

DATE 06/06/2019

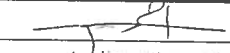
Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
 000038202

APPLICANT AHMED ALQUBAISI PHONE 386.984.0397
 ADDRESS 1337 SW WESTER DR LAKE CITY FL 32024
 OWNER AHMED ALQUBAISI PHONE 386.984.0397
 ADDRESS 1337 SW WESTER DRIVE LAKE CITY FL 32024
 CONTRACTOR AHMED ALQUBAISI PHONE 386.984.0397
 LOCATION OF PROPERTY 47-S TO WESTER, FL AND IT'S .72 MILES ON L.
 TYPE DEVELOPMENT METAL STORAGE BLDG ESTIMATED COST OF CONSTRUCTION 30800.00
 HEATED FLOOR AREA TOTAL AREA 2000.00 HEIGHT STORIES 1
 FOUNDATION CONC WALLS FRAMED ROOF PITCH 3'12 FLOOR CONC
 LAND USE & ZONING A-3 MAX. HEIGHT
 Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
 NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 31-4S-17-08915-015 SUBDIVISION
 LOT BLOCK PHASE UNIT TOTAL ACRES 5.05

OWNER 
 Culvert Permit No. Culvert Waiver Contractor's License Number Applicant Owner Contractor
 EXISTING 19-0438 TC TC N
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time SHIP No.

COMMENTS: NOC ON FILE, NON-HABITABLE STORAGE BUILDING.

Check # or Cash 2648


FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power Foundation Monolithic (Footer Slab)
 date/app. by date/app. by date/app. by
 Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
 Framing Insulation
 date/app. by date/app. by
 Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by date/app. by
 Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
 Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
 Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
 Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 155.00 CERTIFICATION FEE \$ 10.00 SURCHARGE FEE \$ 10.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

PLAN REVIEW FEE \$ 38.00 DP & FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 288.00

INSPECTOR'S OFFICE  CLERK'S OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO
 THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS
 PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED
 WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR
 ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN
 APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID
 WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County New Building Permit Application

For Office Use Only		Application # <u>1906-05</u>	Date Received <u>6/4</u>	By <u>JW</u>	Permit # <u>38202</u>
Zoning Official <u>J.C.</u>	Date <u>6-4-19</u>	Flood Zone <u>X</u>	Land Use <u>AG</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>J.C.</u>	Date <u>6-4-19</u>
Comments <u>Non Habitable Storage Bldg, Front 30' Sides 25' Rear 25'</u>					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> ECH <input checked="" type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input checked="" type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # _____ <input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter <input type="checkbox"/> Owner Builder Disclosure Statement <input type="checkbox"/> Land Owner Affidavit <input type="checkbox"/> Ellisville Water <input checked="" type="checkbox"/> App Fee Paid <input type="checkbox"/> Sub VF Form					

Septic Permit No. 19-0438 OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) AHMED ALQUBAISI Phone 386-984-0397

Address 1337 SW WESTER DR, LAKE CITY, FL 32024

Owners Name AHMED ALQUBAISI Phone 386-984-0397

911 Address 1337 SW WESTER DR, LAKE CITY, FL 32024

Contractors Name AHMED ALQUBAISI Phone 386-984-0397

Address 1337 SW WESTER DR, LAKE CITY, FL 32024

Contractor Email Ahmed Alqubaisi 7@gmail.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Wayne S. Moore, Jr 631 SE Industrial Ct

Mortgage Lenders Name & Address LAKE CITY, FL 32025

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 31-45-17-08915-015 Estimated Construction Cost 30,800

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions from a Major Road 47S, LEFT ON WESTER BR. GO .72 MILES, HOUSE ON LEFT.

Construction of STEEL STORAGE BUILDING Commercial OR ☒ Residential

Proposed Use/Occupancy STORAGE BUILDING Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? N If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 160 Side 110 Side 95 Rear 440

Number of Stories 1 Heated Floor Area 40650 Total Floor Area 2000 Acreage 5.05 AC.

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

AHMED ALQUSAISI [Signature] ****Property owners must sign here before any permit will be issued.**
Print Owners Name Owners Signature

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature] Contractor's License Number _____
Contractor's Signature Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 3 day of JUNE 2019.

Personally known ☐ or Produced Identification DRIVERS LICENSE

[Signature] SEAL:
State of Florida Notary Signature (For the Contractor)



HEIDI MOORE
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF929829
Expires 10/21/2019
Revised 7-1-17



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myfloridalicense.com/dbpr/> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

1337 S W WESTER DR, LAKE CITY, FL 32024

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ for construction of _____
(X) Other STEEL STORAGE BUILDING

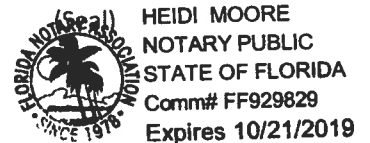
I AHMED ALGUBAISI, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

[Signature] 6/3/19
Owner Builder Signature Date

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification DRIVERS LICENSE

Notary Signature [Signature] Date 6/3/19



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

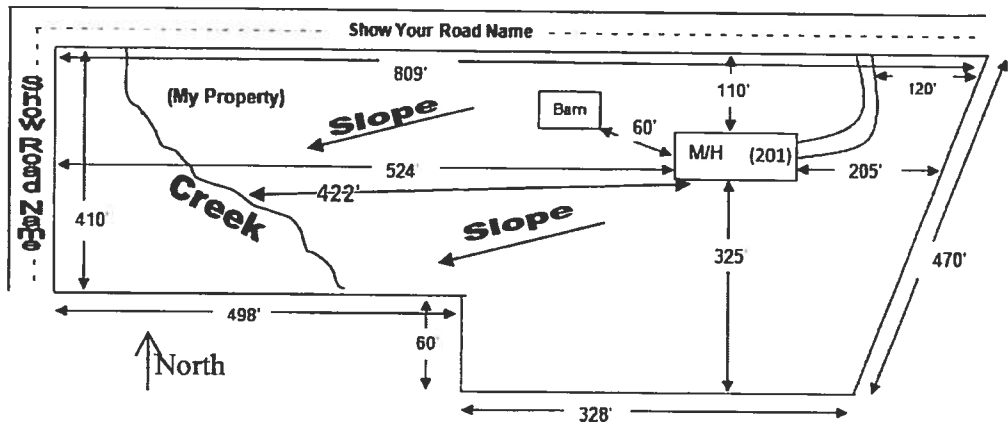
Building Official/Representative [Signature]

SITE PLAN CHECKLIST

- ☐ 1) Property Dimensions
- ☐ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ☐ 3) Distance from structures to all property lines
- ☐ 4) Location and size of easements
- ☐ 5) Driveway path and distance at the entrance to the nearest property line
- ☐ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ☐ 7) Show slopes and or drainage paths
- ☐ 8) Arrow showing North direction

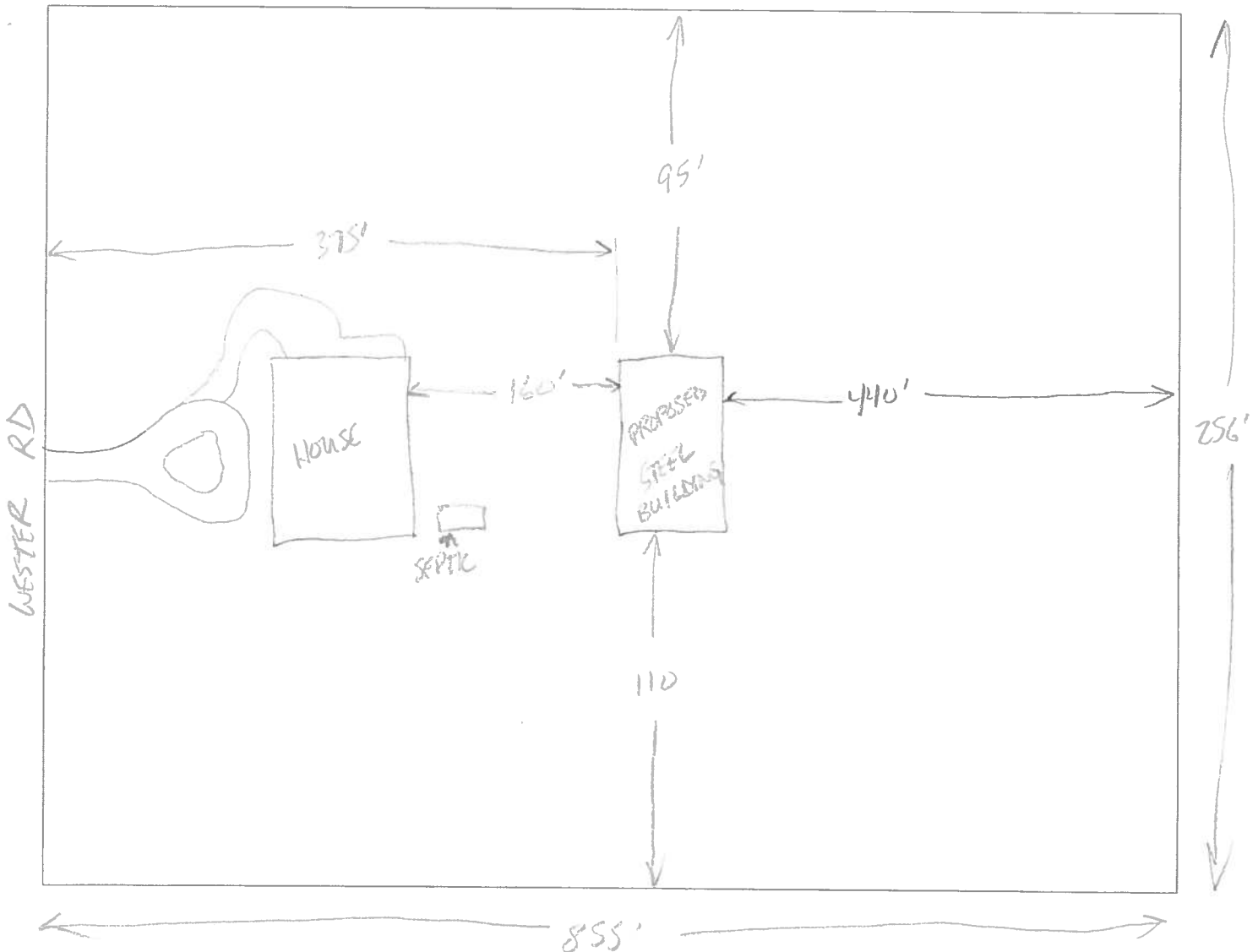
SITE PLAN EXAMPLE

Revised 7/1/15



NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



Columbia County Property Appraiser

updated: 5/9/2019

2018 Tax Roll Year

Parcel: 31-4S-17-08915-015

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

2018 TRIM (pdf)

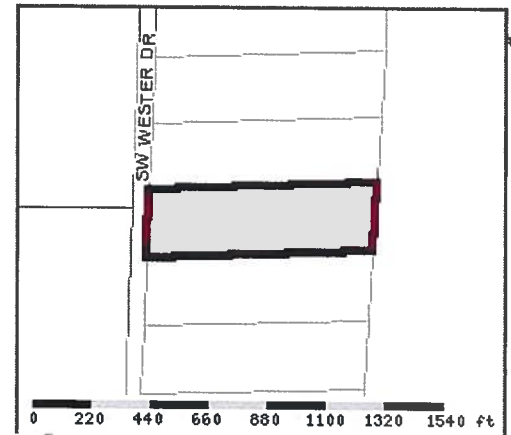
Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	ALQUBAISI AHMED M		
Mailing Address	1337 SW WESTER DR LAKE CITY, FL 32024		
Site Address	1337 SW WESTER DR		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	31417
Land Area	5.050 ACRES	Market Area	01
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM SW COR OF NW1/4 OF SE1/4, RUN E 51.68 FT TO E R/W OF A CO GRADED RD, RUN N 1043.06 FT FOR POB, CONT N 257.32 FT, E E 855.73 FT, S 257.69 FT, W 851.19 FT TO POB. 830-2242.			



