

D/ 99/14/2010

Columbia County Building Permit**PERMIT****This Permit Must Be Prominently Posted on Premises During Construction****000028858**

APPLICANT NADEAN MCINTOSH PHONE 754-8678
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055
OWNER KYLE & CHERYL WARD PHONE 352 316-6906
ADDRESS 4536 SW CR 18 FT. WHITE FL 32038
CONTRACTOR MICHAEL DELAHOZ PHONE 754-8678
LOCATION OF PROPERTY 441S, TR ON CR 131, TR CR 18, 1 1/2 MILES ON LEFT
WHITEMALBOX & WHITE SIGN
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 12766.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 35-6S-16-04074-112 SUBDIVISION PARKER WOODS
LOT 12 BLOCK PHASE UNIT TOTAL ACRES

SCC056689

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X10-331 BK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILECheck # or Cash 3994**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 65.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ **TOTAL FEE** 115.00
INSPECTORS OFFICE Michael Delahoz CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 3994

For Office Use Only Application # 1009.15 Date Received 9/9 By JW Permit # 28858
 Zoning Official BLK Date 14.09.10 Flood Zone N/A Land Use A3 Zoning A-3
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 9-13-10
 Comments _____
☒ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL Accessory Structure to dwelling

Septic Permit No. X-10-331- In file box Fax 386-755-1751

Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City, FL 32055

Owners Name Ward, Kyle & Cheryl Phone 352-316-6906

911 Address 4536 SW CR 18 Ft White, FL 32038

Contractors Name Michael A Delahos Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Do Kim 3300 Henderson Blvd Tampa, FL 33684

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 35-68-16-04074-112 Estimated Cost of Construction 12,766⁰⁰

Subdivision Name Parker Woods Lot 12 Block _____ Unit _____ Phase _____

Driving Directions South on 441, Right on 131, Right on CR 18, about 1 1/2 miles on left, white mailbox and white sign

Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage 5 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 295' Side 99' Side 121' Rear 314'

Number of Stories _____ Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

NOTICE OF COMMENCEMENT

Inst: 201012014500 Date: 9/9/2010 Time: 9:25 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1201 P: 91

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 35-68-16-04074-112

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 12 Parker Woods S/D ORB 715-2189
a) Street (job) Address: 4536 SW 4th Ave White F
2. General description of improvements: Pool Enclosure
3. Owner Information
a) Name and address: Wood, Kyle & Cheryl
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property: Owner
4. Contractor Information
a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City FL
b) Telephone No.: 386-754-8678 Fax No. (Opt.): 386-555-3285
5. Surety Information
a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address: N/A
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address:
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lender's Notice as provided in Section 713.13(1)(b) Florida Statutes:
a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr Lake City FL
b) Telephone No.: Fax No. (Opt.): 386-555-3285
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

[Signature]
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Cheryl C. Wood
Print Name

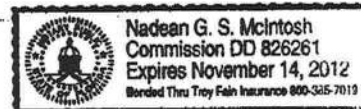
The foregoing instrument was acknowledged before me, a Florida Notary, this 8th day of July, 20 10, by:

as _____ (type of authority, e.g. officer, trustee, attorney
fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ type _____

Notary Signature [Signature]

Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

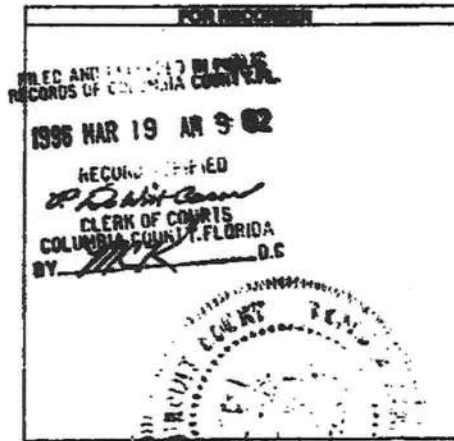
Signature of Natural Person Signing (in line #10 above.)

THIS INSTRUMENT PREPARED BY:
Cindy Bickel
Tri-County Title Services of Lake City, Inc.
411 North Hernandez Street
Lake City, Florida 32855

RECORD AND RETURN TO:
Tri-County Title Services of Lake City, Inc.
411 North Hernandez Street
Lake City, Florida 32855

RE PARCEL ID #: 35-43-16-8074-112
BUYER'S TIN: _____

SUBMITTANT'S SIGNATURE \$105.00
INTANGIBLE TAX 5
P. DOWDY CASON, CLERK OF
COURTS, COLUMBIA COUNTY
BY MK DA



CORPORATE WARRANTY DEED

THIS INDENTURE made this 5 day of MARCH, 19 96 by Parker Land Co., a Florida Corporation, hereinafter called Grantor, and whose address is P.O. Box 7133, Gainesville, Florida 32606 to H. Kyle Ward, Jr. and his wife, Cheryl A. Ward, hereinafter called Grantee, and whose address is 11722 Currie Lane F-2, Largo, Florida 34644.

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

WITNESSETH:

THAT the Grantor, for and in consideration of the sum of Ten and NO/100 Dollars and other valuable considerations, in hand paid by the Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee the following described land situate, lying and being in the County of Columbia, State of Florida to wit:

Lot 12, PARKER WOODS SUBDIVISION, as per plat recorded in Plat Book 6, Page 81, 81A, and 81B of the public records of Columbia County, Florida.

BK 0819 PG 0296

OFFICIAL RECORDS

THIS INSTRUMENT IS BEING GIVEN TO FULFILL THE TERMS AND CONDITIONS OF THE AGREEMENT FOR DEED RECORDED IN OFFICIAL RECORDS BOOK 773, PAGE 2189, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SUBJECT TO taxes accruing subsequent to December 31, 1995.

SUBJECT TO covenants, restrictions and easements of record, if any; however, this reference shall not operate to reimpose same.

AND the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

BK 0819 160297

OFFICIAL RECORDS

IN WITNESS WHEREOF, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer(s) and caused its corporate seal to be hereto affixed the day and year first above written.

Signed, sealed and delivered in our presence:

Pat Neil
Witness Signature

Pat Neil
Witness Printed Signature

Angie Steady
Witness Signature

Angie Steady
Witness Printed Signature

Parker Land Co.

by: Eric I. Parker
ERIC I. PARKER - PRESIDENT
(Corporate Seal)

STATE OF FLORIDA
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 5 day of March, 19 96 by ERIC I. PARKER, as President of Parker Land Co., a Florida Corporation, on behalf of the corporation. He is personally known to me or has produced Florida Driver License as identification.

Notary Public, State and County Aforesaid

Angela S. Hodge
Notary Signature

Angela S. Hodge
Notary Printed Signature

OFFICIAL NOTARY SEAL
ANGELA S. HODGE
NOTARY PUBLIC STATE OF Florida
COMMISSION NO. CC285094
MY COMMISSION EXP. JUNE 18, 1997

(Serial No., if any)

Columbia County Property Appraiser

DB Last Updated: 5/6/2010

2009 Tax Roll Year

Parcel: 35-6S-16-04074-112

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

Interactive GIS Map

Print

Owner & Property Info

<< Prev

Search Result: 31 of 79

Next >>

Owner's Name	WARD H KYLE JR & CHERYL A		
Mailing Address	4536 SW CR 18 FT WHITE, FL 32038		
Site Address	4536 SW COUNTY RD 18		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	Neighborhood	35616
Land Area	5.000 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 12 PARKER WOODS S/D. ORB 775-2189, 819-296			

**Property & Assessment Values**

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$40,475.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$37,074.00
XFOB Value	cnt: (5)	\$8,200.00
Total Appraised Value		\$85,749.00
Just Value		\$85,749.00
Class Value		\$0.00
Assessed Value		\$61,933.00
Exempt Value	(code: HX)	\$36,933.00
Total Taxable Value		Cnty: \$25,000 Other: \$25,000 Schl: \$36,933

2010 Working Values**NOTE:**

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
3/9/1996	819/296	WD	V	U	09	\$0.00
5/10/1993	775/2189	AG	V	U	13	\$14,995.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1996	(31)	1485	2493	\$34,089.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1996	\$108.00	0000072.000	12 x 6 x 0	(000.00)
0166	CONC,PAVMT	1996	\$4,032.00	0002016.000	0 x 0 x 0	(000.00)
0040	BARN,POLE	1996	\$1,500.00	0000600.000	20 x 30 x 0	(000.00)
0294	SHED WOOD/	1996	\$360.00	0000048.000	6 x 8 x 0	(000.00)
0060	CARPORT F	1996	\$2,200.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	5 AC	1.00/1.00/1.00/1.00	\$6,925.50	\$34,627.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

