

HOUSE CRAFT HOMES, LLC  
12501 US Hwy 441 Alachua, FL 32615 Office: 386-462-5323 Fax: 888-769-0105  
CGC 1516998

NAME: Miranda MODEL: Glichist

**Kitchen Cabinets Uppers [VIP 42"]**  
Other: Cambridge Alpine white 42" upper  
**Kitchen Countertops**  
Granite Color: # 1  
**Master Bath Vanity [VIP 36"]**  
Other: Cambridge Alpine white 36"  
**Master Bath Countertops**  
Granite Color: # 1  
**Master Toilet:** White  
**Master Shower:** Tile Acrylic  
Wall Tile Color: 1x2 CT 76  
Wall Grout Color: Debrean Gray #165  
Floor Tile Color: No  
Floor Grout Color: No  
Floor Laminate Color: Galveston Oak  
**Bath 2 Vanity [VIP standard 36"]**  
Other: Cambridge Alpine White 36"  
**Bath 2 Countertops**  
Granite Color: # 1  
**Bath 2 Toilet:** White Bone  
**Bath 2 Tub:** Acrylic Shower/seat: White  
**Bath 2 Bath:** No  
Wall Tile Color: No  
Floor Tile Color: Galveston Oak  
Allowance \$3.50 per sq. foot includes  
**Paint** One Color Throughout: Interior White  
Interior Walls: Grayish HESW 2447 Semi-gloss  
Interior Trim: Bright White semi-gloss  
**Flooring**  
Carpet (one color throughout) or Laminate or Tile  
Master Bedroom: Galveston Oak  
Utility Room: Galveston Oak  
Great Room: Galveston Oak  
Other: All flooring  
**Interior Doors** (standard choices) & Hardware (standard choices)  
Convado 2 panel square smooth  
Hardware: Satin Nickel

**Trim**  
5 1/4 Base Boards  
**Exterior Doors**  
Front Door color: A-Glenda 84 as per elevation peep hole standard  
Back Door: Standard 66 as per elevation  
Side: 66 panel  
French Doors: yes, with blinds  
All doors white  
**Windows:** Standard white (colonial style in front only)  
Bath Window: Clear  
**Appliances:** (standard GE or equivalent)  
Refrigerator: Standard  
Stove: Standard  
Dishwasher: Standard  
Customer to take credit: Yes - owner take credit  
**Exterior Dryvit**  
Main House Color: Gull Gray #131  
Trim Color: China Shite #310  
**Roof HVO Shingles**  
Roof Color: Standard  
**Soffit:** White  
  
\*\*Any changes after final plans are printed are \$250 to cover additional costs  
  
Allowances in Contract:  
\$10,000 well & septic allowance  
Additional Notes to Dan Harrington  
H/C to install microwave no charge  
Plumber satin nickel fixtures  
Subcontractors call owner - 407-931-1580 home - 407-301-6895 - cell  
While parties call owner to locate phone and TV jacks  
Owner to provide address  
AC man call owner to go over location of return filter

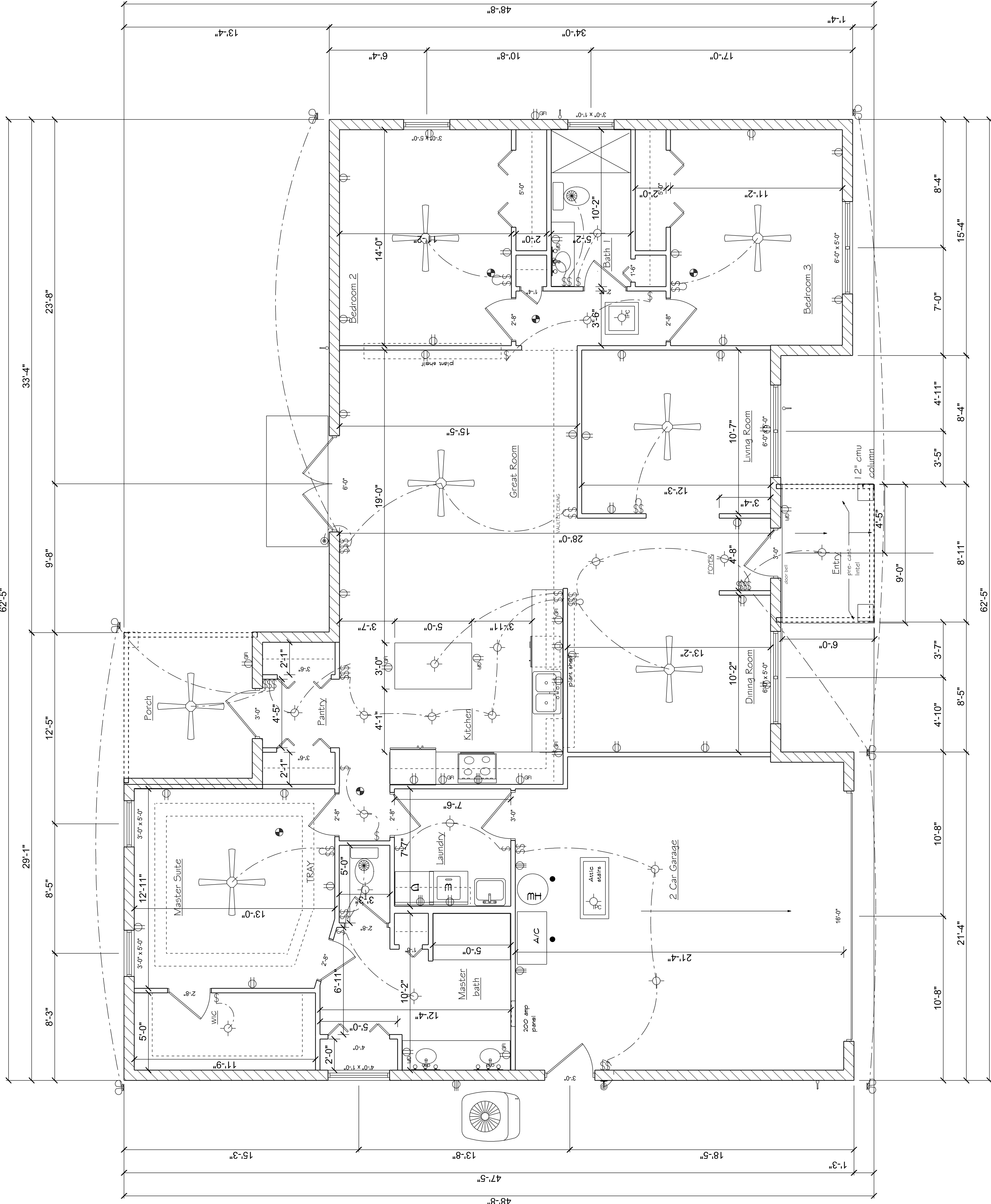
Electrical symbols	
⚡	Single pole switch
⚡	dimmer switch
⚡	3 way switch
⚡	110 amp outlet tamper resistant
⚡	220 OUTLET
⚡	GFI outlet
⚡	switched outlet
⚡	std overhead light
⚡	recessed light
⚡	light / exhaust fan 80 cfm
⚡	wall mount light fixture
⚡	std overhead light
⚡	double flood light
⚡	track bar light
⚡	vanity bar light
⚡	fluorescent light
ceiling fan-light	
☼	smoke/ carbon monoxide detector
📶	phone outlet
📺	tv outlet
🌡️	THERMOSTAT