Property & Assessment Values

2018 Certified Values		
Mkt Land Value	cnt: (0)	\$31,243.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$118,123.00
XFOB Value	cnt: (5)	\$18,461.00
Total Appraised Value		\$167,827.00
Just Value		\$167,827.00
Class Value		\$0.00
Assessed Value		\$167,827.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$167,827 Other: \$167,827 Schl: \$167,827	

2019 Working Values			(Holds Values)
Mkt Land Value	cnt: (0)	\$31,243.00	
Ag Land Value	cnt: (1)	\$0.00	
Building Value	cnt: (1)	\$117,837.00	
XFOB Value	cnt: (5)	\$18,461.00	
Total Appraised Value		\$167,541.00	
Just Value		\$167,541.00	
Class Value		\$0.00	
Assessed Value		\$167,541.00	
Exempt Value		\$0.00	
Total Taxable Value	Cnty: \$167,541 Other: \$167,541 Schl: \$167,541		

NOTE: 2019 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
8/12/1996	830/2242	QC	V	U	01	\$100.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1999	WD FR STUC (16)	2168	2726	\$117,837.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1999	\$3,050.00	0004066.000	0 x 0 x 0	AP (050.00)
0258	PATIO	1999	\$1,611.00	0001074.000	0 x 0 x 0	(000.00)
0060	CARPORT F	2000	\$3,000.00	0000600.000	20 x 30 x 0	(000.00)
0030	BARN,MT	2012	\$9,600.00	0000960.000	24 x 40 x 0	(000.00)
0190	FPLC PF	2017	\$1,200.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	5.05 AC	1.00/1.00/1.00/1.00	\$6,186.93	\$31,243.00

Columbia County Property Appraiser

updated: 5/9/2019

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

31-45-17-08915-015

Clerk's Office Stamp

Inst: 201912012535 Date: 06/04/2019 Time: 10:17AM
Page 1 of 1 B: 1385 P: 2242, P. DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 31-45-17-08915-015
a) Street (job) Address: 1337 SW WESTER DR, LAKE CITY, FL 32024
2. General description of improvements: 50x40 STEEL STORAGE BUILDING
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: AHMED ALQUBAISI
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: 100%
4. Contractor Information
a) Name and address: AHMED ALQUBAISI
b) Telephone No.: 352-984-0397
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: NA
b) Amount of Bond:
c) Telephone No.:
6. Lender
a) Name and address: NA
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

AHMED ALQUBAISI
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 3 day of JUNE, 2019, by:

_____, as _____, for _____
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification X Type DRIVERS LICENSE

Notary Signature [Signature] Notary Stamp or Seal:



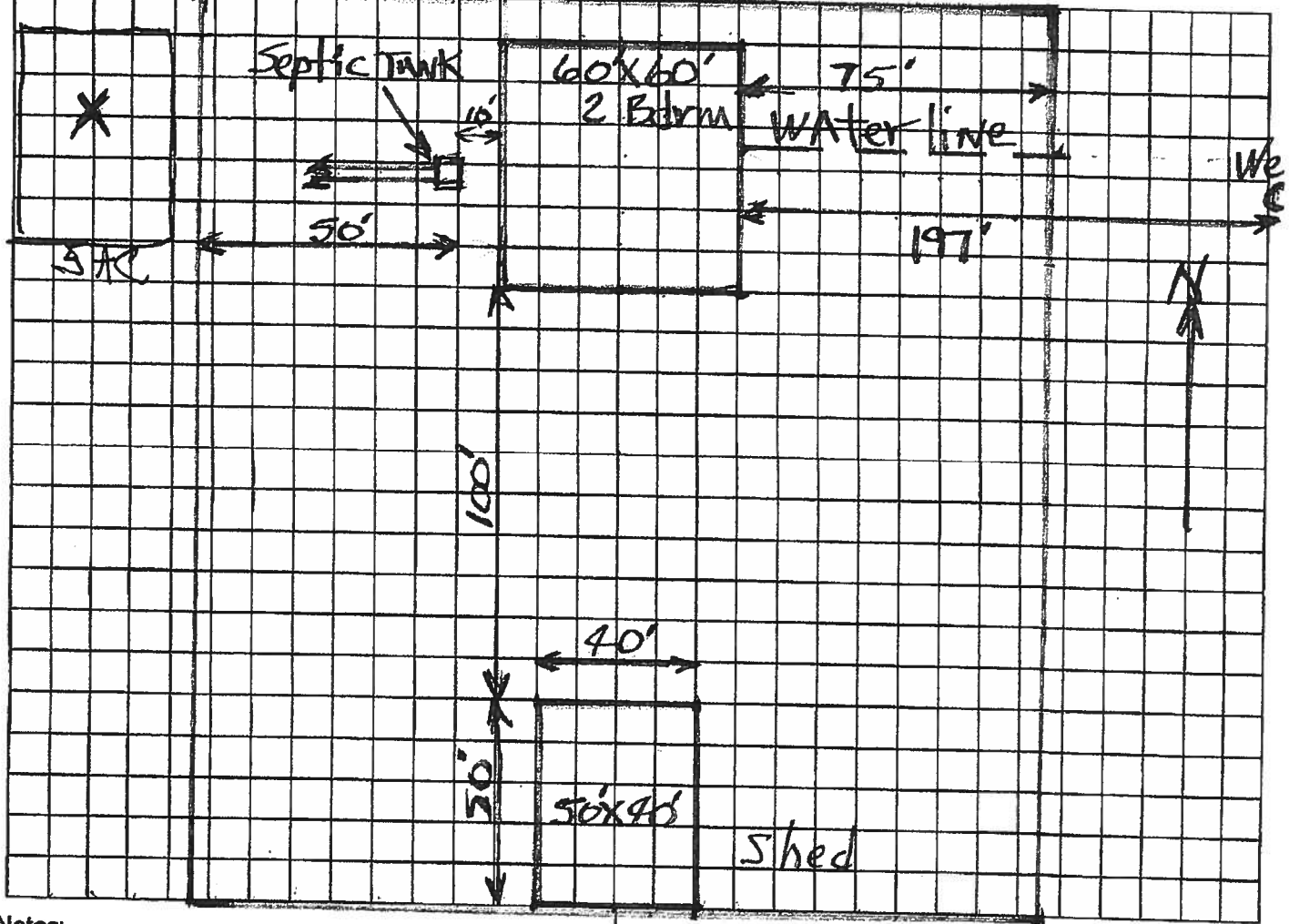
HEIDI MOORE
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF929829
Expires 10/21/2019

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0438

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

SEE ATTACHED

1 acre of 5

Site Plan submitted by: [Signature]

Plan Approved X

Not Approved

By Salli Ford Env Health Director. Columbia

Owner

Date 6.6.19

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 17-1438
DATE PAID: 6/4/19
FEE PAID: 165.00
RECEIPT #: 1417497

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: AMMED ALONBAISI

AGENT: _____

TELEPHONE: 386-964-0397MAILING ADDRESS: 1337 SW WEBSTER DR, LAKE CITY, FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 31-45-17-08915-015 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☒ NPROPERTY SIZE: 5.05 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: _____ FTPROPERTY ADDRESS: 1337 SW WEBSTER DR, LAKE CITY, FL 32024DIRECTIONS TO PROPERTY: 475, (L) ON WEBSTER DR, GO APPROX .72 MILES TO HOUSE ON (L).

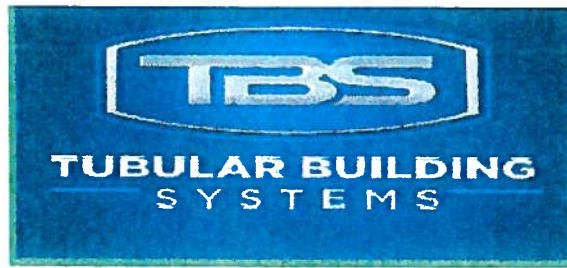
BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	STEEL STORAGE BLDG	0	2000	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: [Signature]DATE: 6-4-19

DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC



STRUCTURAL DESIGN

ENCLOSED BUILDING **EXPOSURE B**

**MAXIMUM 50'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

**18 December 2017
Revision 0
M&A Project No. 17250S**

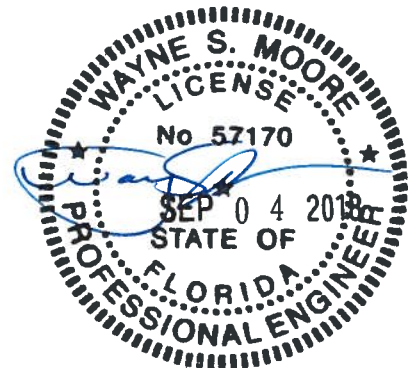
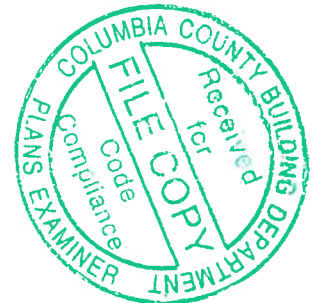
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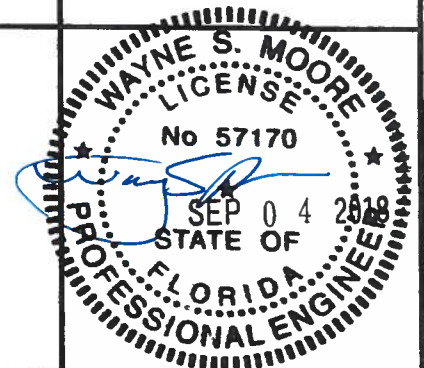
**Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025**

Prepared by:

**Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mount Airy, NC 27030**

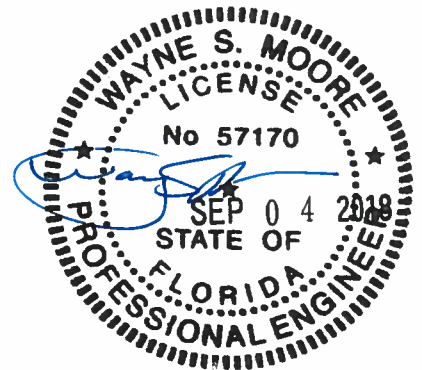




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	CHECKED BY: PDH	PE COVER SHEET		
	PROJECT MGR: WSM	50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B		
	CLIENT: TBS	DATE: 12-18-17	SCALE: NTS	JOB NO: 17250S
		SHT. 1	DWG. NO: SK-3	REV: 0

DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER/POST FRAME AND SIDE FRAMING SECTION
SHEET 6	TYPICAL RAFTER/POST FRAME AND SIDE FRAMING SECTION
SHEET 7	TYPICAL RAFTER/POST FRAME AND SIDE FRAMING SECTION
SHEET 8	TYPICAL RAFTER/POST CONNECTION DETAILS
SHEET 9	TYPICAL RAFTER/POST CONNECTION DETAILS
SHEET 10	BASE RAIL ANCHORAGE OPTIONS FOR HIGH AND LOW WIND SPEED
SHEET 11	BOX EAVE RAFTER END WALL AND WALL OPENINGS
SHEET 12	BOX EAVE RAFTER END WALL AND WALL OPENINGS
SHEET 13	BOX EAVE RAFTER SIDE WALL AND WALL OPENINGS
SHEET 14	BOX EAVE RAFTER WALL OPENING DETAILS
SHEET 15	BOX EAVE RAFTER WALL OPENING DETAILS
SHEET 16	BOX EAVE RAFTER LEAN-TO OPTIONS
SHEET 17	BOX EAVE RAFTER LEAN-TO OPTIONS
SHEET 18	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 19	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 20	OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED
SHEET 21	OPTIONAL HEADER



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**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

SCALE: NTS

JOB NO: 17250S

SHT. 2

DWG. NO: SK-3

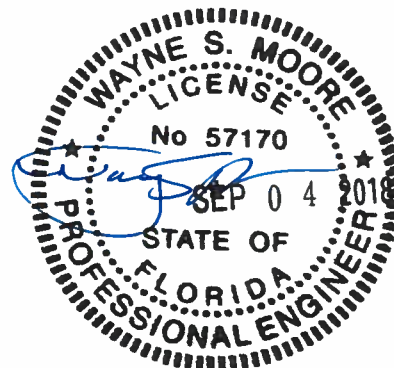
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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 50'-0" WIDE x 20'-0" EAVE HEIGHT STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION, 2017 FBC 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 35 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS.
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9' AND END = 6', (MAX).
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS CONSISTING OF #4 REBAR W/ WELDED NUT x 30" LONG MAY BE USED FOR LOW WIND SPEEDS ONLY.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED. SOIL NAILS ARE NOT ALLOWED FOR HIGH WIND APPLICATION.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:

SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 R = 3.25 I_E = 1.0
 S_{DS} = 1.522 V = C_SW
 S_{D1} = 0.839



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TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B

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SCALE: NTS

JOB NO: 17250S

SHT. 3

DWG. NO: SK-3

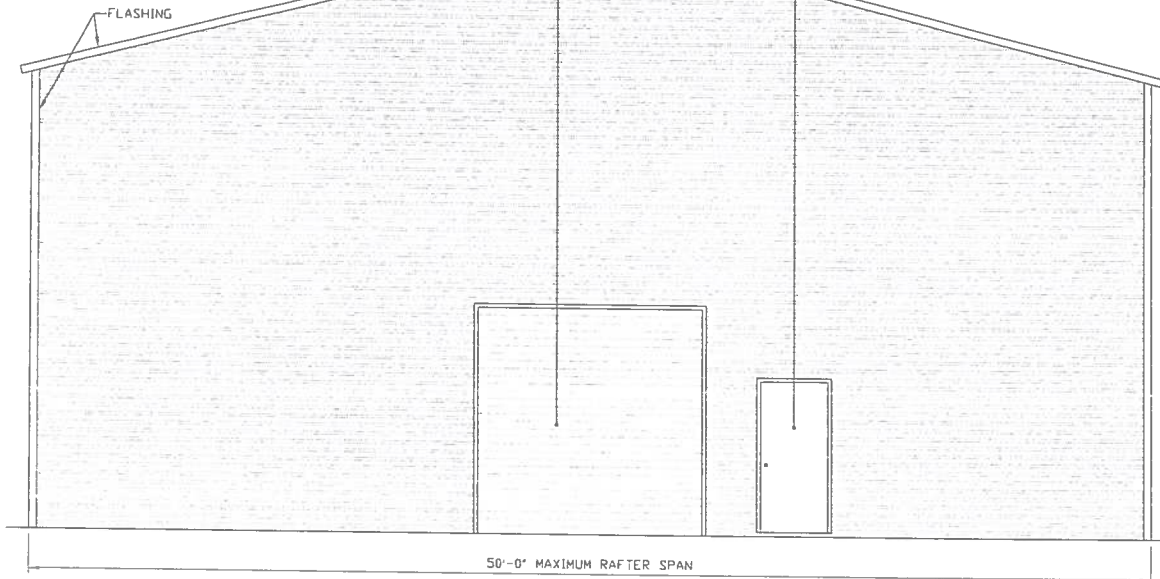
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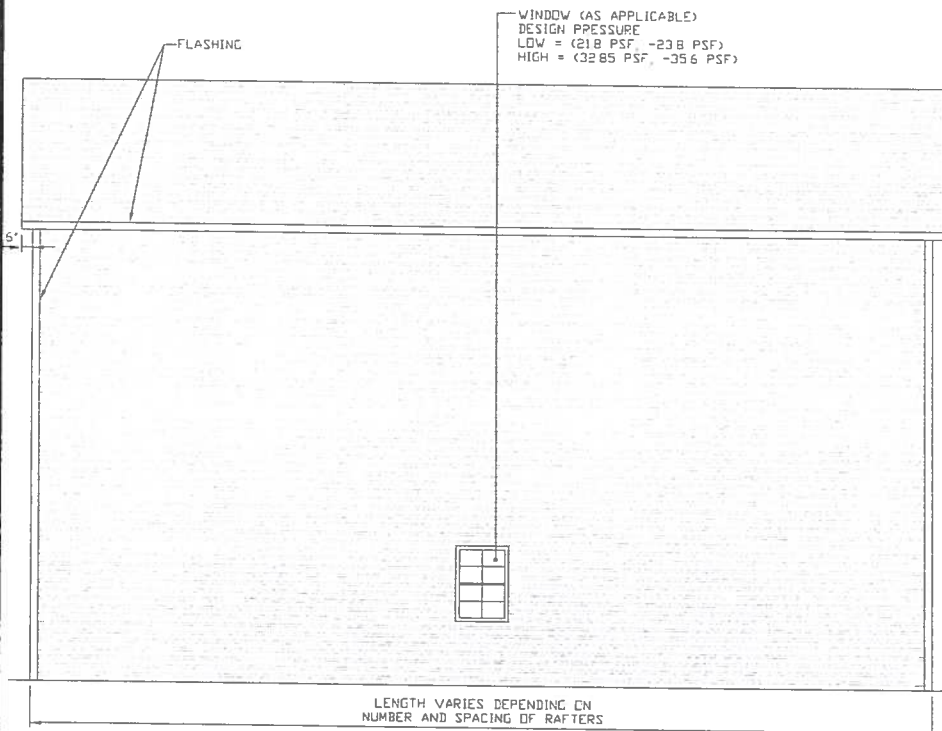
BOX EAVE FRAME RAFTER ENCLOSED BUILDING

ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (18.5 PSF, -20.4 PSF)
HIGH = (27.95 PSF, -30.7 PSF)

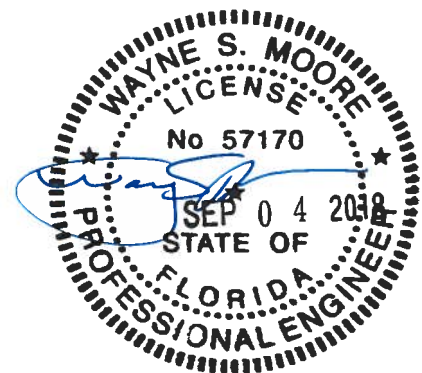
SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (20.8 PSF, -22.6 PSF)
HIGH = (31.35 PSF, -34.15 PSF)



TYPICAL SIDE ELEVATION-HORIZONTAL ROOF
SCALE 1/8" = 1'-0"



TYPICAL END ELEVATION-HORIZONTAL ROOF
SCALE 1/8" = 1'-0"



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TUBULAR BUILDING SYSTEMS
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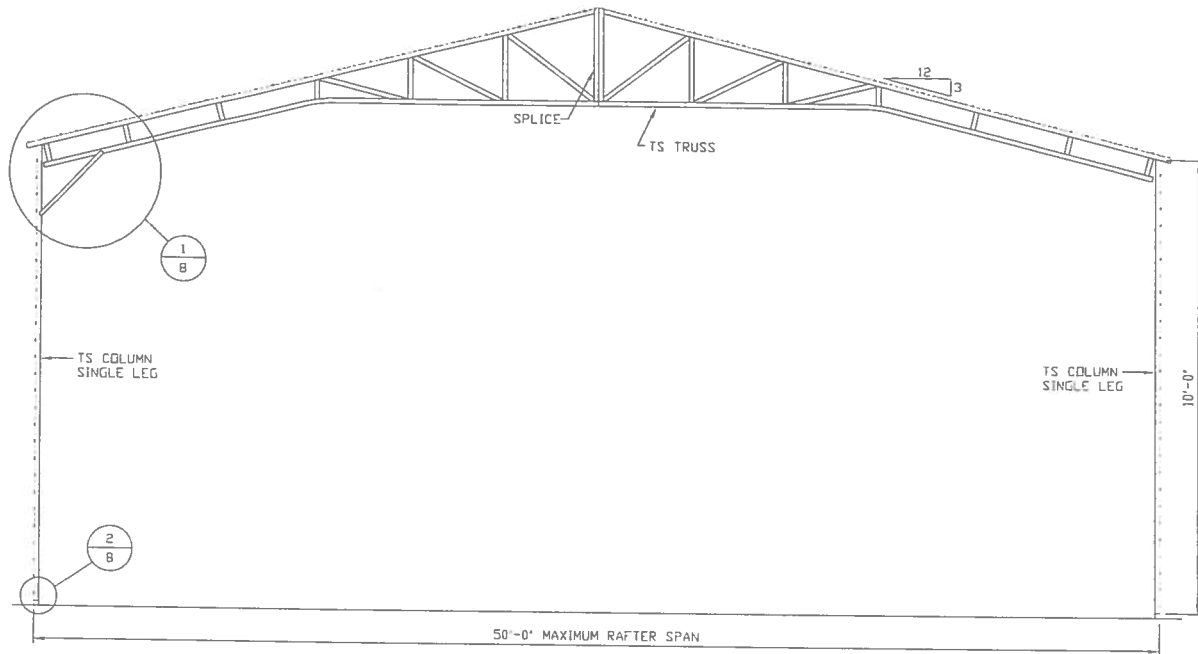
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SHT. 4

DWG. NO: SK-3

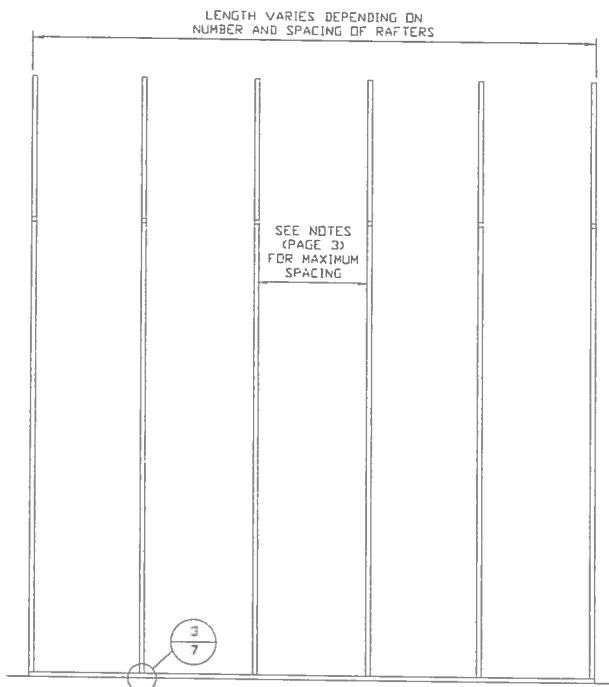
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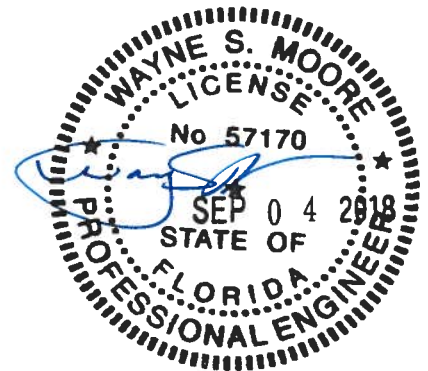
TYPICAL RAFTER/POST FRAME SECTION

SCALE 1/8" = 1'-0"



TYPICAL RAFTER/POST SIDE FRAMING SECTION

SCALE 1/8" = 1'-0"



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TUBULAR BUILDING SYSTEMS
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DATE: 12-18-17

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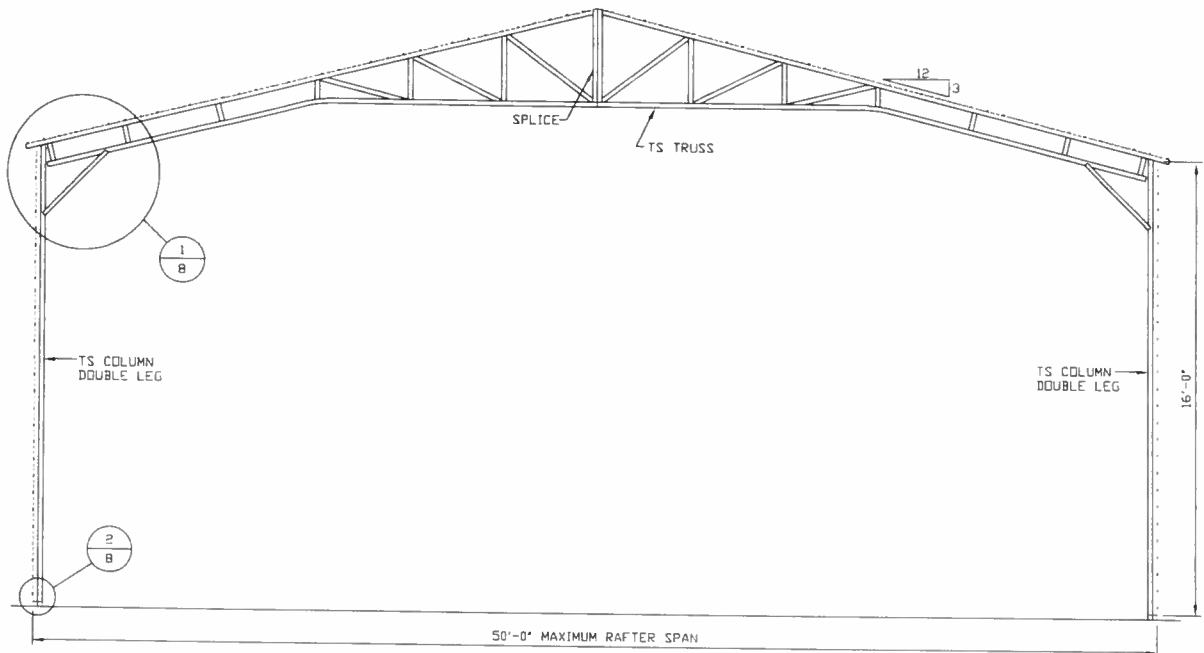
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SHT. 5