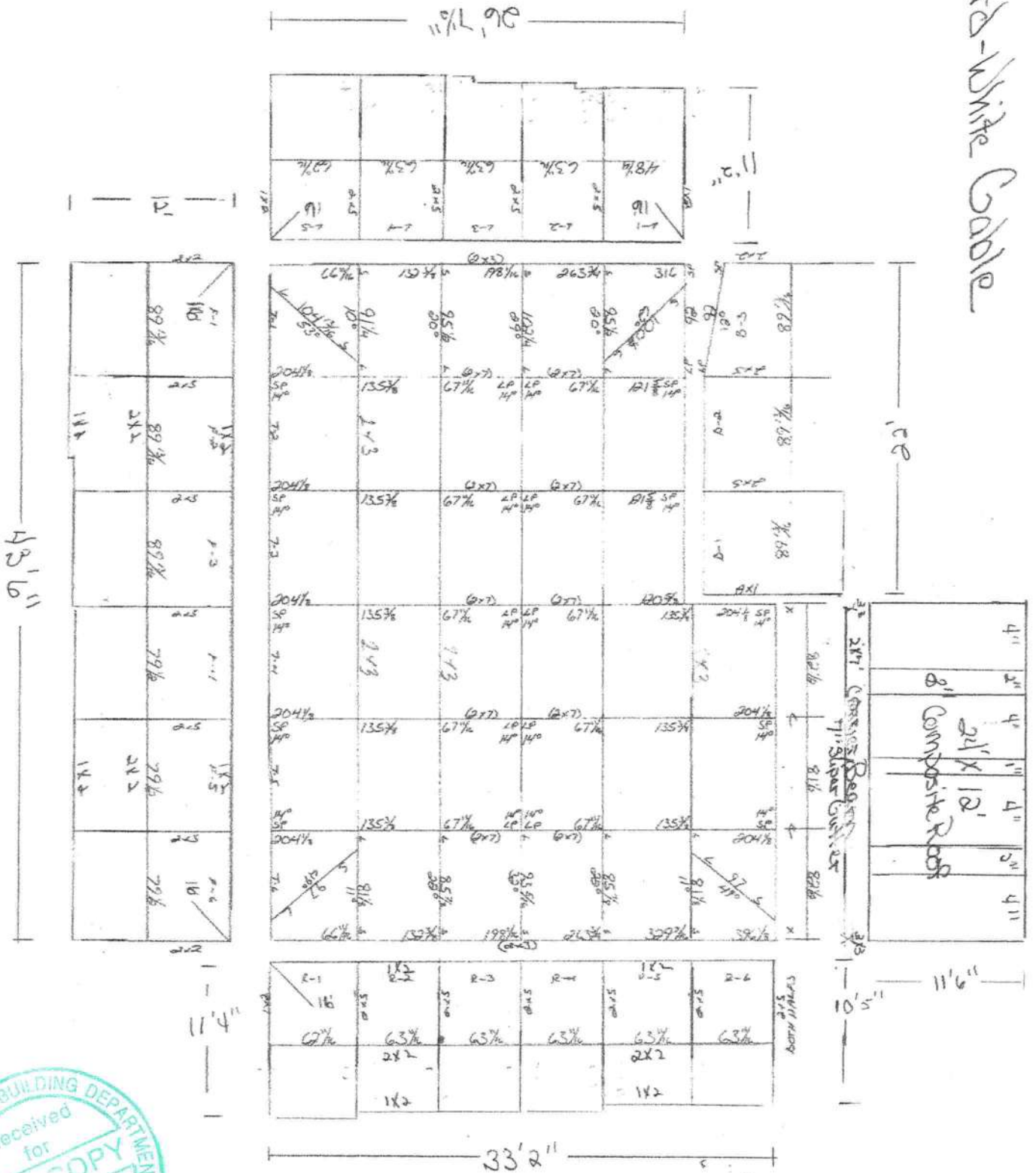
DB Last Updated: 5/6/2010

<< Prev

31 of 79

Next >>

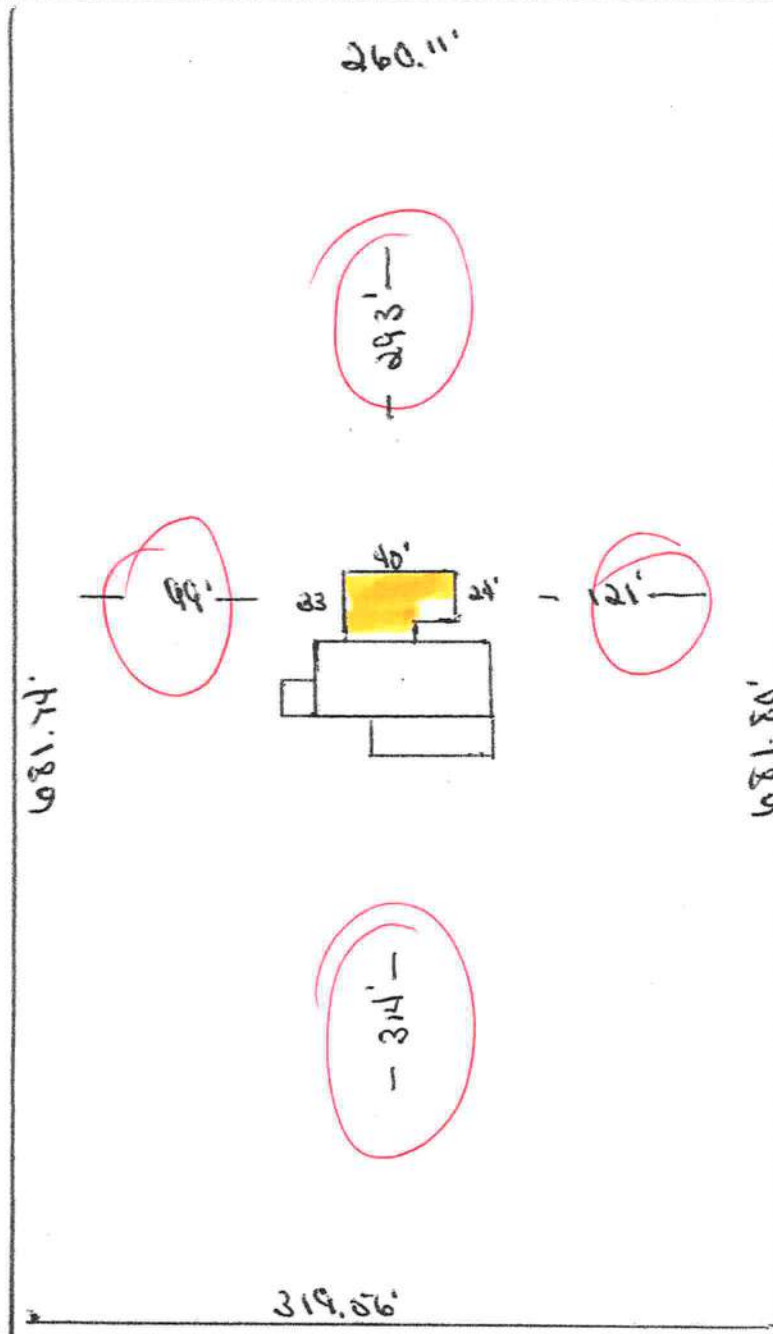
Dark-White Cable



Ward, Kyle & Cheryl
35-65-16-04074-12
Lot 12, Parker Wood S/D, DRB 775-2189, 819-296



CR 18



5 Ae



Logged in as DELAHOZ, MICHAEL ANGEL

12:50:48 PM 8/24/2010

Account Summary**Primary Address**Street: **P O BOX 521136**

Phone:

City: **LONGWOOD**E-mail: * **mike@floridapoolenclosures.com**[Update](#)

* Providing us with your e-mail address will allow us to respond to you more quickly.

State: **FLORIDA**[Find a Free Email Provider](#)Zip: **32752-1136**[View Messages \(0 unread\)](#)[Pay Fees and Fines](#)**Profile Merge**

If you hold multiple DBPR licenses, click here to request to merge your online accounts.

The licenses and applications that appear below are currently supported by the DBPR Online services system.

License Summary

To work with a specific license or view your continuing education requirements for that license, click on **Maintain/Renew This License** below.

License #: **SCC056689**[Maintain/Renew This License](#)Status: **Current, Active**Expires: **08/31/2012**Profession: **Certified Specialty Contractor**Rank: **SCC**Modifiers: **Specialty Structure ()**
Construction Business (02/20/2004)

*Under Florida law, email addresses are public records. Your email address could be released in response to a public records request.