UNDERGROUND POWER

SQUARE FOOTAGE	
LIVING AREA	1850
ENTRY	54
REAR PORCH	79
GARAGE	460
TOTAL	2443

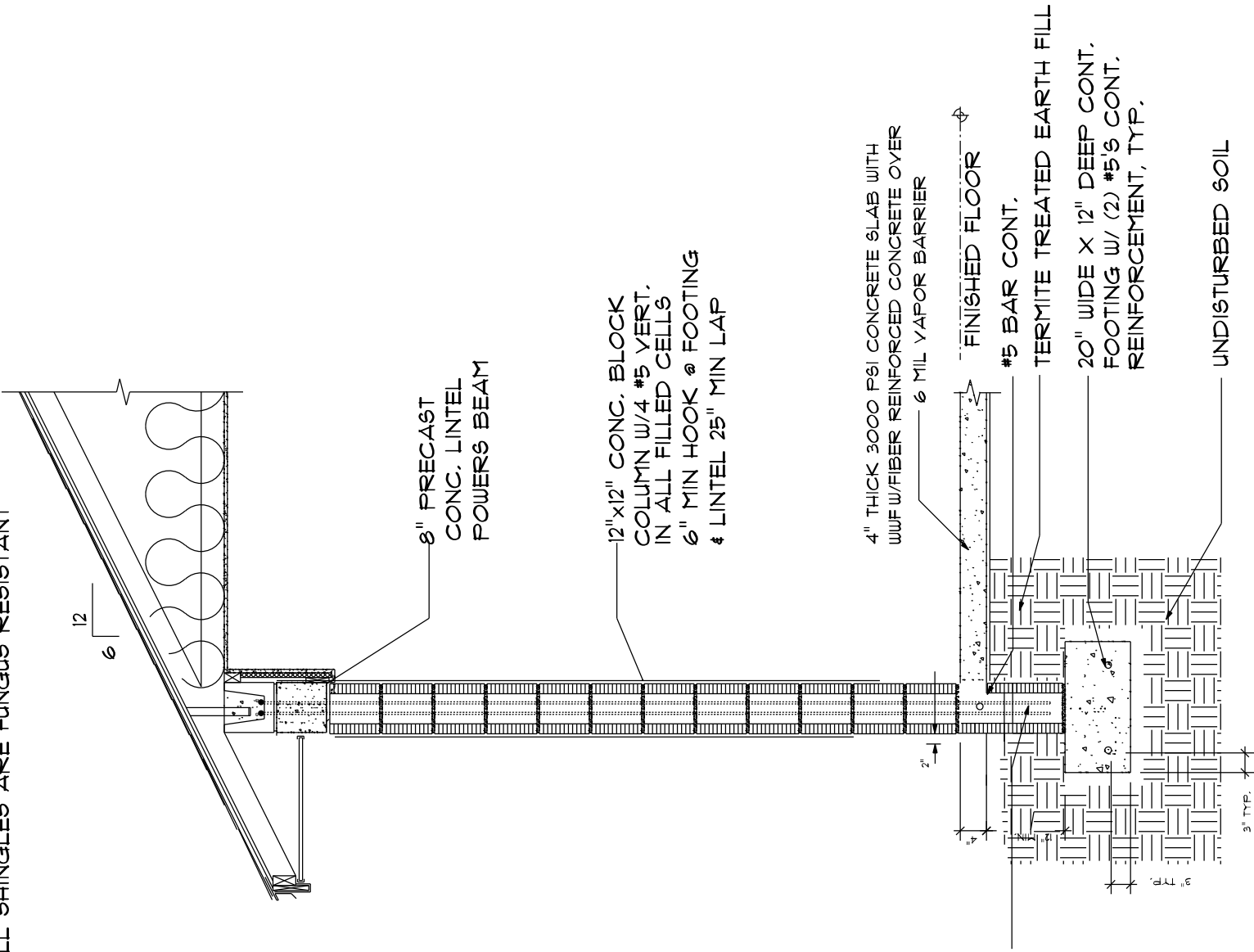
DESIGN CRITERIA	
ULTIMATE WIND SPEED:	130
NOMINAL WIND SPEED:	101
WIND EXPOSURE CATEGORY:	B
RISK CATEGORY	11
INTERIOR PRESSURE COEFFICIENT OR Gcpi=	+/- 0.18
ASSUMED DESIGN LOAD BEARING VALUE OF SOIL	1,500 PSF
FLOOR LIVE LOAD	40 PSF
ROOF LIVE LOAD	20 PSF

1. THIS RESIDENCE SHALL BE CONSTRUCTED IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE 2020 7TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
3. ALL AREAS EXCEPT WHERE GFI RECEPTICALS ARE REQUIRED RECEPTICALS SHALL BE ARC FAULT
4. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR
5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING
6. SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMULTANIOUS WITH BATTERY BACKUP.

