

APPLICANTLINDA RODERPHONE752-2281

ADDRESS387SW KEMP CTLAKE CITYFL32024

OWNERTIM & SARA PETERSENPHONE623-3899

ADDRESS6915SW SR 47LAKE CITYFL32024

CONTRACTORSETH HEITZMANPHONE867-1295

LOCATION OF PROPERTY47S, TL ON DRIVE JUST PAST TAN BLOCK HOUSE AFTER PASSING  
COLUMBIA CITY SCHOOL, 1/8 MILE ON LEFT

TYPE DEVELOPMENTSFD,UTILITYESTIMATED COST OF CONSTRUCTION193350.00

HEATED FLOOR AREATOTAL AREAHIGHTSTORIES

2785.003867.001

FOUNDATIONCONCWALLSFRAMEDROOF PITCH8/12FLOORSLAB

LAND USE & ZONINGA-3MAX. HEIGHT

Minimum Set Back Requirments:STREET-FRONT30.00REAR25.00SIDE25.00

NO. EX.D.U.0FLOOD ZONEXDEVELOPMENT PERMIT NO.

PARCEL ID02-5S-16-03429-003SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES

CBC1251065

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTING08-200BKJHY

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS: SEC. 14.9 SPECIAL FAMILY LOT PERMIT, ONE FOOT ABOVE THE  
EASEMENT, NOC ON FILE

Check # or Cash815

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary PowerFoundationMonolithic

date/app. bydate/app. bydate/app. by

Under slab rough-in plumbingSlabSheathing/Nailing

date/app. bydate/app. bydate/app. by

FramingRough-in plumbing above slab and below wood floor

date/app. bydate/app. by

Electrical rough-inHeat & Air DuctPeri. beam (Lintel)

date/app. bydate/app. bydate/app. by

Permanent powerC.O. FinalCulvert

date/app. bydate/app. bydate/app. by

M/H tie downs, blocking, electricity and plumbingPool

date/app. bydate/app. by

ReconnectionPump poleUtility Pole

date/app. bydate/app. bydate/app. by

M/H PoleTravel TrailerRe-roof

date/app. bydate/app. bydate/app. by

BUILDING PERMIT FEE \$970.00CERTIFICATION FEE \$19.34SURCHARGE FEE \$19.34

MISC. FEES \$0.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEES25.00CULVERT FEE \$TOTAL FEE1083.68

INSPECTORS OFFICECLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



CK# 815

Fax 752-2282

Name Authorized Person Signing Permit Linda or Melanie Roder Phone 752-2281

Address 387 SW Kemp Ct Lake City FL 32024

Owners Name Tim & Sara Petersen Phone 623-3899

911 Address 6915 SW SR 47, L.C. 32024

Contractors Name Seth Heitzman Phone 867-1295

Address POB 1046 Lake City FL 32086

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Mark Disosway

Mortgage Lenders Name & Address unknown

Property ID Number 62-55-16-03429-003 Estimated Cost of Construction 220K

Driving Directions 47 S,  $\frac{1}{4}$  mi before Columbia Elementary go L on maintained drive just past tan block house. Lot is about  $\frac{1}{8}$  mile down on L.

Number of Existing Dwellings on Property 0

Construction of Single family dwelling Total Acreage 1.50 Lot Size 1.50  
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 17'-10"  
Actual Distance of Structure from Property Lines - Front 85' Side 72.50 Side 72.50 Rear 178'  
Number of Stories 2 Heated Floor Area 2785 Total Heated Floor Area ~~2785~~ 3867 Roof Pitch 8-12  
4-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Spoke to Linda  
2/28/08



**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS AFFIDAVIT:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

[Signature]  
Owners Signature

X Sara Petersen

Affirmed under penalty of perjury to by the Owner and subscribed before me this 30 day of Jan 2008  
Personally known ☒ or Produced Identification \_\_\_\_\_

[Signature]  
State of Florida Notary Signature (For the Owner)

SEAL:



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

X [Signature]  
Contractor's Signature (Permitee)



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.

Contractor's License Number BCBC#1251085  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 30 day of Jan 2008  
Personally known ☒ or Produced Identification \_\_\_\_\_

[Signature]

SEAL:





AFFIDAVIT OF SUBDIVIDED REAL PROPERTY  
FOR USE OF IMMEDIATE FAMILY MEMBERS  
FOR PRIMARY RESIDENCE

STATE OF FLORIDA  
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

Kim + Kris Heitzman, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and Sara Petersen, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as daughter, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 02-55-16-03429-002
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least ½ acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel  
X No. 02-55-16-03429-003
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.

X Kim H. Heitzman  
X Kris H. Heitzman  
Owner  
Kim Heitzman  
Kris Heitzman  
Typed or Printed Name

X Sara Petersen  
Family Member  
Sara Petersen  
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 30 day of Jan, 20 08, by Kim & Kris Heitzman (Owner) who is personally known to me or has produced \_\_\_\_\_ as identification.

Linda Roder  
Notary Public



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.

Subscribed and sworn to (or affirmed) before me this 30 day of Jan, 20 08, by Sara Petersen (Family Member) who is personally known to me or has produced \_\_\_\_\_ as identification.

Linda Roder  
Notary Public



Linda R. Roder  
Commission #DD303275  
Expires: Mar 24, 2008  
Bonded Thru  
Atlantic Bonding Co., Inc.



## Warranty Deed

THIS WARRANTY DEED made the 30th day of JAN A.D., 2008

Kim N. Heitzman and Kris K. Heitzman, husband and wife

hereinafter called the grantor, to

Timothy J. Petersen and his wife, Sara K. Petersen

Inst:200812001939 Date:1/30/2008 Time:4:12 PM

Doc Stamp-Deed:0.70

14 DC, P. DeWitt Cason, Columbia County Page 1 of 2

whose post office address is: P.O. Box 3834, Lake City, FL 32056

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of Love & Affection, and other good and valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz: 02-55-16-03429-003

See Exhibit "A" attached hereto and by this reference made a part hereof.

N.B. The Grantee, Sara K. Petersen, is the daughter of the grantors listed herein.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness: Matthew D. Rocco

Witness: Jonathan Rocco

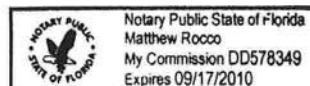
Kim N. Heitzman  
KIM N. HEITZMAN  
Kris K. Heitzman  
KRIS K. HEITZMAN

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 30th day of JANUARY, 2008 by Kim N. Heitzman and Kris K. Heitzman, husband and wife personally known to me or, if not personally known to me, who produced Driver's License for identification and who did not take an oath.

[Signature]  
Notary Public

(Notary Seal)



# Exhibit "A"

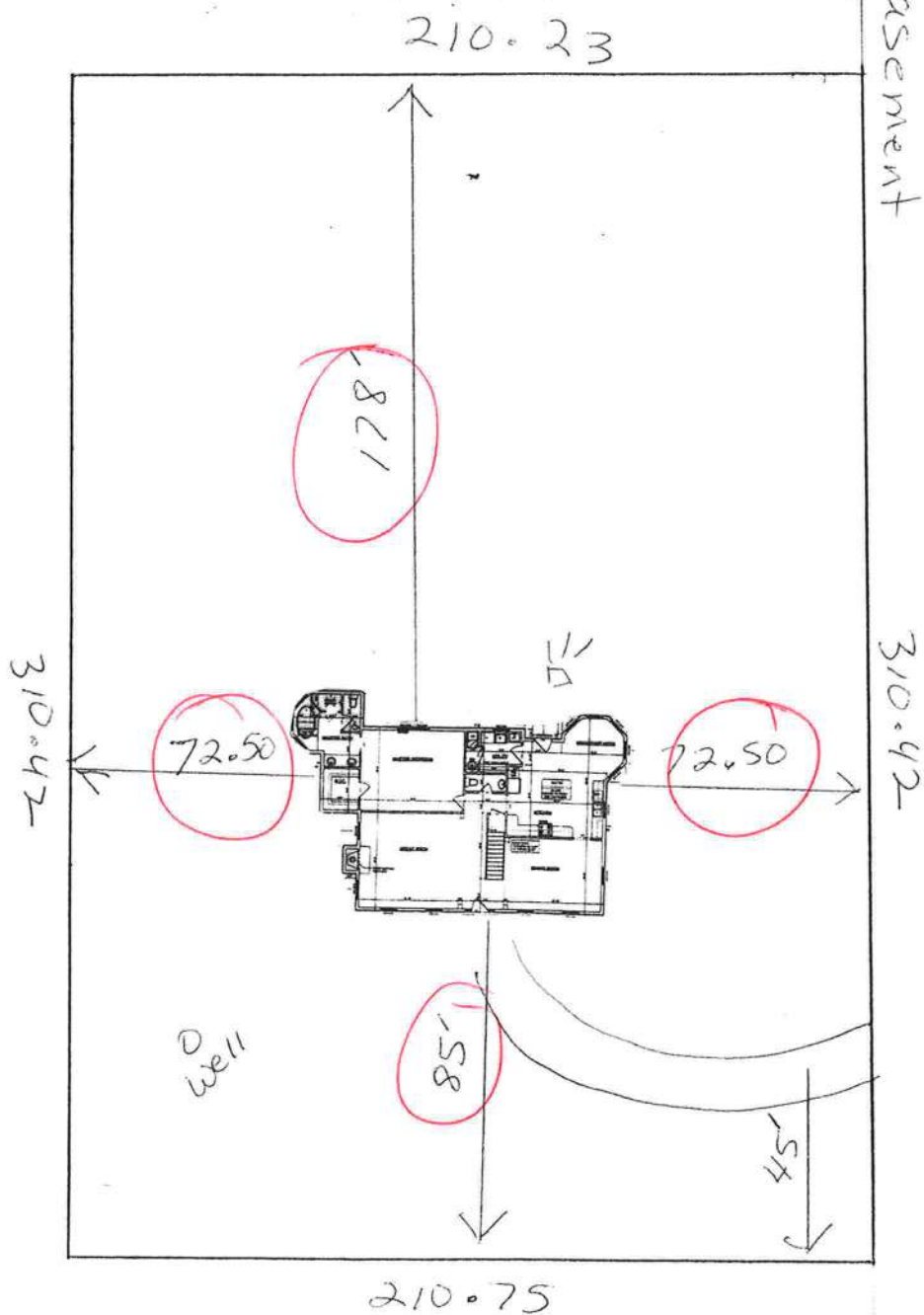
DESCRIPTION:  
A PART OF THE SE 1/4 OF THE NW 1/4 OF SECTION 2, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SW CORNER OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 2, AND RUN THENCE N.00°23'49"W., ALONG THE WEST LINE OF SAID SE 1/4 OF NW 1/4, 909.21 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD # 47; THENCE N.55°36'56"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 337.40 FEET; THENCE S.00°33'03"E., 171.25 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.00°33'03"E., 310.42 FEET; THENCE N.89°26'56"E., 210.23 FEET; THENCE N.00°27'43"W., 310.42 FEET; THENCE S.89°26'56"W., 210.75 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH A 30' UTILITY, INGRESS AND EGRESS EASEMENT OVER AND ACROSS THE FOLLOWING DESCRIBED PARCEL:  
COMMENCE AT THE SW CORNER OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 2, AND RUN THENCE N.00°23'49"W., ALONG THE WEST LINE OF SAID SE 1/4 OF NW 1/4, 909.21 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF STATE ROAD # 47; THENCE N.55°36'56"E., ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 301.29 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT; THENCE CONTINUE N.55°36'56"E., STILL ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 36.12 FEET; THENCE S.00°33'03"E., 851.11 FEET; THENCE S.88°37'47"W., 30.00 FEET; THENCE N.00°33'03"W., 831.43 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT.



Tim and Sara Petersen  
02-55-16-03429-003

1.50  
acres



## FAX MEMORANDUM

## MEMORANDUM

## FLORIDA DEPARTMENT OF TRANSPORTATION

To: Mr. John Kerce, Dept. Director  
Columbia Co. Building Dept.  
Fax No: 904-758-2160

From: Neil E. Miles, FDOT Permits Coord.  
Date: 11-09-06 Fax No. 904-961-7180  
Attention: In-House Staff

( ) Sign and return. ( ) For your files. ( ) Please call me. (XX) FYI ( ) For Review

**Reason for Contact.** We were contacted by Mr. Timothy Peterson with information that a new residential home was to be constructed under a **Columbia County Building Site Permit Application No. 0801-163**. He stated that no new access was being requested of the FDOT to US 90 due to an existing driveway that currently is in place along the property frontage of another landowner known herein as Mr. Kim Heitzman. **A review was conducted this morning of the existing driveway connection/property and it was found that there is a legal Access Easement between the State Property Line and the Peterson Out Parcel Property.** The existing driveway is therefore approved for a maximum of 2 residential families for this one connection with the County's co-approval.

**REF:** Notice of Pre-Existing Driveway Access / Inspected On: 5-30-08

**PROJECT:** New Single Family Residential Home

**PROPT. OWNER:** Timothy & Sara K. Peterson

**PROPOSED:** Access to new propt., resident by driveway from existing conn. on SR-47-S

**PERMITTEE'S MAILING ADDRESS:** PO Box 3834 Lake City, Fl. 32056

**COUNTY PARCEL Tax ID No:** 02-55-16-03429-003

**CONTRACTOR:** Kim Heitzman

**Phone #:**

**FDOT Permit No:** None Required, existing connection approved for 2 Single Family Resident's

**Engineer:** N/A

**Mr. Kerce or Staff Member:**

The above project land parcel is wanting to gain access by way of an existing residential driveway connection that connects directly from SR-47 S by way of a 30 Access Easement. No permit of any kind will be required from our office in this case as the current driveway will suffice for the two Single Family Residences. Please accept this as our notice of same and lift any Columbia County Permit restrictions that may have applied to this site due to State FDOT Access Permit Compliances. Please thank all the staff for the continued assistance in these access matters!