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EMP
Jaggi
#442

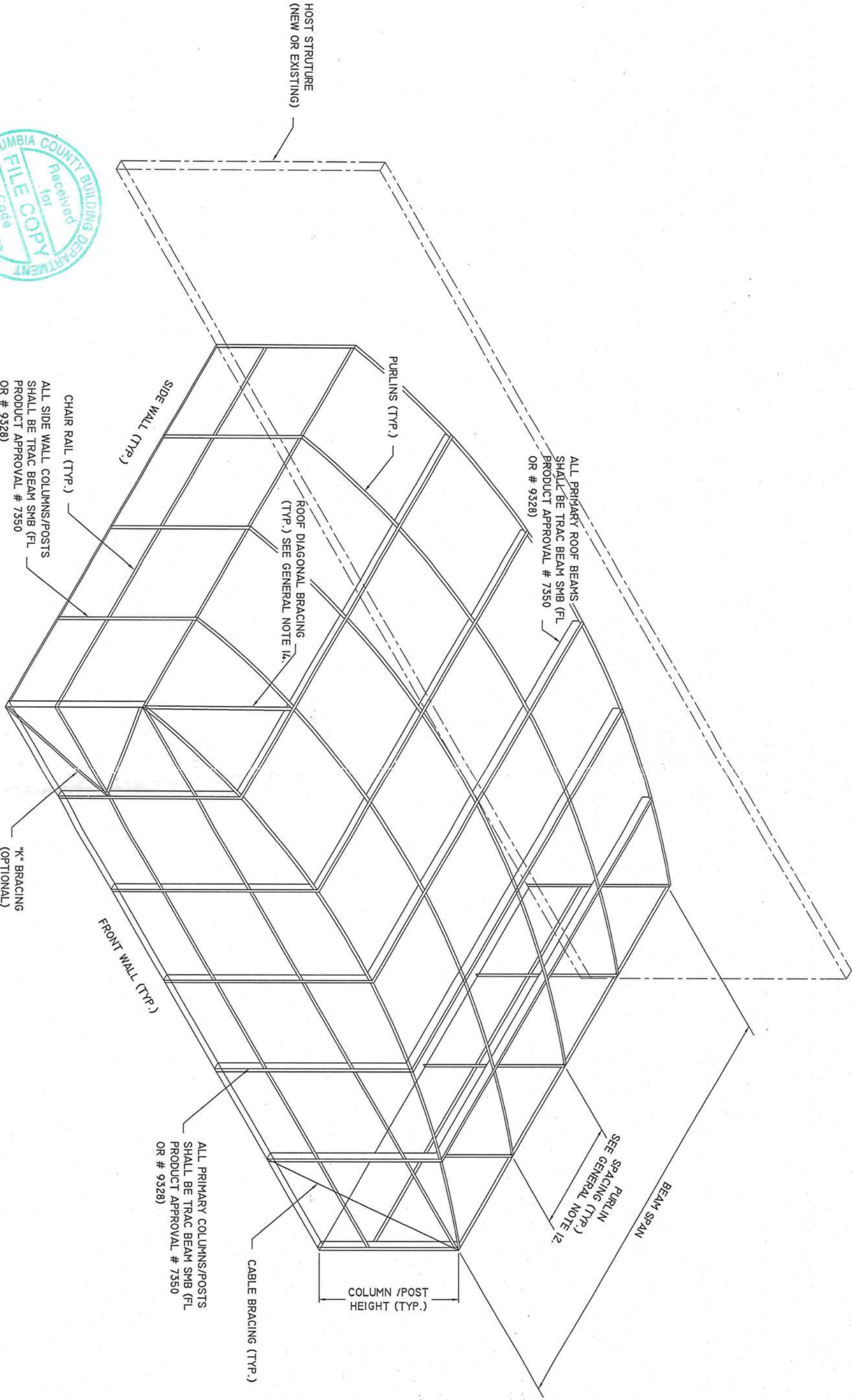
Rev./Date	Description
1/2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

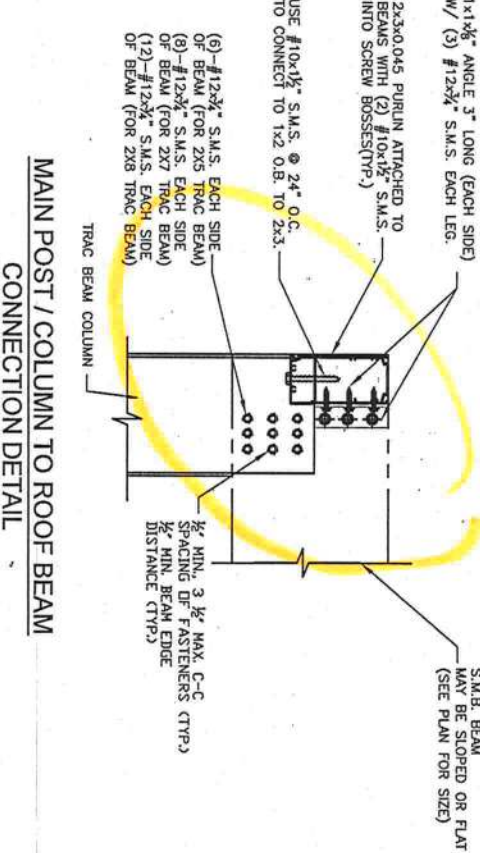
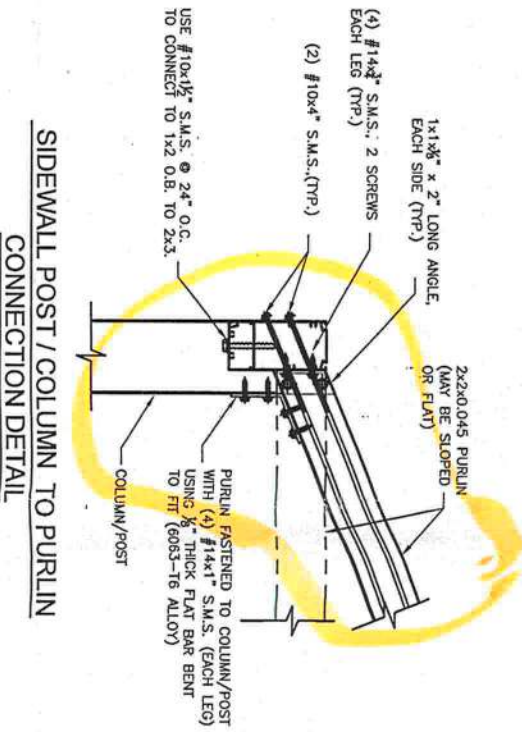
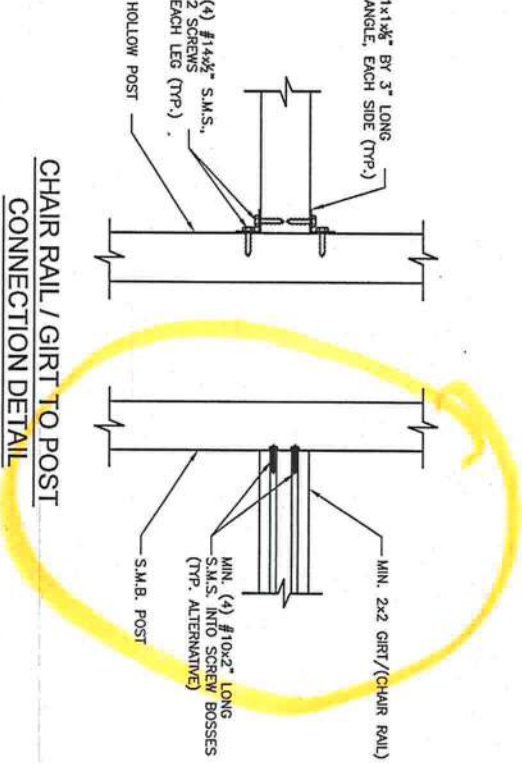
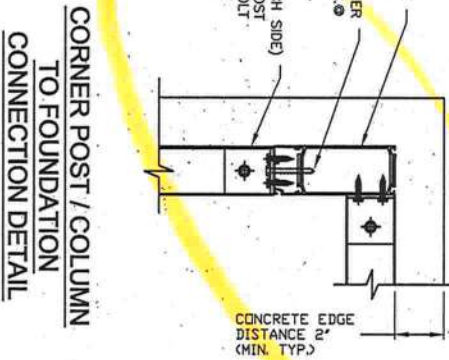
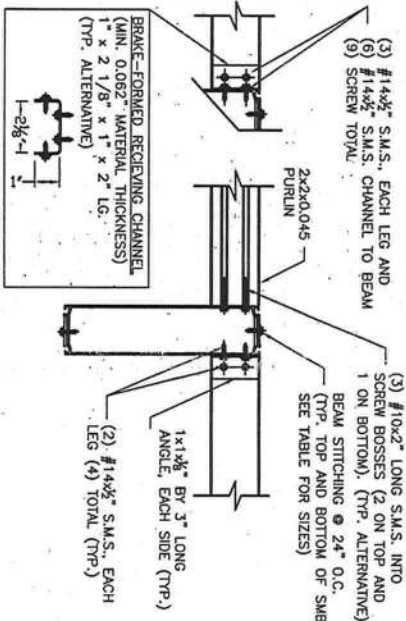
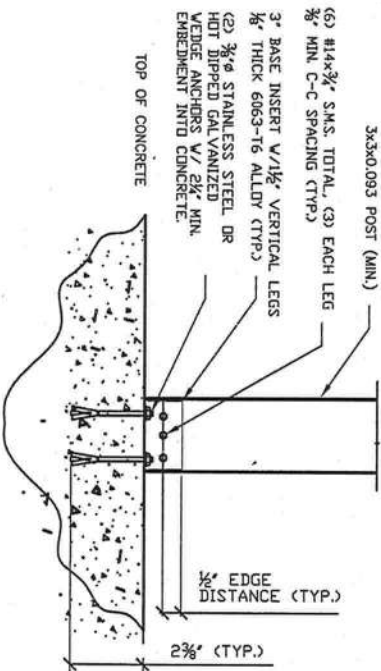
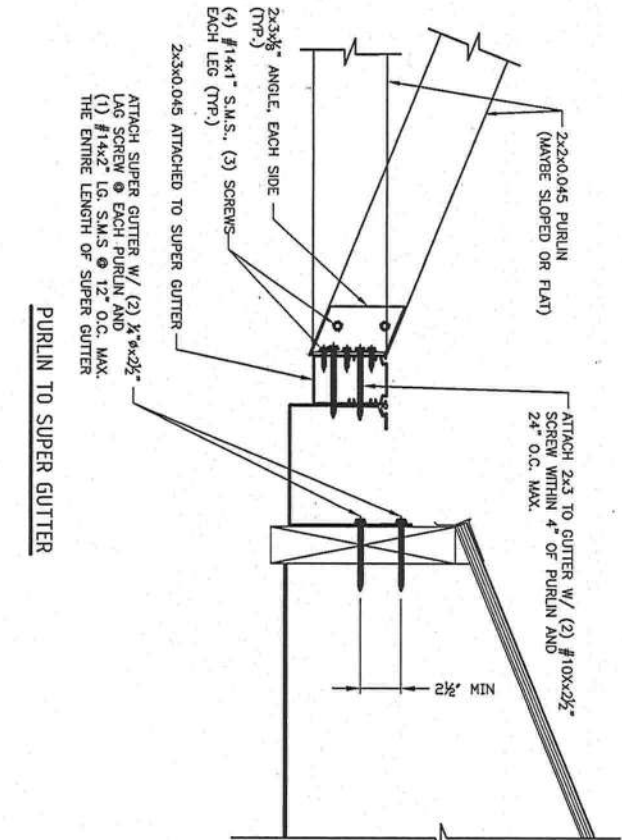
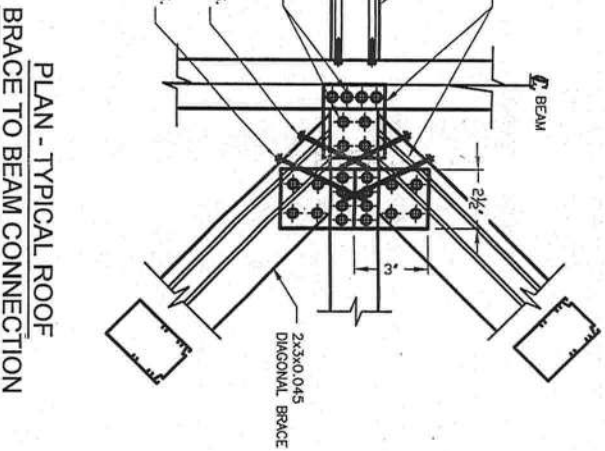
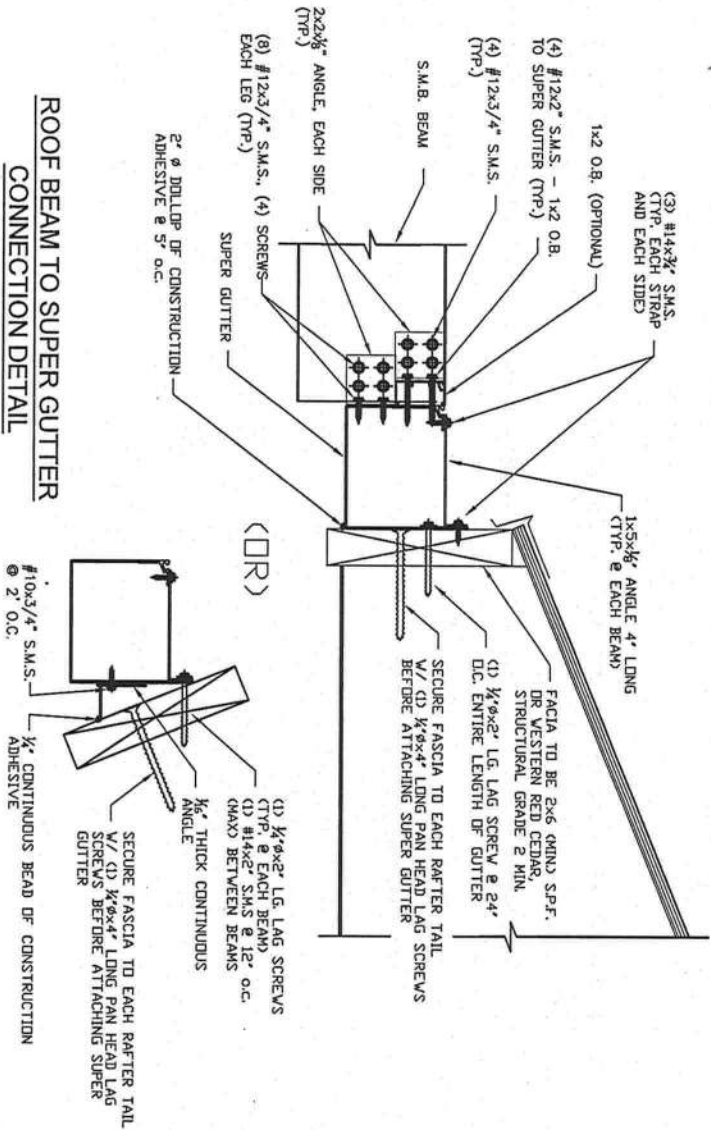
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 29887
3300 HENDERSON BLVD.,
SUITE 106
TAMPA, FL 33604