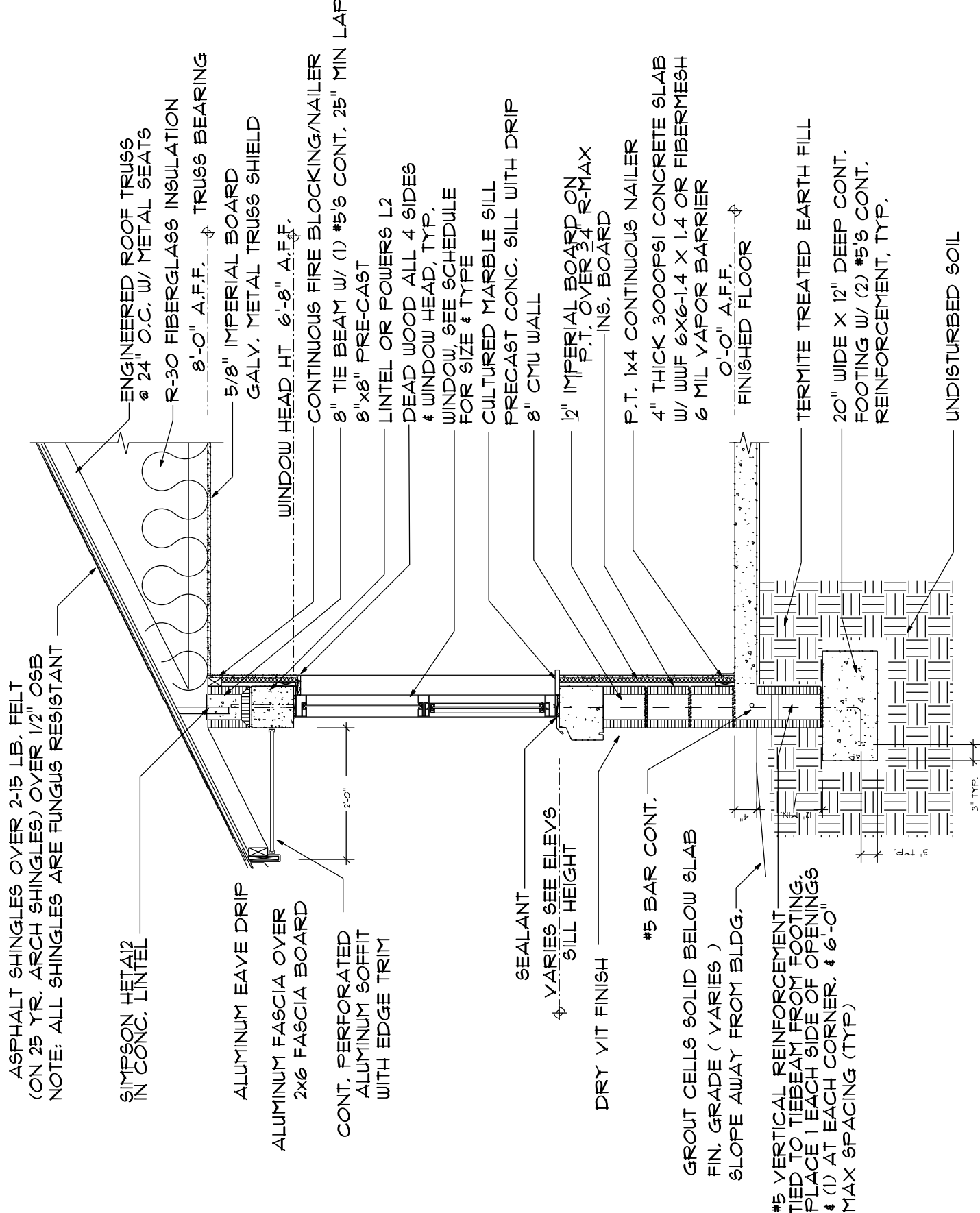


FLOOR PLAN VIEW

ASPHALT SHINGLES OVER 2-15 LB. FELT  
(ON 25 YR. ARCH SHINGLES) OVER 1/2" OSB  
NOTE: ALL SHINGLES ARE FUNGUS RESISTANT



WALL SECTION 2

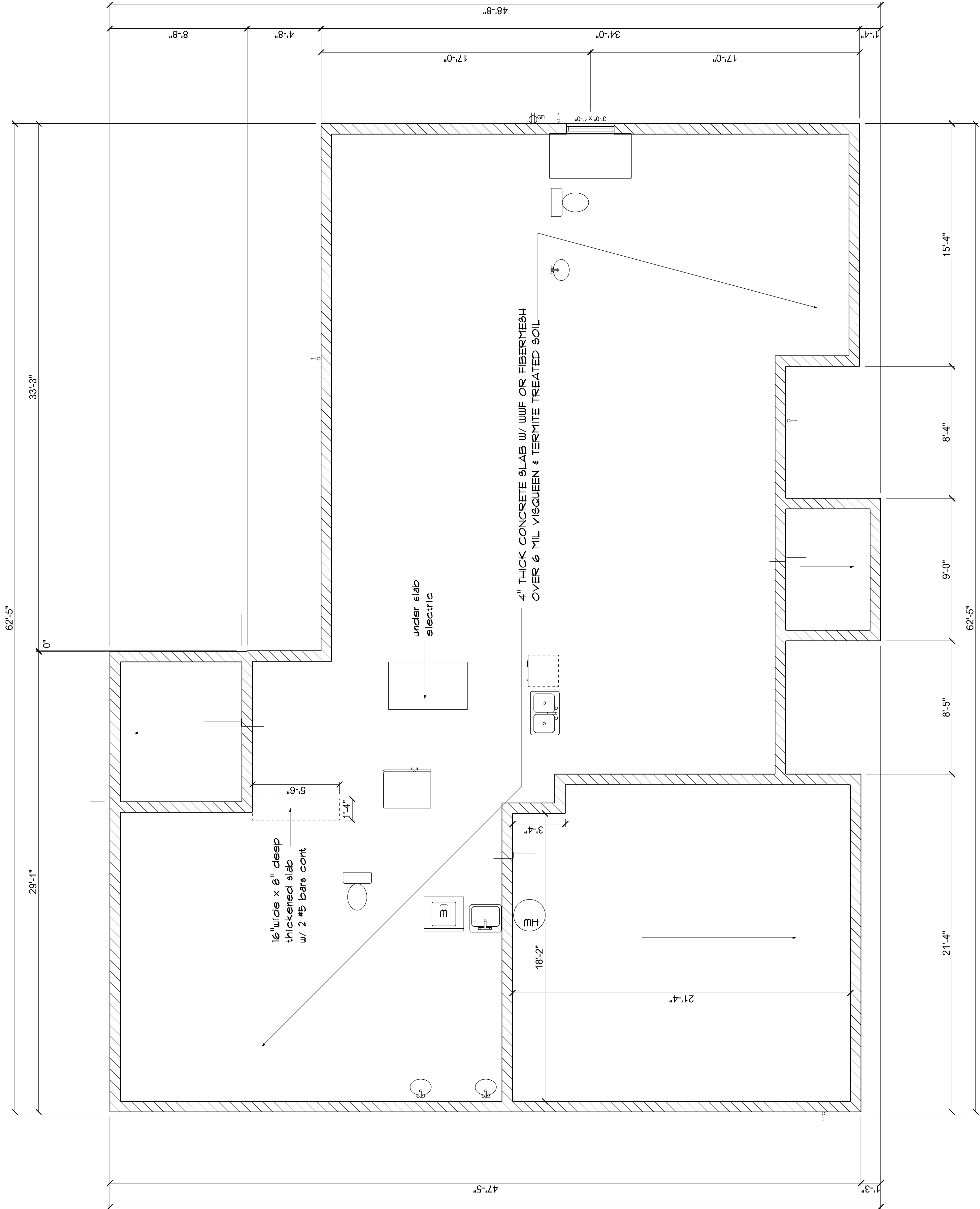


WALL SECTION 1

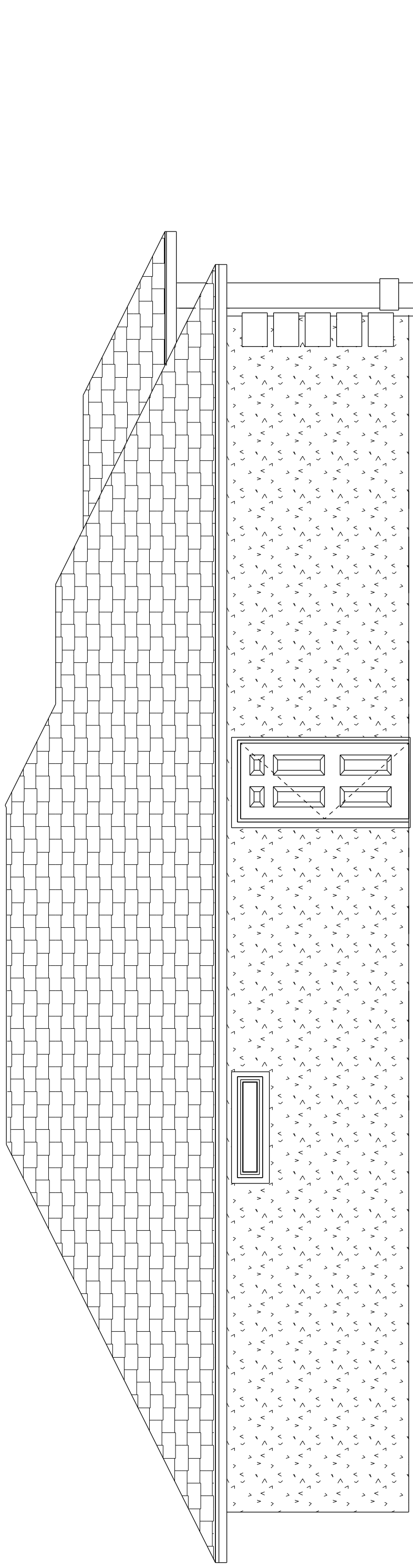
Concrete Construction Notes	
1.	Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI-318) and "Specifications for Structural Concrete" (ACI-301), Latest Edition.
2.	Concrete mix shall conform to the following specifications. All concrete mixes shall contain a water-reducing admixture conforming to ASTM C-494. Air-entraining admixture shall conform to ASTM C-260.
CONCRETE MIX A	
Ultimate Compressive Strength @ 28 days	3,000 PSI
Slump Range	4" +/- 1"
Maximum Aggregate Size	1"
Entrained Air	None
Dry Weight per Cubic Foot	150 #
3.	All concrete shall be cured for a minimum of 28 days. If forms for vertical surfaces are removed prior to the end of the curing period, spray surfaces with liquid membrane curing compound.
4.	Reinforcing steel shall conform to ASTM A615, Grade 40 (Fy=40 ksi). Lap continuous bars for tension lap splice per ACI-318, unless otherwise noted. Provide 20" wide x 1/2" deep cont. footing w/ (2) #5 cont. reinforcement, TYP.