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7180.

Sincerely,

Neil Miles

Access Permits Coordinator

It's great to have folks like you to work with, thanks again for your assistance!

Number of Pages faxed: 4





# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

## 2008 Proposed Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

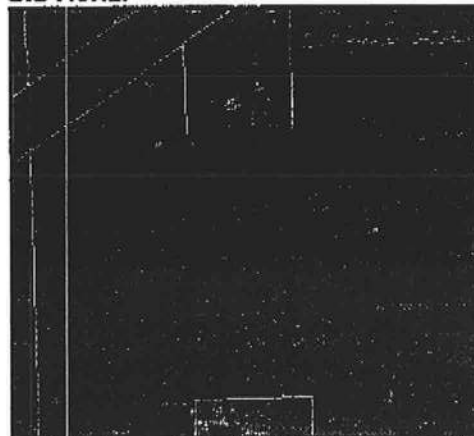
Parcel: 02-5S-16-03429-003

### Owner & Property Info

Owner's Name	PETERSON TIMOTHY J & SARA K		
Site Address			
Mailing Address	P O BOX 3834 LAKE CITY, FL 32056		
Use Desc. (code)	ORNAMENTAL (006900)		
Neighborhood	2516.00	Tax District	3
UD Codes	MKTA01	Market Area	01
Total Land Area	1.500 ACRES		
Description	COMM SW COR SE1/4 OF NW1/4, N 909.21 FT TO S R/W SR 47, NE 337.40 FT, S 171.25 FT FOR POB, CONT S 310.42 FT, E 210.23 FT, N 310.42 FT, W 210.75 FT TO POB. WD 1141-2543		

&lt;&lt; Prev Search Result: 25 of 25

### GIS Aerial



### Property & Assessment Values

Mkt Land Value	cnt: (0)	\$0.00
Ag Land Value	cnt: (1)	\$825.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$825.00

Just Value	\$28,800.00
Class Value	\$825.00
Assessed Value	\$825.00
Exempt Value	\$0.00
Total Taxable Value	\$825.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
1/30/2008	1141/2543	WD	V	U	06	\$100.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
006900	ORNAMENTAL (AG)	1.500 AC	1.00/1.00/1.00/1.00	\$550.00	\$825.00
009910	MKT.VAL.AG (MKT)	1.500 AC	1.00/1.00/1.00/1.00	\$0.00	\$28,800.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

&lt;&lt; Prev

25 of 25



# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

## 2008 Proposed Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

Parcel: 02-5S-16-03429-002

Search Result: 1 of 1

### Owner & Property Info

Owner's Name	HEITZMAN KIM N & KRIS K		
Site Address			
Mailing Address	P O BX 1046 LAKE CITY, FL 32056		
Use Desc. (code)	ORNAMENTAL (006900)		
Neighborhood	2516.00	Tax District	3
UD Codes	MKTA01	Market Area	01
Total Land Area	31.860 ACRES		
Description	SE1/4 OF NW1/4 LYING S & E OF SR-47 EX THE N 122 FT & EX 1 AC DESC ORB 930-2933 & EX 1.07 AC DESC ORB 960-376 & EX 1.50 AC DESC ORB 1141-2543		

### GIS Aerial



### Property & Assessment Values

Mkt Land Value	cnt: (0)	\$0.00
Ag Land Value	cnt: (1)	\$17,523.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$17,523.00

Just Value	\$8,100.00
Class Value	\$17,523.00
Assessed Value	\$17,523.00
Exempt Value	\$0.00
Total Taxable Value	\$17,523.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
2/1/2001	919/1582	WD	I	Q		\$147,500.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
006900	ORNAMENTAL (AG)	31.860 AC	1.00/1.00/1.00/1.00	\$550.00	\$17,523.00
009910	MKT.VAL.AG (MKT)	1.500 AC	1.00/1.00/1.00/1.00	\$0.00	\$8,100.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

1 of 1

Jan 30 08 10:19a

Linda Newcomb

386-752-1477

p. 1

Water Wells  
Pumps & Service

Phone: (386) 752-6677  
Fax: (386) 752-1477

## **Lynch Well Drilling, Inc.**

173 SW Young Place  
Lake City, FL 32025  
[www.lynchwelldrilling.com](http://www.lynchwelldrilling.com)

January 30, 2008

To Whom It May Concern:

As required by building code regulations for Columbia County in order that a building permit can be issued, the following well information is provided with regard to the well for Tim & Sara Petersen on Hwy. 47-S Parcel #02-5S-16-03440-000. *parent parcel*

Size of Pump Motor:	1 Horse Power 20 gallon GPM
Size of Pressure Tank:	81 -Gallon Bladder Tank - 25.1 Draw down
Cycle Stop Valve Used:	No
Constant Pressure System:	No

Should you require any additional information, please contact us.

Sincerely,



Linda Newcomb  
Lynch Well Drilling, Inc.

LDR's ✓



**From: The Columbia County Building & Zoning Department**  
**Plan Review**  
**135 NE Hernando Av.**  
**P.O. Box 1529**  
**Lake City Florida 32056-1529**

Reference to a building permit application Number: **0801-163**

Applicant: Linda Roder  
Owner: Tim & Sara Petersen  
Contractor: Seth Heiteman  
Property Identification #

On the date of February 5, 2008 building permit application number 0801-163 and the submitted plans for construction of a single family dwelling were reviewed. The following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

**Please include application number 0801-163 and when making reference to this application.**

**This is a plan review for compliance with the Florida Residential Codes 2004 only and doesn't make any consideration toward the land use and zoning requirement**

1. Two sets of truss drawing with embossed engineered seals need to be submitted for review.
2. The floor plan shows that a wood burning fire place will be erected, which may require additional foundation support. Please have Mr. Disosway include a structural drawing showing any additional reinforcement of the fire place foundation.
3. The Florida Residential Building Code, section R310 requires that one emergency escape and rescue opening (window) be provided for each bedroom on the second floor. This emergency escape and rescue opening shall have a minimum net clear opening of 5.7 square feet with a minimum net clear opening width of 20 inches and a minimum net clear opening height of 24 inches. The second story floor plans show provision for compliance with section R310 of the code, please have the window supplier confirm that at least one window in each bedroom will meet the requirements of section R310.
4. Please have Mr. Disosway include a structural drawing on the plans which details the construction methods for exterior and interior load bearing two story structural walls. This drawing should include methods of supporting a second story, floor joist system and wall sections. Details must include designs to fasten the structural walls and trusses to the foundation.

Thank You:

Joe Haltiwanger  
Plan Examiner  
County Building Department





# Columbia County Property Appraiser

DB Last Updated: 4/15/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 02-5S-16-03429-003

Search Result: 1 of 1

### Owner & Property Info

<b>Owner's Name</b>	PETERSON TIMOTHY J & SARA K		
<b>Site Address</b>			
<b>Mailing Address</b>	P O BOX 3834 LAKE CITY, FL 32056		
<b>Use Desc. (code)</b>	ORNAMENTAL (006900)		
<b>Neighborhood</b>	2516.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01	<b>Market Area</b>	01
<b>Total Land Area</b>	1.500 ACRES		
<b>Description</b>	COMM SW COR SE1/4 OF NW1/4, N 909.21 FT TO S R/W SR 47, NE 337.40 FT, S 171.25 FT FOR POB, CONT S 310.42 FT, E 210.23 FT, N 310.42 FT, W 210.75 FT TO POB. WD 1141-2543		

### GIS Aerial



### Property & Assessment Values

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<b>Ag Land Value</b>	cnt: (1)	\$825.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$825.00

<b>Just Value</b>	\$28,800.00
<b>Class Value</b>	\$825.00
<b>Assessed Value</b>	\$825.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$825.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
1/30/2008	1141/2543	WD	V	U	06	\$100.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
006900	ORNAMENTAL (AG)	1.500 AC	1.00/1.00/1.00/1.00	\$550.00	\$825.00
009910	MKT.VAL.AG (MKT)	1.500 AC	1.00/1.00/1.00/1.00	\$0.00	\$28,800.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

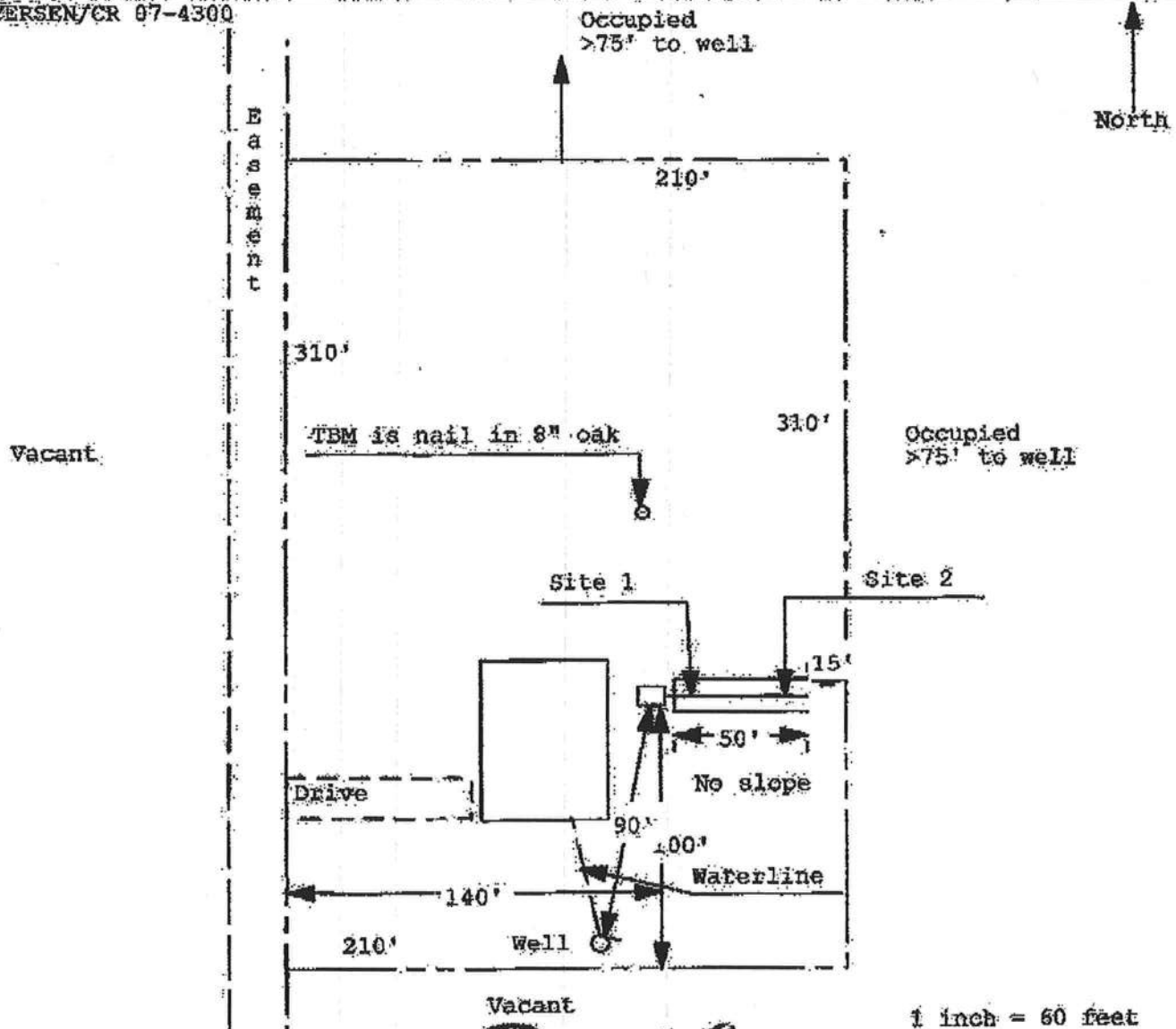
1 of 1

0801-163

**Application for Onsite Sewage Disposal System  
Construction Permit. Part II Site Plan**  
**Permit Application Number:** 08-0200

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT**

PETERSEN/CR 97-4300



Site Plan Submitted By Paul L. [Signature] Date 2/11/08  
 Plan Approved ☒ Not Approved ☐ Date 3/3/08

By Mr. [Signature] Paul Columbia CPBU

Notes:



*Seena Title*

*#08-0116*

THIS INSTRUMENT WAS PREPARED BY:  
FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HIGHWAY 90  
P.O. BOX 2029  
LAKE CITY, FLORIDA 32056

Inst: 200812010102 Date: 5/23/2008 Time: 4:17 PM  
DC P. DelVal Cason, Columbia County Page 1 of 2 8:1151 P:374

PERMIT NO. \_\_\_\_\_

TAX FOLIO NO. \_\_\_\_\_

### NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF Columbia

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

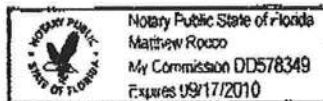
1. Description of property: See Exhibit A
2. General description of improvement: Construction of Dwelling
3. Owner information:
  - a. Name and address: Timothy J. Petersen  
P.O. Box 3834, Lake City, FL 32056
  - b. Interest in property: Fee Simple
  - c. Name and address of fee simple title holder (if other than Owner): NONE
4. Contractor (name and address): Seth Heitzman Construction Inc.  
P.O. Box 3642, Lake City, FL 32056
5. Surety:
  - a. Name and address: \_\_\_\_\_
  - b. Amount of bond: \_\_\_\_\_
6. Lender: FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HIGHWAY 90  
P.O. BOX 2029  
LAKE CITY, FLORIDA 32056
7. Persons within the State of Florida designated by Owner upon whom notices or other document may be served as provided by Section 713.13 (1) (a) 7, Florida Statutes: NONE
8. In addition to himself, Owner designates PALLA HACKER of FIRST FEDERAL BANK OF FLORIDA, 4705 West U.S. Highway 90/ P.O. Box 2029, Lake City, Florida 32056 to receive a copy of the Lender's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

Tim Petersen  
Borrower Name

\_\_\_\_\_  
Co-Borrower Name

The foregoing instrument was acknowledged before me this 22nd day of MAY 2008 by Timothy J. Petersen, who is personally known to me or who has produced driver's license for identification.

