

DATE 09/12/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026226

APPLICANT BO ROYALS PHONE 386.754.6737
ADDRESS 4068 W US HWY 90 LAKE CITY FL 32055
OWNER TIMBERLANE M/H COMM,LLC.(W. JOHNSON) PHONE 386.755.3545
ADDRESS 141 SW GREENBRIAR CT. LAKE CITY FL 32024
CONTRACTOR DOUG MCGAULEY PHONE 386.303.1963
LOCATION OF PROPERTY 90-W TO SR. 247-S, TO TROY, TR TO MHP IS 1 1/2 MILES ON R
LOT IS LOCATED @ 3RD LOT ON R.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RR MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 16 FLOOD ZONE x DEVELOPMENT PERMIT NO.

PARCEL ID 09-4S-16-02824-000 SUBDIVISION TIMBERLANE MH COMMUNITY
LOT 3 BLOCK PHASE 1 UNIT TOTAL ACRES 5.00

IH0000623
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 07-0727-E CFS JTH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD.

Check # or Cash 26947

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by
Framing Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel) date/app. by
Permanent power C.O. Final Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing Pool date/app. by
Reconnection Pump pole Utility Pole date/app. by
M/H Pole Travel Trailer Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 275.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

CMH 26947

For Office Use Only (Revised 9-22-06) Zoning Official OK 9/12/07 Building Official OK JTH 9-10-07

AP# 0709-29 Date Received 9-10-07 By LH Permit # 26226

Flood Zone X Development Permit ----- Zoning RR Land Use Plan Map Category RVLD

Comments -----

FEMA Map# ----- Elevation ----- Finished Floor ----- River ----- In Floodway -----

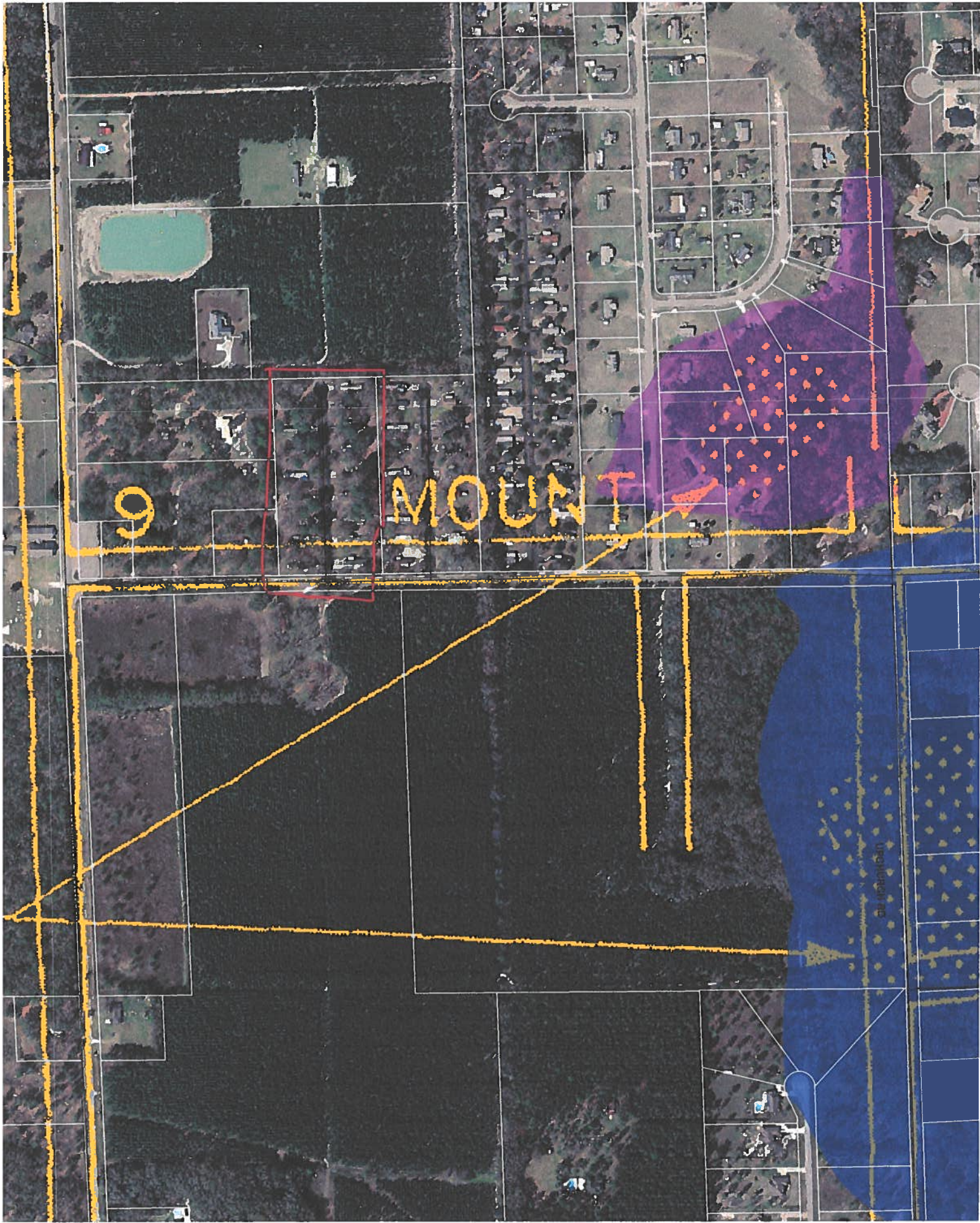
☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer *on file*

