB7683)
- DENOTES IRON PIPE OR REBAR FOUND (5/8")
- DENOTES 4"x4" CONCRETE MONUMENT SET (LB7683)
- DENOTES 4"x4" CONCRETE MONUMENT FOUND
- ⊙ DENOTES NAIL & DISC FOUND
- NO ID - NO IDENTIFICATION
- FND - FOUND
- CM - CONCRETE MONUMENT
- ± - MORE OR LESS
- ORB - OFFICIAL RECORDS BOOK
- PG - PAGE (S)
- (P) - PLAT
- (D) - DEED
- (C) - CALCULATED
- (M) - MEASURED
- AC - ACRES(S)
- POB - POINT OF BEGINNING
- POC - POINT OF COMMENCEMENT
- EOP - EDGE OF PAVEMENT
- EOG - EDGE OF GRADE
- N - NORTH
- E - EAST
- S - SOUTH
- W - WEST
- ☎ - TELEPHONE PEDESTAL
- PC - POINT OF CURVATURE
- PI - POINT OF INTERSECTION
- PT - POINT OF TANGENCY
- IP - IRON PIPE
- IPC - IRON PIPE and CAP
- IR - IRON ROD
- IRC - IRON ROD and CAP
- R - RADIUS
- T - TANGENT
- L - ARC LENGTH
- Δ - CENTRAL ANGLE
- CH - CHORD BEARING & DISTANCE
- RW - RIGHT OF WAY
- TWP - TOWNSHIP
- RNG - RANGE
- X — X DENOTES FENCE
- E — E DENOTES OVERHEAD ELECTRIC
- - POWER POLE
- CONCRETE

SCALE: 1" = 30'



SURVEY FOR: AARON SIMQUE HOMES

03/13/2017
DATE OF CERTIFICATE
//
DATE OF FIELD SURVEY

BRIAN SCOTT DANIEL, PSM
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 6449

SURVEY VALID ONLY ON THE DATE OF FIELD SURVEY SHOWN HEREON. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.



COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2010 EFFECTIVE 15 MARCH 2012 AND THE NATIONAL ELECTRICAL 2008 EFFECTIVE 1 OCTOBER 2009

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2010 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 15 MARCH 2012. NATIONAL ELECTRICAL CODE 2008 EFFECTIVE 1 OCTOBER 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-
Each Box shall be
Circled as
Applicable

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		/		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		/		
3	Condition space (Sq. Ft.)	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	/		
5	Dimensions of all building set backs	/		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	/		
7	Provide a full legal description of property.	/		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIII	IIII	IIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	/		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	/		
11	Wind importance factor and nature of occupancy	/		
12	The applicable internal pressure coefficient, Components and Cladding	/		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	/		

Elevations Drawing including:

14	All side views of the structure	/		
15	Roof pitch	/		
16	Overhang dimensions and detail with attic ventilation	/		
17	Location, size and height above roof of chimneys	/		
18	Location and size of skylights with Florida Product Approval	/		
18	Number of stories	/		
20A	Building height from the established grade to the roofs highest peak	/		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	/		
21	Raised floor surfaces located more than 30 inches above the floor or grade	/		
22	All exterior and interior shear walls indicated	/		
23	Shear wall opening shown (Windows, Doors and Garage doors)	/		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	/		
25	Safety glazing of glass where needed	/		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	/		
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	/		
28	Identify accessibility of bathroom (see FBCR SECTION 320)	/		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

<p align="center">GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
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FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	/		
30	All posts and/or column footing including size and reinforcing	/		
31	Any special support required by soil analysis such as piling.	/		
32	Assumed load-bearing value of soil _____ Pound Per Square Foot	/		
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	/		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	/		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	/		

FBCR 318: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	/		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	/		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	/		

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	/		
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	/		
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	/		
42	Attachment of joist to girder	/		
43	Wind load requirements where applicable	/		
44	Show required under-floor crawl space	/		
45	Show required amount of ventilation opening for under-floor spaces	/		
46	Show required covering of ventilation opening	/		
47	Show the required access opening to access to under-floor spaces	/		
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing	/		