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_



File No. 08-0116/Petersen

Exhibit A

Legal Description

A part of the SE 1/4 of the NW 1/4 of Section 2, Township 5 South, Range 16 East, Columbia County, Florida, being more particularly described as follows: Commence at the SW corner of the SE 1/4 of the NW 1/4 of said Section 2 and run thence N 00°23'49" W, along the West line of said SE 1/4 of NW 1/4, 909.21 feet to a point on the Southerly right-of-way line of State Road #47; thence N 55°36'56" E, along said Southerly right-of-way line, 337.40 feet; thence S 00°33'03" E, 171.25 feet to the Point of Beginning; thence continue S 00°33'03" E, 310.42 feet; thence N 89°26'56" E, 210.23 feet; thence N 00°27'43" W, 310.42 feet; thence S 89°26'56" W, 210.75 feet to the Point of Beginning.

Together with a 30' Utility, Ingress and egress easement over and across the following described parcel:  
Commence at the SW corner of the SE 1/4 of the NW 1/4 of said section 2, and run thence N.00°23'49"W., along the west line of said SE 1/4 of NW 1/4 909.21 feet to a point on the southerly right-of-way line of state road # 47, thence N.55°36'56"E., along said southerly right-of-way line, 301.29 feet to the point of beginning of said easement, thence continue N.55°36'56"E., still along said southerly right-of-way line, 36.12 feet, thence S.00°33'03"E., 851.11 feet, thence S.88°37'47"W., 30.00 feet, thence N.00°33'03"W., 831.43 feet to the point of beginning of said easement.

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>712103PetersenTim&amp;Sara</b>	Builder: <b>Hertzman</b>
Address: <b>SW State Road 47</b>	Permitting Office: <b>Columbia</b>
City, State: <b>Lake City, FL</b>	Permit Number: <b>27057</b>
Owner: <b>Petersen Tim &amp; Sara</b>	Jurisdiction Number: <b>221000</b>
Climate Zone: <b>North</b>	

1. New construction or existing <span style="float: right;">New</span> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <span style="float: right;">Single family</span> <input type="checkbox"/>	a. Central Unit <span style="float: right;">Cap: 45.0 kBtu/hr</span>
3. Number of units, if multi-family <span style="float: right;">1</span> <input type="checkbox"/>	<span style="float: right;">SEER: 13.00</span>
4. Number of Bedrooms <span style="float: right;">3</span> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <span style="float: right;">No</span> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) <span style="float: right;">2785 ft²</span> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <span style="float: right;">Cap: 45.0 kBtu/hr</span>
a. U-factor: <span style="float: right;">Description Area</span>	<span style="float: right;">HSPF: 7.90</span>
(or Single or Double DEFAULT) 7a. (Dble Default) 279.8 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 279.8 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <span style="float: right;">Cap: 40.0 gallons</span>
a. Slab-On-Grade Edge Insulation <span style="float: right;">R=0.0, 207.0(p) ft</span> <input type="checkbox"/>	<span style="float: right;">EF: 0.93</span>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <span style="float: right;">R=13.0, 2319.2 ft²</span> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <span style="float: right;">R=30.0, 2155.0 ft²</span> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts	
a. Sup: Unc. Ret: Unc. AH: Interior <span style="float: right;">Sup. R=6.0, 210.0 ft</span> <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.10

Total as-built points: 29101

Total base points: 36149

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]  
DATE: 1-29-08

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]  
DATE: 1-28-08

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_



<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLR2PB v4.1)



# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	2785.0	20.04	10046.1	Double, Clear	N	6.0	6.0	30.0	19.20	0.71	409.5
				Double, Clear	N	6.0	4.0	9.0	19.20	0.65	113.0
				Double, Clear	NW	6.0	6.0	15.0	25.97	0.64	248.8
				Double, Clear	N	4.0	6.0	15.0	19.20	0.78	224.1
				Double, Clear	NE	5.0	6.0	15.0	29.56	0.62	275.5
				Double, Clear	E	4.0	6.0	15.0	42.06	0.63	397.9
				Double, Clear	SE	6.0	6.0	15.0	42.75	0.49	317.3
				Double, Clear	E	8.0	4.0	9.0	42.06	0.39	148.5
				Double, Clear	E	8.0	6.0	15.0	42.06	0.45	285.9
				Double, Clear	S	8.0	6.0	60.0	35.87	0.48	1041.7
				Double, Clear	S	8.0	7.8	15.8	35.87	0.52	292.4
				Double, Clear	W	8.0	6.0	30.0	38.52	0.47	541.1
				Double, Clear	SE	1.5	5.0	12.0	42.75	0.83	428.2
				Double, Clear	W	1.5	5.0	12.0	38.52	0.88	404.7
				Double, Clear	NW	1.5	5.0	12.0	25.97	0.89	278.9
				<b>As-Built Total:</b>				<b>279.8</b>	<b>5407.5</b>		
<b>WALL TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		2319.2	1.50		3478.8	
Exterior	2319.2	1.70	3942.6								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>2319.2</b>		<b>3478.8</b>			
<b>DOOR TYPES</b>											
Area X BSPM = Points				Type	Area X SPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated			40.0	4.10		164.0	
Exterior	40.0	4.10	164.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>40.0</b>		<b>164.0</b>			
<b>CEILING TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	1787.0	1.73	3091.5	Under Attic	30.0		2155.0	1.73 X 1.00		3728.2	
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>2155.0</b>		<b>3728.2</b>			
<b>FLOOR TYPES</b>											
Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	207.0(p)	-37.0	-7659.0	Slab-On-Grade Edge Insulation	0.0		207.0(p)	-41.20		-8528.4	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>207.0</b>		<b>-8528.4</b>			

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

BASE				AS-BUILT			
INFILTRATION    Area X   BSPM   =   Points				Area X    SPM   =   Points			
2785.0	10.21	28434.8		2785.0	10.21	28434.8	
Summer Base Points: 38020.1			Summer	As-Built Points: 32684.9			
Total Summer Points	X System Multiplier	= Cooling Points	Total Component (System - Points)	X Cap Ratio (DM x DSM x AHU)	X Duct Multiplier	X System Multiplier	X Credit Multiplier = Cooling Points
38020.1	0.4266	16219.4	(sys 1: Central Unit 45000 btuh ,SEER/EFF(13.0) Ducts:Unc(S),Unc(R),Int(AH),R6.0(INS) 32685	1.00 (1.09 x 1.147 x 0.91)	0.263	1.000	9762.7
			32684.9	1.00	1.138	0.263	1.000 9762.7

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
<b>GLASS TYPES</b>											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	2785.0	12.74	6386.6	Double, Clear	N	6.0	6.0	30.0	24.58	1.02	750.8
				Double, Clear	N	6.0	4.0	9.0	24.58	1.02	226.2
				Double, Clear	NW	6.0	6.0	15.0	24.30	1.02	373.5
				Double, Clear	N	4.0	6.0	15.0	24.58	1.01	373.5
				Double, Clear	NE	5.0	6.0	15.0	23.57	1.04	367.6
				Double, Clear	E	4.0	6.0	15.0	18.79	1.18	333.1
				Double, Clear	SE	6.0	6.0	15.0	14.71	1.94	427.0
				Double, Clear	E	8.0	4.0	9.0	18.79	1.45	245.2
				Double, Clear	E	8.0	6.0	15.0	18.79	1.36	383.9
				Double, Clear	S	8.0	6.0	60.0	13.30	3.15	2512.7
				Double, Clear	S	8.0	7.8	15.8	13.30	2.78	584.9
				Double, Clear	W	8.0	6.0	30.0	20.73	1.20	743.2
				Double, Clear	SE	1.5	5.0	12.0	14.71	1.14	201.5
				Double, Clear	W	1.5	5.0	12.0	20.73	1.03	257.4
				Double, Clear	NW	1.5	5.0	12.0	24.30	1.01	293.1
				<b>As-Built Total:</b>				<b>279.8</b>	<b>8073.6</b>		
<b>WALL TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		2319.2	3.40		7885.3	
Exterior	2319.2	3.70	8581.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>2319.2</b>		<b>7885.3</b>			
<b>DOOR TYPES</b>											
Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated			40.0	8.40		336.0	
Exterior	40.0	8.40	336.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>40.0</b>		<b>336.0</b>			
<b>CEILING TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	1787.0	2.05	3663.3	Under Attic	30.0		2155.0	2.05 X 1.00		4417.8	
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>2155.0</b>		<b>4417.8</b>			
<b>FLOOR TYPES</b>											
Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	207.0(p)	8.9	1842.3	Slab-On-Grade Edge Insulation	0.0		207.0(p)	18.80		3891.6	
Raised	0.0	0.00	0.0								
<b>Base Total:</b>				<b>As-Built Total:</b>		<b>207.0</b>		<b>3891.6</b>			



# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

BASE				AS-BUILT					
INFILTRATION Area X BWPM = Points				Area X WPM = Points					
2785.0 -0.59 -1643.1				2785.0 -0.59 -1643.1					
Winter Base Points: 19166.1				Winter As-Built Points: 22961.1					
Total Winter X System = Heating Points Multiplier Points				Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points (System - Points) (DM x DSM x AHU)					
19166.1 0.6274 12024.8				(sys 1: Electric Heat Pump 45000 btuh ,EFF(7.9) Ducts:Unc(S),Unc(R),Int(AH),R6.0 22961.1 1.000 (1.069 x 1.169 x 0.93) 0.432 1.000 11518.5 22961.1 1.00 1.162 0.432 1.000 11518.5					

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X Tank Ratio	Multiplier X Credit Multiplier	= Total
3		2635.00	7905.0	40.0	0.93	3	1.00	2606.67	7820.0
				As-Built Total:					7820.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+	Heating Points	+ Hot Water Points = Total Points	Cooling Points	+	Heating Points	+ Hot Water Points = Total Points
16219		12025	7905 36149	9763		11518	7820 29101

PASS



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: SW State Road 47, Lake City, FL,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	



# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 86.8**

**The higher the score, the more efficient the home.**

Petersen Tim & Sara, SW State Road 47, Lake City, FL,

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 45.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft <sup>2</sup> )	2785 ft <sup>2</sup>		
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 45.0 kBtu/hr
(or Single or Double DEFAULT) 7a. (Dble Default) 279.8 ft <sup>2</sup>			HSPF: 7.90
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT) 7b. (Clear) 279.8 ft <sup>2</sup>		c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 207.0(p) ft	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.93
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 2319.2 ft <sup>2</sup>	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 2155.0 ft <sup>2</sup>	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 210.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLR2PB v4.1)

# New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525

This form is completed by the licensed Pest Control Company.

**Public reporting burden** for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

## Section 1: General Information (Treating Company Information)

Company Name: Aspen Pest Control, Inc.  
Company Address: P.O. Box 1795 City Lake City State FL Zip 32955  
Company Business License No. JE102575 Company Phone No. 888-725-3611 • 352-424-5751  
FHA/VA Case No. (if any) \_\_\_\_\_

## Section 2: Builder Information

Company Name: Tim Peterson Company Phone No. \_\_\_\_\_

## Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) 6916 S.W. 5th 47  
Lake City, FL 32955

Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other \_\_\_\_\_  
Approximate Depth of Footing: Outside 12 Inside 12 Type of Fill Dirt

## Section 4: Treatment Information

Date(s) of Treatment(s) 6-27-09  
Brand Name of Product(s) Used Termidor  
EPA Registration No. \_\_\_\_\_  
Approximate Final Mix Solution % 2%  
Approximate Size of Treatment Area: Sq. ft. 2869 Linear ft. 216 Linear ft. of Masonry Voids 216  
Approximate Total Gallons of Solution Applied 419  
Was treatment completed on exterior? ☐ Yes ☒ No  
Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) \_\_\_\_\_

Comments 76

Name of Applicator(s) Steve Brennan Certification No. (if required by State law) JE102575

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature Steve Brennan Date 6-27-09

**Warning:** HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Form NPCA-99-B may still be used

form HUD-NPCA-99-B (04/2003)