5.	Welded wire fabric (WUF) shall conform to ASTM A185. Lap sheets two mesh spaces and wire tie adjacent sheets together securely. Cut alternate reinforcement at control joints.
6.	All slabs on grade shall have construction or control joints not to exceed 10' - 0" spacing, unless otherwise noted.
7.	Electrical conduit and other pipes to be embedded in structural concrete floor slabs or walls shall be placed in accordance with the requirements of ACI-318, Paragraph 6.3.

Masonry Construction Notes

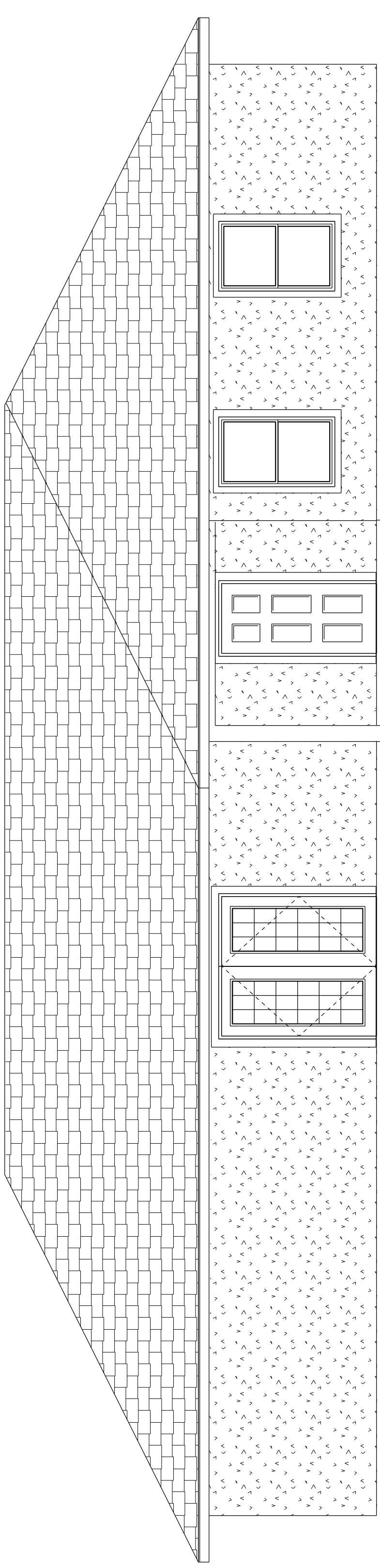
- Concrete masonry work shall conform to "Building Code Requirements for Masonry Structures" (ACI 530-02/ASCE5-02) and "Specifications for Masonry Structures" (ACI 530.1-02/ASCE6-02).
- Concrete masonry units shall be Type 1 and comply with "Standard Specifications for Hollow Load-Bearing Concrete Masonry Units" (ASTM C90-90).
- The minimum net area compressive strength of masonry (f<sub>m</sub>), as determined by the unit strength method, shall be 1500 psi.
- Mortar shall conform to ASTM C270. Type M Mortar shall be used unless otherwise noted. Type S Mortar shall be used with masonry in contact with earth.
- Masonry column reinforcement shall have #2 ties in the bed joints at 8" oc, unless otherwise noted.
- Grout for filling block cores and bond beams shall have a minimum compressive strength (f<sub>c</sub>) of 3,000 psi at the age of 28 days.