49	Show Draftstopping, Fire caulking and Fire blocking	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
51	Provide live and dead load rating of floor framing systems (psf).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
53	Fastener schedule for structural members per table IRC 602.3 are to be shown	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
57	Indicate where pressure treated wood will be placed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
64	Provide dead load rating of trusses	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
67	Valley framing and support details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
68	Provide dead load rating of rafter system	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assemblies covering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
74	Attic space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
75	Exterior wall cavity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
76	Crawl space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
78	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
79	Show clothes dryer route and total run of exhaust duct	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
81	Show the location of water heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Private Potable Water

82	Pump motor horse power	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
83	Reservoir pressure tank gallon capacity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
84	Rating of cycle stop valve if used	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
87	Show the location of smoke detectors & Carbon monoxide detectors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
88	Show service panel, sub-panel, location(s) and total ampere ratings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

90	Appliances and HVAC equipment and disconnects			
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter , Protection device.	<input checked="" type="checkbox"/>		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center">GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p align="center">Items to Include- Each Box shall be Circled as Applicable</p>
---	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current On-Line Building Permit Application www.ccpermit.com is to be completed, by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee.	<input checked="" type="checkbox"/>		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also requested. www.columbiacountyfla.com	<input checked="" type="checkbox"/>		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058			<input checked="" type="checkbox"/>
95	City of Lake City A permit showing an approved waste water sewer tap 386-752-2031	<input checked="" type="checkbox"/>		
96	Toilet facilities shall be provided for all construction sites	<input checked="" type="checkbox"/>		
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			<input checked="" type="checkbox"/>
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			<input checked="" type="checkbox"/>
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.			<input checked="" type="checkbox"/>
100	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	<input checked="" type="checkbox"/>		
102	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 Ext. 3	<input checked="" type="checkbox"/>		

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	PGT Industries	exterior Door	FL253-R12
B. SLIDING			
C. SECTIONAL			
D. ROLL UP	overhead	Garage Door	FL 7142-R16
E. AUTOMATIC			
F. OTHER			
2. WINDOWS			
A. SINGLE HUNG	PGT	Single Hung Window	FL 239-R-119
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. DOUBLE HUNG			
E. FIXED			
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
3. PANEL WALL			
A. SIDING	James Hardie	Hardi board Siding	FLB192-R2
B. SOFFITS			
C. EIFS			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES	TAMKO	Asphalt Shingles	FL1956-R8
B. UNDERLAYMENTS			
C. ROOFING FASTENERS			
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			
L. ROOFING SLATE			
M. CEMENTS-ADHESIVES COATINGS			

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
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N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
5. SHUTTERS			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
6. SKYLIGHTS			
A. SKYLIGHT			
B. OTHER			
7. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS/ ANCHORS			
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
8. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.


APPLICANT SIGNATURE

3-14-17
DATE



Load Short Form
Entire House
Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundshvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Design Information

	Htg	Clg	Infiltration	
Outside db (°F)	33	92	Method	Simplified
Inside db (°F)	68	75	Construction quality	Semi-tight
Design TD (°F)	35	17	Fireplaces	
Daily range	-	M		
Inside humidity (%)	50	50		
Moisture difference (gr/lb)	29	52		

HEATING EQUIPMENT

Make Carrier
Trade
Model CH14NB06000G
AHRI ref 7835948

Efficiency 8.1 HSPF
Heating input
Heating output 57762 Btuh @ 47°F
Temperature rise 27 °F
Actual air flow 1935 cfm
Air flow factor 0.039 cfm/Btuh
Static pressure 1.00 in H2O
Space thermostat

COOLING EQUIPMENT

Make Carrier
Trade
Cond CH14NB06000G
Coil FX4DNF061L00
AHRI ref 7835948

Efficiency 12.2 EER, 14 SEER
Sensible cooling 40635 Btuh
Latent cooling 17415 Btuh
Total cooling 58050 Btuh
Actual air flow 1935 cfm
Air flow factor 0.046 cfm/Btuh
Static pressure 1.00 in H2O
Load sensible heat ratio 0.88

