

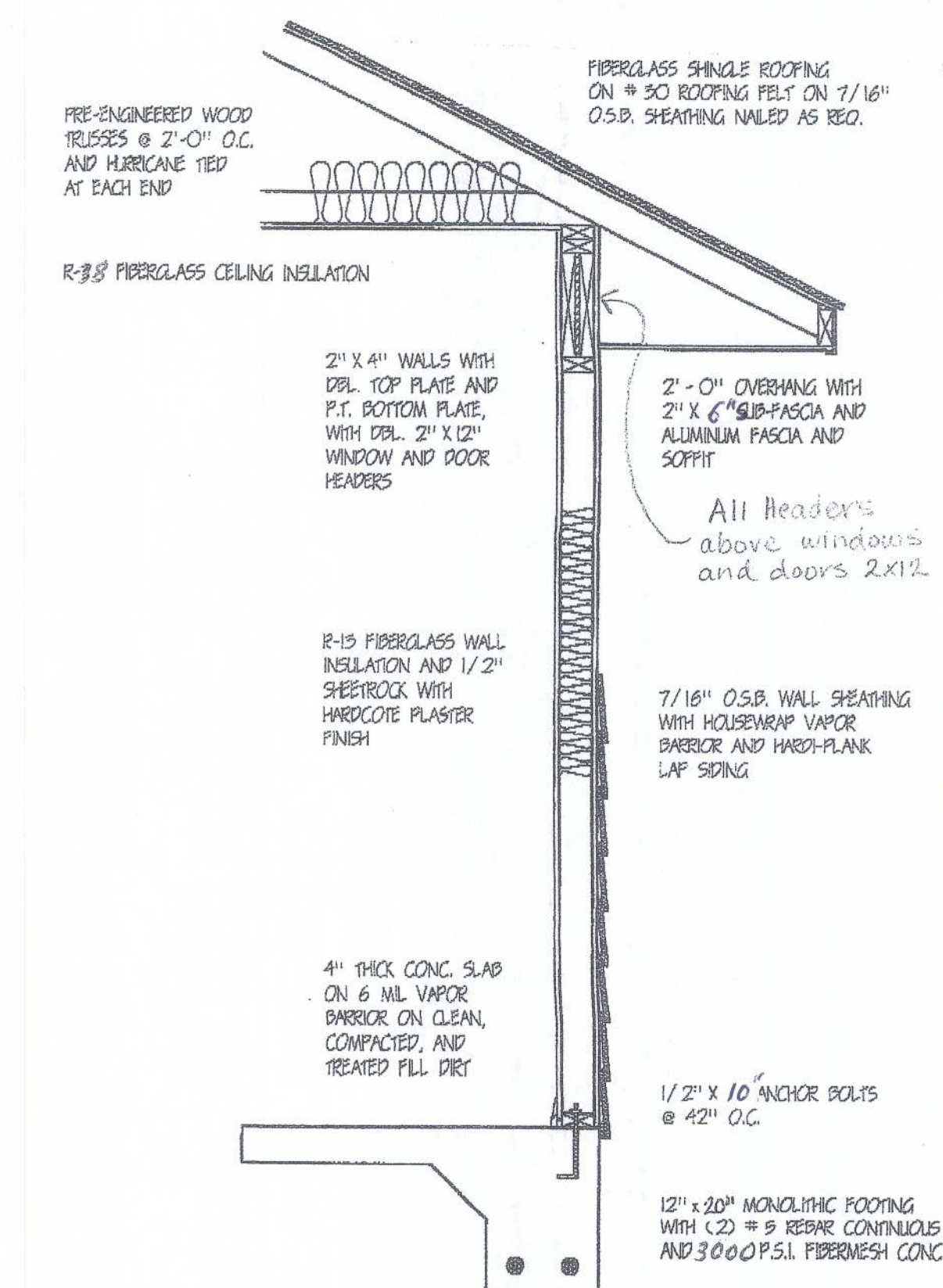
Ronald
Clark
Construction
inc.