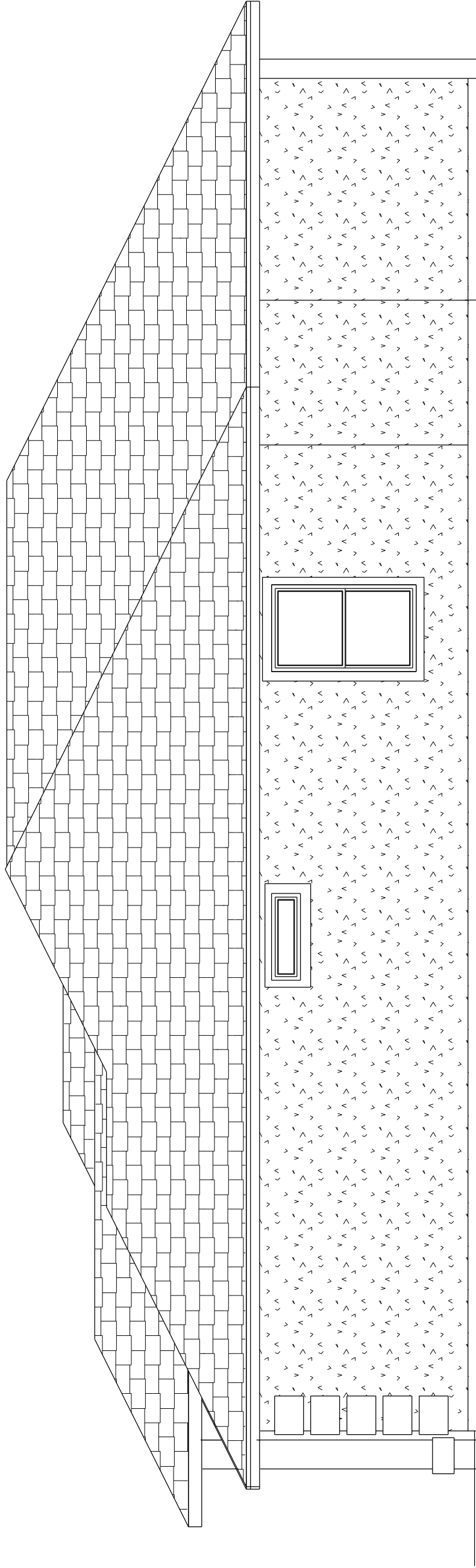
FOUNDATION PLAN VIEW



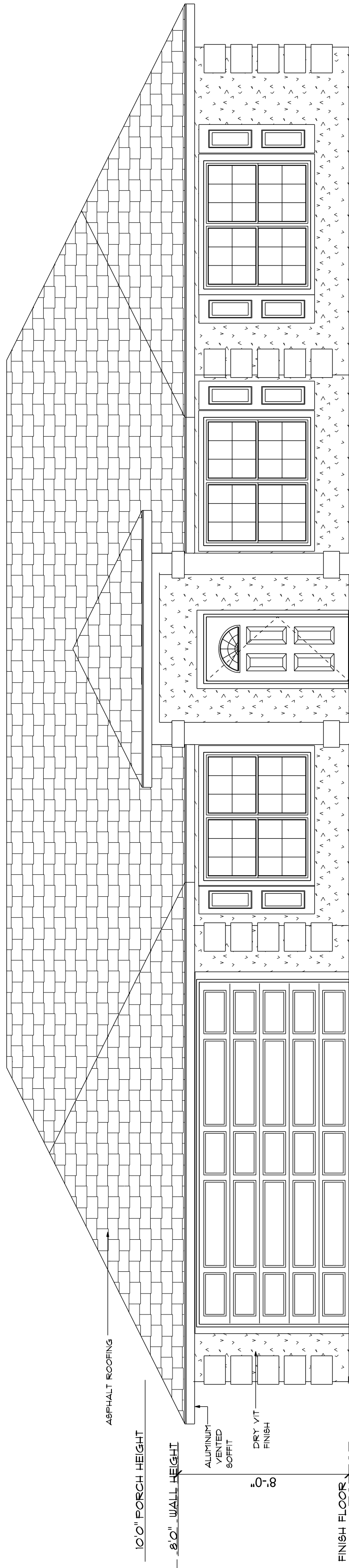
LEFT ELEVATION



REAR ELEVATION



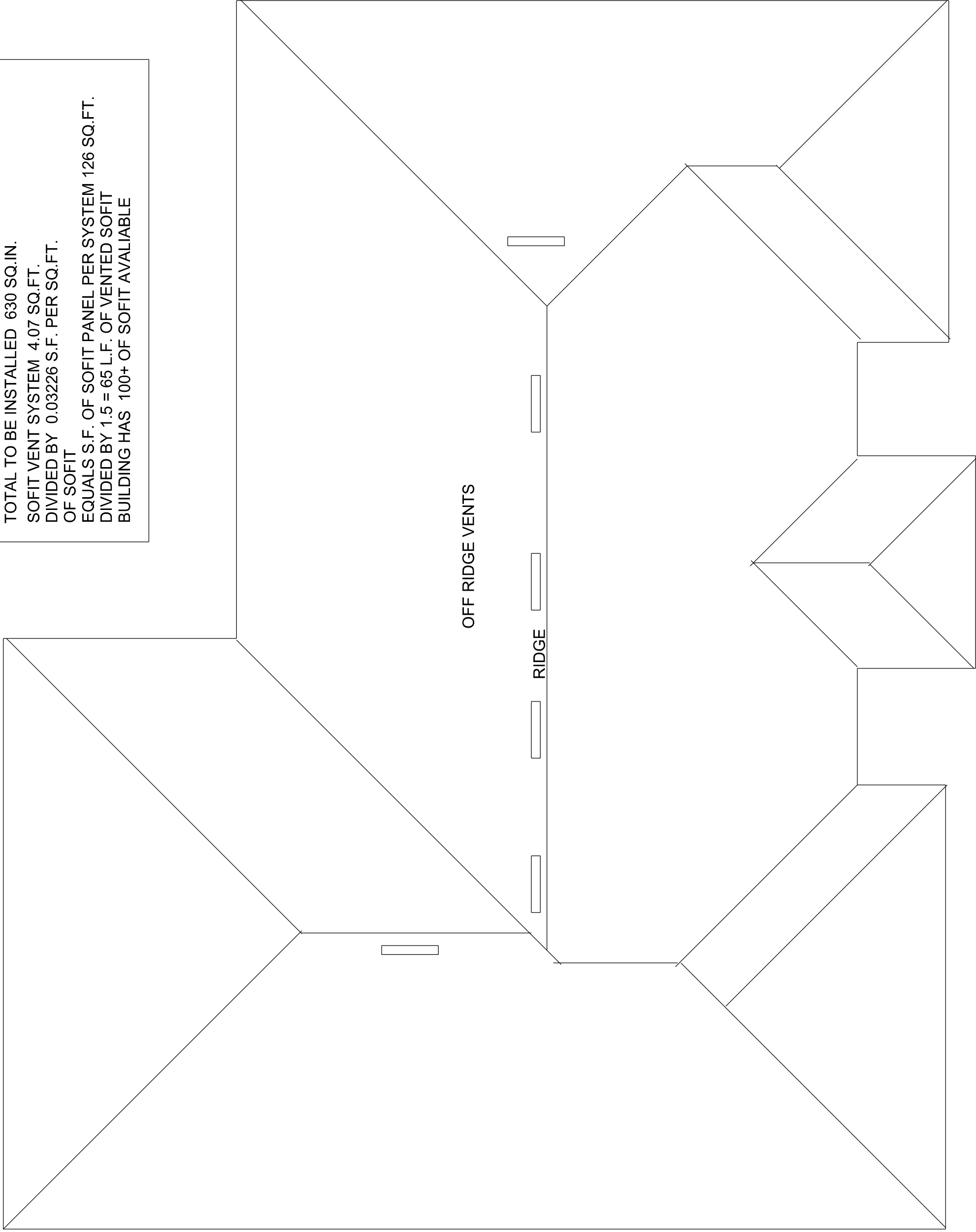
RIGHT ELEVATION



FRONT ELEVATION

VENTILATION

SQ.FT. OF NEW CEILING 2443 / 300 = 8.14 SQ.FT.  
NET FREE AREA / 2 = 4.07 SQ.FT. VENT SYSTEM  
REQUIRED  
EQUALS 586 SQ. IN.  
6 OFF RIDGE VENTS = 630 SQ. IN.  
TOTAL TO BE INSTALLED 630 SQ. IN.  
SOFT VENT SYSTEM 4.07 SQ.FT.  
DIVIDED BY .003226 S.F. PER SQ.FT.  
EQUALS S.F. OF SOFT PANEL PER SYSTEM 126 SQ.FT.  
DIVIDED BY 1.5 = 85 L.F. OF VENTED SOFT  