ROOM NAME		Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
Zone 2	p	852	17837	12491	692	575
Zone 1	p	2207	32060	33054	1243	1520
Entire House	d	3059	49897	41807	1935	1935
Other equip loads			0	0		
Equip. @ 0.97 RSM				40553		
Latent cooling				5927		
TOTALS		3059	49897	46480	1935	1935

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



Load Short Form Zone 1 Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundshvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Design Information

	Htg	Clg	Infiltration	
Outside db (°F)	33	92	Method	Simplified
Inside db (°F)	68	75	Construction quality	Semi-tight
Design TD (°F)	35	17	Fireplaces	0
Daily range	-	M		
Inside humidity (%)	50	50		
Moisture difference (gr/lb)	29	52		

HEATING EQUIPMENT

Make	n/a
Trade	n/a
Model	n/a
AHRI ref	n/a
Efficiency	n/a
Heating input	
Heating output	0 Btuh
Temperature rise	0 °F
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	n/a

COOLING EQUIPMENT

Make	n/a
Trade	n/a
Cond	n/a
Coil	n/a
AHRI ref	n/a
Efficiency	n/a
Sensible cooling	0 Btuh
Latent cooling	0 Btuh
Total cooling	0 Btuh
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
bedroom 3	182	3741	3480	145	160
WIC 3	20	485	192	19	9
WIC 2	20	485	192	19	9
bedroom 2	173	3973	3828	154	176
bath 2	46	87	147	3	7
dining	187	2870	1968	111	91
foyer	78	1974	1525	77	70
kitchen/nook	351	3548	4050	138	186
hall 1	32	0	0	0	0
great room	403	3870	4196	150	193
master bedroom	254	6604	7434	256	342
toilet	24	421	181	16	8
master bath	160	1894	3358	73	154
WIC 1	102	1446	1325	56	61
laundry	65	663	1179	26	54
hall 2	109	0	0	0	0

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



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...Soft J&D\2015 jdtSimque - Lot 100 (Bristol).rup Calc = MJ8 Front Door faces: N

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Zone 1	p	2207	32060	33054	1243	1520
Other equip loads			0	0		
Equip. @ 0.97 RSM				32063		
Latent cooling				3823		
TOTALS		2207	32060	35886	1243	1520

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



Load Short Form Zone 2 Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundshvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Design Information

	Htg	Clg	Infiltration	
Outside db (°F)	33	92	Method	Simplified
Inside db (°F)	68	75	Construction quality	Semi-tight
Design TD (°F)	35	17	Fireplaces	0
Daily range	-	M		
Inside humidity (%)	50	50		
Moisture difference (gr/lb)	29	52		

HEATING EQUIPMENT

Make n/a
Trade n/a
Model n/a
AHRI ref n/a
Efficiency n/a
Heating input
Heating output 0 Btuh
Temperature rise 0 °F
Actual air flow 0 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Space thermostat n/a

COOLING EQUIPMENT

Make n/a
Trade n/a
Cond n/a
Coil n/a
AHRI ref n/a
Efficiency n/a
Sensible cooling 0 Btuh
Latent cooling 0 Btuh
Total cooling 0 Btuh
Actual air flow 0 cfm
Air flow factor 0 cfm/Btuh
Static pressure 0 in H2O
Load sensible heat ratio 0

ROOM NAME	Area (ft²)	Htg load (Btuh)	Clg load (Btuh)	Htg AVF (cfm)	Clg AVF (cfm)
media room	521	10699	6335	415	291
Bath 3	67	1148	514	45	24
bedroom 4	264	5989	5642	232	260
Zone 2	852	17837	12491	692	575
Other equip loads		0	0		
Equip. @ 0.97 RSM			12116		
Latent cooling			2104		
TOTALS	852	17837	14220	692	575

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



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...Soft J&D\2015 jdlSimque - Lot 100 (Bristol).rup Calc = MJ8 Front Door faces: N

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Project Summary
Entire House
Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundshvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Notes:

Design Information

Weather: Gainesville, FL, US

Winter Design Conditions

Outside db	33 °F
Inside db	68 °F
Design TD	35 °F

Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

Heating Summary

Structure	37861 Btuh
Ducts	12037 Btuh
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	49897 Btuh

Sensible Cooling Equipment Load Sizing

Structure	26961 Btuh
Ducts	14847 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	40553 Btuh