☒ State Road Access ☐ Parent Parcel # ----- ☐ STUP-MH -----

- Property ID # 9-45-16 R02824-000 Subdivision Timberlane Mobile Home Community *Lot 3 Phase 1*
- New Mobile Home yes Used Mobile Home ----- Year 2006
 - Applicant William "Bo" Royals Phone # (386) 754-6737
 - Address 4068 West N.S. Hwy 90 Lake City FL 32055
 - Name of Property Owner Timberlane Mobile Home Community, LLC Phone # 386-303-2222 or 386-755-6795
 - 911 Address 141 SW Greenbrier Ct, Lake City, FL 32024
 - Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
 - Name of Owner of Mobile Home Joyce E. Johnson *Warren L. or* Phone # 386-755-3545 x107
Address 141 SW Greenbrier Ct, Lake City, FL 32024
 - Relationship to Property Owner renter
 - Current Number of Dwellings on Property 16
 - Lot Size 75x150 Total Acreage 5
 - Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
 - Is this Mobile Home Replacing an Existing Mobile Home yes
 - Driving Directions to the Property Hwy 90 W to Hwy 247 Turn Right onto Troy St. Mobile Home Park is 1 1/2 miles on Right. Lot is located on 3rd entrance, third lot on right.
 - Name of Licensed Dealer/Installer Dave McGahey Phone # 386-303-1963
 - Installers Address 101 Rushe Pine Jasper FL 32052
 - License Number 0000623 Installation Decal # 2962010

- JW Aoristo Amy: 9.12.07



Columbia County Property Appraiser

DB Last Updated: 8/2/2007

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

New Super Homestead Taxable Value Calculator

Print

Parcel: 09-4S-16-02824-000

Search Result: 1 of 1

Owner & Property Info

Owner's Name	TIMBERLANE MOBILE HOME		
Site Address	TIMBERLANE M H PARK		
Mailing Address	COMMUNITY LLC 337 SW TOMPKINS ST LAKE CITY, FL 32024		
Use Desc. (code)	PARKING/MH (002802)		
Neighborhood	9416.00	Tax District	3
UD Codes	MKTA06	Market Area	06
Total Land Area	5.000 ACRES		
Description	W1/2 OF SE1/4 OF SW1/4 OF NE 1/4. (TIMBERLANE MH PARK) WD 1070-47.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$48,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (3)	\$60,560.00
Total Appraised Value		\$108,560.00