7-20-10



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.



DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
6/05	ISSUED
2008	

CLIENT: Florida Pool Enclosures, INC

DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

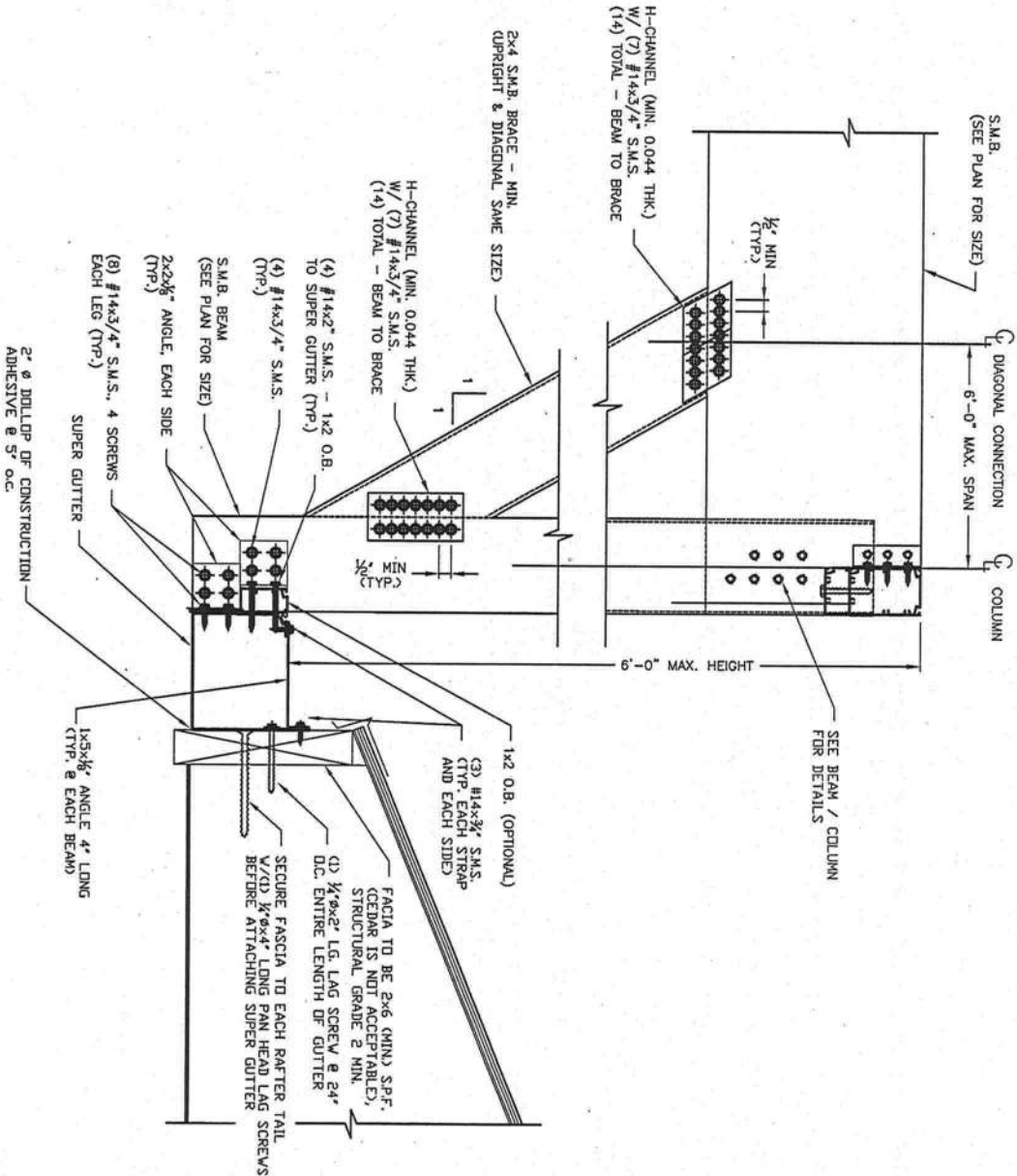
DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
TAMPA, FL 33684