# COLUMBIA COUNTY OFFICE COLUMBIA

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 02-5S-16-03429-003

Building permit No. 000027057

Use Classification SFD, UTILITY

Fire: 44.94

Permit Holder SETH HEITZMAN

Waste: 117.25

Owner of Building TIM & SARA PETERSEN

Total: 162.19

Location: 6915 SW SR 47, LAKE CITY, FL

Date: 03/24/2009

*Fancy Dicks*

Building Inspector

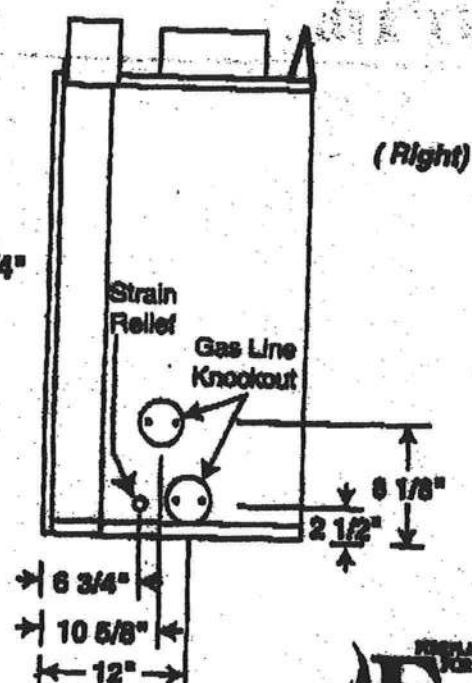
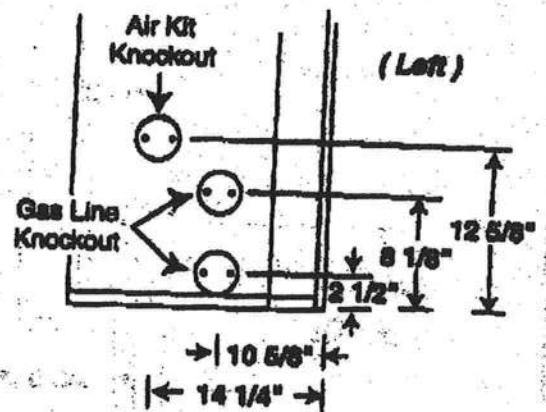
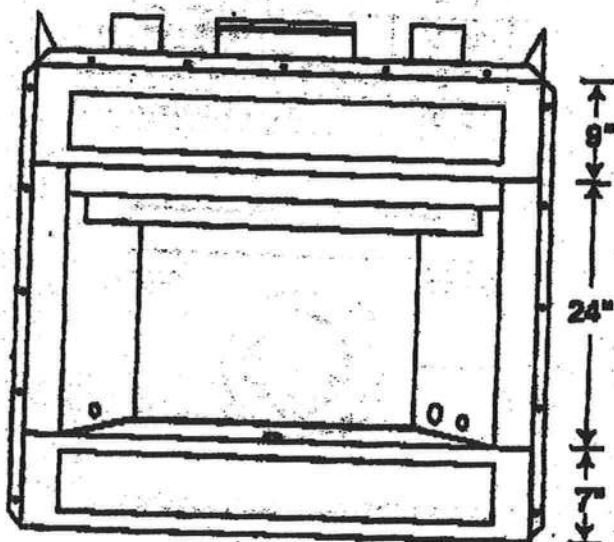
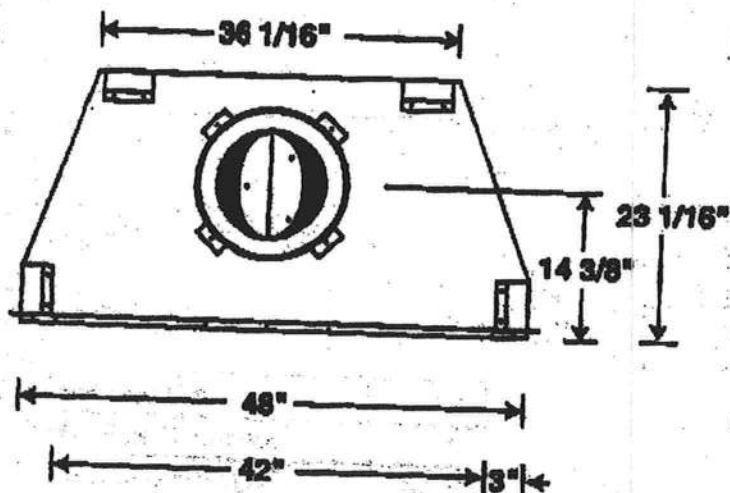
POST IN A CONSPICUOUS PLACE  
(Business Places Only)



# Craftsman

## 42" Woodburning Fireplace

Vent Pipe Size	10"
Min. Pipe Clearance	1"
Min. System Height	14' 6"
- w/ Single Offset	14' 6"
- w/ Two Offsets	22' 0"
Max. Dist. Between Elbows	6' 0"
Max. System Height	50' 0"



FOR LAKESIDE BUILDINGS  
**Fmi**

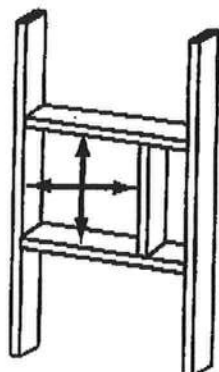


# Victorian

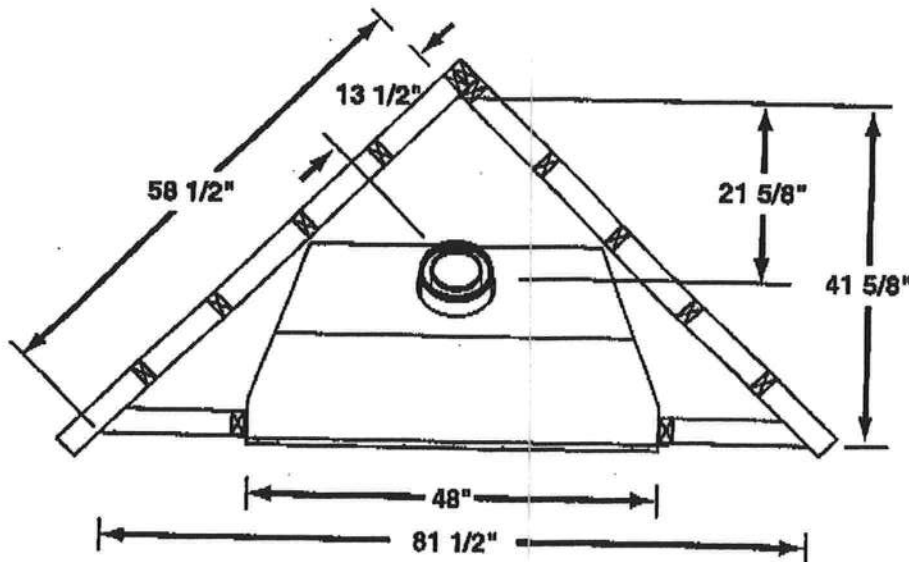
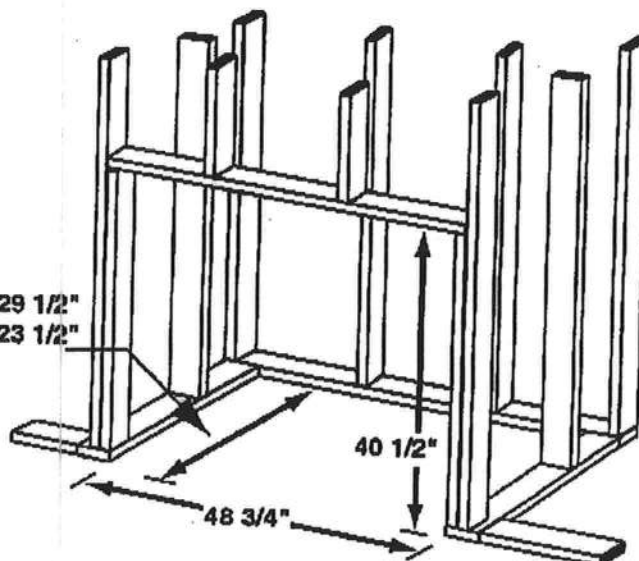
## 42" Direct Vent Fireplace

### Framing Dimensions

Vent Opening - 10 3/4" Square (I.D.)



Vertical Termination - 29 1/2"  
Horizontal Termination - 23 1/2"



#### NOTE:

Built-in Features Such as Mantels, Bookshelves, etc. Made of Combustible Materials Must Maintain Minimum Clearances from the Fireplace. See Installation Instructions for Complete Information

FIREPLACES  
FOR BUILDERS  
**Fmi**

# FLORIDA DEPARTMENT OF Community Affairs



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 **Application Detail**

**FL #** FL5108  
**Application Type** New  
**Code Version** 2004  
**Application Status** Approved  
**Comments**  
 Archived

**Product Manufacturer**  
**Address/Phone/Email**

MI Windows and Doors  
 650 W Market St  
 Gratz, PA 17030  
 (717) 365-3300 ext 2101  
 surich@miwd.com

**Authorized Signature**

Steven Ulrich  
 surich@miwd.com

**Technical Representative**  
**Address/Phone/Email**

**Quality Assurance Representative**  
**Address/Phone/Email**

Window

A.L.I.

(Validator / Operations Administrator)

# AAMA CERTIFICATION PROGRAM



## AUTHORIZATION FOR PRODUCT CERTIFICATION

MI Windows & Doors, Inc.  
P.O. Box 370  
Gratz, PA 17030-0370

Attn: Bill Emley

The product described below is hereby approved for listing in the next issue of the AAMA Certified Products Directory. The approval is based on successful completion of tests, and the reporting to the Administrator of the results of tests, accompanied by related drawings, by an AAMA Accredited Laboratory.

1. The listing below will be added to the next published AAMA Certified Products Directory.

SPECIFICATION	RECORD OF PRODUCT TESTED				LABEL ORDER NO.
AAMA/NWDOA 101/I.S. 2-97 H-R55*-36x62					
COMPANY AND PLANT LOCATION	CODE NO.	SERIES MODEL & PRODUCT DESCRIPTION	MAXIMUM SIZE TESTED		By Request
MI Windows & Doors, Inc. (Oldsmar, FL) MI Windows & Doors, Inc. (Smyrna, TN)	MTL-8 MTL-9	185/3185 SH (Fin) (AL)(O/P)(OG) (ASTM)	<u>FRAME</u> 3'0" x 5'2"	<u>SASH</u> 2'10" x 2'7"	

2. This Certification will expire May 14, 2008 and requires validation until then by continued listing in the current AAMA Certified Products Directory.

3. Product Tested and Reported by: Architectural Testing, Inc.

Report No.: 01-50360.02

Date of Report: June 14, 2004

NOTE: PLEASE REVIEW,  
AND ADVISE ALI IMMEDIATELY  
IF DATA, AS SHOWN, NEEDS  
CORRECTION.

Date: August 1, 2005

cc: AAMA  
JGS/dt  
ACP-04 (Rev. 5/03)

Validated for Certification:

Associated Laboratories, Inc.

Authorized for Certification:

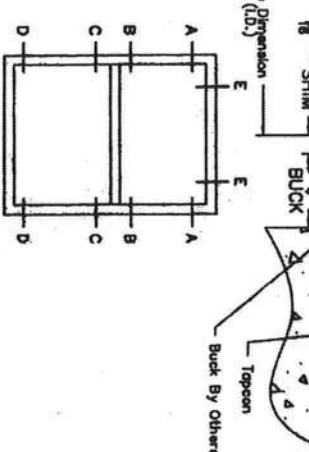
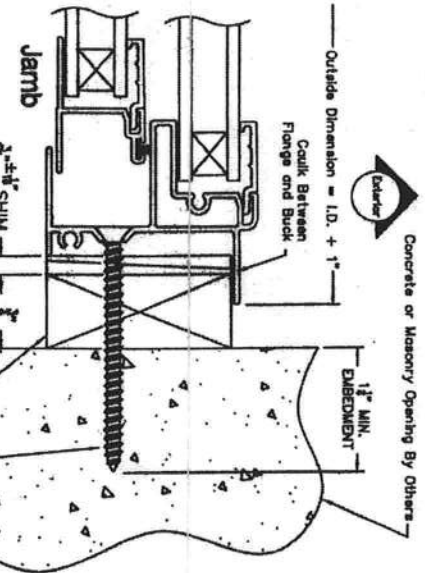
American Architectural Manufacturers Association

**TWO BY (1 1/2) BUCKS**

Follow the same instructions and fastener requirements

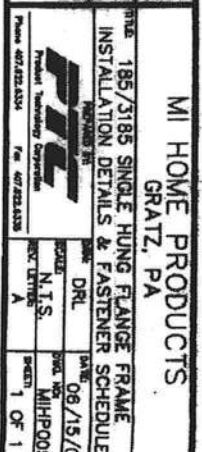
for one by bucks except use #10 screws or sufficient length for 1 1/4" minimum embedment into buck.