Just Value	\$108,560.00
Class Value	\$0.00
Assessed Value	\$108,560.00
Exempt Value	\$0.00
Total Taxable Value	\$108,560.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
12/30/2005	1070/47	WD	V	Q		\$173,800.00
1/1/1984	529/495	WD	V	Q		\$13,500.00
11/1/1983	526/245	WD	V	Q		\$13,800.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

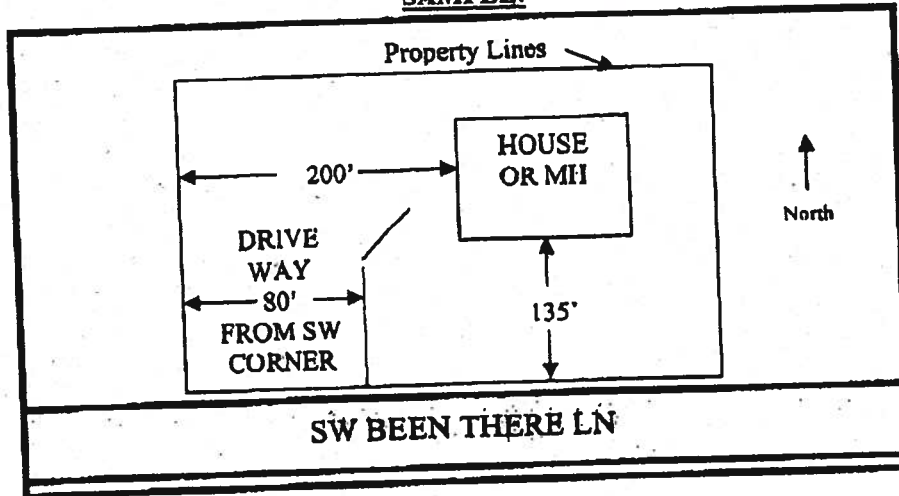
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0259	MHP HOOKUP	0	\$40,800.00	17.000	0 x 0 x 0	AP (50.00)
0166	CONC,PAVMT	0	\$6,800.00	1.000	20 x 20 x 0	(.00)
0260	PAVEMENT-A	0	\$12,960.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