Infiltration

Method	Simplified
Construction quality	Semi-tight
Fireplaces	0
Area (ft²)	Heating 3059 Cooling 3059
Volume (ft³)	27530 27530
Air changes/hour	0.19 0.10
Equiv. AVF (cfm)	87 46

Latent Cooling Equipment Load Sizing

Structure	3013 Btuh
Ducts	2914 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	5927 Btuh
Equipment total load	46480 Btuh
Req. total capacity at 0.70 SHR	4.8 ton

Heating Equipment Summary

Make	Carrier
Trade	
Model	CH14NB06000G
AHRI ref	7835948
Efficiency	8.1 HSPF
Heating input	
Heating output	57762 Btuh @ 47°F
Temperature rise	27 °F
Actual air flow	1935 cfm
Air flow factor	0.039 cfm/Btuh
Static pressure	1.00 in H2O
Space thermostat	

Cooling Equipment Summary

Make	Carrier
Trade	
Cond	CH14NB06000G
Coil	FX4DNF061L00
AHRI ref	7835948
Efficiency	12.2 EER, 14 SEER
Sensible cooling	40635 Btuh
Latent cooling	17415 Btuh
Total cooling	58050 Btuh
Actual air flow	1935 cfm
Air flow factor	0.046 cfm/Btuh
Static pressure	1.00 in H2O
Load sensible heat ratio	0.88

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



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...Soft J&D\2015 jdl\Simque - Lot 100 (Bristol).rup Calc = MJ8 Front Door faces: N

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Project Summary Zone 1 Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundshvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Notes:

Design Information

Weather: Gainesville, FL, US

Winter Design Conditions

Outside db	33 °F
Inside db	68 °F
Design TD	35 °F

Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

Heating Summary

Structure	24326 Btuh
Ducts	7734 Btuh
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	32060 Btuh

Sensible Cooling Equipment Load Sizing

Structure	21316 Btuh
Ducts	11738 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	32063 Btuh

Infiltration

Method	Simplified
Construction quality	Semi-tight
Fireplaces	0

	Heating	Cooling
Area (ft²)	2207	2207
Volume (ft³)	19863	19863
Air changes/hour	0.15	0.08
Equiv. AVF (cfm)	50	26

Latent Cooling Equipment Load Sizing

Structure	1721 Btuh
Ducts	2102 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	3823 Btuh
Equipment total load	35886 Btuh
Req. total capacity at 0.70 SHR	3.8 ton

Heating Equipment Summary

Make	n/a
Trade	n/a
Model	n/a
AHRI ref	n/a
Efficiency	n/a
Heating input	
Heating output	0 Btuh
Temperature rise	0 °F
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	n/a

Cooling Equipment Summary

Make	n/a
Trade	n/a
Cond	n/a
Coil	n/a
AHRI ref	n/a
Efficiency	n/a
Sensible cooling	0 Btuh
Latent cooling	0 Btuh
Total cooling	0 Btuh
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.



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...Soft J&D\2015 jd\Simque - Lot 100 (Bristol).rup Calc = MJ8 Front Door faces: N

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Project Summary Zone 2 Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundsvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

Notes:

Design Information

Weather: Gainesville, FL, US

Winter Design Conditions

Outside db	33 °F
Inside db	68 °F
Design TD	35 °F

Summer Design Conditions

Outside db	92 °F
Inside db	75 °F
Design TD	17 °F
Daily range	M
Relative humidity	50 %
Moisture difference	52 gr/lb

Heating Summary

Structure	13534 Btuh
Ducts	4303 Btuh
Central vent (0 cfm)	0 Btuh
Humidification	0 Btuh
Piping	0 Btuh
Equipment load	17837 Btuh

Sensible Cooling Equipment Load Sizing

Structure	8055 Btuh
Ducts	4436 Btuh
Central vent (0 cfm)	0 Btuh
Blower	0 Btuh
Use manufacturer's data	n
Rate/swing multiplier	0.97
Equipment sensible load	12116 Btuh

Infiltration

Method	Simplified
Construction quality	Semi-tight
Fireplaces	0

	Heating	Cooling
Area (ft²)	852	852
Volume (ft³)	7667	7667
Air changes/hour	0.29	0.15
Equiv. AVF (cfm)	37	20