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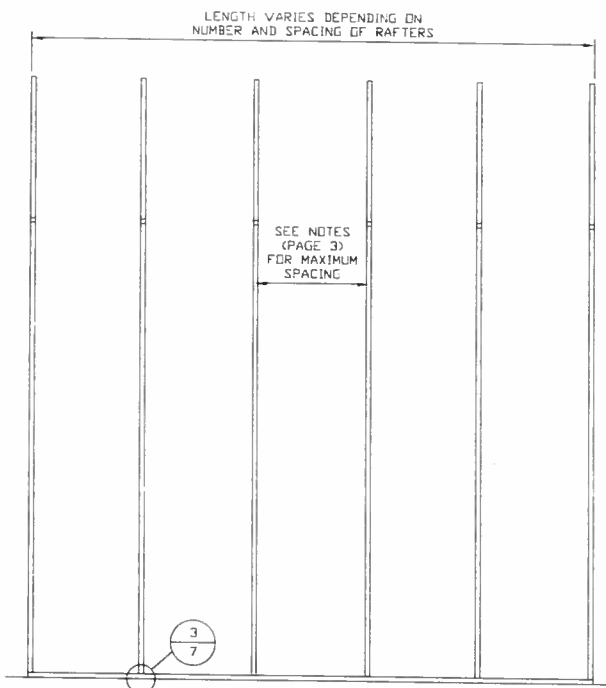
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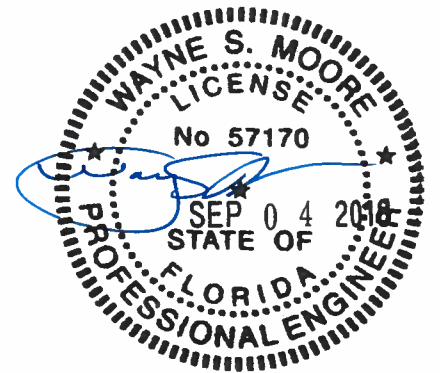
TYPICAL RAFTER/POST FRAME SECTION

SCALE: 1/8" = 1'-0"



TYPICAL RAFTER/POST SIDE FRAMING SECTION

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

SHT. 6

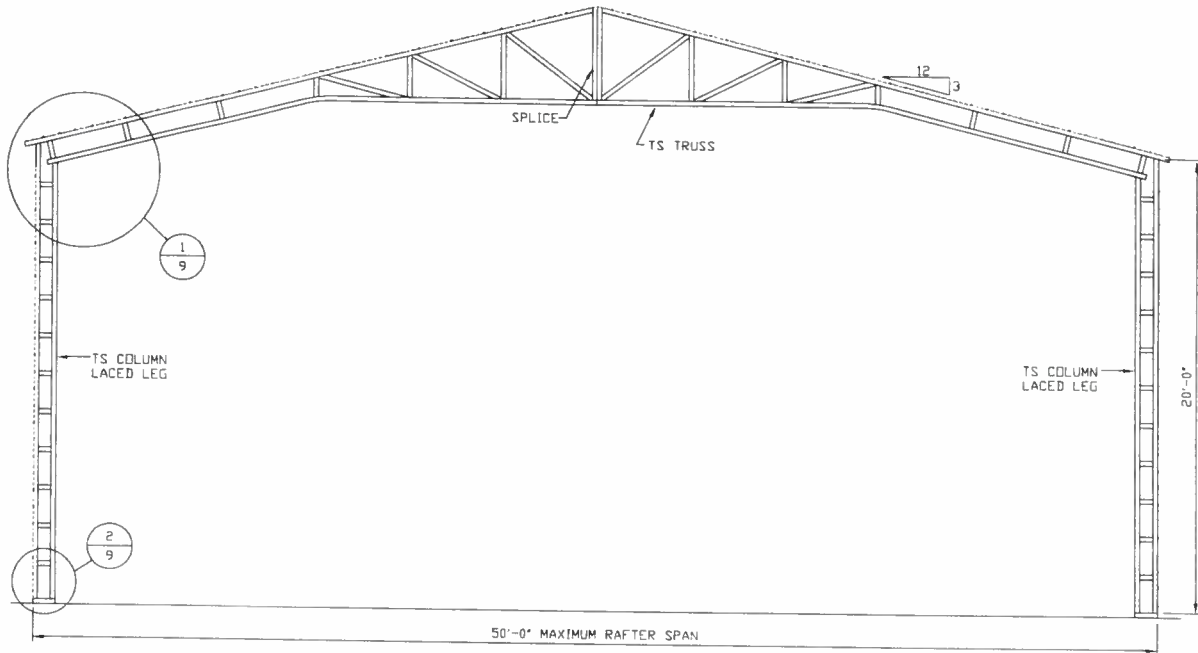
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JOB NO: 17250S

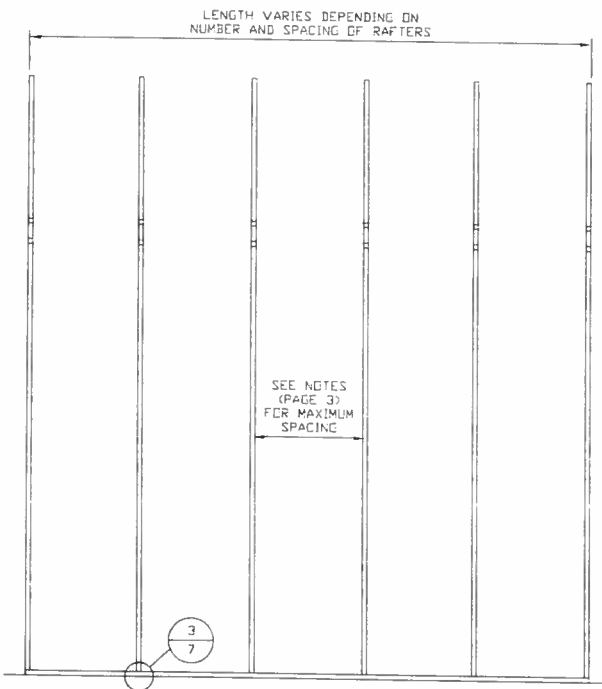
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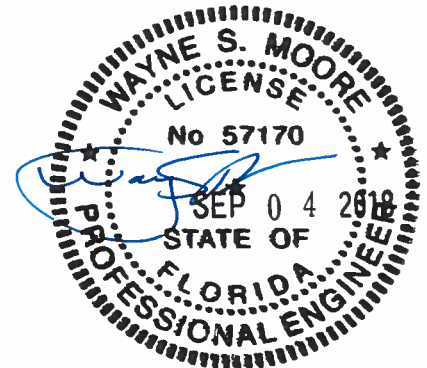
TYPICAL RAFTER/POST FRAME SECTION

SCALE: 1/8" = 1'-0"



TYPICAL RAFTER/POST SIDE FRAMING SECTION

SCALE: 1/8" = 1'-0"



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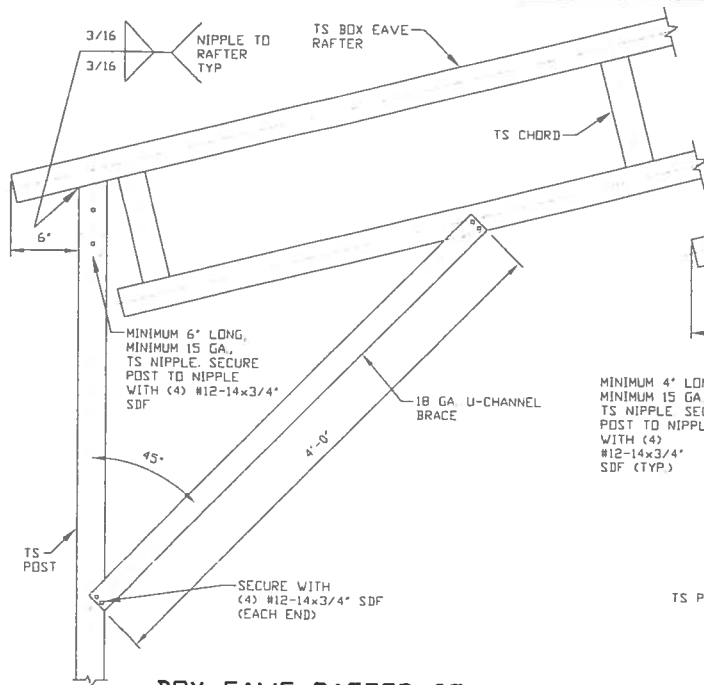
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SCALE: NTS

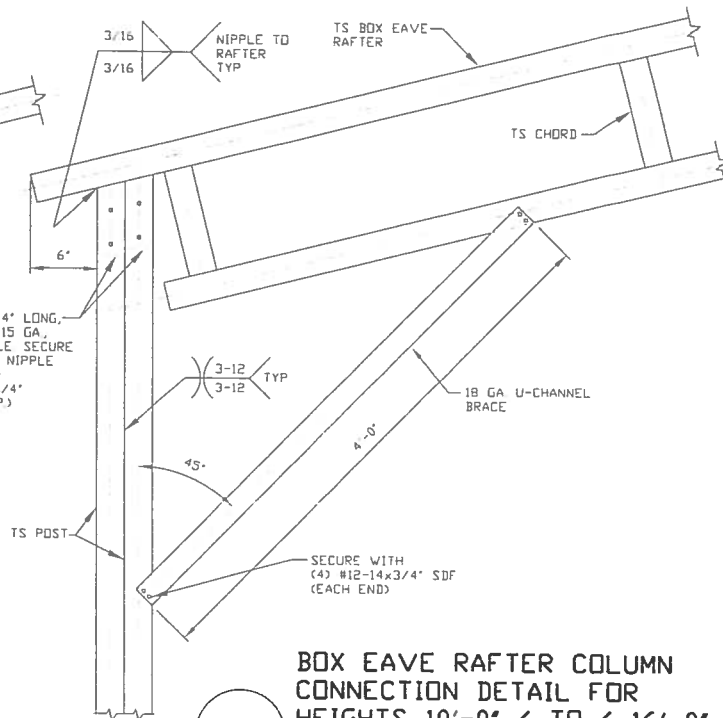
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JOB NO: 17250S

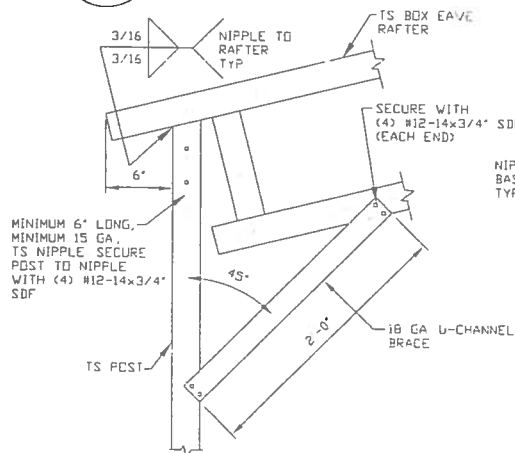
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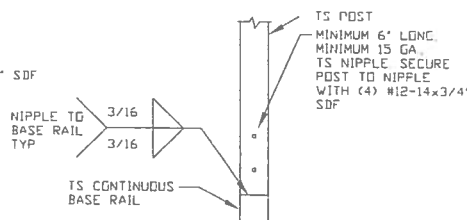
1
BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 8'-0" < TO ≤ 10'-0"
SCALE: NTS