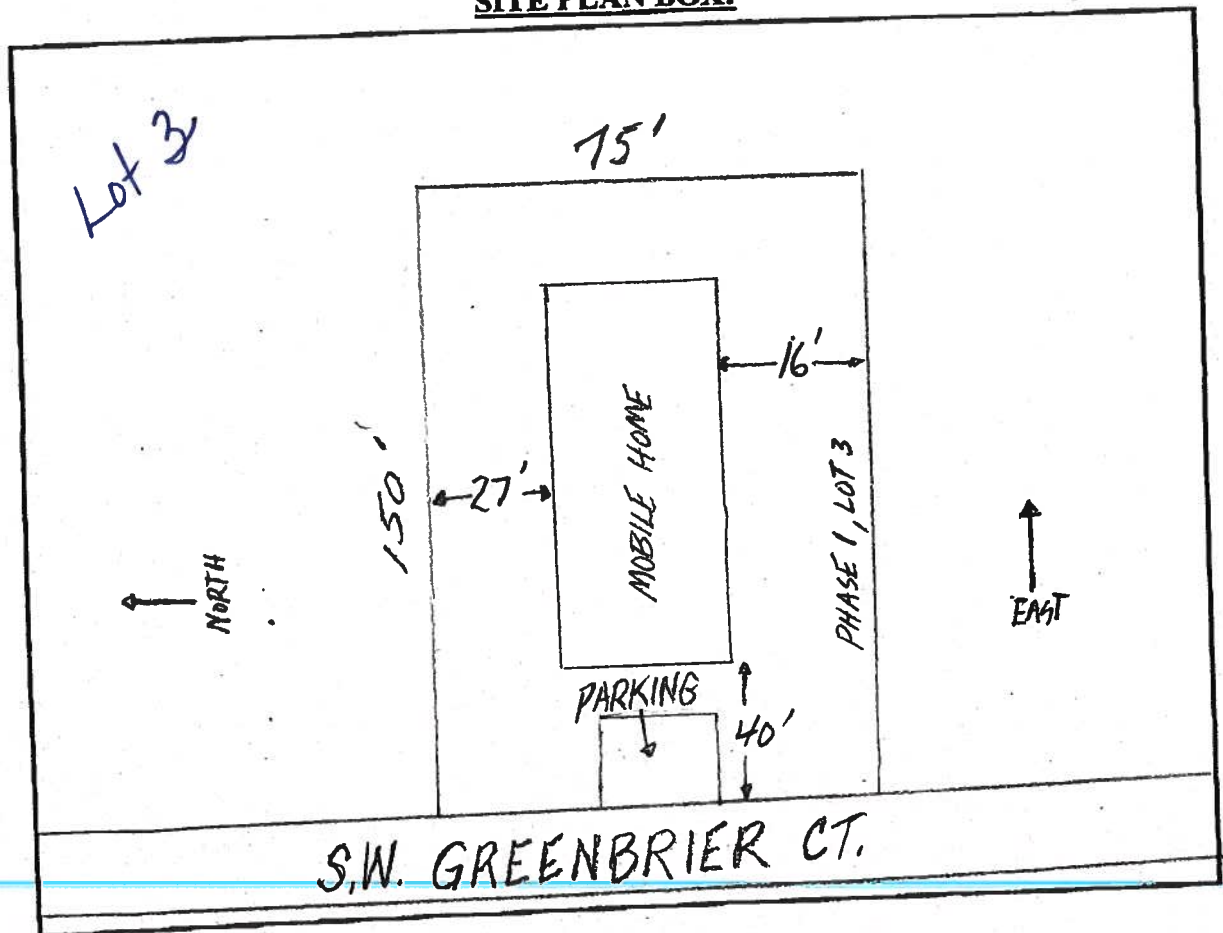
Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



Jeb Bush
GovernorJohn O. Agwunobi, M.D., M.B.A.
Secretary**LETTER OF AUTHORIZATION FOR AGENT**

PERMIT # _____

This is to certify that I have personally authorized the following named individual to act as my agent in applying for and obtaining Onset Sewage Disposal and Treatment permits from the Columbia County Health Department. I further certify that I am the legal owner of the property described in the permit and referenced below and have the right to install a sewage disposal system on it.

AUTHORIZED AGENT: William "Bo" RoyalsPROPERTY I.D.: RD 2824-000

OWNERS SIGNATURE: _____

DATE: 9/9/07

**PLEASE RETURN TO : ENVIRONMENTAL HEALTH
COURTHOUSE ANNEX BASEMENT
135 N.E HERNANDO STREET, SUITE 031
LAKE CITY, FLORIDA 32055**

COLUMBIA COUNTY HEALTH DEPARTMENT
217 N.E Franklin Street, Lake City, FL 32055
Environmental Health
(904) 758-1058
Fax: 758-2187

TIMBERLANE MOBILE HOME COMMUNITY

337 SW Tompkins Street

Lake City, Florida 32024

H 386.755.6795

C 386.303.2222

F 386.752.7204

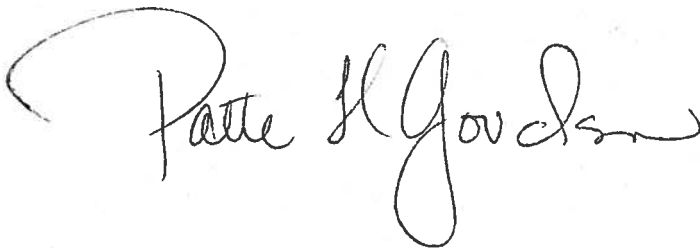
pgoodson@comcast.net

September 7, 2007

To Whom It May Concern:

Timberlane Mobile Home Community has granted permission to Royals Mobile Home Sales to place a mobile home belonging to Joyce Johnson in the park. It will be located in Phase I, Lot 3 with the 911 address of 141 SW Greenbrier Court, Lake City, Florida 32024.