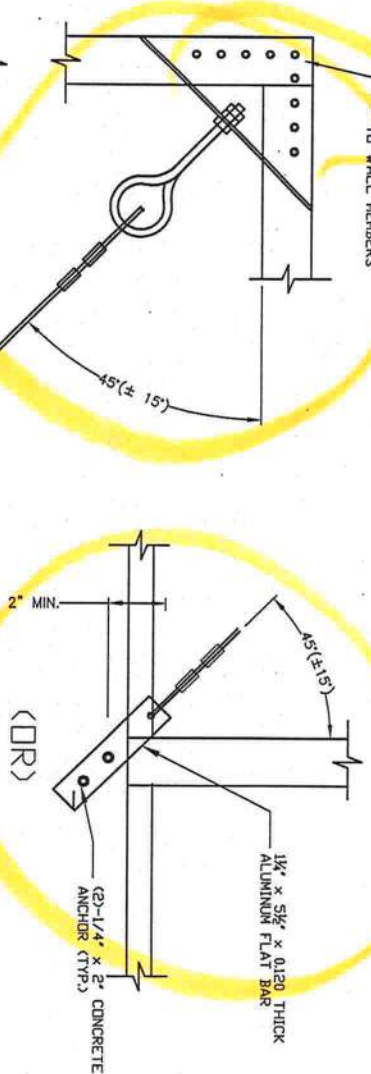
General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration. The licensed contractor shall be the delegated designer as allowed by FL Statues for design and construction of these structures covered in these sheets. DKA is solely responsible for the design of the details as shown on these drawings and the contractor shall be in responsible charge to design the structure as allowed by FL Statues.
- Concrete shall be minimum 28 day compressive strength of $f'_c=2500$ psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 18 x 14, x 0.013" mesh.
- Connections using screw bosses shall have minimum 4)-#10x2" per connection unless shown otherwise.
- Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

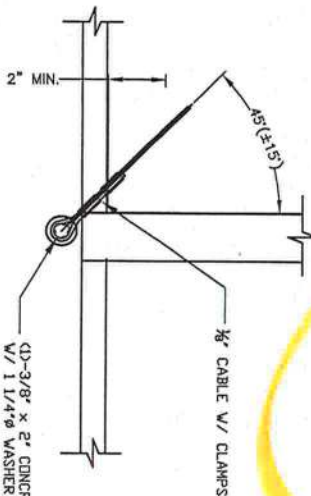
C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{1}{4}"$	$\frac{1}{2}"$
#12	0.219	$\frac{3}{8}"$	$\frac{3}{4}"$
#14 (1 1/4")	0.250	$\frac{1}{2}"$	$\frac{3}{4}"$
- Structure has been designed to meet the 2007 FBC w/ 2009 Supplement. Project is sited with basic wind speed up to 120 mph (3-seg gust), I=0.77 for screen enclosures. Exposure C. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, G_{fz} , of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- Diagonal bracing shall be installed on 50% of roof screen panels that have at least one side adjacent to an exterior screen wall.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided on the front screen wall for each 500 sf of screened wall area that the wind load is being applied to the side wall orthogonal to the front wall.
- Structures that exceed 4.5 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights. 2x2 and 1x2 aluminum components shall have nominal wall thickness of 0.044". Structural super gutter shall be min. 0.065" for spans 25' or less and 0.096" wall thickness for spans greater than 30'.
- All Aluminum members shall be 6005-T5 Alloy or stronger unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.



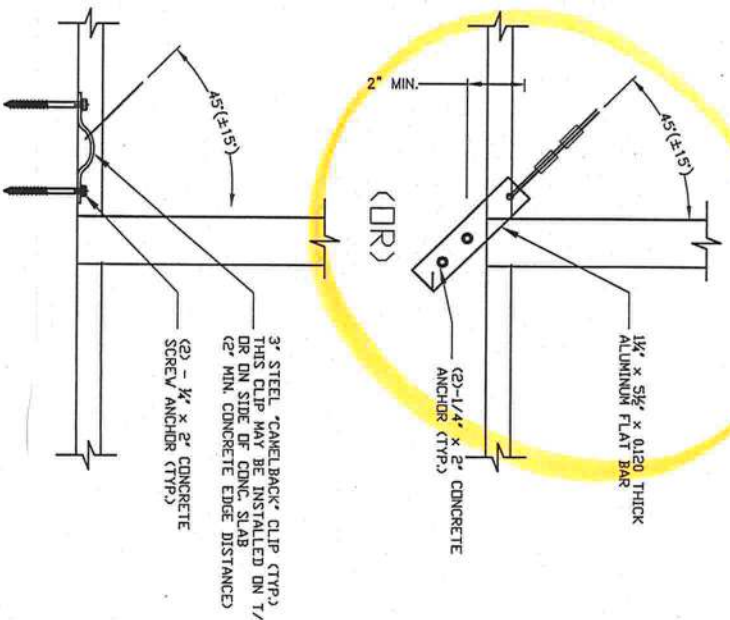
NON-CABLE ROOF TRANSOM (RISE) WALL CONNECTION DETAIL



(OR)



(OR)



CABLE BRACE DETAIL

MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)					
BEAM	TRIBUTARY WIDTH				
	10'	15'	20'	25'	30'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'	13.5'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'	16.6'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'	26.8'

Design wind speed up to 120 mph. Exposure B. Reduce spans by 8% for Exposure C.

Beam Stitching Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam	Stitching Screw @ 24\"/>
2\"/>	2\"/>	#8 x 1/2\"/>
2\"/>	2\"/>	#8 x 1/2\"/>
2\"/>	2\"/>	#10 x 3/4\"/>
2\"/>	2\"/>	#10 x 3/4\"/>
2\"/>	2\"/>	#12 x 3/4\"/>
2\"/>	2\"/>	#12 x 3/4\"/>
2\"/>	2\"/>	#14 x 3/4\"/>
2\"/>	2\"/>	#14 x 3/4\"/>

DO KIM
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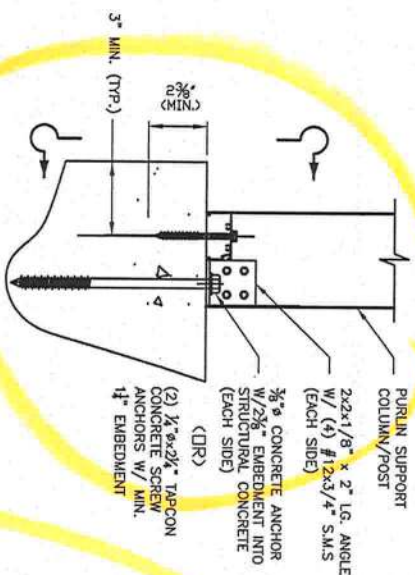
Rev./Date	Description
6/05 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

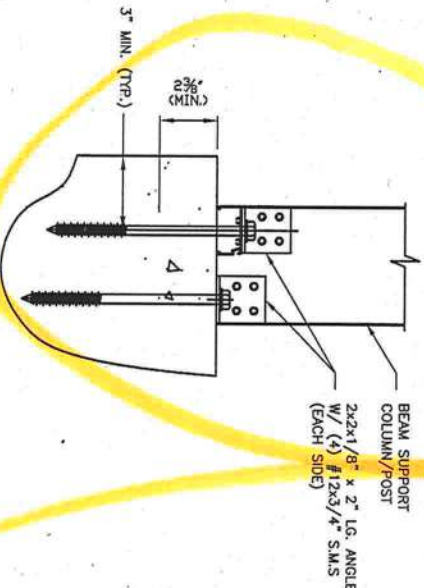
DRAWN BY:	DKK
CHECKED BY:	DKK
SCALE:	AS SHOWN
DATE:	9/05/06

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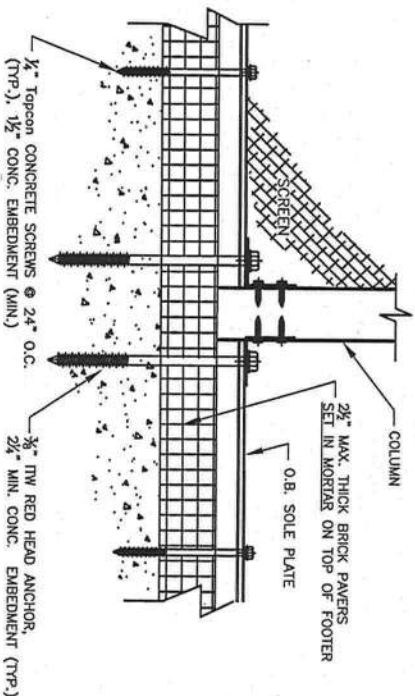
Drawing No. - 060905