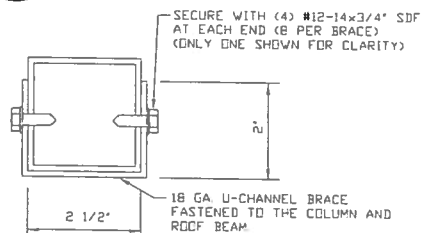
1A
BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 10'-0" < TO ≤ 16'-0"
SCALE: NTS



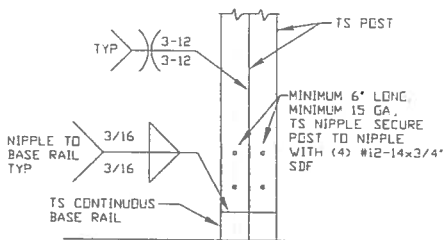
1B
BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS ≤ 8'-0"
SCALE: NTS



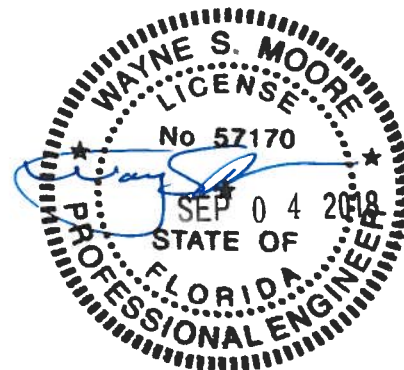
2
POST/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



BRACE SECTION
SCALE: NTS



2A
POST/BASE RAIL
CONNECTION DETAIL



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PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

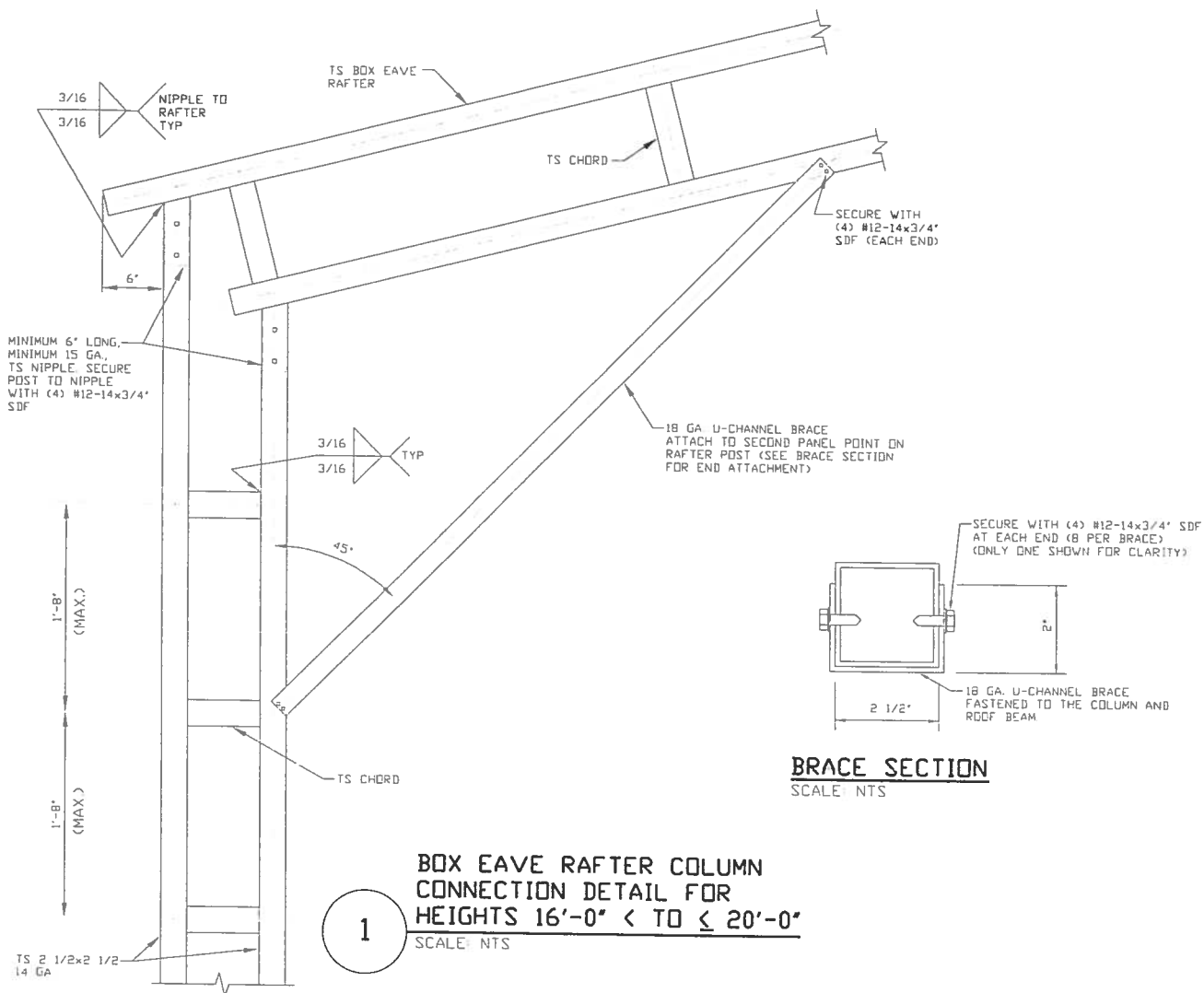
SHT. B

SCALE: NTS

DWG. NO: SK-3

JOB NO: 17250S

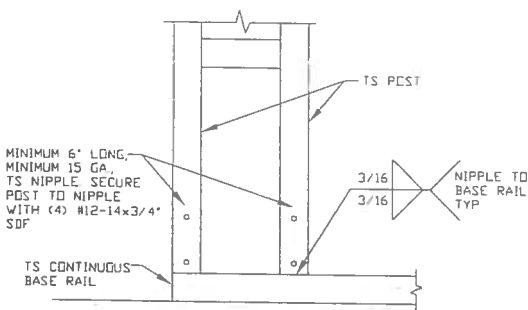
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BRACE SECTION
SCALE: NTS

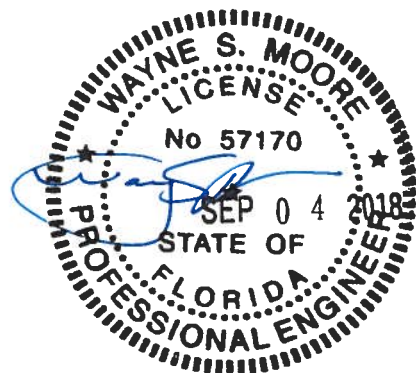
**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL FOR
HEIGHTS 16'-0" < TO ≤ 20'-0"**

SCALE: NTS



**POST/BASE RAIL
CONNECTION DETAIL**

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
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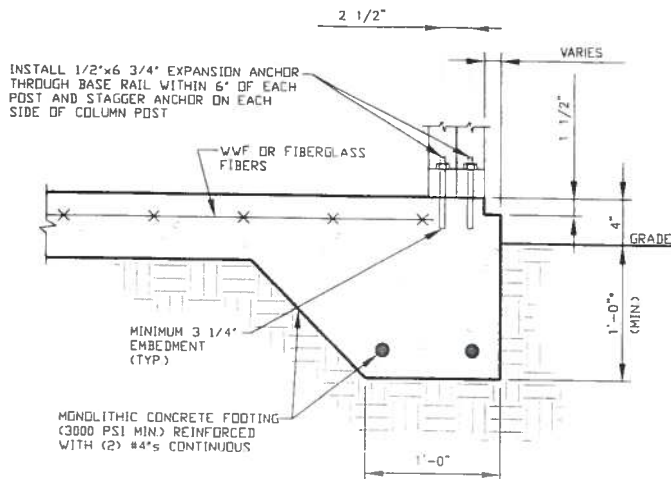
JOB NO: 17250S

SHT. 9

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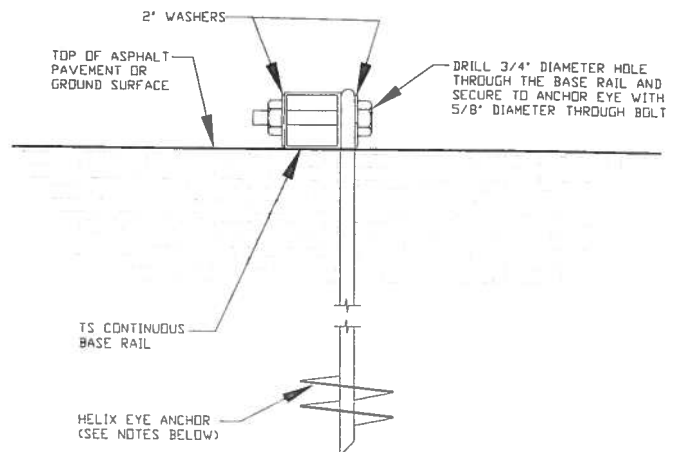
BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4")
* COORDINATE WITH LOCAL CODES/ORD



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60
THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT



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DATE: 12-18-17

SHT. 10

SCALE: NTS

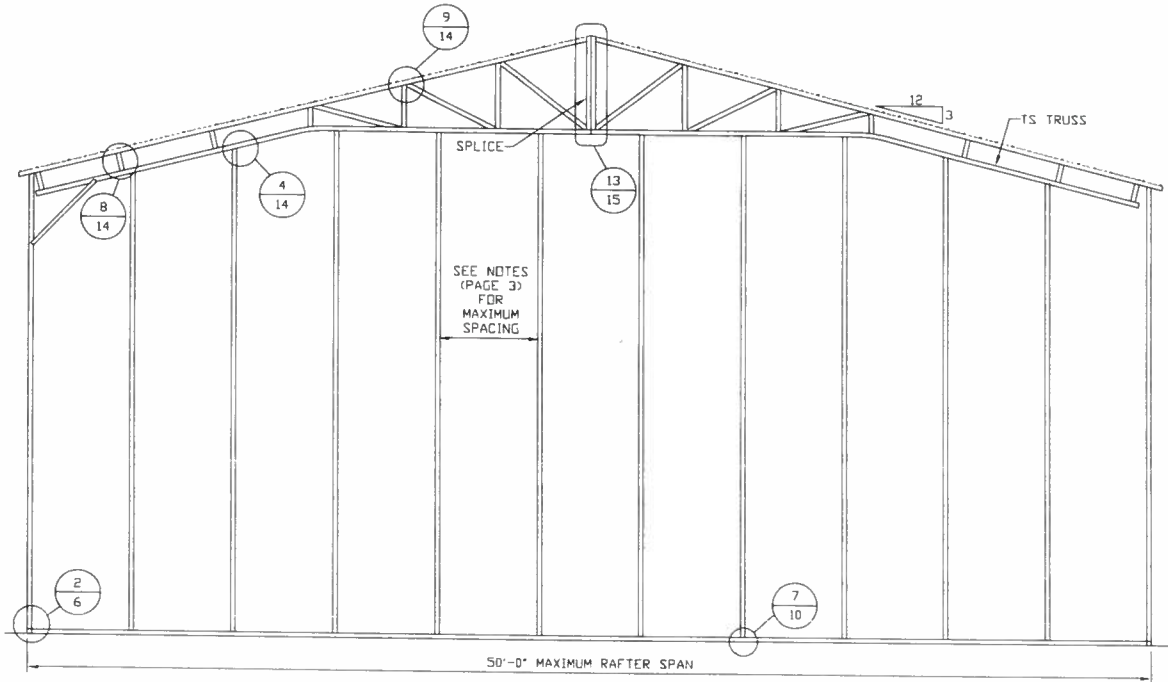
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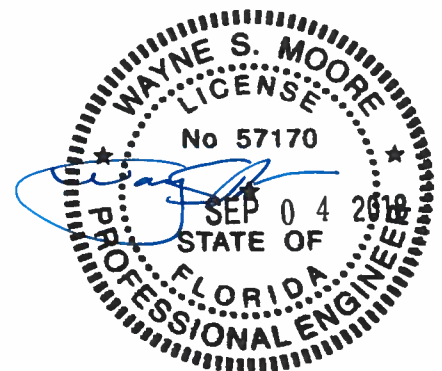
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BOX EAVE RAFTER END WALL AND WALL OPENINGS



TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION
SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

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SHT. 11

SCALE: NTS

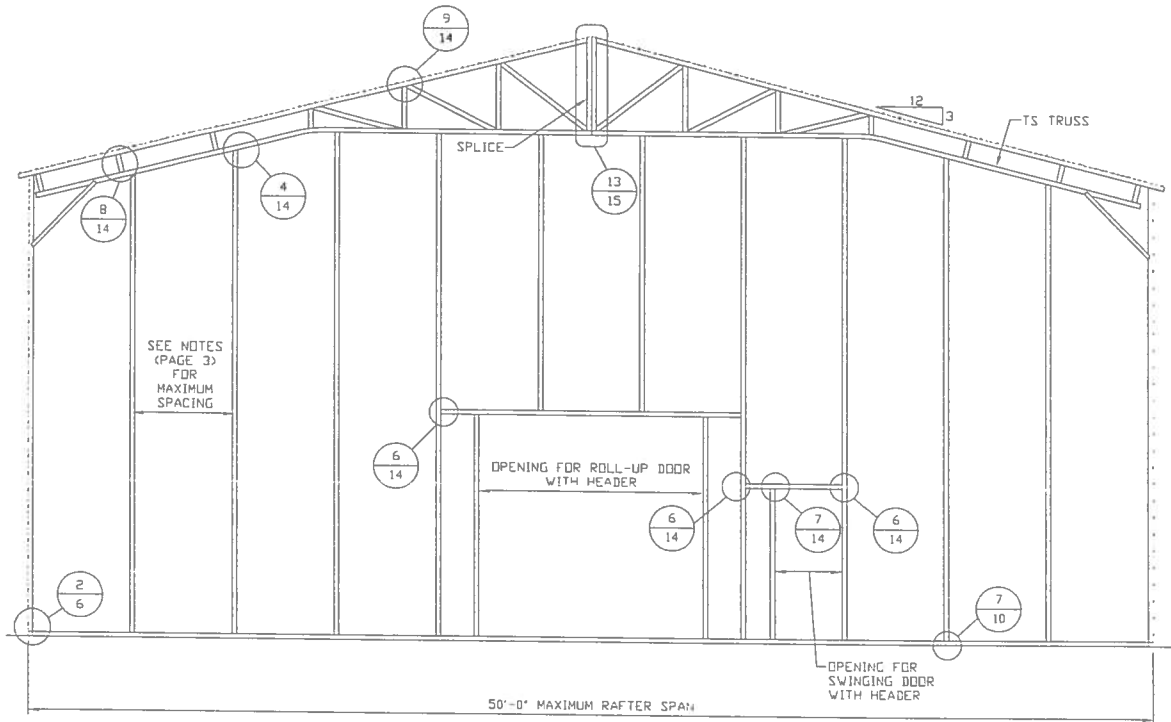
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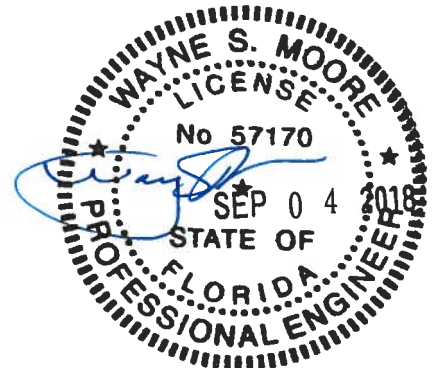
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BOX EAVE RAFTER END WALL AND WALL OPENINGS



TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

SCALE: 1/8" = 1' 0"



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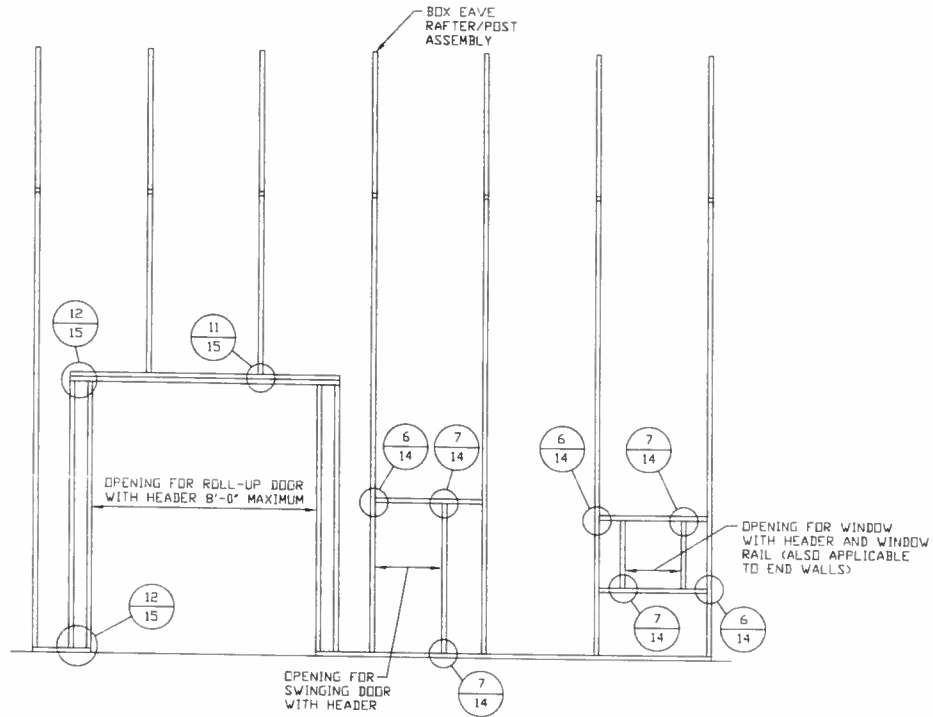
JOB NO: 17250S

SHT. 12

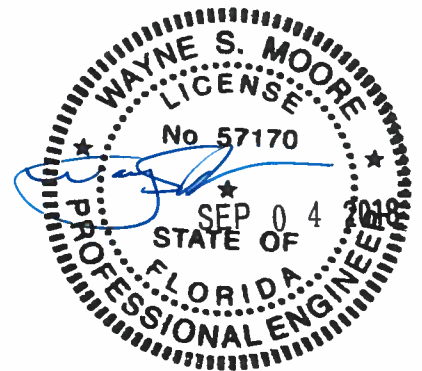
DWG. NO: SK-3

REV.: 0

BOX EAVE RAFTER SIDE WALL AND WALL OPENINGS



TYPICAL BOX EAVE RAFTER SIDE WALL OPENINGS FRAMING SECTION
 SCALE: 1/8" = 1'-0"



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CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
 50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

SCALE: NTS

JOB NO: 17250S

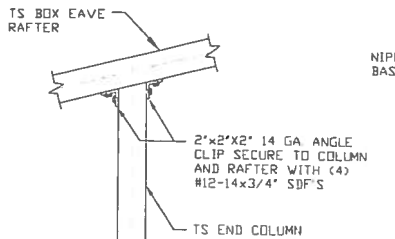
SHT. 13

DWG. NO: SK-3

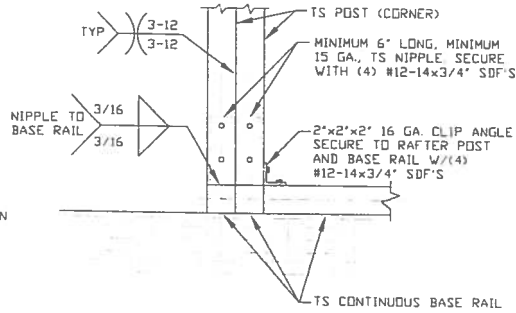
REV: 0

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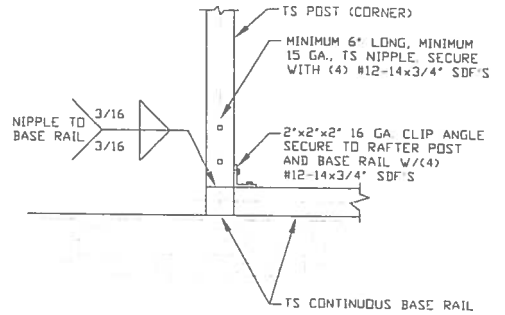
BOX EAVE RAFTER WALL OPENING DETAILS



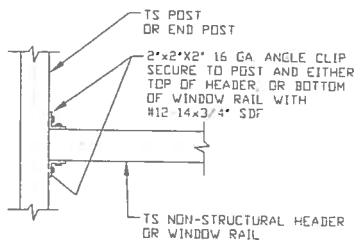
4 END POST/RAFTER CONNECTION DETAIL
SCALE: NTS



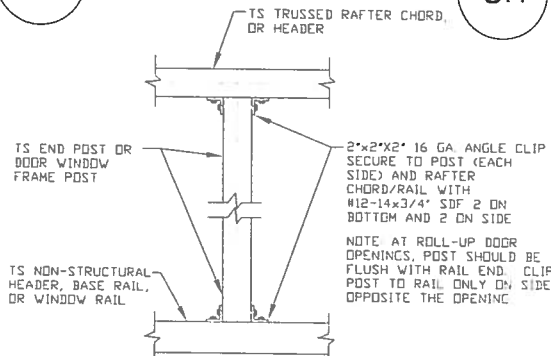
5 END POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



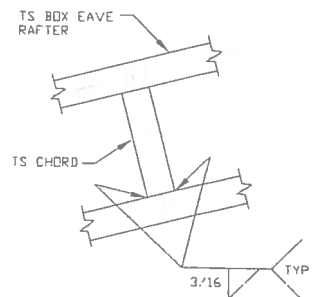
5A END POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



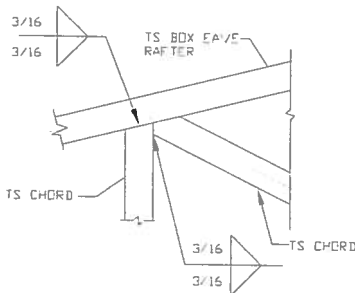
6 HEADER OR WINDOW RAIL TO POST CONNECTION DETAIL
SCALE: NTS



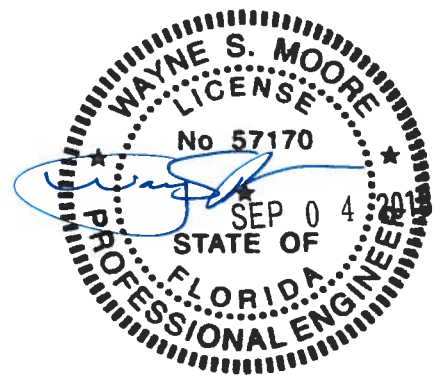
7 POST TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
SCALE: NTS



8 CHORD/RAFTER CONNECTION DETAIL
SCALE: NTS



9 TRUSS POST AND CORD TO RAFTER CONNECTION DETAIL
SCALE: NTS



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DRAWN BY: JRS

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B

DATE: 12-18-17

SCALE: NTS

JOB NO: 17250S

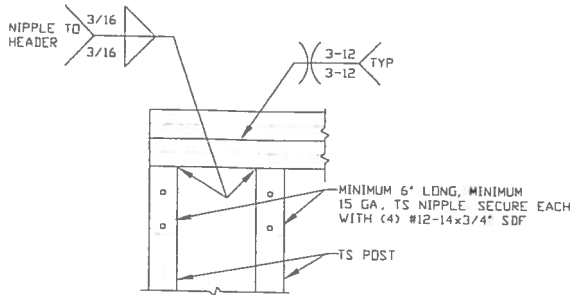
SHT. 14

DWG. NO: SK-3

REV: 0

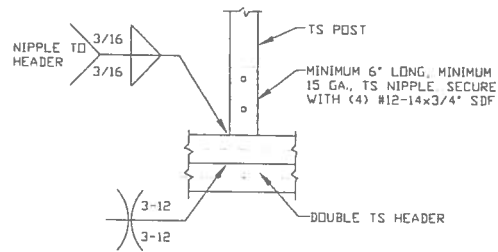
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BOX EAVE RAFTER WALL OPENING DETAILS