100



CODE		WINDOW ID SIZE	* TAPCON LOCATION CHART			
SIZE			FASTENER LOCATIONS			
			UP TO DP45	DP45.1 TO DP46	DP46.1 TO DP47	DP47.1 TO DP48.3
12	18	18 1/8 x 25	A D & E	A D & E	A D & E	A D & E
13	18 1/8	18 1/8 x 37 3/8	A D & E	A D & E	A D & E	A D & E
14	18 1/8	18 1/8 x 49 5/8	A D & E	A D & E	A D & E	A D & E
15	18 1/8	18 1/8 x 62	A D & E	A D & E	A D & E	A D & E
16	18 1/8	18 1/8 x 71	A D & E	A D & E	A D & E	A D & E
17	18 1/8	18 1/8 x 83	A D & E	A D & E	A D & E	A D & E
1/2 32	25 1/2	25 1/2 x 25	A D & E	A D & E	A D & E	A D & E
1/2 33	25 1/2	25 1/2 x 37 3/8	A D & E	A D & E	A D & E	A D & E
1/2 34	25 1/2	25 1/2 x 49 5/8	A D & E	A D & E	A D & E	A D & E
1/2 35	25 1/2	25 1/2 x 62	A D & E	A D & E	A D & E	A D & E
1/2 36	25 1/2	25 1/2 x 71	A D & E	A D & E	A D & E	A D & E
1/2 37	25 1/2	25 1/2 x 83	A D & E	A D & E	A D & E	A D & E
21	36 x 37 3/8	36 x 37 3/8	A D & E	A D & E	A D & E	A D & E
22	36 x 49 5/8	36 x 49 5/8	A D & E	A D & E	A D & E	A D & E
23	36 x 62	36 x 62	A D & E	A D & E	A D & E	A D & E
24	36 x 71	36 x 71	A D & E	A D & E	A D & E	A D & E
25	36 x 83	36 x 83	A D & E	A D & E	A D & E	A D & E
31	52 1/8	52 1/8 x 25	A D & E	A D & E	A D & E	A D & E
32	52 1/8	52 1/8 x 37 3/8	A D & E	A D & E	A D & E	A D & E
33	52 1/8	52 1/8 x 49 5/8	A D & E	A D & E	A D & E	A D & E
34	52 1/8	52 1/8 x 62	A D & E	A D & E	A D & E	A D & E
35	52 1/8	52 1/8 x 71	A D & E	A D & E	A D & E	A D & E
36	52 1/8	52 1/8 x 83	A D & E	A D & E	A D & E	A D & E
37	52 1/8	52 1/8 x 83	A D & E	A D & E	A D & E	A D & E
20 40	23 3/8	23 3/8 x 47 5/8	A D & E	A D & E	A D & E	A D & E
20 50	23 3/8	23 3/8 x 59 5/8	A D & E	A D & E	A D & E	A D & E
20 60	23 3/8	23 3/8 x 71 5/8	A D & E	A D & E	A D & E	A D & E
20 70	23 3/8	23 3/8 x 83 5/8	A D & E	A D & E	A D & E	A D & E
30 40	35 3/8	35 3/8 x 47 5/8	A D & E	A D & E	A D & E	A D & E
30 50	35 3/8	35 3/8 x 59 5/8	A D & E	A D & E	A D & E	A D & E
30 60	35 3/8	35 3/8 x 71 5/8	A D & E	A D & E	A D & E	A D & E
30 70	35 3/8	35 3/8 x 83 5/8	A D & E	A D & E	A D & E	A D & E
40 40	47 3/8	47 3/8 x 47 5/8	A D & E	A D & E	A D & E	A D & E
40 50	47 3/8	47 3/8 x 59 5/8	A D & E	A D & E	A D & E	A D & E
40 60	47 3/8	47 3/8 x 71 5/8	A D & E	A D & E	A D & E	A D & E
40 70	47 3/8	47 3/8 x 83 5/8	A D & E	A D & E	A D & E	A D & E
44 50	51 3/8	51 3/8 x 59 5/8	A D & E	A D & E	A D & E	A D & E
44 60	51 3/8	51 3/8 x 71 5/8	A D & E	A D & E	A D & E	A D & E
44 70	51 3/8	51 3/8 x 83 5/8	A D & E	A D & E	A D & E	A D & E

N.I.S.	MHP001
REV. 1/1/86	SHEET 1



GRATZ, PA

06/15/00 DRL

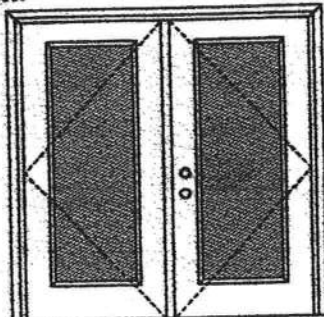
Model Technology Corporation	REV. 11/10/83
Phone 407-879-6114 Fax 407-879-6116	BEEN 1 CE 1



**XX**

Glazed Outswing Unit

COP-WL-JH4162-02

**WOOD-EDGE STEEL DOORS****APPROVED ARRANGEMENT:**

Double Door  
Maximum unit size = 6'0" x 6'8"

Design Pressure  
**+40.5/-40.5**

Limited water unless special threshold design is used.

Large Missile Impact Resistance

**Hurricane protective system (shutters) is REQUIRED.**

Actual design pressure and impact resistant requirements for a specific building design and geographic location is determined by ASCE 7-national, state or local building codes specify the edition required.

**Note:**

Units of other sizes are covered by this report as long as the panels used do not exceed 3'0" x 6'8".

**MINIMUM ASSEMBLY DETAIL:**

Compliance requires that minimum assembly details have been followed -- see MAD-WL-MA0012-02 and MAD-WL-MA0041-02.

**MINIMUM INSTALLATION DETAIL:**

Compliance requires that minimum installation details have been followed -- see MID-WL-MA0002-02.

**APPROVED DOOR STYLES:****1/4 GLASS:**

100 Series



133, 135 Series



116 Series



680 Series



822 Series

**1/2 GLASS:**

105 Series\*



106, 160 Series\*



129 Series\*



200 Series\*



12 RL, 23 RL, 24 RL Series\*



107 Series\*



108 Series



304 Series

\*This glass kit may also be used in the following door styles: 5-panel; 5-panel with scroll; Eyebrow 5-panel; Eyebrow 5-panel with scroll.

**Johnson**  
**EntrySystems**

March 29, 2002

Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

**PREMDOR** Collection  
Premium Quality Doors

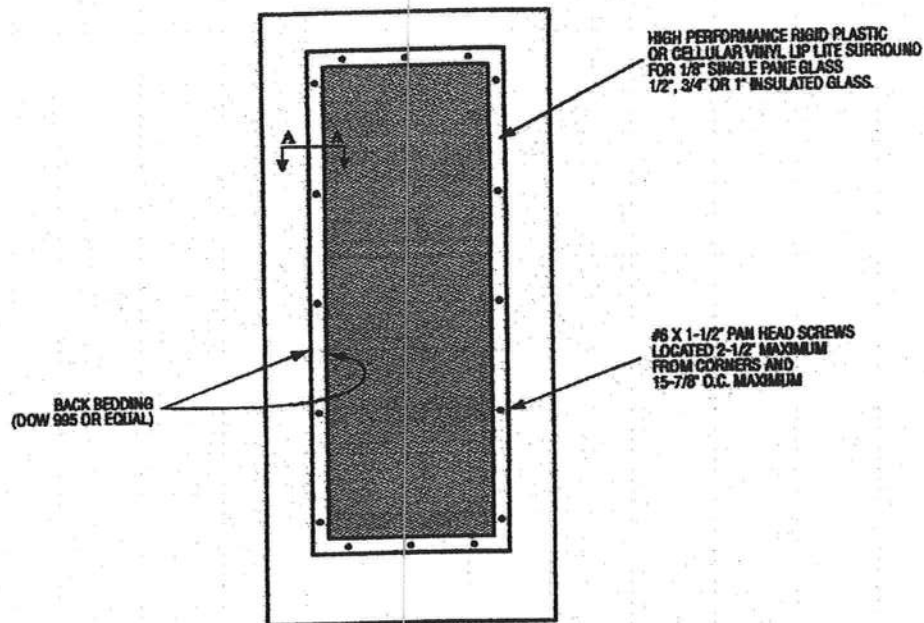


Exclusively from

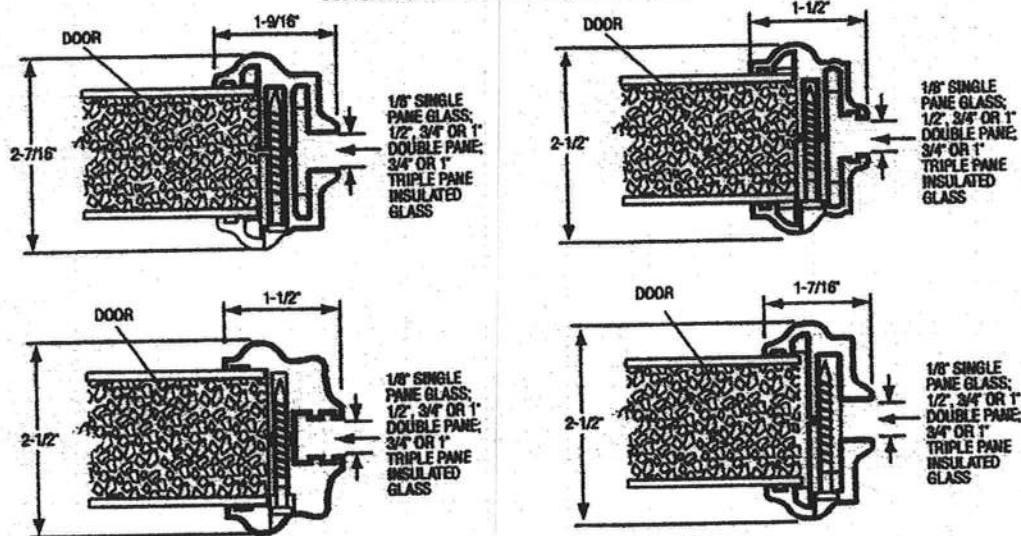
**Masonite**  
Masonite International Corporation

MAD-WL-MA0041-02

## GLASS INSERT IN DOOR OR SIDELITE PANEL



### SECTION A-A TYPICAL RIGID PLASTIC LIP LITE SURROUND



March 29, 2002  
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**PRENDOR** Collection  
Premium Quality Doors

Exclusively from  
**Masonite**  
Masonite International Corporation

**XX**

Glazed Outswing Unit

COP-WL-JH4162-02

**WOOD-EDGE STEEL DOORS****APPROVED DOOR STYLES:****3/4 GLASS:**

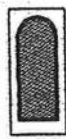
404 Series



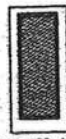
410 Series



450 Series

**FULL GLASS:**

108 Series

114, 120, 122  
Series

162 Series



149 Series



300 Series

**CERTIFIED TEST REPORTS:**

NCTL 210-1897-7, 8, 9, 10, 11, 12; NCTL 210-1864-5, 6, 7, 8; NCTL 210-2178-1, 2, 3

Certifying Engineer and License Number: Barry D. Portney, P.E. / 16258.

Unit Tested in Accordance with Miami-Dade BCCO PA202.

Evaluation report NCTL-210-2794-1

Door panels constructed from 26-gauge 0.017" thick steel skins. Both stiles constructed from wood. Top end rails constructed of 0.041" steel. Bottom end rails constructed of 0.021" steel. Interior cavity of slab filled with rigid polyurethane foam core. Slab glazed with insulated glass mounted in a rigid plastic lip lite surround.

Frame constructed of wood with an extruded aluminum bumper threshold.

**PRODUCT COMPLIANCE LABELING:**TESTED IN  
ACCORDANCE WITH  
MIAMI-DADE BCCO PA202COMPANY NAME  
CITY, STATE

To the best of my knowledge and ability the above side-hinged exterior door unit conforms to the requirements of the 2001 Florida Building Code, Chapter 17 (Structural Tests and Inspections).

State of Florida, Professional Engineer  
Kurt Balthazor, P.E. - License Number 56533**Johnson**  
**EntrySystems**

March 29, 2002

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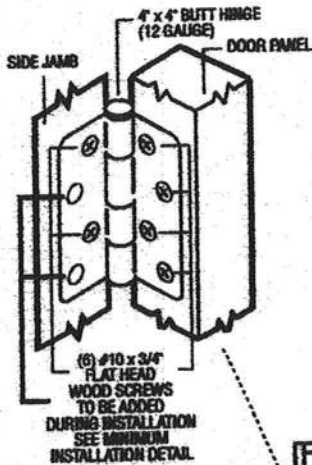
  
PREMDOR Collection  
Premium Quality DoorsExclusively from  
  
**Masonite**  
Masonite International Corporation

**XX**  
Unit

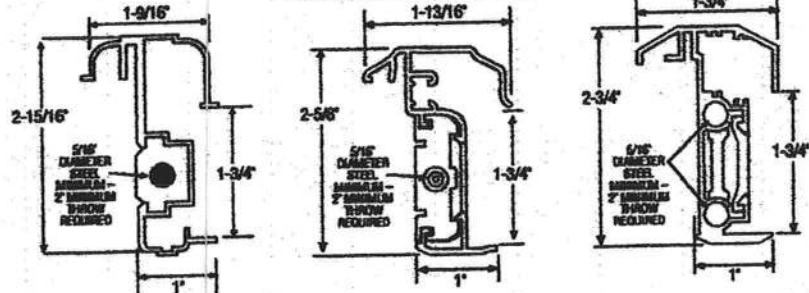
MAD-WL-MA0012-02

## OUTSWING UNITS WITH DOUBLE DOOR

### TYPICAL HINGE ATTACHMENT

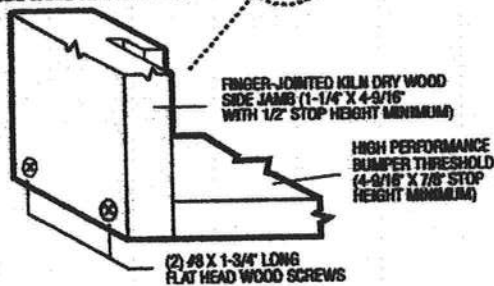


### TYPICAL ASTRAGAL PROFILES



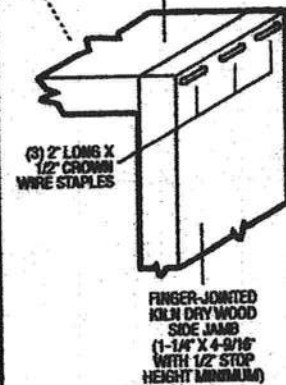
ALUMINUM EXTRUDED ASTRAGAL (0.06" MINIMUM WALL THICKNESS) WITH ADDED REINFORCEMENT INSERTS AT TOP EXTENSION BOLT, BOTTOM EXTENSION BOLT AND CYLINDRICAL/DEADBOLT LATCHING LOCATIONS. ATTACH WITH #8 X 1" PAN HEAD SCREWS - LOCATE 1" FROM EACH END MINIMUM AND 22" O.C. MAXIMUM.

### TYPICAL THRESHOLD & SIDE JAMB ATTACHMENT



### TYPICAL HEADER & SIDE JAMB ATTACHMENT

FINGER-JOINTED KILN DRY WOOD FRAME HEADER (1-1/4" X 4-9/16" WITH 1/2" STOP HEIGHT MINIMUM)



March 29, 2002  
Our continuing program of product improvement enters specifications, design and product details subject to change without notice.