Living 1800
FPorch 200
BPorch 24
Total 2024
Floor Plan
1/4" = 1 foot
12-5

2019-48

CODES & DESIGN LOADS

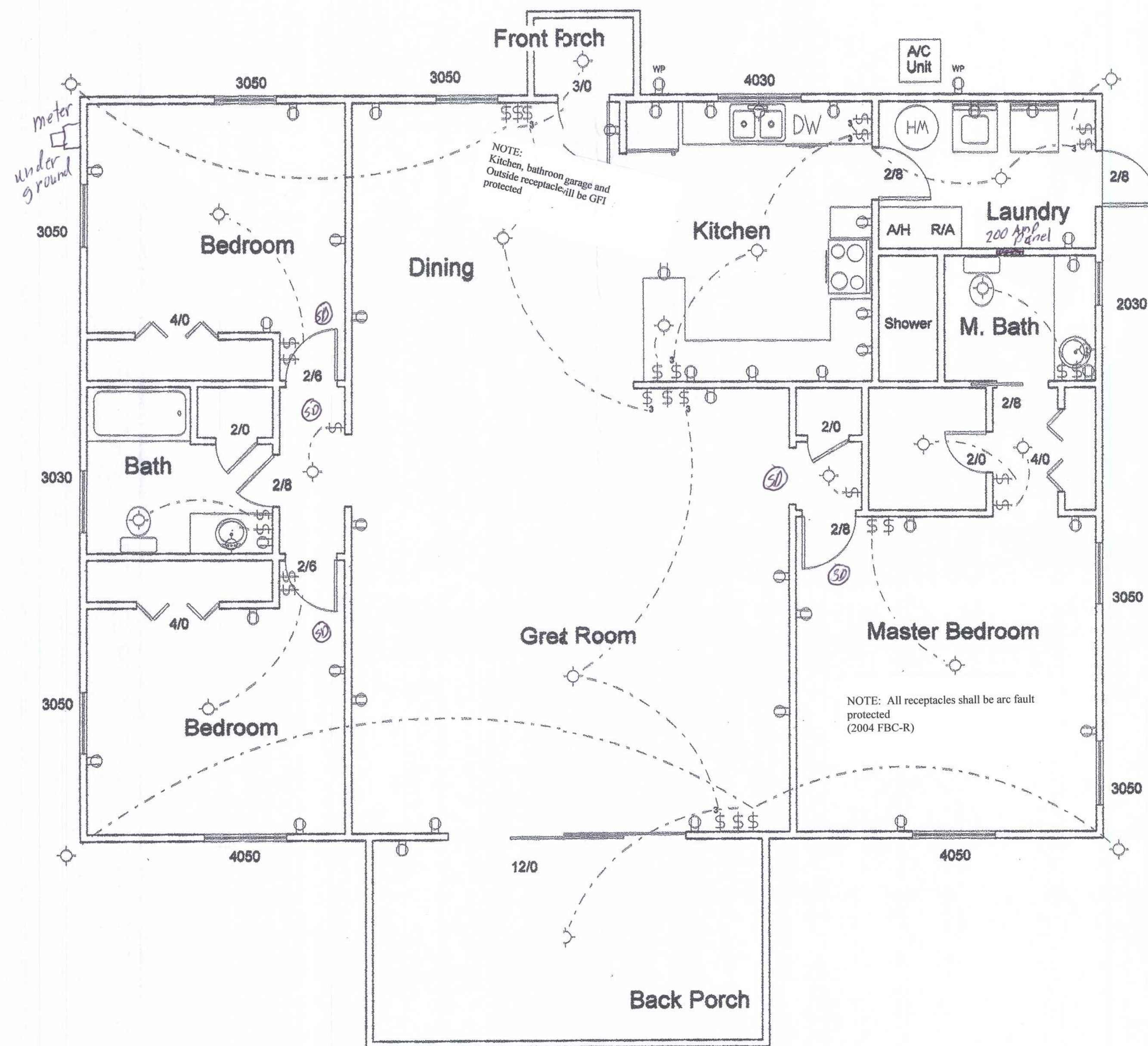
JURISDICTION: Columbia
 PROJECT NAME: Rehins
 PROJECT ADDRESS: Ronald Clark Road
 ARCHITECT/ENGINEER: Ronald Clark Road
 TYPE OF CONSTRUCTION: SEF
 BUILDING DESIGN: CLOSED
 BUILDING CODE: FLORIDA BUILDING CODE - 20 Residential Supplements
 PLUMBING CODE: FLORIDA PLUMBING CODE - 20 Residential Supplements
 MECHANICAL CODE: FLORIDA MECH. & GAS CODE - 20 Residential Supplements
 ELECTRICAL CODE: NATIONAL ELECTRICAL CODE - 20
 IBHS CODE: N/A
 ASCE CODE: ASCE-7.02
 CONSTRUCTION TYPE: Fram
 ALLOWABLE NO. OF FLOORS: ONE (1)
 WIND VELOCITY: 110 (M.P.H.) (3 SECOND GUST)
 FLOOR L.L.: 20 (P.S.F.) FLOOR D.L.: 15 (P.S.F.)
 ROOF L.L.: 20 (P.S.F.) ROOF D.L.: 6+4 B.C + T.C (P.S.F.)
 OCCUPANCY TYPE: R-3
 EXPOSURE B IMPORTANCE FACTOR 1.0
 INTERNAL PRESSURE COEFFICIENT +/- 0.18
 MEAN BUILDING HEIGHT 15 FT. ROOF PITCH 5/12
 OVERHANG 2 SHUTTERS NO
 IMPACT RESISTANT ASSEMBLY NO