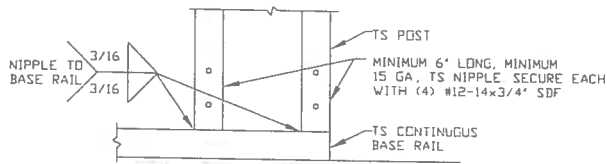
10

**DOUBLE HEADER/POST
CONNECTION DETAIL**
SCALE: NTS



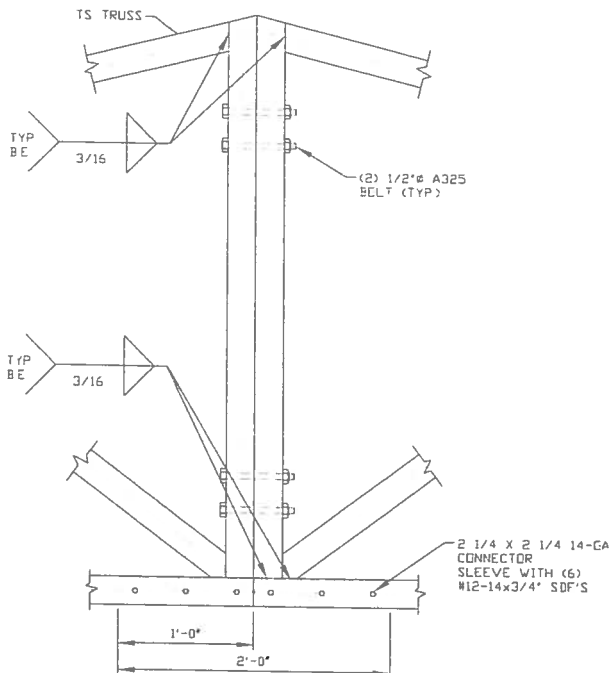
11

**POST/DOUBLE HEADER
CONNECTION DETAIL**
SCALE: NTS



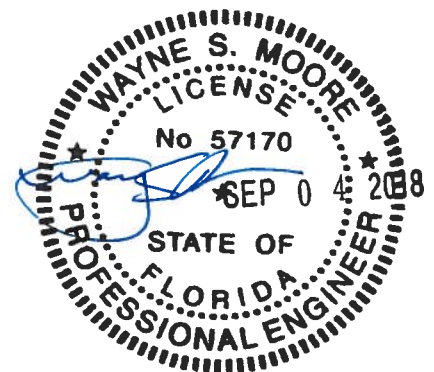
12

**POST/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



13

SPLICE CONNECTION DETAIL
SCALE: NTS



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CLIENT: TBS

TUBULAR BUILDING SYSTEMS
50'-0"X20'-0" ENCLOSED BUILDING EXPOSURE B

DATE: 12-18-17

SHT. 15

SCALE: NTS

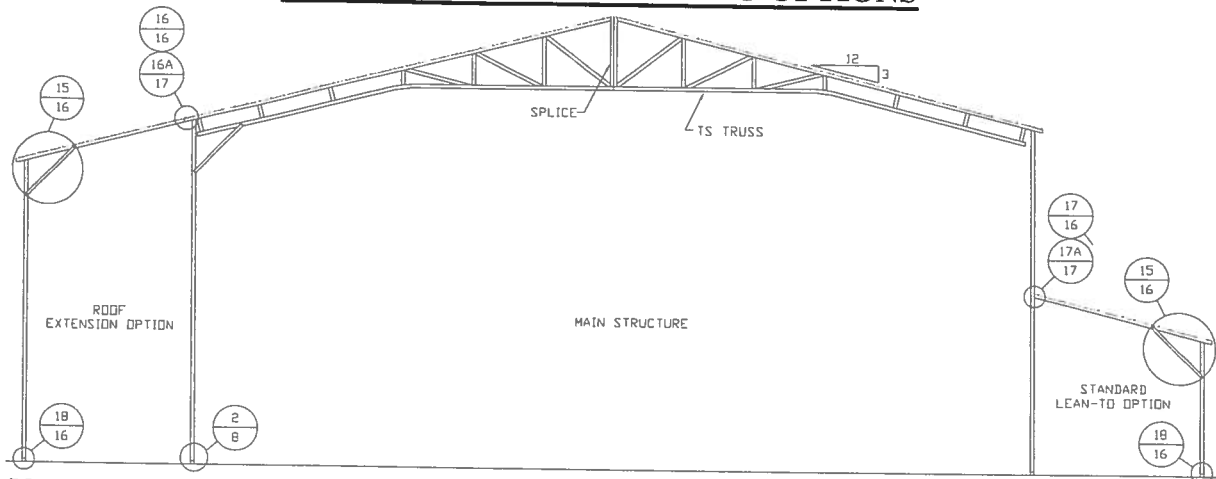
DWG. NO: SK-3

JOB NO: 17250S

REV: 0

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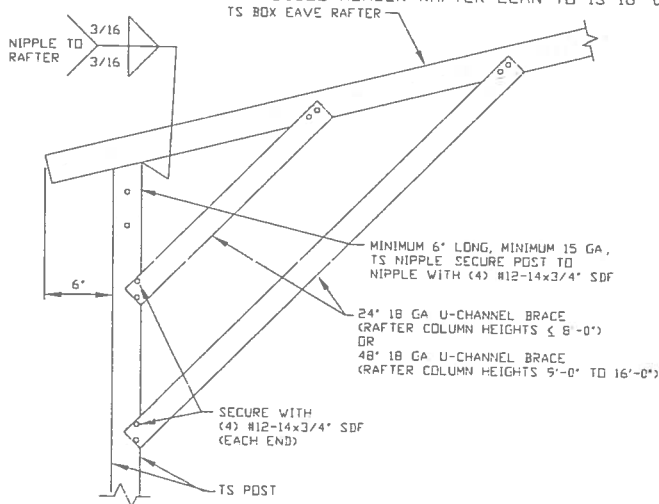
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

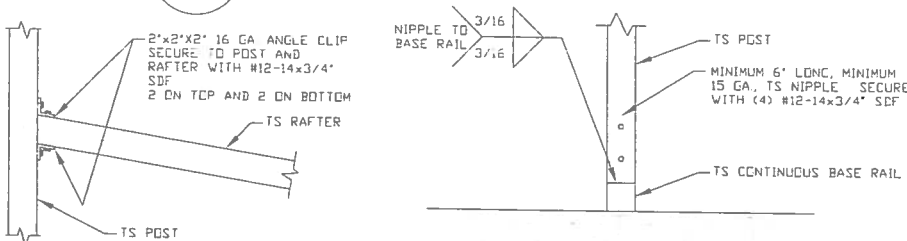
(MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 12'-0")
(MAXIMUM WIDTH OF DOUBLE MEMBER RAFTER LEAN-TO IS 16'-0")



15

**LEAN-TO RAFTER/
CORNER POST DETAIL**

SCALE: NTS



17

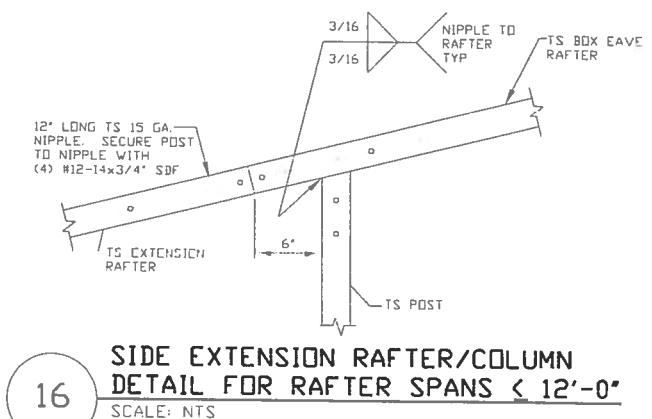
**LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL
FOR RAFTER SPANS 12'-0"**

SCALE: NTS

18

**LEAN-TO POST
CONNECTION DETAIL**

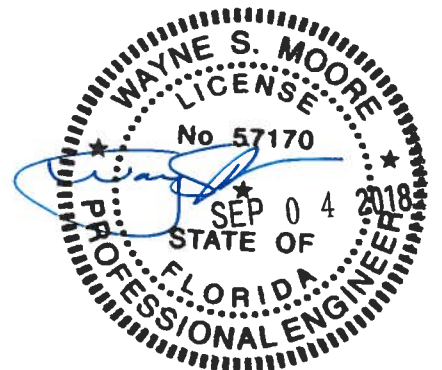
SCALE: NTS



16

**SIDE EXTENSION RAFTER/COLUMN
DETAIL FOR RAFTER SPANS ≤ 12'-0"**

SCALE: NTS



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PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

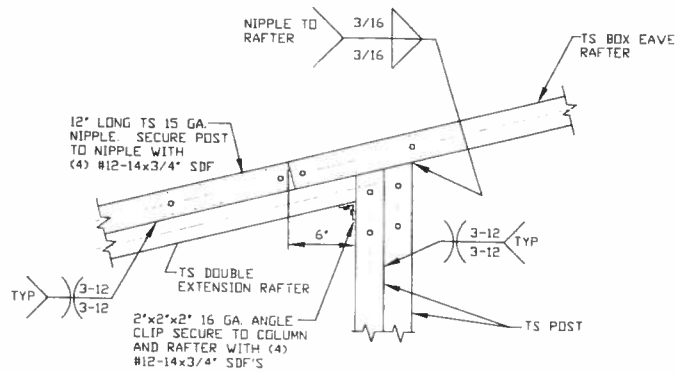
SCALE: NTS

JOB NO: 17250S

SHT. 16

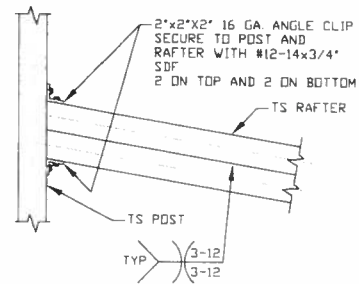
DWG. NO: SK-3

REV: 0



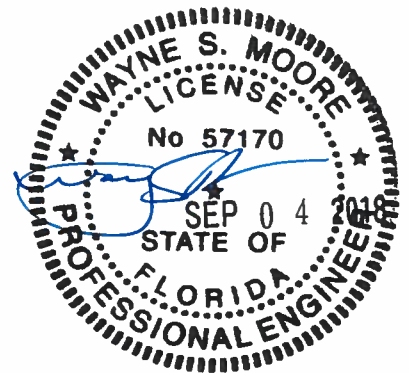
16A

SIDE EXTENSION RAFTER/COLUMN DETAIL
FOR RAFTER SPANS 12'-0" < L ≤ 16'-0"
SCALE: NTS



17A

LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL FOR
RAFTER SPANS 12'-0" < L ≤ 16'-0"
SCALE: NTS



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TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B

DATE: 12-18-17

SHT. 17

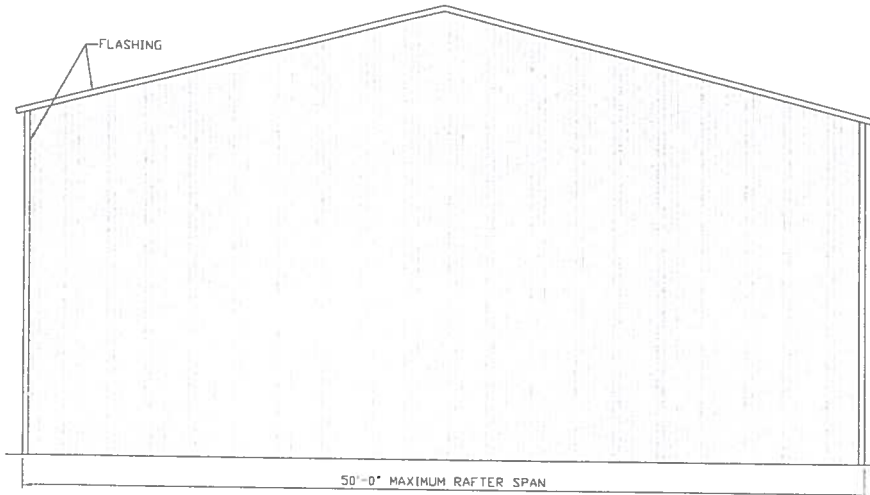
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DWG. NO: SK-3