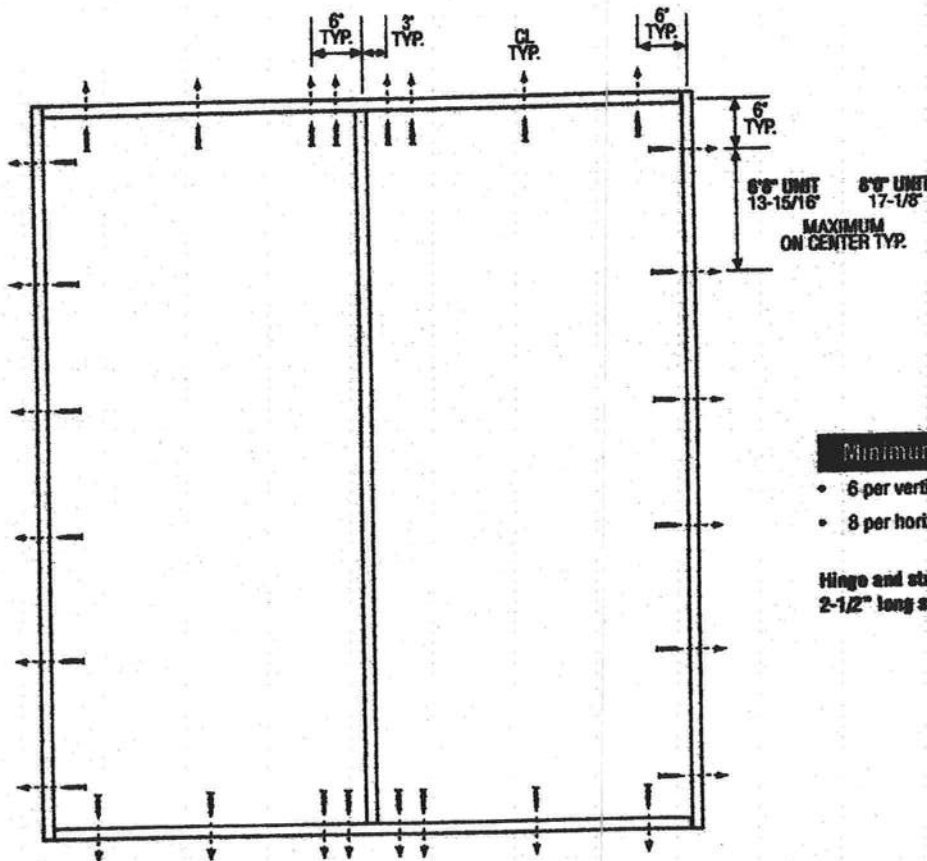
Exclusively from  
**Masonite**  
Masonite International Corporation



**XX**  
Unit

MID-WL-MA0002-02

## DOUBLE DOOR



### Minimum Fastener Count

- 6 per vertical framing member
- 8 per horizontal framing member

Hinge and strike plates require two 2-1/2" long screws per location.

### Latching Hardware:

- Compliance requires that GRADE 2 or better (ANSI/BHMA A156.2) cylindrical and deadlock hardware be installed.

### Notes:

1. Anchor calculations have been carried out with the lowest (least) fastener rating from the different fasteners being considered for use. Fasteners analyzed for this unit include #8 and #10 wood screws or 3/16" Tapcons.
2. The wood screw single shear design values come from Table 11.3A of ANSI/AF & PA NDS for southern pine lumber with a side member thickness of 1-1/4" and achievement of minimum embedment. The 3/16" Tapcon single shear design values come from the ITW and ELCO Dade County approvals respectively, each with minimum 1-1/4" embedment.
3. Wood bucks by others, must be anchored properly to transfer loads to the structure.

March 29, 2002  
Our continuing program of product improvement makes specifications,  
design and product detail subject to change without notice.



Exclusively from

**Masonite**

Masonite International Corporation

Shingle

# FLORIDA DEPARTMENT OF Community Affairs



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- ▶ HOUSING & COMMUNITY DEVELOPMENT
- ▶ EMERGENCY MANAGEMENT
- ▶ OFFICE OF THE SECRETARY

**FL #** FL1956-R1  
**Application Type** Revision  
**Code Version** 2004  
**Application Status** Approved  
**Comments**  
**Archived**

**Product Manufacturer**  
**Address/Phone/Email**

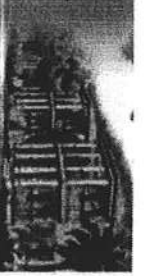
TAMKO Building Products, Inc.  
 PO Box 1404  
 Joplin, MO 64802  
 (800) 641-4691 ext 2394  
 fred\_oconnor@tamko.com

**Authorized Signature**

Frederick O'Connor  
 fred\_oconnor@tamko.com

**Technical Representative**  
**Address/Phone/Email**

Frederick J. O'Connor  
 PO Box 1404  
 Joplin, MO 64802  
 (800) 641-4691  
 fred\_oconnor@tamko.com



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Quality Assurance Representative  
Address/Phone/Email

Category  
Subcategory

Roofing  
Asphalt Shingles

Compliance Method

Certification Mark or Listing

Certification Agency

Underwriters Laboratories Inc.

Referenced Standard and Year (of  
Standard)

Standard  
ASTM D 3462

Year  
2001

Equivalence of Product Standards  
Certified By

Product Approval Method

Method 1 Option A

Date Submitted  
Date Validated  
Date Pending FBC Approval  
Date Approved

06/09/2005  
06/20/2005  
06/25/2005  
06/29/2005

#### Summary of Products

FL #	Model, Number or Name	Description
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slopes of 2:12 or greater. Not approved for use in HVHZ.

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[Next](#)

DCA Administration

**Department of Community Affairs  
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**Product Approval Accepts:**







Underwriters  
Laboratories Inc.®

June 17, 2005

Tamko Roofing Products  
Ms. Kerri Eden  
P.O. Box 1404  
220 W. 4<sup>th</sup> Street  
Joplin, MO 64802-1404

Our Reference: R2919

This is to confirm that "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage 50 AR", "Glass-Seal AR" manufactured at Tuscaloosa, AL and "Elite Glass-Seal AR", "Heritage 30 AR", "Heritage XL AR", "Heritage 50 AR" manufactured at Frederick, MD and "Heritage 30 AR", "Heritage XL AR", and "Heritage 50 AR" manufactured in Dallas, TX are UL Listed asphalt glass mat shingles and have been evaluated in accordance with ANSI/UL 790, Class A (ASTM E108), ASTM D3462, ASTM D3161 or UL 997 modified to 110 mph when secured with four nails.

Let me know if you have any further questions.

Very truly yours,

Alpesh Patel (Ext. 42522)  
Engineer Project  
Fire Protection Division

Reviewed by,

Randall K. Laymon (Ext. 42687)  
Engineer Sr Staff  
Fire Protection Division

Northbrook Division  
333 Franklin Road  
Northbrook, IL 60062-2006 USA  
www.ulf.com  
Tel: 1 847 272 6600

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4



# Application Instructions for • HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

THIS PRODUCT IS COVERED BY A LIMITED WARRANTY, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES.

**IMPORTANT:** It is not necessary to remove the plastic strip from the back of the shingles.

## 1. ROOF DECK

These shingles are for application to roof decks capable of receiving and retaining fasteners, and to inclines of not less than 2 in. per foot. For roofs having pitches 2 in. per foot to less than 4 in. per foot, refer to special instructions titled "Low Slope Application". Shingles must be applied properly. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

**NEW ROOF DECK CONSTRUCTION:** Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

**PLYWOOD:** All plywood shall be exterior grade as defined by the American Plywood Association. Plywood shall be a minimum of 3/8 in. thickness and applied in accordance with the recommendations of the American Plywood Association.

**SHEATHING BOARDS:** Boards shall be well-seasoned tongue-and-groove boards and not over 6 in. nominal width. Boards shall be a 1 in. nominal minimum thickness. Boards shall be properly spaced and nailed.

TAMKO does not recommend re-roofing over existing roof.

## 2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build up of heat in the summer. These conditions can lead to:

1. Vapor Condensation
2. Buckling of shingles due to deck movement.
3. Rotting of wood members.
4. Premature failure of roof.

To insure adequate ventilation and circulation of air, place louvers of sufficient size high in the gable ends and/or install continuous ridge and soffit vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented, or one square foot per 300 square feet if a vapor barrier is installed on the warm side of the ceiling or if at least one half of the ventilation is provided near the ridge. If the ventilation openings are screened, the total area should be doubled.

**IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.**

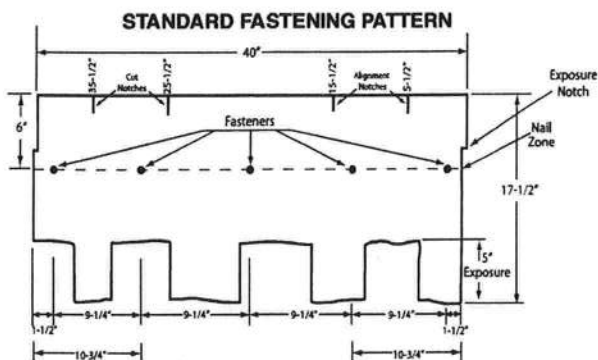
## 3. FASTENERS

**WIND CAUTION:** Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is recommended. Shingles must also be fastened according to the fastening instructions described below.

Correct placement of the fasteners is critical to the performance of the shingle. If the fasteners are not placed as shown in the diagram and described below, this will result in the termination of TAMKO's liabilities under the limited warranty. TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable miles per hour as stated in the limited warranty. See limited warranty for details.

**FASTENING PATTERNS:** Fasteners must be placed 6 in. from the top edge of the shingle located horizontally as follows:

**1) Standard Fastening Pattern.** (For use on decks with slopes 2 in. per foot to 21 in. per foot.) One fastener 1-1/2 in. back from each end, one 10-3/4 in. back from each end and one 20 in. from one end of the shingle for a total of 5 fasteners. (See standard fastening pattern illustrated below).



**2) Mansard or Steep Slope Fastening Pattern.** (For use on decks with slopes greater than 21 in. per foot.) Use standard nailing instructions with four additional nails placed 6 in. from the butt edge of the shingle making certain nails are covered by the next (successive) course of shingles.

(Continued)

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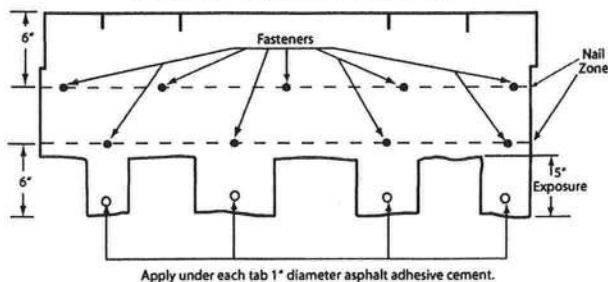


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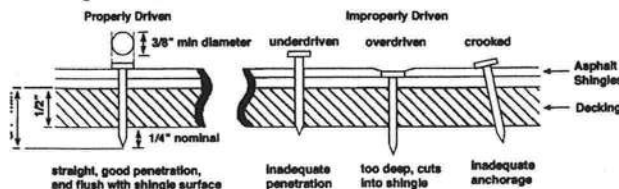
## • HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

Each shingle tab must be sealed underneath with quick setting asphalt adhesive cement immediately upon installation. Spots of cement must be equivalent in size to a \$.25 piece and applied to shingles with a 5 in. exposure, use 9 fasteners per shingle.

### MANSARD FASTENING PATTERN



**NAILS:** TAMKO recommends the use of nails as the preferred method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum head diameter of 3/8 in. Nails should be long enough to penetrate 3/4 in. into the roof deck. Where the deck is less than 3/4 in. thick, the nails should be long enough to penetrate completely through plywood decking and extend at least 1/8 in. through the roof deck. Drive nail head flush with the shingle surface.



### 4. UNDERLAYMENT

**UNDERLAYMENT:** An underlayment consisting of asphalt saturated felt must be applied over the entire deck before the installation of TAMKO shingles. Failure to add underlayment can cause premature failure of the shingles and leaks which are not covered by TAMKO's limited warranty. Apply the felt when the deck is dry. On roof decks 4 in. per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2 in. Where ends join, lap the felt 4 in. If left exposed, the underlayment felt may be adversely affected by moisture and weathering. Laying of the underlayment and the shingle application must be done together.

Products which are acceptable for use as underlayment are:

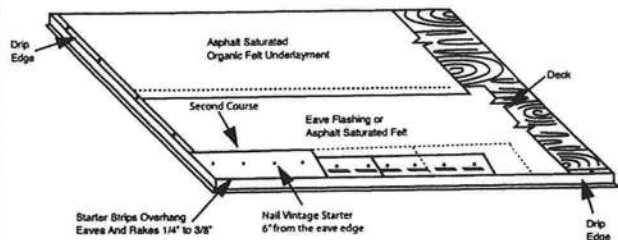
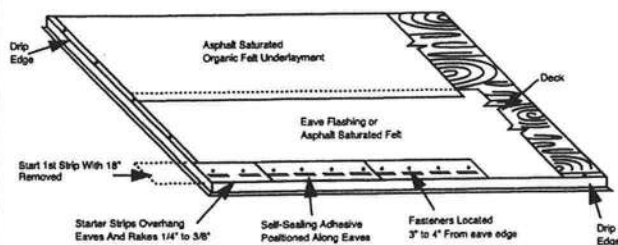
- TAMKO No. 15 Asphalt Saturated Organic Felt
- A non-perforated asphalt saturated organic felt which meets ASTM: D226, Type I or ASTM D4869, Type I
- Any TAMKO non-perforated asphalt saturated organic felt
- TAMKO TW Metal and Tile Underlayment, TW Underlayment and Moisture Guard Plus® (additional ventilation maybe required. Contact TAMKO's technical services department for more information)

In areas where ice builds up along the eaves or a back-up of water from frozen or clogged gutters is a potential problem, TAMKO's Moisture Guard Plus® waterproofing underlayment (or any specialty eaves flashing product) may be applied to eaves, rakes, ridges, valleys, around chimneys, skylights or dormers to help prevent water damage. Contact TAMKO's Technical Services Department for more information. TAMKO does not recommend the use of any substitute products as shingle underlayment.