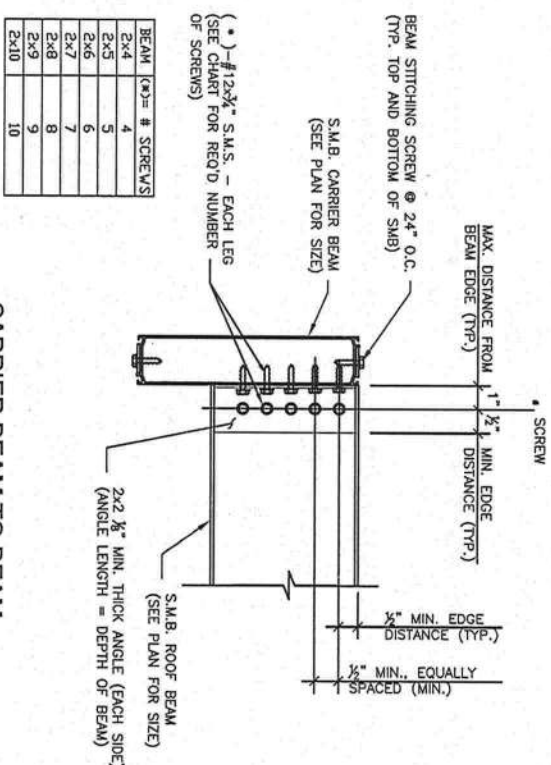
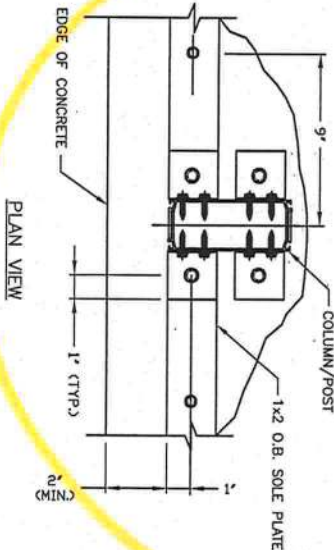
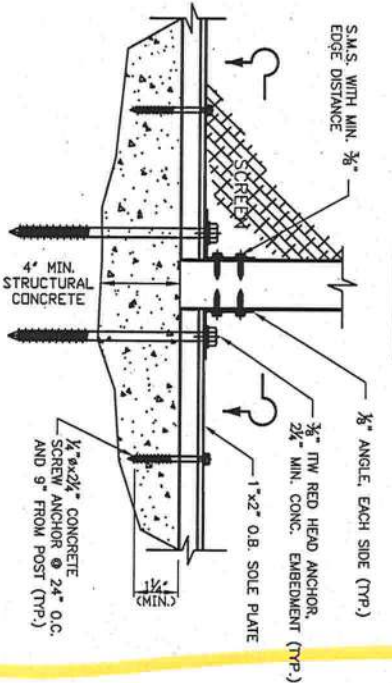
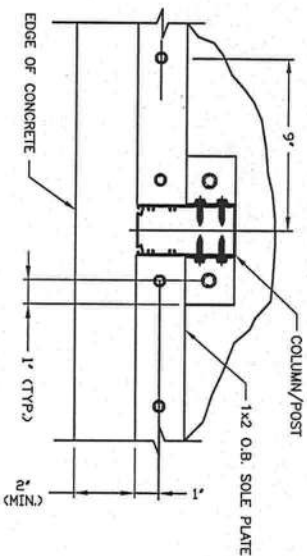
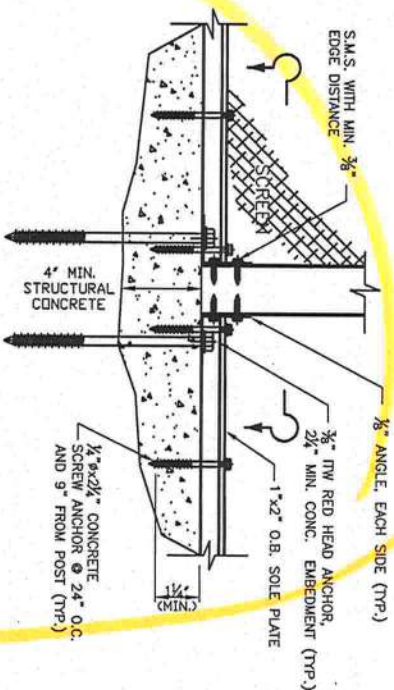
SIDEWALL COLUMN TO FOUNDATION
CONNECTION DETAIL



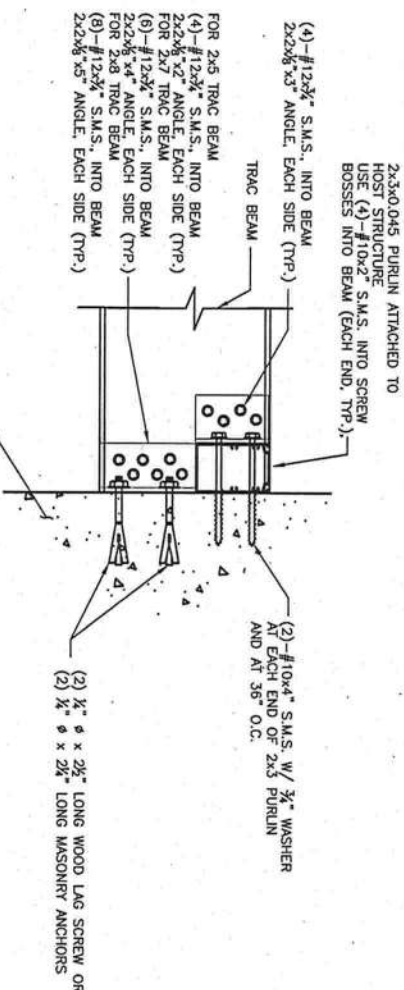
MAIN COLUMN TO FOUNDATION
CONNECTION DETAIL



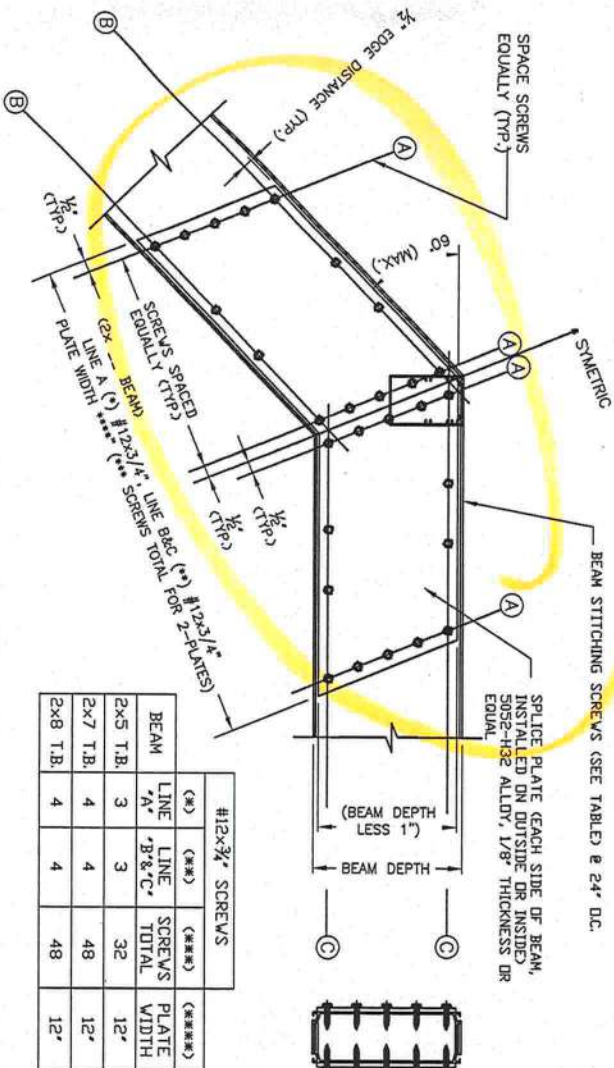
TYPICAL FRONT VIEW OF POST TO
FOUNDATION CONNECTION WITH PAVERS



CARRIER BEAM TO BEAM
CONNECTION DETAIL



BEAM TO HOST
STRUCTURE DETAIL



MANSARD ROOF BEAM
CONNECTION DETAIL

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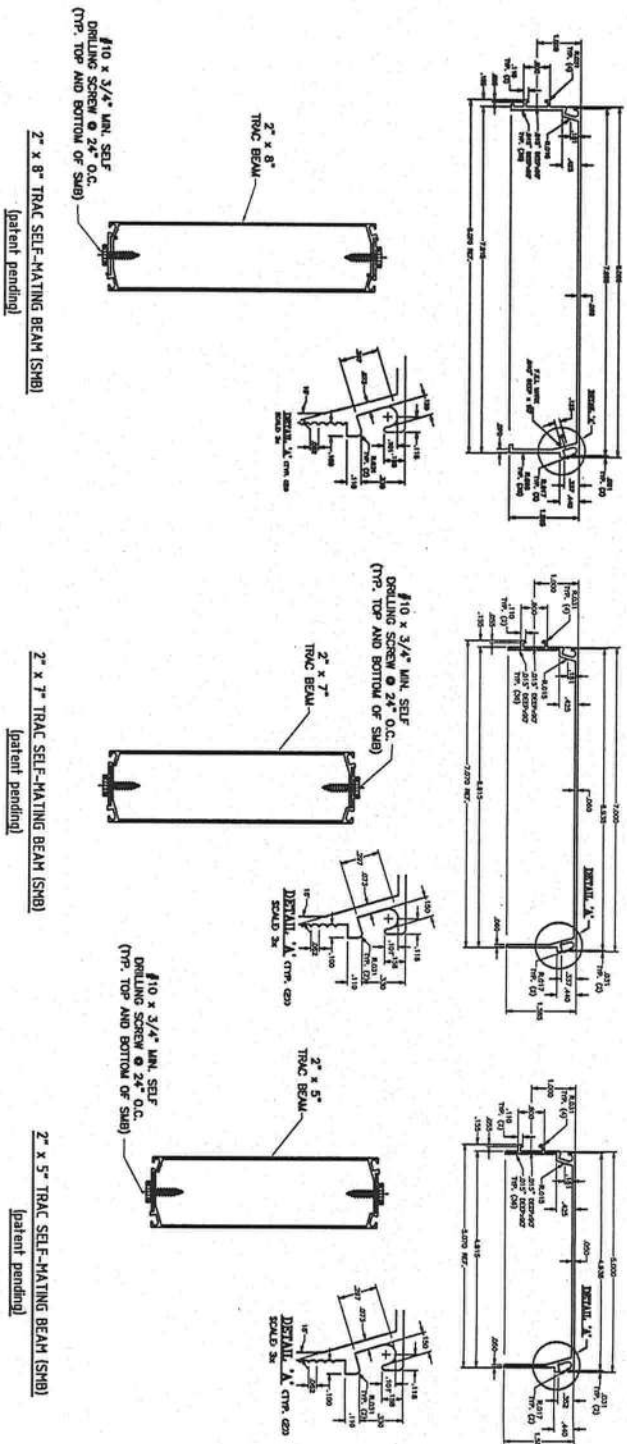
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/08