Latent Cooling Equipment Load Sizing

Structure	1292 Btuh
Ducts	812 Btuh
Central vent (0 cfm)	0 Btuh
Equipment latent load	2104 Btuh
Equipment total load	14220 Btuh
Req. total capacity at 0.70 SHR	1.4 ton

Heating Equipment Summary

Make	n/a
Trade	n/a
Model	n/a
AHRI ref	n/a
Efficiency	n/a
Heating input	
Heating output	0 Btuh
Temperature rise	0 °F
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Space thermostat	n/a

Cooling Equipment Summary

Make	n/a
Trade	n/a
Cond	n/a
Coil	n/a
AHRI ref	n/a
Efficiency	n/a
Sensible cooling	0 Btuh
Latent cooling	0 Btuh
Total cooling	0 Btuh
Actual air flow	0 cfm
Air flow factor	0 cfm/Btuh
Static pressure	0 in H2O
Load sensible heat ratio	0

Calculations approved by ACCA to meet all requirements of Manual J 8th Ed.

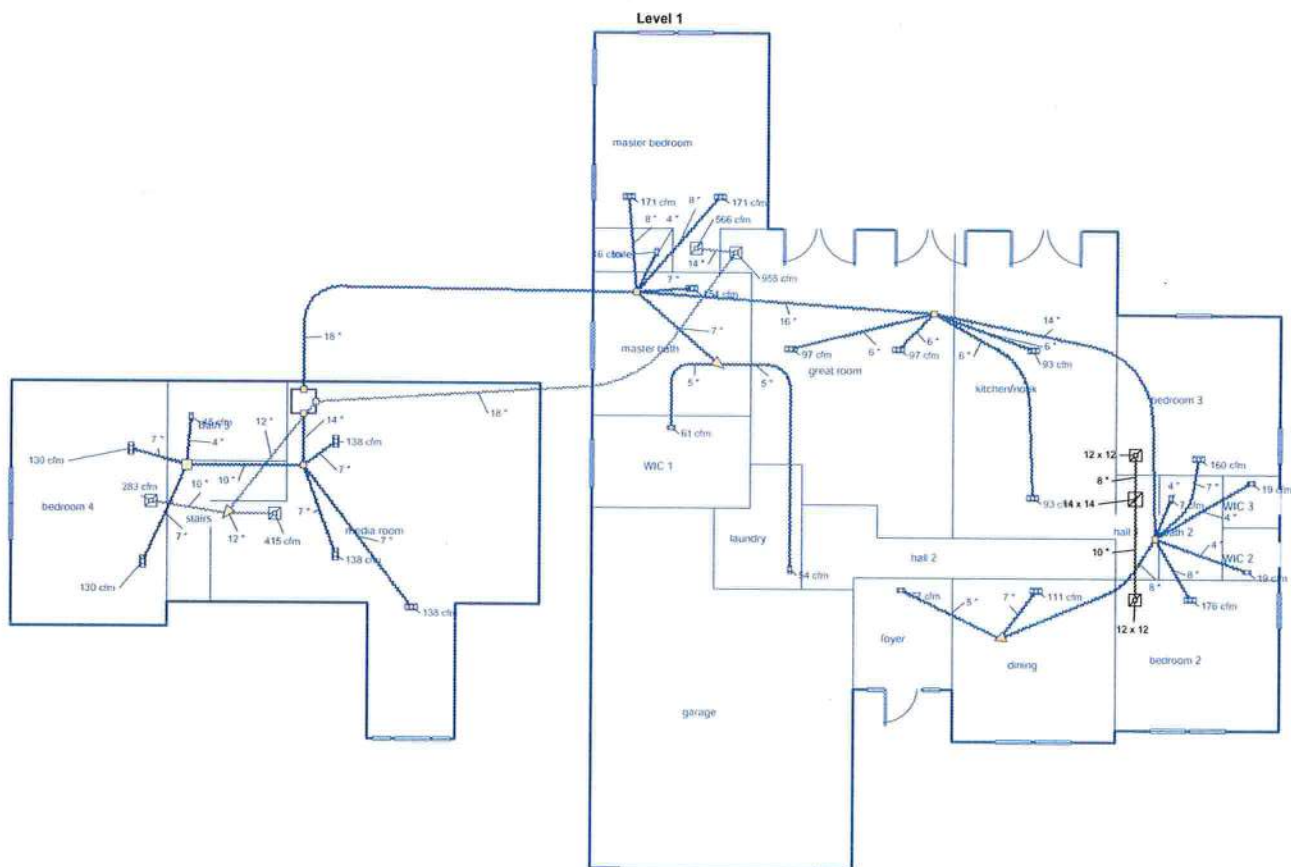


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...Soft J&D\2015 jdt\Simque - Lot 100 (Bristol).rup Calc = MJ8 Front Door faces: N

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Job #:
Performed by Joe Mullins for:
 Aaron Simque Construction
 Lot 112 The Preserve
 Lake City

Bounds Heating & Air
 25645 West Newberry Road
 Newberry, FL 32669
 Phone: 352-472-2761 Fax: 352-472-1809
www.boundshvac.com joe.atbounds@yahoo.com

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Duct System Summary

Entire House

Bounds Heating & Air

Job:
Date: March 1, 2017
By: Joe Mullins
Plan: The Bristol

25645 West Newberry Road, Newberry, FL 32669 Phone: 352-472-2761 Fax: 352-472-1809 Email: joe.atbounds@yahoo.com Web: www.boundsvac.com

Project Information

For: Aaron Simque Construction
Lot 112 The Preserve, Lake City

	Heating	Cooling
External static pressure	1.00 in H2O	1.00 in H2O
Pressure losses	0.30 in H2O	0.30 in H2O