WALL SECTION
3/4" = 1'-0"



All Structural
See
Windload Analysis



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Living 1800
FPorch 200
BPorch 24
Total 2024

Electrical
Plan

1/4" = 1 foot
12-5M

Electrical Plan Notes

- E - 1 Wire all appliances, HVAC units and other equipment per manuf. specifications
- E - 2 Consult the owner for the number of separate telephone lines to be installed
- E - 3 All installations shall be per Nat'l. Electric Code
- E - 4 All smoke detectors shall be 120v w/battery backup of the photoelectric type, and shall be interlocked together. Install inside and near all bedrooms.
- E - 5 Telephone, television and other low voltage devices or outlets shall be as per the owner's directions, & in accordance w/applicable sections of the NEC - latest edition.
- E - 6 Electrical contractor shall be responsible for the design & sizing of electrical service and circuits
- E - 7 Entry of service (underground or overhead) to be determined by power company
- E - 8 All receptacles shall be AFI (Arc Fault Circuit Interrupt)
- E - 9 All outlets to be located above base flood elevation
- E - 10 Kitchen, bathrooms, garage and exterior receptacles are GFI

ELECTRICAL LEGEND	
	CEILING FAN (PRE-WIRE FOR LIGHT KIT)
	DOUBLE SECURITY LIGHT
	2x4 FLUORESCENT LIGHT FIXTURE
	RECESSED CAN LIGHT
	BATH EXHAUST FAN WITH LIGHT
	BATH EXHAUST FAN
	LIGHT FIXTURE
	DUPLEX OUTLET
	220v OUTLET
	GFI DUPLEX OUTLET
	SMOKE DETECTOR
	WALL SWITCH
	3 WAY WALL SWITCH
	4 WAY WALL SWITCH
	WATER PROOF GFI OUTLET
	PHONE JACK
	TELEVISION JACK
	GARAGE DOOR OPENER
	WALL HEATER