### 5. APPLICATION INSTRUCTIONS

**STARTER COURSE:** Two starter course layers must be applied prior to application of Heritage Vintage AR Shingles.

The first starter course may consist of TAMKO Shingle Starter, three tab self-sealing type shingles or a 9 inch wide strip of mineral surface roll roofing. If three tab self-sealing shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. If using three tab self-sealing shingles or shingle starter, remove 18 in. from first shingle to offset the end joints of the Vintage Starter. Attach the first starter course with approved fasteners along a line parallel to and 3 in. to 4 in. above the eave edge. The starter course should overhang both the eave and rake edge 1/4 in. to 3/8 in. Over the first starter course, install Heritage Vintage Starter AR and begin at the left rake edge with a full size shingle and continue across the roof nailing the Heritage Vintage Starter AR along a line parallel to and 6 in. from the eave edge.



**Note:** Do not allow Vintage Starter AR joints to be visible between shingle tabs. Cutting of the starter may be required.

**HERITAGE VINTAGE STARTER AR**  
12 1/2" x 36" 20 PIECES PER BUNDLE  
60 LINEAL FT. PER BUNDLE

(Continued)

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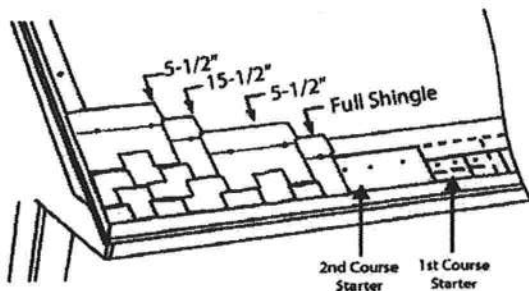
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0506

• **HERITAGE® VINTAGE™ AR** – Phillipsburg, KS  
**LAMINATED ASPHALT SHINGLES**

**SHINGLE APPLICATION:** Start the first course at the left rake edge with a full size shingle and overhang the rake edge 1/4 in. to 3/8 in.. To begin the second course, align the right side of the shingle with the 5-1/2 in. alignment notch on the first course shingle making sure to align the exposure notch. (See shingle illustration on next page) Cut the appropriate amount from the rake edge so the overhang is 1/4" to 3/8". For the third course, align the shingle with the 15-1/2 in. alignment notch at the top of the second course shingle, again being sure to align the exposure notch. Cut the appropriate amount from the rake edge. To begin the fourth course, align the shingle with the 5-1/2 in. alignment notch from the third course shingle while aligning the exposure notch. Cut the appropriate amount from the rake edge. Continue up the rake in as many rows as necessary using the same formula as outlined above. Cut pieces may be used to complete courses at the right side. As you work across the roof, install full size shingles taking care to align the exposure notches. Shingle joints should be no closer than 4 in.



**6. LOW SLOPE APPLICATION**

On pitches 2 in. per foot to 4 in. per foot cover the deck with two layers of underlayment. Begin by applying the underlayment in a 19 in. wide strip along the eaves and overhanging the drip edge by 1/4 to 3/4 in. Place a full 36 in. wide sheet over the 19 in. wide starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 19 in. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with plastic cement from eaves and rakes to a point of a least 24 in. inside the interior wall line of the building. As an alternative, TAMKO's Moisture Guard Plus self-adhering waterproofing underlayment may be used in lieu of the cemented felts.

**7. VALLEY APPLICATION**

TAMKO recommends an open valley construction with Heritage Vintage AR shingles.

To begin, center a sheet of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment in the valley.

After the underlayment has been secured, install the recommended corrosion resistant metal (26 gauge galvanized metal or an equivalent) in the valley. Secure the valley metal to the roof deck. Overlaps should be 12" and cemented.

Following valley metal application; a 9" to 12" wide strip of TAMKO Moisture Guard Plus, TW Underlayment or TW Metal & Tile Underlayment should be applied along the edges of the metal valley flashing (max. 6" onto metal valley flashing) and on top of the valley underlayment. The valley will be completed with shingle application.

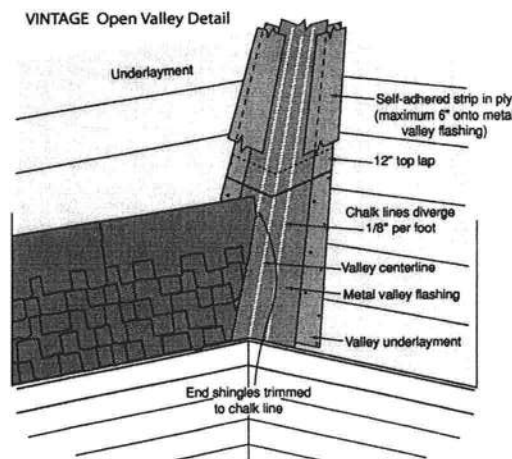
**SHINGLE APPLICATION INSTRUCTIONS (OPEN VALLEY)**

- Snap two chalk lines, one on each side of the valley centerline over the full length of the valley flashing. Locate the upper ends of the chalk lines 3" to either side of the valley centerline.
- The lower end should diverge from each other by 1/8" per foot. Thus, for an 8' long valley, the chalk lines should be 7" either side of the centerline at the eaves and for a 16' valley 8".

As shingles are applied toward the valley, trim the last shingle in each course to fit on the chalk line. Never use a shingle trimmed to less than 12" in length to finish a course running into a valley. If necessary, trim the adjacent shingle in the course to allow a longer portion to be used.

- Clip 1" from the upper corner of each shingle on a 45° angle to direct water into the valley and prevent it from penetrating between the courses.
- Form a tight seal by cementing the shingle to the valley lining with a 3" width of asphalt plastic cement (conforming to ASTM D 4586).

VINTAGE Open Valley Detail



**• CAUTION:**

Adhesive must be applied in smooth, thin, even layers.

Excessive use of adhesive will cause blistering to this product.

TAMKO assumes no responsibility for blistering.

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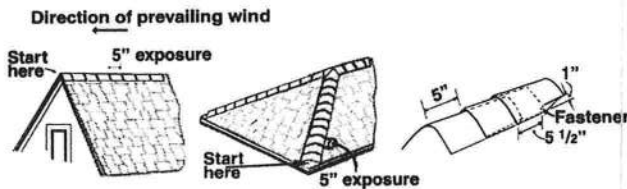
## • HERITAGE® VINTAGE™ AR – Phillipsburg, KS LAMINATED ASPHALT SHINGLES

### 8. HIP AND RIDGE FASTENING DETAIL

Apply the shingles with a 5 in. exposure beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. Secure each shingle with one fastener on each side, 5-1/2 in. back from the exposed end and 1 in. up from the edge. TAMKO recommends the use of TAMKO Heritage Vintage Hip & Ridge shingle products.

Fasteners should be 1/4 in. longer than the ones used for shingles.

IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLE IN COLD WEATHER.



THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR THE ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS, INC. ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER ROOFING DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS.

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05/06

# Residential System Sizing Calculation

## Summary

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

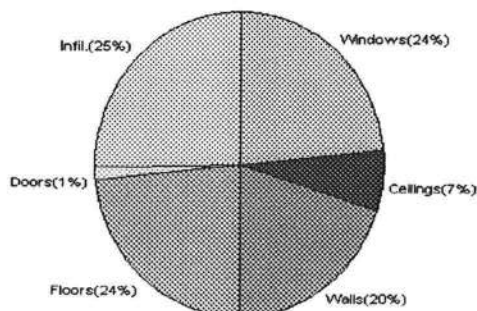
1/29/2008

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
<b>Total heating load calculation</b>	<b>38273 Btuh</b>	<b>Total cooling load calculation</b>	<b>27039 Btuh</b>
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	117.6 45000	Sensible (SHR = 0.75)	149.9 33750
Heat Pump + Auxiliary(0.0kW)	117.6 45000	Latent	248.3 11250
		Total (Electric Heat Pump)	166.4 45000

## WINTER CALCULATIONS

Winter Heating Load (for 2785 sqft)

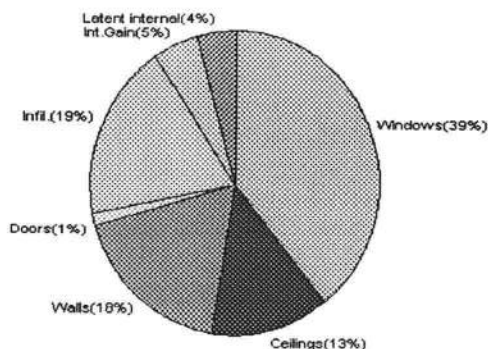
Load component	Load
Window total 280 sqft	9007 Btuh
Wall total 2319 sqft	7616 Btuh
Door total 40 sqft	518 Btuh
Ceiling total 2155 sqft	2539 Btuh
Floor total 207 sqft	9038 Btuh
Infiltration 236 cfm	9555 Btuh
Duct loss	0 Btuh
<b>Subtotal</b>	<b>38273 Btuh</b>
Ventilation 0 cfm	0 Btuh
<b>TOTAL HEAT LOSS</b>	<b>38273 Btuh</b>



## SUMMER CALCULATIONS

Summer Cooling Load (for 2785 sqft)

Load component	Load
Window total 280 sqft	10634 Btuh
Wall total 2319 sqft	4837 Btuh
Door total 40 sqft	392 Btuh
Ceiling total 2155 sqft	3569 Btuh
Floor total	0 Btuh
Infiltration 91 cfm	1696 Btuh
Internal gain	1380 Btuh
Duct gain	0 Btuh
Sens. Ventilation 0 cfm	0 Btuh
<b>Total sensible gain</b>	<b>22508 Btuh</b>
Latent gain(ducts)	0 Btuh
Latent gain(infiltration)	3331 Btuh
Latent gain(ventilation)	0 Btuh
Latent gain(internal/occupants/other)	1200 Btuh
<b>Total latent gain</b>	<b>4531 Btuh</b>
<b>TOTAL HEAT GAIN</b>	<b>27039 Btuh</b>



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EnergyGauge® System Sizing

PREPARED BY: *[Signature]*

DATE: 1-29-08

# System Sizing Calculations - Winter

## Residential Load - Whole House Component Details

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

1/29/2008

Component Loads for Whole House					
Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	N	30.0	32.2	966 Btuh
2	2, Clear, Metal, 0.87	N	9.0	32.2	290 Btuh
3	2, Clear, Metal, 0.87	NW	15.0	32.2	483 Btuh
4	2, Clear, Metal, 0.87	N	15.0	32.2	483 Btuh
5	2, Clear, Metal, 0.87	NE	15.0	32.2	483 Btuh
6	2, Clear, Metal, 0.87	E	15.0	32.2	483 Btuh
7	2, Clear, Metal, 0.87	SE	15.0	32.2	483 Btuh
8	2, Clear, Metal, 0.87	E	9.0	32.2	290 Btuh
9	2, Clear, Metal, 0.87	E	15.0	32.2	483 Btuh
10	2, Clear, Metal, 0.87	S	60.0	32.2	1931 Btuh
11	2, Clear, Metal, 0.87	S	15.8	32.2	509 Btuh
12	2, Clear, Metal, 0.87	W	30.0	32.2	966 Btuh
13	2, Clear, Metal, 0.87	SE	12.0	32.2	386 Btuh
14	2, Clear, Metal, 0.87	W	12.0	32.2	386 Btuh
15	2, Clear, Metal, 0.87	NW	12.0	32.2	386 Btuh
Window Total			280(sqft)		9007 Btuh
<b>Walls</b>	Type	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	2319	3.3	7616 Btuh
Wall Total			2319		7616 Btuh
<b>Doors</b>	Type		Area X	HTM=	Load
1	Insulated - Exterior		40	12.9	518 Btuh
Door Total			40		518Btuh
<b>Ceilings</b>	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic/D/Shin)	30.0	2155	1.2	2539 Btuh
Ceiling Total			2155		2539Btuh
<b>Floors</b>	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	207.0 ft(p)	43.7	9038 Btuh
Floor Total			207		9038 Btuh
Zone Envelope Subtotal:					28718 Btuh
<b>Infiltration</b>	Type	ACH X	Zone Volume	CFM=	
	Natural	0.88	16083	235.9	9555 Btuh
<b>Ductload</b>	Average sealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)				0 Btuh
<b>Zone #1</b>	Sensible Zone Subtotal				38273 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

1/29/2008

### WHOLE HOUSE TOTALS

	Subtotal Sensible	38273 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	38273 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(Frame types - metal, wood or insulated metal)

(U - Window U-Factor or 'DEF' for default)

(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )



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# System Sizing Calculations - Winter

## Residential Load - Room by Room Component Details

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F

1/29/2008

Component Loads for Zone #1: Main					
Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	N	30.0	32.2	966 Btuh
2	2, Clear, Metal, 0.87	N	9.0	32.2	290 Btuh
3	2, Clear, Metal, 0.87	NW	15.0	32.2	483 Btuh
4	2, Clear, Metal, 0.87	N	15.0	32.2	483 Btuh
5	2, Clear, Metal, 0.87	NE	15.0	32.2	483 Btuh
6	2, Clear, Metal, 0.87	E	15.0	32.2	483 Btuh
7	2, Clear, Metal, 0.87	SE	15.0	32.2	483 Btuh
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	Window Total		280(sqft)		9007 Btuh
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	Wall Total		2319		7616 Btuh
<b>Doors</b>	Type		Area X	HTM=	Load
1	Insulated - Exterior		40	12.9	518 Btuh
	Door Total		40		518Btuh
<b>Ceilings</b>	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic(D/Shin)	30.0	2155	1.2	2539 Btuh
	Ceiling Total		2155		2539Btuh
<b>Floors</b>	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	207.0 ft(p)	43.7	9038 Btuh
	Floor Total		207		9038 Btuh
	Zone Envelope Subtotal:				28718 Btuh
<b>Infiltration</b>	Type	ACH X	Zone Volume	CFM=	
	Natural	0.88	16083	235.9	9555 Btuh
<b>Ductload</b>	Average sealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)				0 Btuh
<b>Zone #1</b>	Sensible Zone Subtotal				38273 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