BUILDING HAS 100+ OF SOFT AVAILABLE



ROOF PLAN

ASPHALT ROOFING  
100' PORCH HEIGHT  
80' WALL HEIGHT  
ALUMINUM VENTED SOFT  
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PROFESSIONAL SERVICES BY  
DRISCOLL ENGINEERING, INC.  
PO BOX 357577  
GAINESVILLE, FL 32609  
PH (352)-331-1513  
CA 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

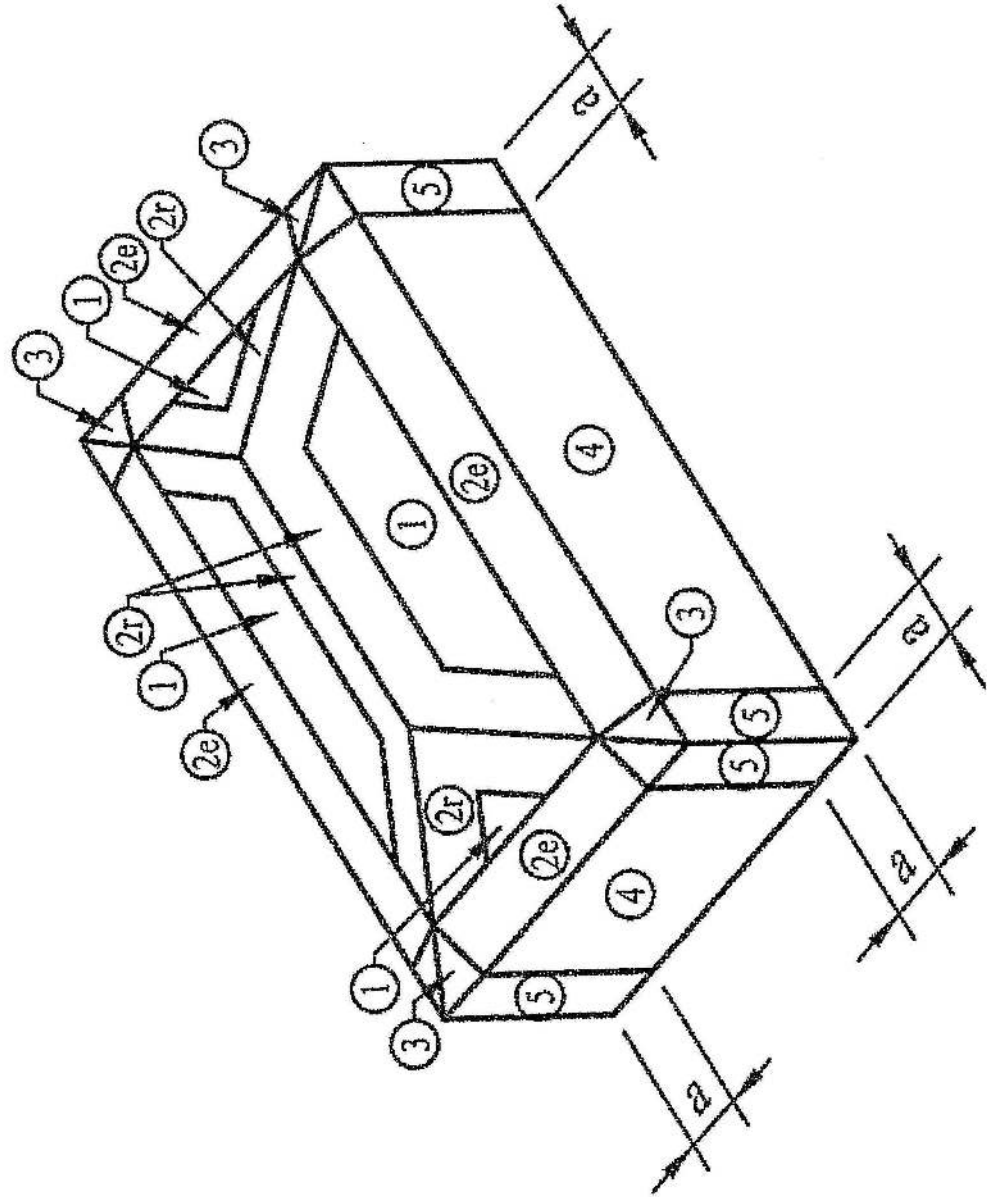
All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all subcontractors in his or her Client/Contractor contract and shall require all subcontractors at any level to obtain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