REVISIONS	



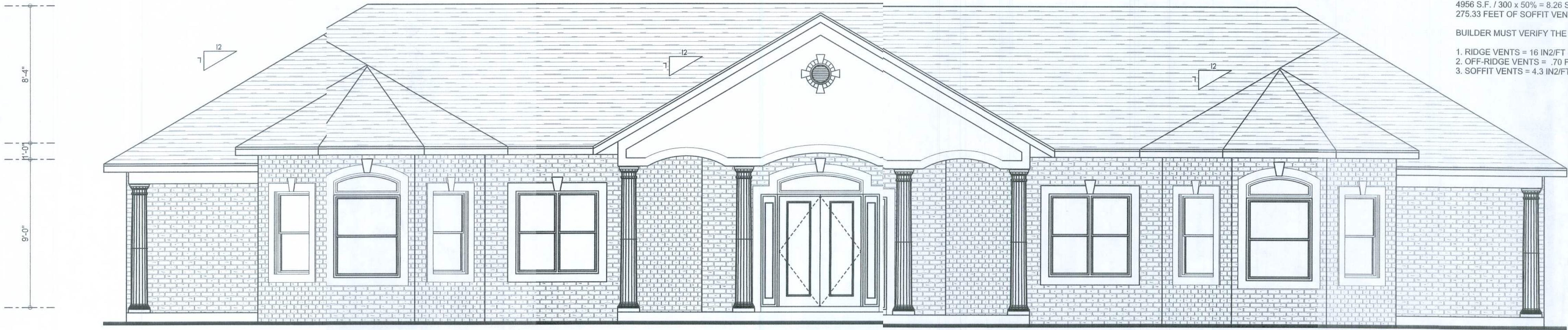
REQUIRED ROOF VENTILATION:
 AS PER FLORIDA BUILDING CODE 2309.7

RIDGE VENT
 MIN. 50% TOTAL VENT AREA
 LOCATED IN THE UPPER PORTION OF ATTIC (MIN. 3" ABOVE EAVE)
 4956 S.F. / 300 x 50% = 8.26 S.F. RIDGE VENT AREA REQUIRED
 75.09 FEET OF RIDGE VENT REQUIRED

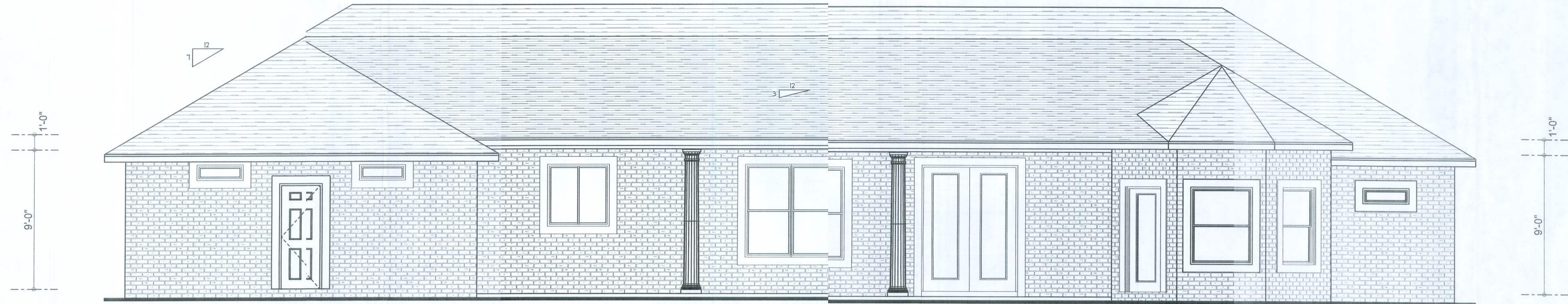
SOFFIT VENT
 4956 S.F. / 300 x 50% = 8.26 S.F. SOFFIT VENT AREA REQUIRED
 275.33 FEET OF SOFFIT VENT REQUIRED