Sincerely,

A handwritten signature in cursive script that reads "Patti H. Goodson". The signature is written in dark ink and is positioned below the word "Sincerely,".

Patti H. Goodson

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

I, Doug McGhee, license number IH 0000623
Please Print

do hereby state that the installation of the manufactured home for Joyce Johnson
Applicant
at 141 SW Greenbrier Ct, Lake City, FL 3202
911 Address
will be done under my supervision.

D. McGhee
Signature

Sworn to and subscribed before me this 7th day of September,
2007.

Notary Public: William P. Crews
Signature

My Commission Expires: 8/8/11
Date



WILLIAM P. CREWS
MY COMMISSION # DD 703246
EXPIRES: August 8, 2011
Bonded Thru Budget Notary Services

PERMIT WORKSHEET

PERMIT NUMBER

Installer Dan McElroy License # 0000623

Address of home being installed _____

Manufacturer _____

Length x width

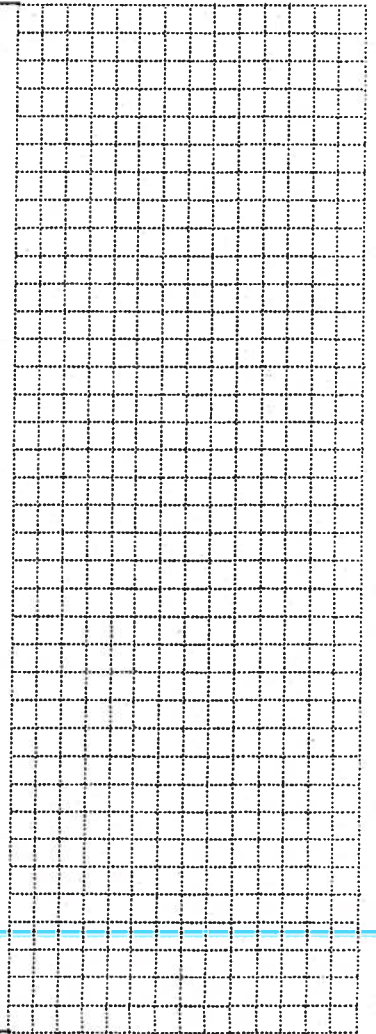
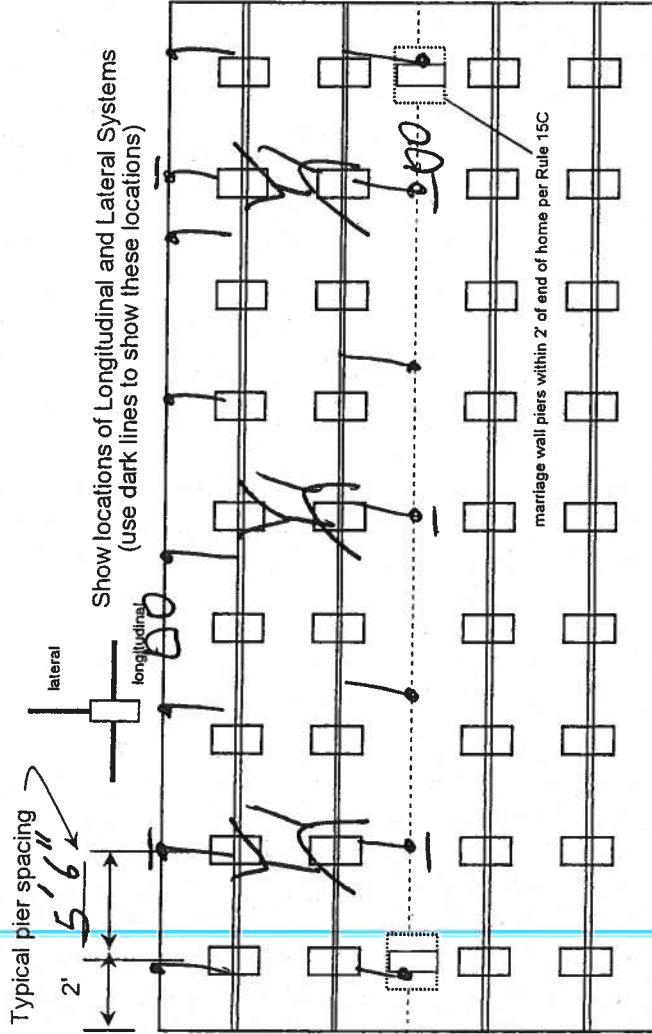
16x60