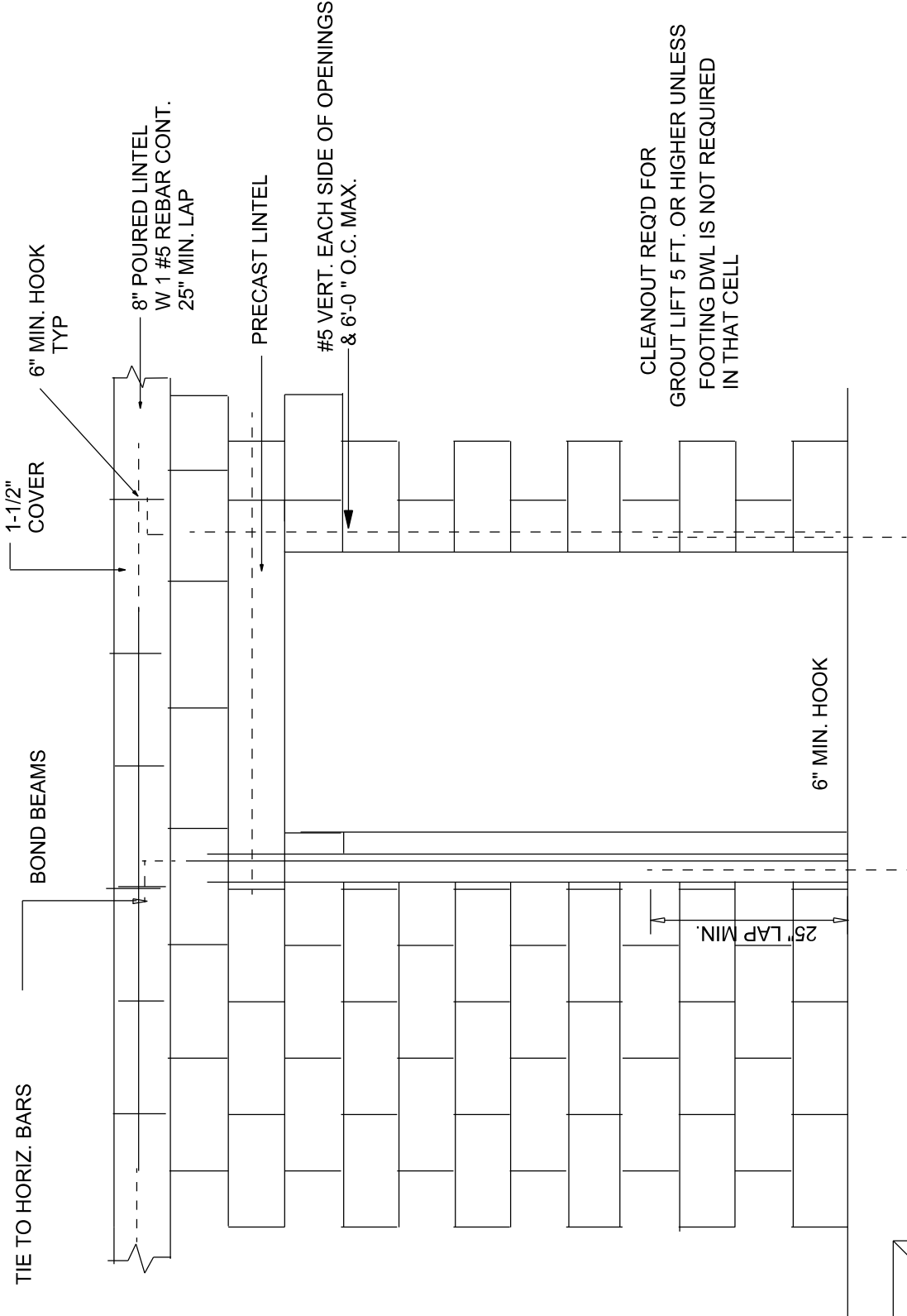
Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.



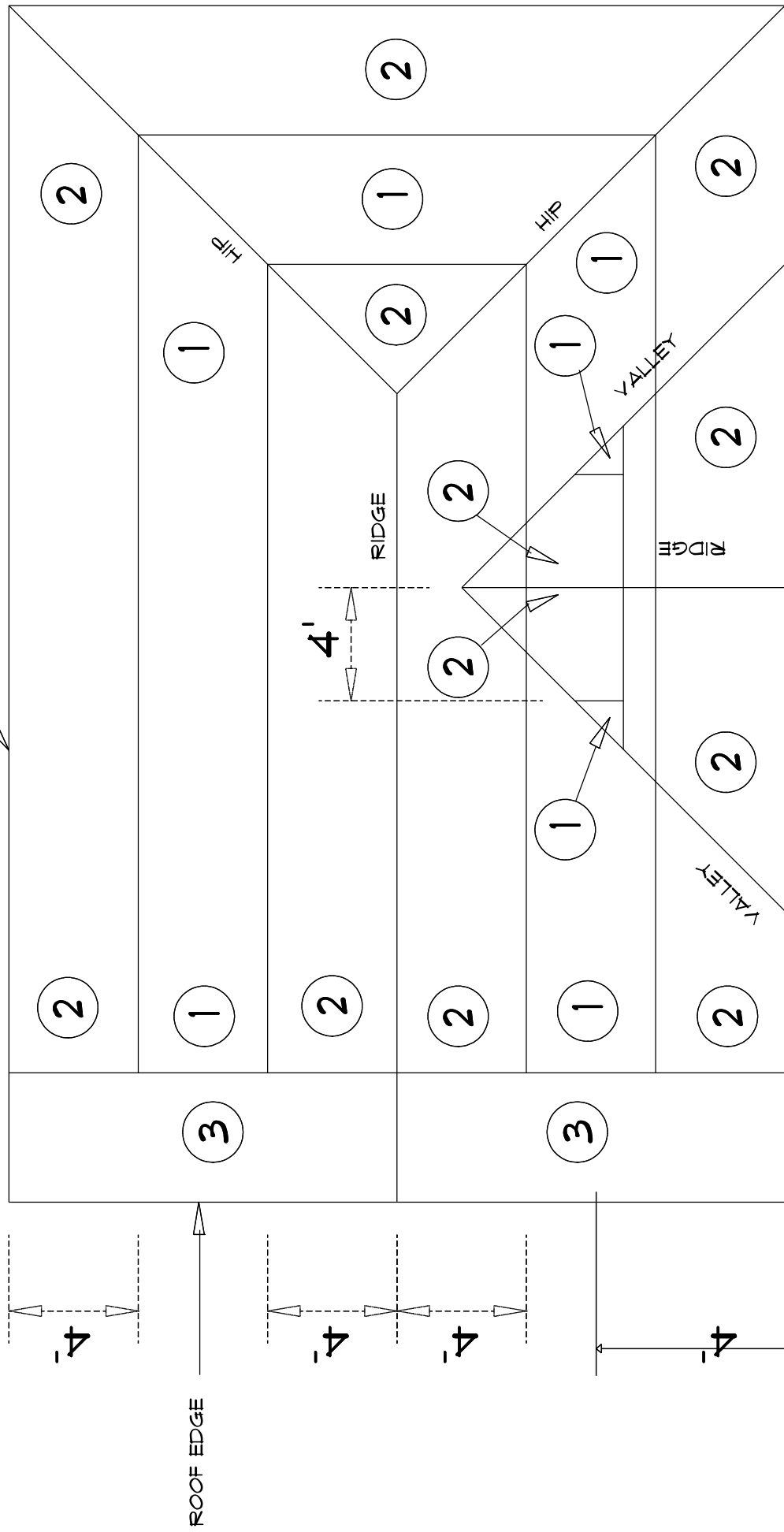
Hip Roof ( $7^\circ \leq \theta \leq 45^\circ$ )