Available static pressure	0.70 in H2O	0.70 in H2O
Supply / return available pressure	0.538 / 0.162 in H2O	0.538 / 0.162 in H2O
Lowest friction rate	0.189 in/100ft	0.189 in/100ft
Actual air flow	1935 cfm	1935 cfm
Total effective length (TEL)	371 ft	

Supply Branch Detail Table

Name	Design (Btuh)	Htg (cfm)	Clg (cfm)	Design FR	Diam (in)	H x W (in)	Duct Matl	Actual Ln (ft)	Ftg.Eqv Ln (ft)	Trunk
Bath 3-A	h 1148	45	24	0.421	4.0	0x0	VIFx	18.0	110.0	st7
WIC 1	c 1325	56	61	0.308	5.0	0x0	VIFx	54.9	120.0	st3
WIC 2	h 485	19	9	0.221	4.0	0x0	VIFx	103.2	140.0	st5
WIC 3	h 485	19	9	0.220	4.0	0x0	VIFx	104.4	140.0	st5
bath 2	c 147	3	7	0.226	4.0	0x0	VIFx	98.7	140.0	st5
bedroom 2	c 3828	154	176	0.223	8.0	0x0	VIFx	100.9	140.0	st5
bedroom 3	c 3480	145	160	0.217	7.0	0x0	VIFx	103.2	145.0	st5
bedroom 4-A	c 2821	116	130	0.418	7.0	0x0	VIFx	18.9	110.0	st7
bedroom 4-B	c 2821	116	130	0.405	7.0	0x0	VIFx	22.8	110.0	st7
dining	h 2870	111	91	0.192	7.0	0x0	VIFx	116.1	165.0	st6
foyer	h 1974	77	70	0.189	5.0	0x0	VIFx	120.3	165.0	st6
great room	c 2098	75	97	0.298	6.0	0x0	VIFx	65.6	115.0	st4
great room-A	c 2098	75	97	0.285	6.0	0x0	VIFx	73.8	115.0	st4
kitchen/nook	c 2025	69	93	0.291	6.0	0x0	VIFx	70.2	115.0	st4
kitchen/nook-A	c 2025	69	93	0.267	6.0	0x0	VIFx	81.4	120.0	st4
laundry	c 1179	26	54	0.286	5.0	0x0	VIFx	68.6	120.0	st3
master bath	c 3358	73	154	0.396	7.0	0x0	VIFx	41.0	95.0	st1
master bedroom	c 3717	128	171	0.379	8.0	0x0	VIFx	47.0	95.0	st1
master bedroom-A	c 3717	128	171	0.386	8.0	0x0	VIFx	44.4	95.0	st1
media room	h 3566	138	97	0.551	7.0	0x0	VIFx	7.7	90.0	st2
media room-A	h 3566	138	97	0.527	7.0	0x0	VIFx	12.1	90.0	st2
media room-B	h 3566	138	97	0.494	7.0	0x0	VIFx	19.1	90.0	st2
toilet	h 421	16	8	0.399	4.0	0x0	VIFx	40.1	95.0	st1