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

DCM



New Home ☒ Used Home ☐
Home installed to the Manufacturer's Installation Manual ☒
Home is installed in accordance with Rule 15-C
Single wide ☒ Wind Zone II ☒ Wind Zone III ☐
Double wide ☐ Installation Decal # 290201
Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22
Perimeter pier pad size 16x16
Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft ☒ 5 ft _____

FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer _____

OTHER TIES

Number

12

Sidewall

Longitudinal

Marriage wall

Shearwall

ANCHORS

4 ft ☒ 5 ft _____

PERMIT NUMBER _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil _____ without testing.

X 1500 X 1600 X 1600

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500 X 1600

TORQUE PROBE TEST

The results of the torque probe test is 280 inch pounds or check here if you are declaring 5' anchors without testing _____. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials DM

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Doug McElmury

Date Tested 9-7-07

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 4

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 5

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 6

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale _____ Pad _____ Other _____

Fastening multi wide units

Floor: Type Fastener: _____ Length: _____ Spacing: _____
Walls: Type Fastener: _____ Length: _____ Spacing: _____
Roof: Type Fastener: _____ Length: _____ Spacing: _____
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials _____

Type gasket _____ Installed: _____
Pg. _____ Between Floors Yes _____
Between Walls Yes _____
Bottom of ridgebeam Yes _____

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. 8
Siding on units is installed to manufacturer's specifications. Yes ✓
Fireplace chimney installed so as not to allow intrusion of rain water. Yes 11/4

Miscellaneous

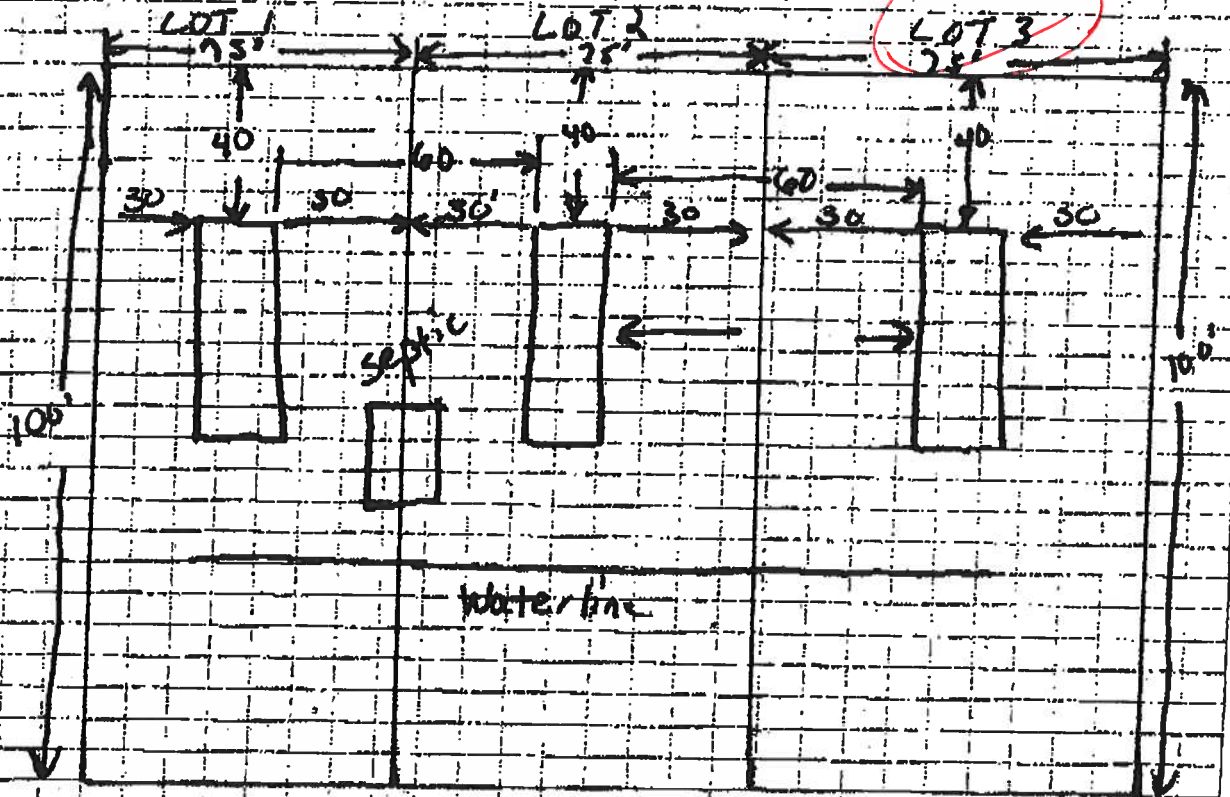
Skirting to be installed. Yes ✓ No _____
Dryer vent installed outside of skirting. Yes ✓ N/A _____
Range downflow vent installed outside of skirting. Yes ✓ N/A _____
Drain lines supported at 4 foot intervals. Yes ✓
Electrical crossovers protected. Yes ✓
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature [Signature] Date 9-7-07