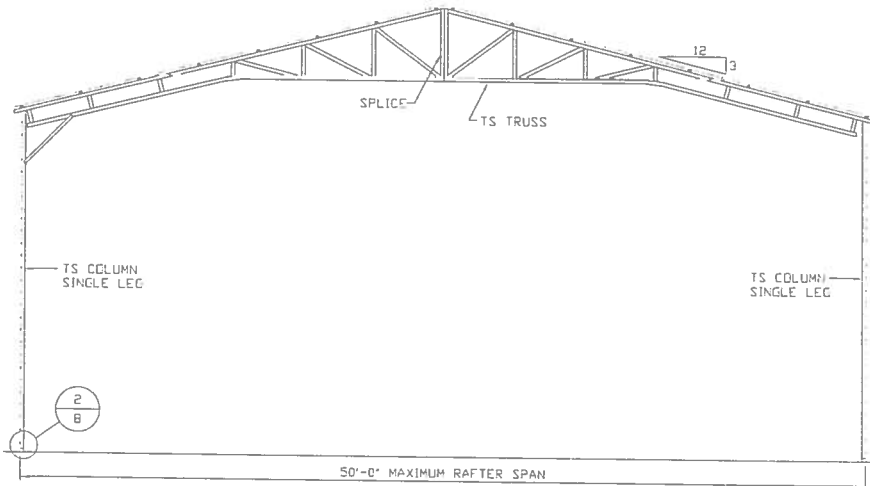
JOB NO: 17250S

REV: 0

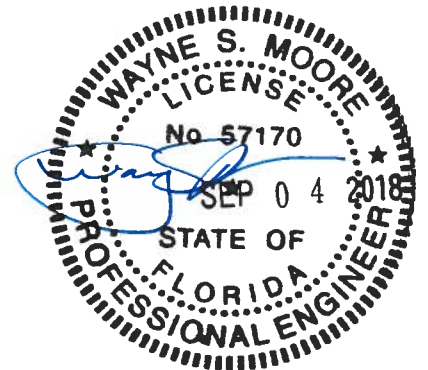
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



TYPICAL END ELEVATION VERTICAL ROOF/SIDING
SCALE: NTS



TYPICAL SECTION VERTICAL ROOF/SIDING OPTION
SCALE: NTS



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

SHT. 18

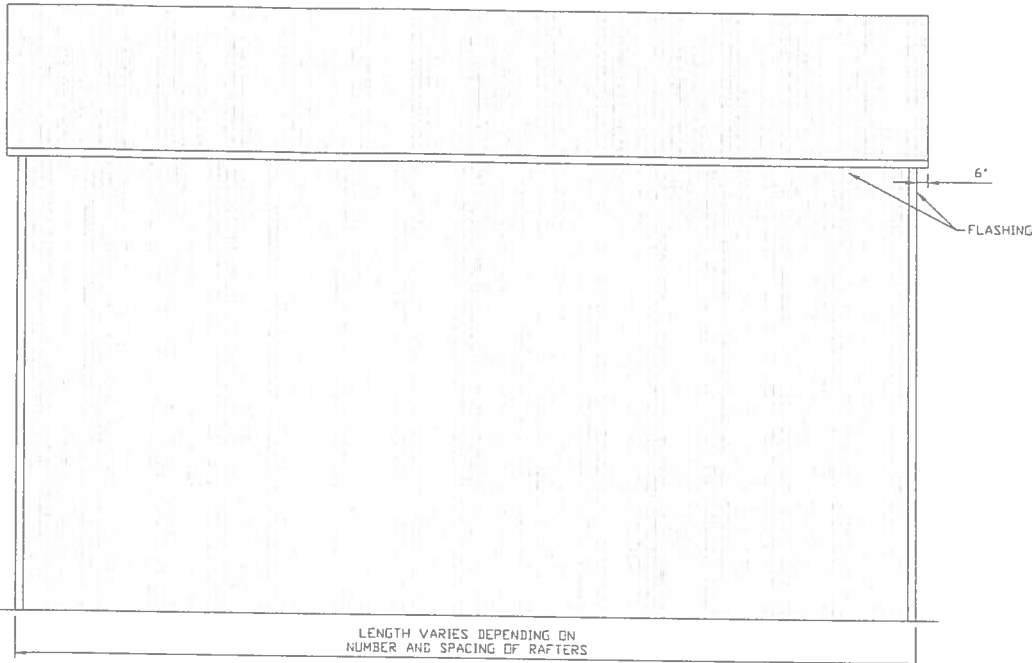
SCALE: NTS

DWG. NO: SK-3

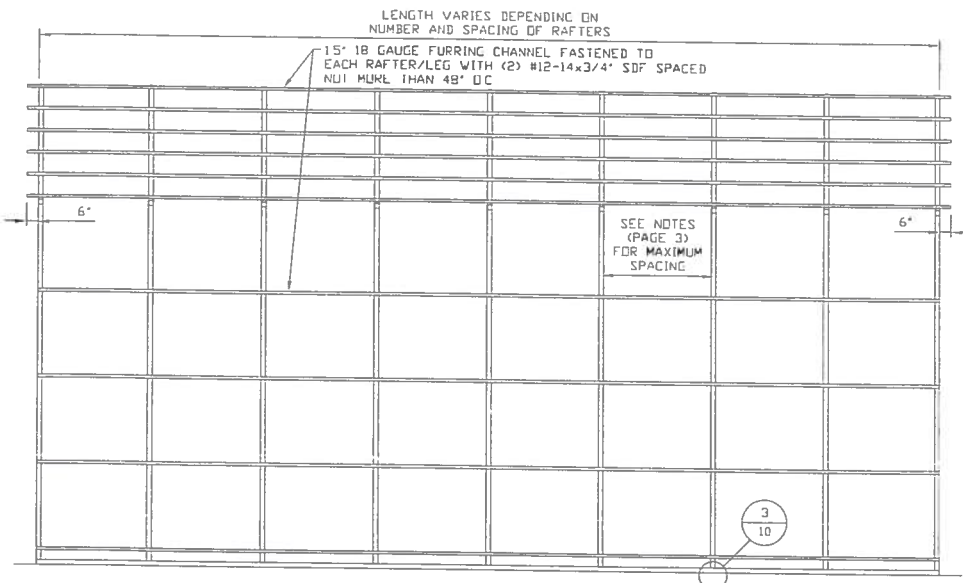
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REV: 0

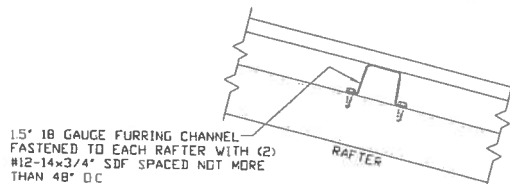
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



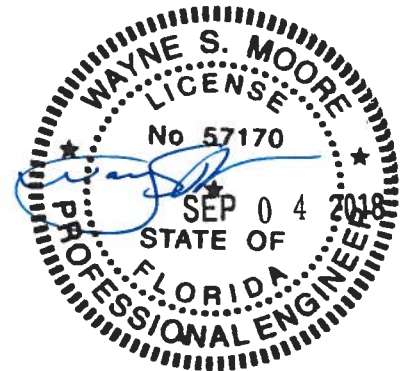
TYPICAL SIDE ELEVATION VERTICAL ROOF/SIDING
SCALE: 1/8" = 1'-0"



TYPICAL FRAMING SECTION VERTICAL ROOF OPTION
SCALE: 1/8" = 1'-0"



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B**

DATE: 12-18-17

SCALE: NTS

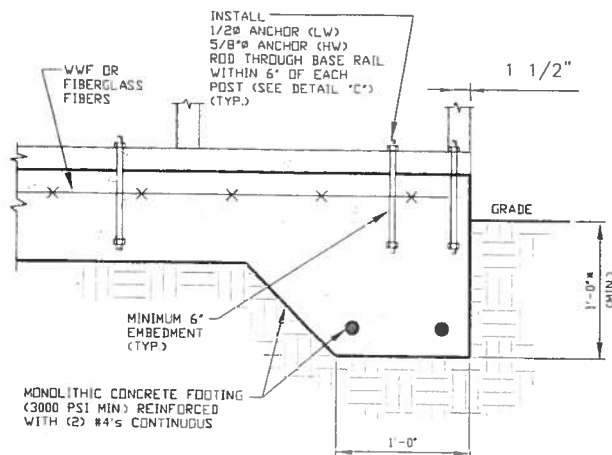
JOB NO: 17250S

SHT. 19

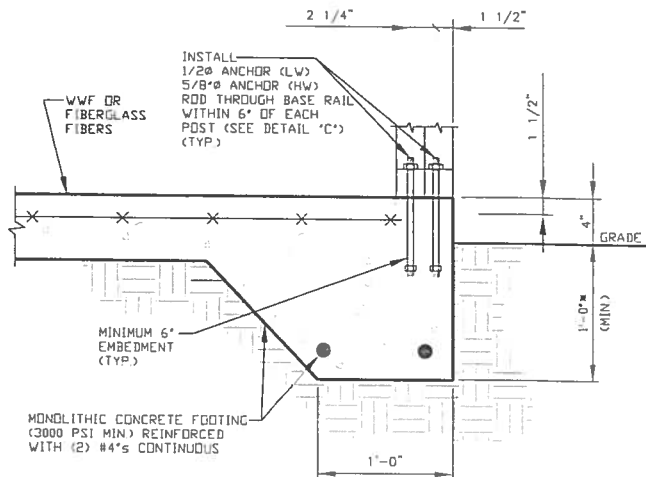
DWG NO: SK-3

REV: 0

OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED



1A CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE
SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD.



1B CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE
SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

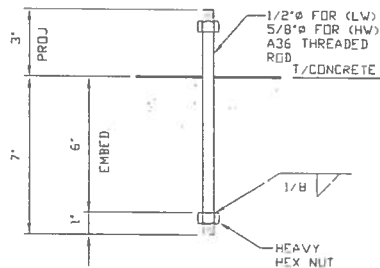
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

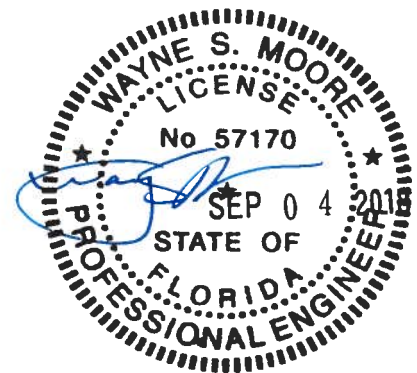
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C ANCHOR ROD THROUGH BASE
RAIL DETAIL
SCALE: NTS



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TUBULAR BUILDING SYSTEMS
50'-0"x20'-0" ENCLOSED BUILDING EXPOSURE B

DATE: 12-18-17

SHT. 20

SCALE: NTS

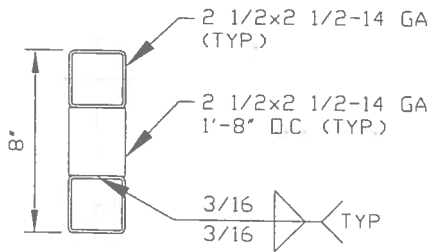
DWG. NO: SK-3

JOB NO: 17250S

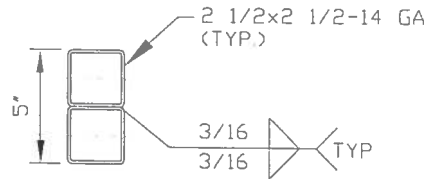
REV: 0

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OPTIONAL HEADER



**HEADER DETAIL FOR
OPENINGS 8'-0" < LENGTH ≤ 15'-0"**
SCALE: NTS



**HEADER DETAIL FOR
OPENINGS LENGTH ≤ 8'-0"**
SCALE: NTS



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TUBULAR BUILDING SYSTEMS
50'-0" x 20'-0" ENCLOSED BUILDING EXPOSURE B

DATE: 12-18-17

SCALE: NTS

JOB NO: 17250S

SHT. 21

DWG. NO: SK-3

REV.: 0



Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1

EXP 12/31/19

Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5

EXP 9/14/20

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/20

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/20

If you have any questions on concern, please contact Donald Little at
386-961-0006 or at tubularbuildingsystems@gmail.com.