Supply Trunk Detail Table

Name	Trunk Type	Htg (cfm)	Clg (cfm)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Duct Material	Trunk
st7	Peak AVF	277	283	0.405	519	10.0	0 x 0	VinIFlx	st2
st2	Peak AVF	692	575	0.405	647	14.0	0 x 0	VinIFlx	
st3	Peak AVF	82	115	0.286	431	7.0	0 x 0	VinIFlx	st1
st6	Peak AVF	188	161	0.189	538	8.0	0 x 0	VinIFlx	st5
st5	Peak AVF	528	521	0.189	494	14.0	0 x 0	VinIFlx	st4
st4	Peak AVF	816	901	0.189	645	16.0	0 x 0	VinIFlx	st1
st1	Peak AVF	1243	1520	0.189	860	18.0	0 x 0	VinIFlx	

Return Branch Detail Table

Name	Grill Size (in)	Htg (cfm)	Clg (cfm)	TEL (ft)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Stud/Joist Opening (in)	Duct Matl	Trunk
rb6	0x0	277	283	68.3	0.237	519	10.0	0x 0		VIFx	rt1
rb7	0x0	415	291	65.9	0.245	528	12.0	0x 0		VIFx	rt1
rb1	0x0	402	566	79.0	0.205	529	14.0	0x 0		VIFx	rt2
rb2	0x0	841	955	85.7	0.189	540	18.0	0x 0		VIFx	rt2

Return Trunk Detail Table

Name	Trunk Type	Htg (cfm)	Clg (cfm)	Design FR	Veloc (fpm)	Diam (in)	H x W (in)	Duct Material	Trunk
rt1	Peak AVF	692	575	0.237	881	12.0	0 x 0	VinIFlx	
rt2	Peak AVF	1243	1520	0.189	860	18.0	0 x 0	VinIFlx	

New Construction Subterranean Termite Service Record

OMB Appr (c)

This form is completed by the licensed Pest Control Company.

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Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential, therefore, no assurance of confidentiality is provided.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Company and builder, unless stated otherwise.

Section 1: General Information (Pest Control Company Information)

Company Name Aspen Pest Control, Inc.
Company Address P.O. Box 1785 City Lake City State FL Zip 32056
Company Business License No. JB182948 Company Phone No. 386-755-3611
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name Aaron Simquic Phone No. 867-5395

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) The Preserve at Laurel Lake Inc
437 SW Rosemary DR.
Lake City, FL 32024

Section 4: Service Information

Date(s) of Service(s) 5-9-2017
Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other _____

Check all that apply:

- ☒ A. Soil Applied Liquid Termiticide
Brand Name of Termiticide: Dominion 2L EPA Registration No. 53883-229
Approx. Dilution (%): 05 Approx. Total Gallons Mix Applied: 500 Treatment completed on exterior: ☐ Yes ☐ No
- ☐ B. Wood Applied Liquid Termiticide
Brand Name of Termiticide: _____ EPA Registration No. _____
Approx. Dilution (%): _____ Approx. Total Gallons Mix Applied: _____
- ☐ C. Bait System Installed
Name of System _____ EPA Registration No. _____ Number of Stations Installed _____
- ☐ D. Physical Barrier System Installed
Name of System _____ Attach installation information (required)

Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____
Comments _____

Name of Applicator(s) C. Lacey Certification No. (if required by State law) JF104376

The applicator has used a product in accordance with the product label and state requirements. All materials and methods used comply with state and federal regulations.

Authorized Signature [Signature] Date 5-9-2017

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

form HUD-NPMA-99-B (8/2008)