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Drawing No. - 060905

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



- Trac Beam Notes:
1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
 2. Drawings are illustrative purposes only.
 3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduce 7% for each five feet increment. Then reduce spans by 10% for Exposure C. Spans with ">25\" shall be 25' for Exposure C.
 4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
 5. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
 6. Wind loads are based on Chapter 20 and Table 2004.4.
 7. Consult a licensed design professional for use of this product information.
 7. Maximum allowable deflections limits of L/60 shall be considered by design professional. L/80 in HVHZ.

2x8 TRAC SPAN (COLUMN HEIGHT)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM SPAN (MANSARD ROOF)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x5 TRAC BEAM (ROOF BEAM SPAN)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)

BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

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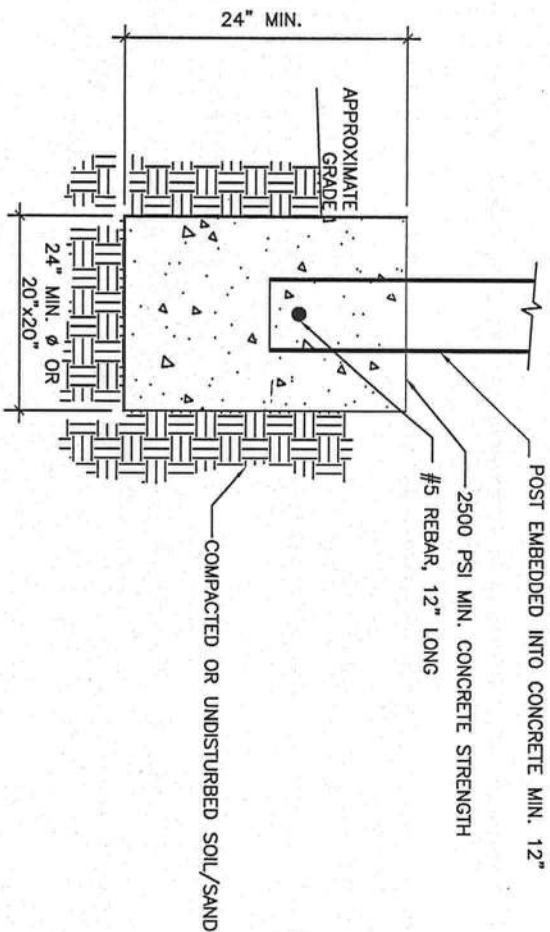
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Fax: (813) 874-5959

Rev./Date	Description
6/05 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

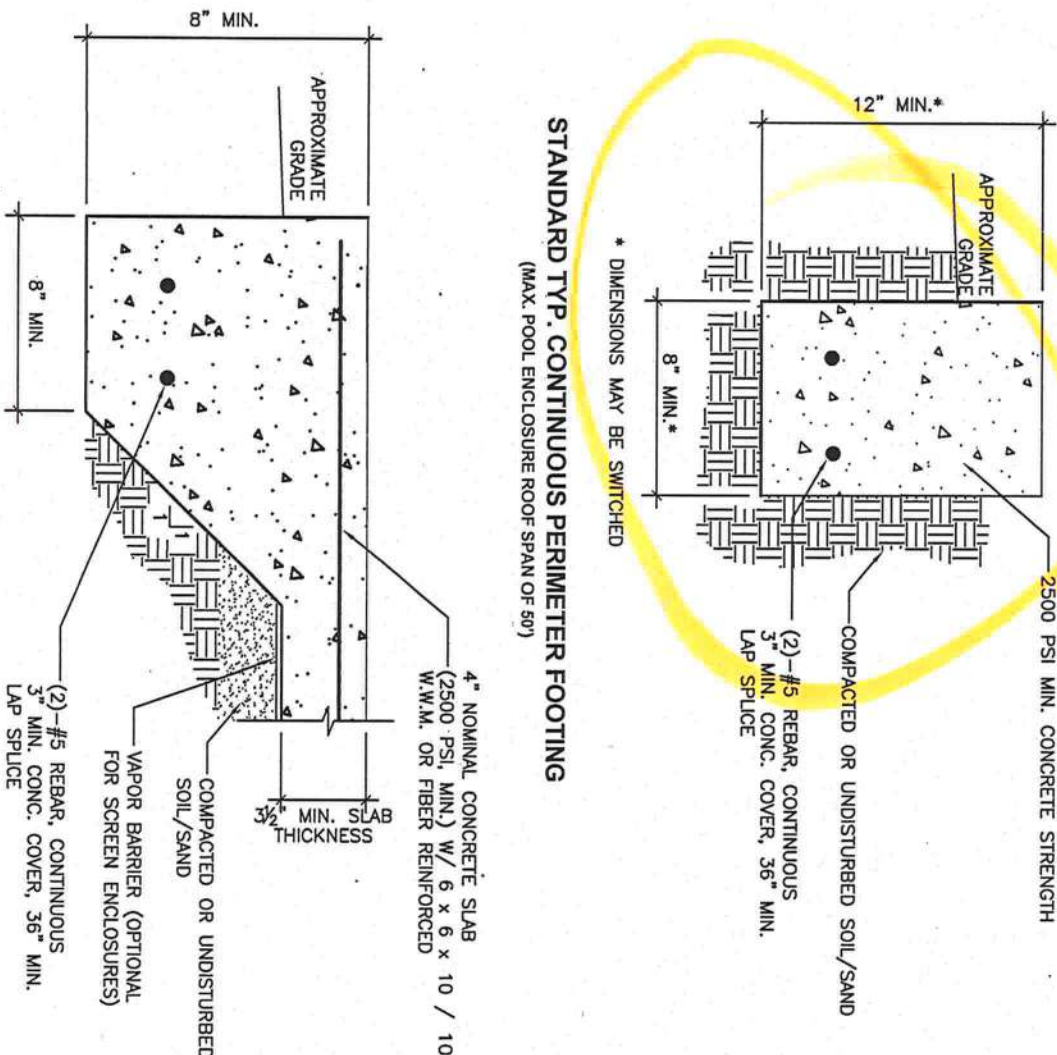
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

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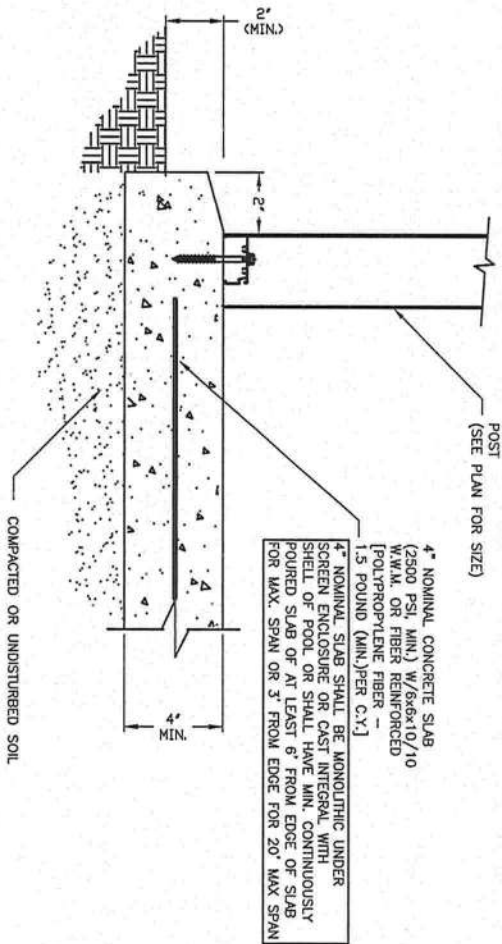
STANDARD TYP. ISOLATED FOOTER

STANDARD TYP. CONTINUOUS PERIMETER FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')