BUILDER MUST VERIFY THE FOLLOWING MINIMUM NET FREE VENT AREAS:

1. RIDGE VENTS = 16 IN2/FT (11 FT2/FT)
2. OFF-RIDGE VENTS = .70 FT2 PER 4' UNIT
3. SOFFIT VENTS = 4.3 IN2/FT (.03 FT2/FT)



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

WINDLOAD ENGINEER:
 Mark Disosway, P.E.
 No. 53915, PCB 868, Lake City, FL 32056,
 386-754-5419

DIMENSIONS:
 Stated dimensions supersede scaled dimensions. Refer all questions to Mark Disosway, P.E. for resolution. Do not proceed without clarification.

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CERTIFICATION: I hereby certify that I have examined this plan, and that the applicable portions of the plan, relating to wind engineering comply with section F301.2.1, Florida building code, residential 2007, to the best of my knowledge.

LIMITATION: This design is valid for one building, at specified location.

MARK DISOSWAY
 P.E. 3615
 11/26/09
 SEL

Tuwani Rossin Residence

ADDRESS:
 567 NW Rossin Ct.
 Lake City, Florida 32055

Mark Disosway P.E.
 P.O. Box 868
 Lake City, Florida 32056
 Phone: (386) 754 - 5419
 Fax: (386) 269 - 4871