Wind Pressure Summary for G/C Zones based Upon Areas in 30 Pt. 1, Table 1 of 3)  
All wind pressures include a Load Factor of 0.6

Zone	Figure	A ≤ 2,00 sq ft psf	A = 4,00 sq ft psf	A = 10,00 sq ft psf
1	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2a	30.3-2C	11.16 -21.30	10.26 -21.30	9.60 -21.30
2b	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
2c	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3a	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3b	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
3c	30.3-2C	11.16 -33.99	10.26 -33.99	9.60 -33.99
4	30.3-1	14.96 -16.23	14.96 -16.23	14.96 -16.23
5	30.3-1	14.96 -20.04	14.96 -20.04	14.96 -20.04



CMU WALL OPENING REINFORCING  
NTS



NOTES:  
ALL EDGES AT TRUSSES 6" O.C. ON THE EDGE AND INTERMEDIATE TRUSSES 12" O.C.  
1. ALL NAILS TO BE #9 RING SHANK NAILS MIN.

ROOF ATTACHMENT PLAN  
(NTS)

Certification

I hereby certify that the accompanying wind load analysis for the New Residence as described above demonstrates compliance with the FBC 2020 7th Edition Section 1609, to the best of my knowledge.

Project Wind load Information

- Ultimate wind speed = 130 MPH
- Nominal wind speed = 101 MPH
- Risk Category = II
- Wind exposure for this design is Exposure B
- Interior Pressure Coefficient or Gcpi = +/- 0.18
- For design of MWFRS: see attached MECAWind Version 2.1.0.6 per ASCE 7-10
- Roof Design live load 20 psf.
- Floor Design load 40 psf.

Drawings

See drawings for additional details. In case of conflict, the more restrictive requirements of the drawings or these calculations govern.

Roof Structure

- Trusses: Pre-engineered wood trusses at 24" o.c. The Truss engineering for this project was provided bt Builders FirstSource job# 3182083 Signed & Sealed by Joaquin Velez P.E. # 68182 Dated: May 19, 2022.

- Roof Sheathing: Sheathing to be or 1/2" Structural Sheathing or equal min. to adequately resist exterior shear and uplift forces due to nailing. Panels to be facenailed w/ #8 ring shank (0.113 Dia.) @ 4" oc along edges and @ 8" oc along interior supports. Galv. metal edging to be nailed @ 4" oc.

- Roofing : Asphalt Shingles shall be installed per mfg. specifications to meet 130 m.p.h. windloading & in accord with the Florida Building Code 2020.

Exterior Walls

- Exterior Wall: 8" Concrete Masonry Units (ASTM C90 or C145, 1500 psi min) will adequately resist exterior shear forces. Mortar type M.

- Bond Beam to be (1) 8" min. Masonry with (1) #5 reinforcement with grout continuous. Note bond beam to remain continuous without breaks or interruptions to maintain shear transfer capacity. Minimum splice lap of #5 rebar is 25" at all locations. Install plated steel bearing plate at truss/masonry bearing points. Vertical spacing of grouted reinforced cells w/ (1) #5 rebar is to be 6'-0" o.c. typical. Install a minimum of 1 each vertical #5 bar in each cell on either side of each corner and on each side of any openings. Minimum splice lap of #5 rebar is 25" .

Foundations (sizes based on wind load requirements only :

Footing: 20" wide x 10" deep w/ 2 #5 bars cont. 25"min bar lap.

Interior footing: 16" wide x 8" thickened slab w/ 2 #5 bars cont.

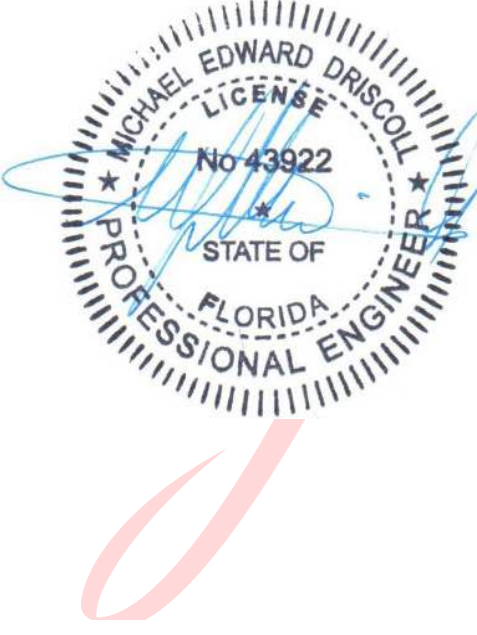
CAST CRETE LINTEL SCHEDULE	
LENGTH	TYPE
3'-0" TO 7'-0"	8F80B
7'-0" TO 10'-0"	8F81B
GARAGE	8F161B

SHEAR WALLS QUANTITY \_\_\_\_\_

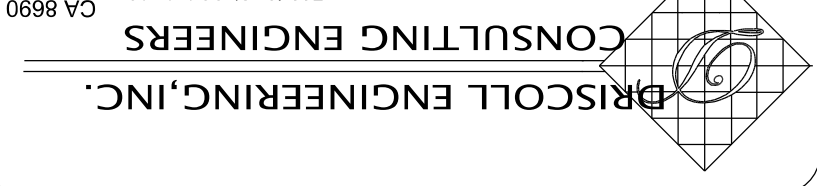
TRANSVERSAL SHEARWALLS = 59'-0"

LONGITUDINAL SHEARWALLS = 82'-0"

Digitally  
signed by  
Michael E.  
Driscoll PE  
Date:  
2022.06.30  
14:34:21  
-04'00'



MICHAEL E DRISCOLL PE  
FL REG # 43922



CA 8690

DRISCOLL ENGINEERING, INC.

CONSULTING ENGINEERS

PH (352) 331-1513

FX (352) 505-3366

PO BOX 357577

GAINESVILLE, FL 32606

Sheet  
WL 1

6-30-22

MIRANDA  
788 SW MORNING STAR GLEN  
FORT WHITE, FL DS22-40