1/29/2008

### WHOLE HOUSE TOTALS

	Subtotal Sensible	38273 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	38273 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(Frame types - metal, wood or insulated metal)

(U - Window U-Factor or 'DEF' for default)

(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )



For Florida residences only

# System Sizing Calculations - Summer

## Residential Load - Whole House Component Details

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 17.0 F

1/29/2008

### Component Loads for Whole House

Window	Type*		Overhang		Window Area(sqft)			HTM		Load
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded	
1	2, Clear, 0.87, None,N,N	N	6ft.	6ft.	30.0	0.0	30.0	29	29	869 Btuh
2	2, Clear, 0.87, None,N,N	N	6ft.	4ft.	9.0	0.0	9.0	29	29	261 Btuh
3	2, Clear, 0.87, None,N,N	NW	6ft.	6ft.	15.0	0.0	15.0	29	60	901 Btuh
4	2, Clear, 0.87, None,N,N	N	4ft.	6ft.	15.0	0.0	15.0	29	29	434 Btuh
5	2, Clear, 0.87, None,N,N	NE	5ft.	6ft.	15.0	0.0	15.0	29	60	901 Btuh
6	2, Clear, 0.87, None,N,N	E	4ft.	6ft.	15.0	7.0	8.0	29	80	841 Btuh
7	2, Clear, 0.87, None,N,N	SE	6ft.	6ft.	15.0	15.0	0.0	29	63	434 Btuh
8	2, Clear, 0.87, None,N,N	E	8ft.	4ft.	9.0	9.0	0.0	29	80	261 Btuh
9	2, Clear, 0.87, None,N,N	E	8ft.	6ft.	15.0	15.0	0.0	29	80	434 Btuh
10	2, Clear, 0.87, None,N,N	S	8ft.	6ft.	60.0	60.0	0.0	29	34	1738 Btuh
11	2, Clear, 0.87, None,N,N	S	8ft.	7.75f	15.8	15.8	0.0	29	34	458 Btuh
12	2, Clear, 0.87, None,N,N	W	8ft.	6ft.	30.0	30.0	0.0	29	80	869 Btuh
13	2, Clear, 0.87, None,N,N	SE	1.5ft.	5ft.	12.0	4.6	7.4	29	63	597 Btuh
14	2, Clear, 0.87, None,N,N	W	1.5ft.	5ft.	12.0	0.7	11.3	29	80	917 Btuh
15	2, Clear, 0.87, None,N,N	NW	1.5ft.	5ft.	12.0	0.0	12.0	29	60	720 Btuh
Window Total					280 (sqft)					10634 Btuh
Walls 1	Type	R-Value/U-Value		Area(sqft)			HTM		Load	
	Frame - Wood - Ext	13.0/0.09		2319.2			2.1		4837 Btuh	
	Wall Total				2319 (sqft)					4837 Btuh
Doors 1	Type				Area (sqft)		HTM		Load	
	Insulated - Exterior				40.0		9.8		392 Btuh	
	Door Total				40 (sqft)				392 Btuh	
Ceilings 1	Type/Color/Surface	R-Value		Area(sqft)			HTM		Load	
	Vented Attic/DarkShingle	30.0		2155.0			1.7		3569 Btuh	
	Ceiling Total				2155 (sqft)					3569 Btuh
Floors 1	Type	R-Value		Size			HTM		Load	
	Slab On Grade	0.0		207 (ft(p))			0.0		0 Btuh	
	Floor Total				207.0 (sqft)					0 Btuh
	Zone Envelope Subtotal:								19432 Btuh	
Infiltration	Type	ACH		Volume(cuft)			CFM=		Load	
	SensibleNatural	0.34		16083			91.1		1696 Btuh	
Internal gain	Occupants			Btuh/occupant			Appliance		Load	
	6			X 230 +			0		1380 Btuh	
Duct load	Average sealed, R6.0, Supply(Attic), Return(Attic)							DGM = 0.00		0.0 Btuh
	Sensible Zone Load								22508 Btuh	

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

1/29/2008

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>22508 Btuh</b>
	Sensible Duct Load	0 Btuh
	<b>Total Sensible Zone Loads</b>	<b>22508 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>22508 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	3331 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4531 Btuh</b>
	<b>TOTAL GAIN</b>	<b>27039 Btuh</b>

\*Key: Window types (Pn - Number of panes of glass)  
(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
(U - Window U-Factor or 'DEF' for default)  
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))  
(ExSh - Exterior shading device: none(N) or numerical value)  
(BS - Insect screen: none(N), Full(F) or Half(H))  
(Ornt - compass orientation)



For Florida residences only



# System Sizing Calculations - Summer

## Residential Load - Room by Room Component Details

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 17.0 F

1/29/2008

### Component Loads for Zone #1: Main

Window	Type*		Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,N,N	N	6ft.	6ft.	30.0	0.0	30.0	29	29	869	Btuh
2	2, Clear, 0.87, None,N,N	N	6ft.	4ft.	9.0	0.0	9.0	29	29	261	Btuh
3	2, Clear, 0.87, None,N,N	NW	6ft.	6ft.	15.0	0.0	15.0	29	60	901	Btuh
4	2, Clear, 0.87, None,N,N	N	4ft.	6ft.	15.0	0.0	15.0	29	29	434	Btuh
5	2, Clear, 0.87, None,N,N	NE	5ft.	6ft.	15.0	0.0	15.0	29	60	901	Btuh
6	2, Clear, 0.87, None,N,N	E	4ft.	6ft.	15.0	7.0	8.0	29	80	841	Btuh
7	2, Clear, 0.87, None,N,N	SE	6ft.	6ft.	15.0	15.0	0.0	29	63	434	Btuh
8	2, Clear, 0.87, None,N,N	E	8ft.	4ft.	9.0	9.0	0.0	29	80	261	Btuh
9	2, Clear, 0.87, None,N,N	E	8ft.	6ft.	15.0	15.0	0.0	29	80	434	Btuh
10	2, Clear, 0.87, None,N,N	S	8ft.	6ft.	60.0	60.0	0.0	29	34	1738	Btuh
11	2, Clear, 0.87, None,N,N	S	8ft.	7.75f	15.8	15.8	0.0	29	34	458	Btuh
12	2, Clear, 0.87, None,N,N	W	8ft.	6ft.	30.0	30.0	0.0	29	80	869	Btuh
13	2, Clear, 0.87, None,N,N	SE	1.5ft.	5ft.	12.0	4.6	7.4	29	63	597	Btuh
14	2, Clear, 0.87, None,N,N	W	1.5ft.	5ft.	12.0	0.7	11.3	29	80	917	Btuh
15	2, Clear, 0.87, None,N,N	NW	1.5ft.	5ft.	12.0	0.0	12.0	29	60	720	Btuh
	Window Total				280 (sqft)					10634 Btuh	
Walls 1	Type	R-Value/U-Value		Area(sqft)			HTM		Load		
	Frame - Wood - Ext	13.0/0.09		2319.2			2.1		4837 Btuh		
	Wall Total				2319 (sqft)					4837 Btuh	
Doors 1	Type				Area (sqft)			HTM		Load	
	Insulated - Exterior				40.0			9.8		392 Btuh	
	Door Total				40 (sqft)					392 Btuh	
Ceilings 1	Type/Color/Surface	R-Value		Area(sqft)			HTM		Load		
	Vented Attic/DarkShingle	30.0		2155.0			1.7		3569 Btuh		
	Ceiling Total				2155 (sqft)					3569 Btuh	
Floors 1	Type	R-Value		Size			HTM		Load		
	Slab On Grade	0.0		207 (ft(p))			0.0		0 Btuh		
	Floor Total				207.0 (sqft)					0 Btuh	
	Zone Envelope Subtotal:								19432 Btuh		
Infiltration	Type	ACH		Volume(cuft)			CFM=		Load		
	SensibleNatural	0.34		16083			91.1		1696 Btuh		
Internal gain	Occupants		Btuh/occupant			Appliance		Load			
	6		X 230 +			0		1380 Btuh			
Duct load	Average sealed, R6.0, Supply(Attic), Return(Attic)							DGM = 0.00		0.0 Btuh	
	Sensible Zone Load								22508 Btuh		

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

Class 3 Rating  
Registration No. 0  
Climate: North

1/29/2008

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>22508 Btuh</b>
	Sensible Duct Load	0 Btuh
	<b>Total Sensible Zone Loads</b>	<b>22508 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>22508 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	3331 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4531 Btuh</b>
	<b>TOTAL GAIN</b>	<b>27039 Btuh</b>

\*Key: Window types (Pn - Number of panes of glass)  
(SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
(U - Window U-Factor or 'DEF' for default)  
(InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))  
(ExSh - Exterior shading device: none(N) or numerical value)  
(BS - Insect screen: none(N), Full(F) or Half(H))  
(Ornt - compass orientation)



For Florida residences only

# Residential Window Diversity

## MidSummer

Petersen Tim & Sara  
SW State Road 47  
Lake City, FL

Project Title:  
712103PetersenTim&Sara

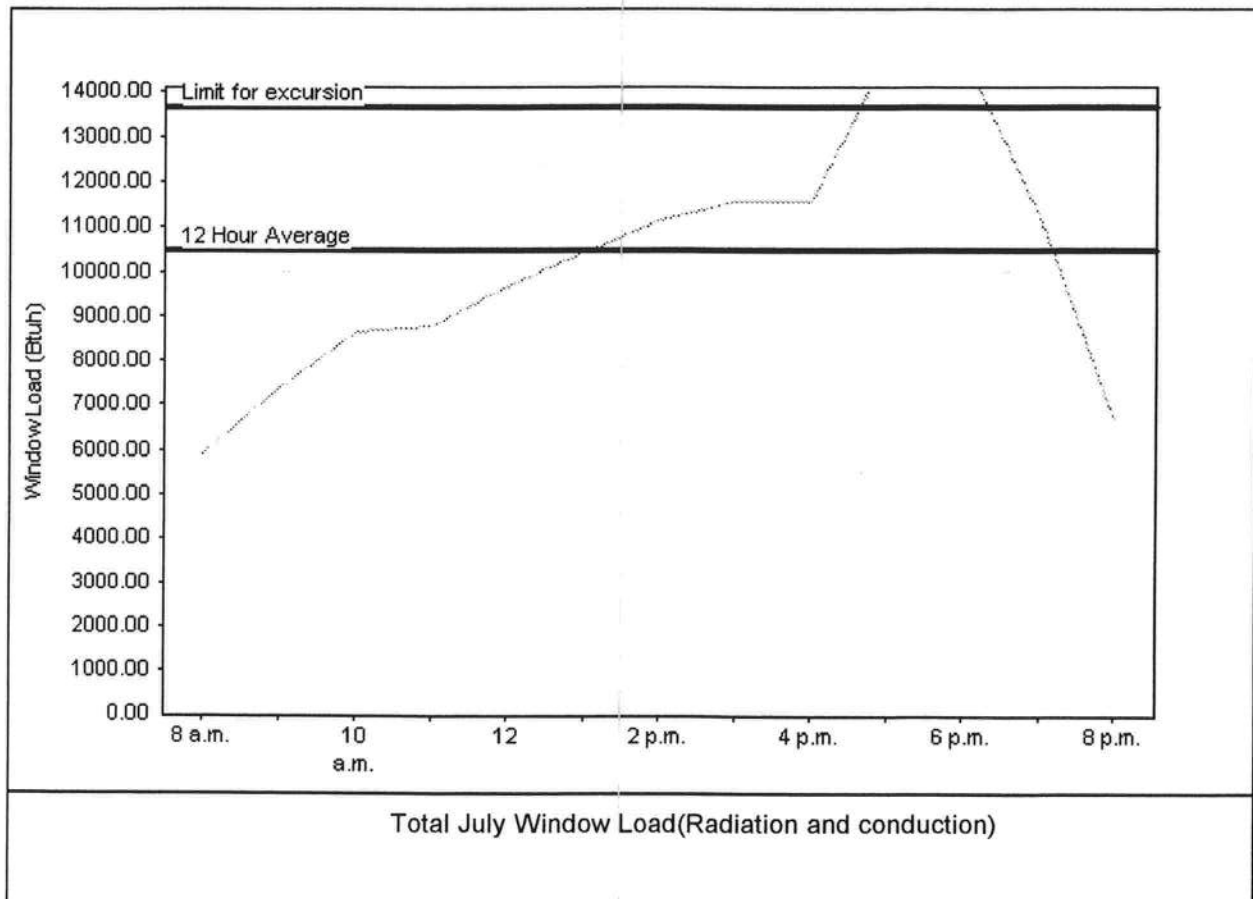
Class 3 Rating  
Registration No. 0  
Climate: North

1/29/2008

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	10490 Btu
Summer setpoint	75 F	Peak window load for July	14846 Btu
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	13637 Btu
Latitude	29 North	Window excursion (July)	1209 Btuh

### WINDOW Average and Peak Loads



Warning: This application has glass areas that produce relatively large heat gains for part of the day. Variable air volume devices may be required to overcome spikes in solar gain for one or more rooms. A zoned system may be required or some rooms may require zone control.

EnergyGauge® System Sizing for Florida residences only

PREPARED BY: *[Signature]*

DATE: *1-29-08*

EnergyGauge® FLR2PB v4.1