PLOT PLAN

"MUST BE IN COMPLIANCE WITH HUD HANDBOOK 4145.1, REV 2-4"



BORROWER NAME:

CO-BORROWER NAME:

ENTER
PROPERTY ADDRESS OR
LEGAL DESCRIPTION

LEGEND:

MH	- Location of Manufactured Home
W	- Location of Well System
DF	- Location of Drain Field
S	- Location of Septic System
CW	- Location of City Water System
CS	- Location of City Sewer System

Minimum Well Distance Requirements:

Well to Foundation - 25 feet
Well to Septic - 100 feet
Well to Drainfield - 100 feet
Well to Lot Line - 10 feet

List Actual Distance
List Actual Distance
List Actual Distance
List Actual Distance

DEALER SIGNATURE

Will ER

DATE

9/12/07



STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-727-2

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.

See
Attached

Notes:

Site Plan submitted by: W. Ford

Plan Approved ☒

By Sallee Ford ESII

Signature

Not Approved ☐

Columbia CHD

Agent

Title

Date 9-12-07

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

Property Lines

HOUSE OR MH

200'

DRIVE WAY

80'

FROM SW CORNER

135'

North

SW BEEN THERE LN

11-30

Hand-drawn site plan for a mobile home development on S.W. Greenbrier Ct. The plan shows a 150' wide lot divided into three sections. The left section contains a mobile home and a parking area. The middle section is a narrow strip. The right section contains another mobile home and a septic tank. Dimensions and labels are provided for each area.

LOT 3 (Left Section):

- Width: 150'
- Depth: 75'
- Mobile Home: 16' wide, 27' deep
- Parking: 40' deep
- Label: MOBILE HOME 2 BR

Water line (Middle Section):

- Depth: 27'
- Label: PHASE 1, LOT 3

LOT 2 (Right Section):

- Depth: 27'
- Mobile Home: 16' wide, 27' deep
- Label: EAST

Septic (Far Right):

- Depth: 16'
- Label: SEPTIC

S.W. GREENBRIER CT.

**COLUMBIA COUNTY
OFFICE**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 09-4S-16-02824-000

Building permit No. 000026226

Permit Holder DOUG MCGAULEY

Owner of Building TIMBERLANE M/H COMM,LLC.(W. JOHNSON)

Location: 141 SW GREENBRIAR COURT, LAKE CITY, FL

Date: 09/20/2007



Yancy Dicks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)