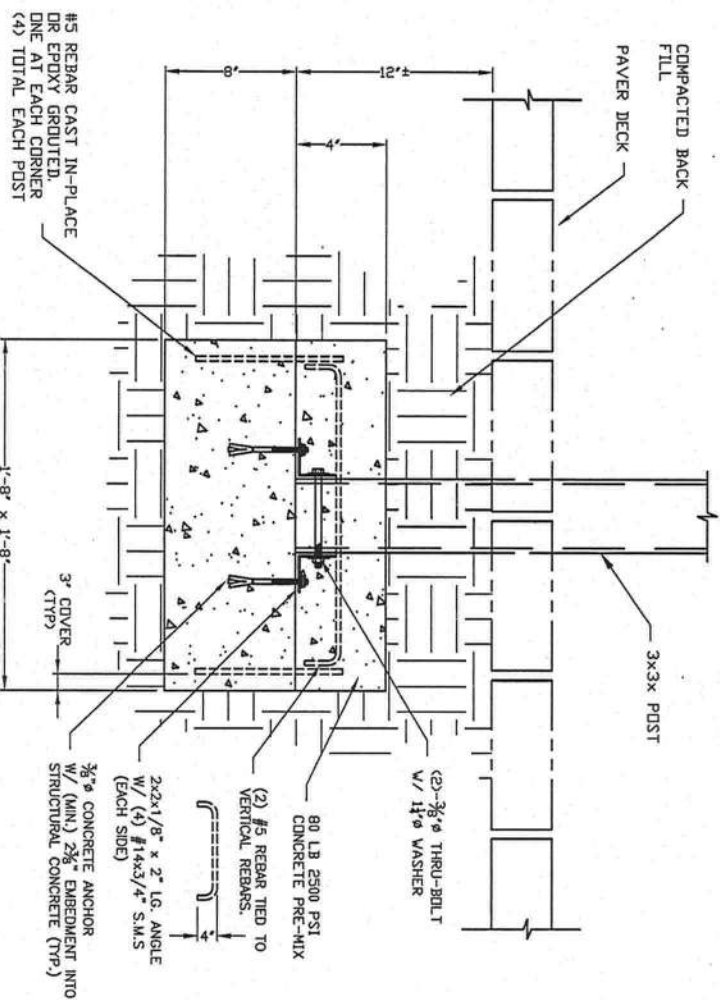


STANDARD TYP. TURNDOWN SLAB FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')

POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



POST FOR CARRIER BEAM TO
BURIED FOOTING
CONNECTION DETAIL



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Rev/Date	Description
6/05 2008	ISSUED

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

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Drawing No. - 060905

Rev/Date	Description
6105	ISSUED
2008	

CLIENT: Florida Pool Enclosures, INC

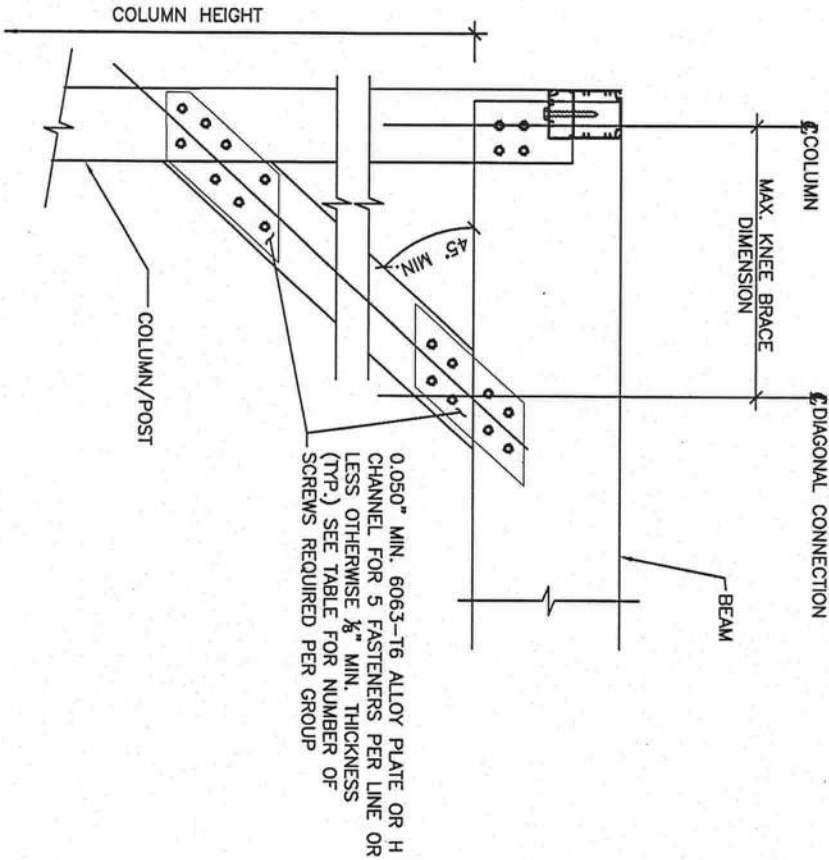
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DRAWN BY:	DYK
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SCALE:	AS SHOWN
DATE:	9/05/06

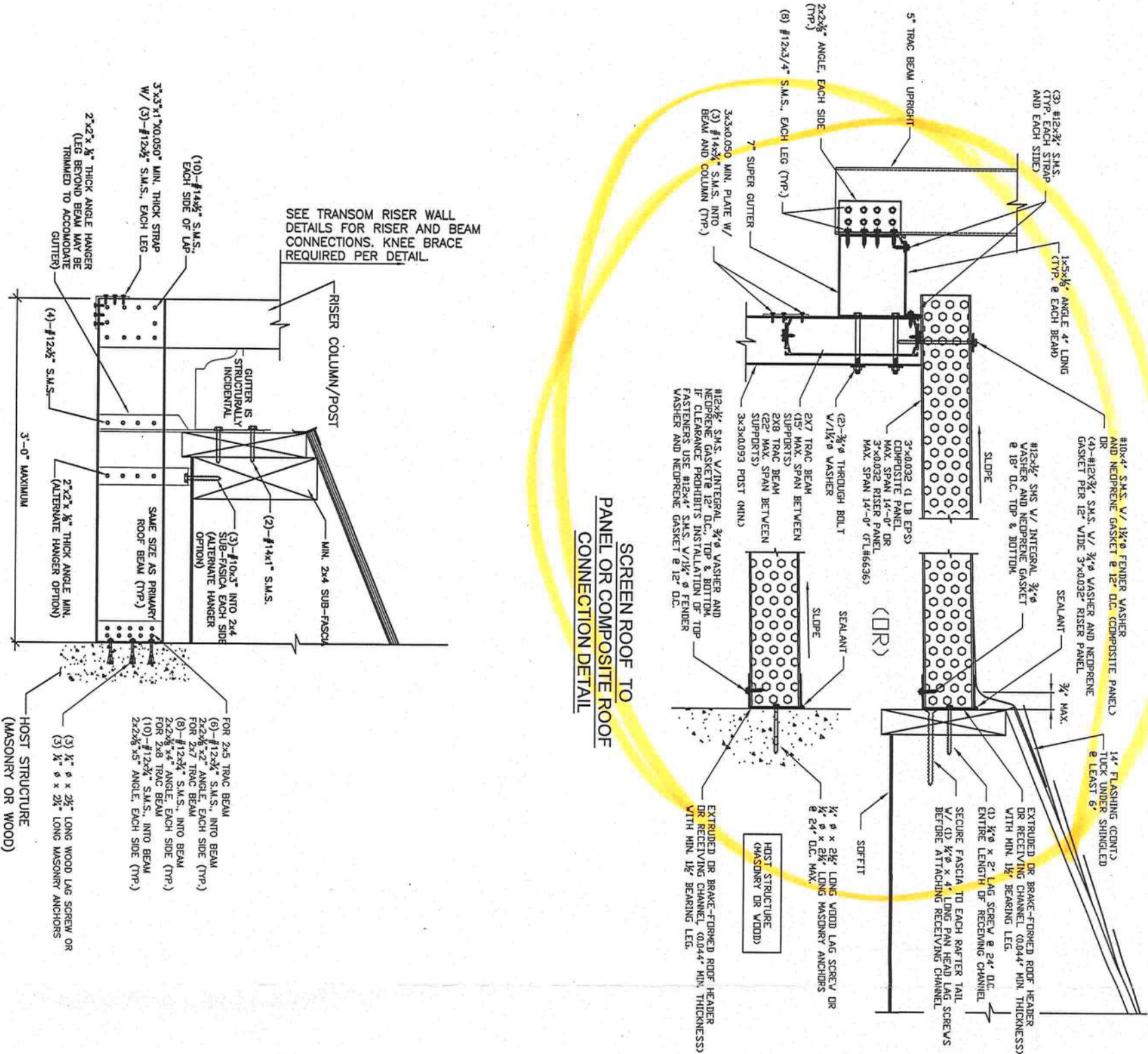
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FLA. REG. NUMBER 49497
C/A# 26887
DO KIM & ASSOCIATES, LLC
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SUITE 106
TAMPA, FL 33684

TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x $\frac{3}{8}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



CANTILEVER TRANSOM (RISER) TO HOST WALL