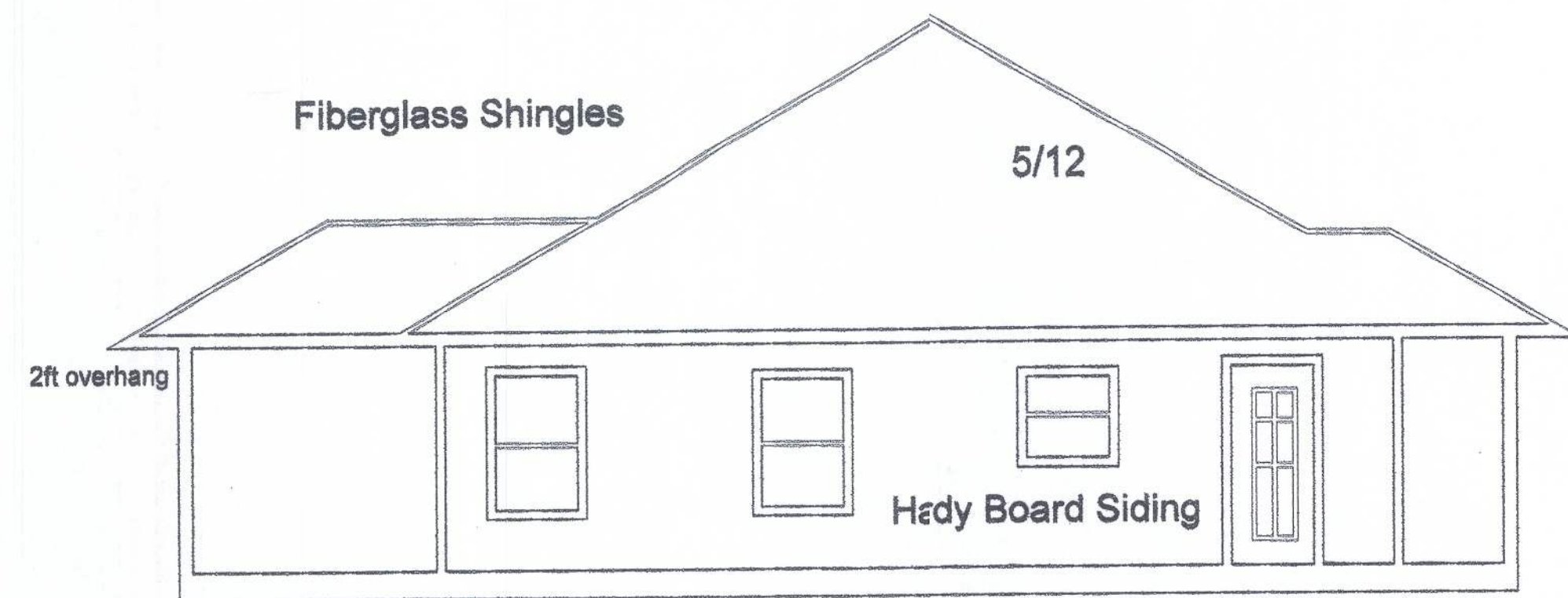
PRINTED DATE:
 August 11, 2009

DRAWN BY: David Disosway
STRUCTURAL BY: David Disosway

FINALS DATE:
 23Jun09

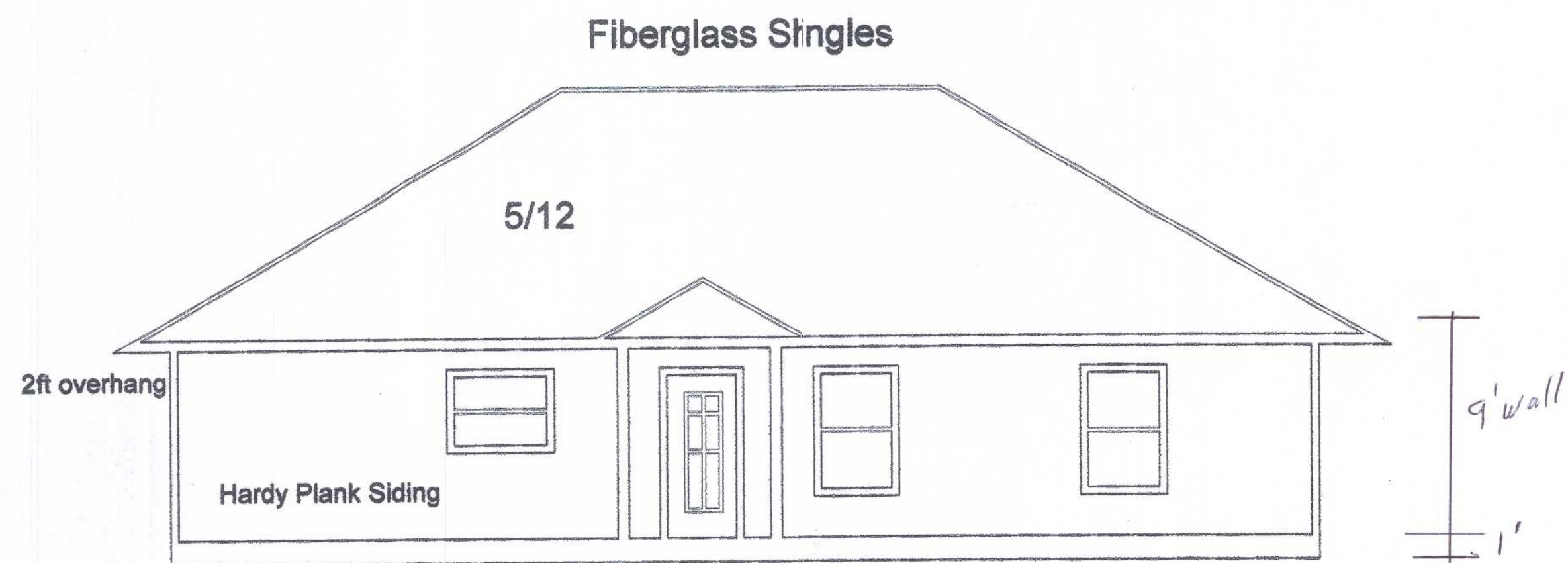
JOB NUMBER:
 904146

DRAWINGNUMBER
 1
 OF 7 SHEETS



Left Elevation

125



Front Elevation

12-5

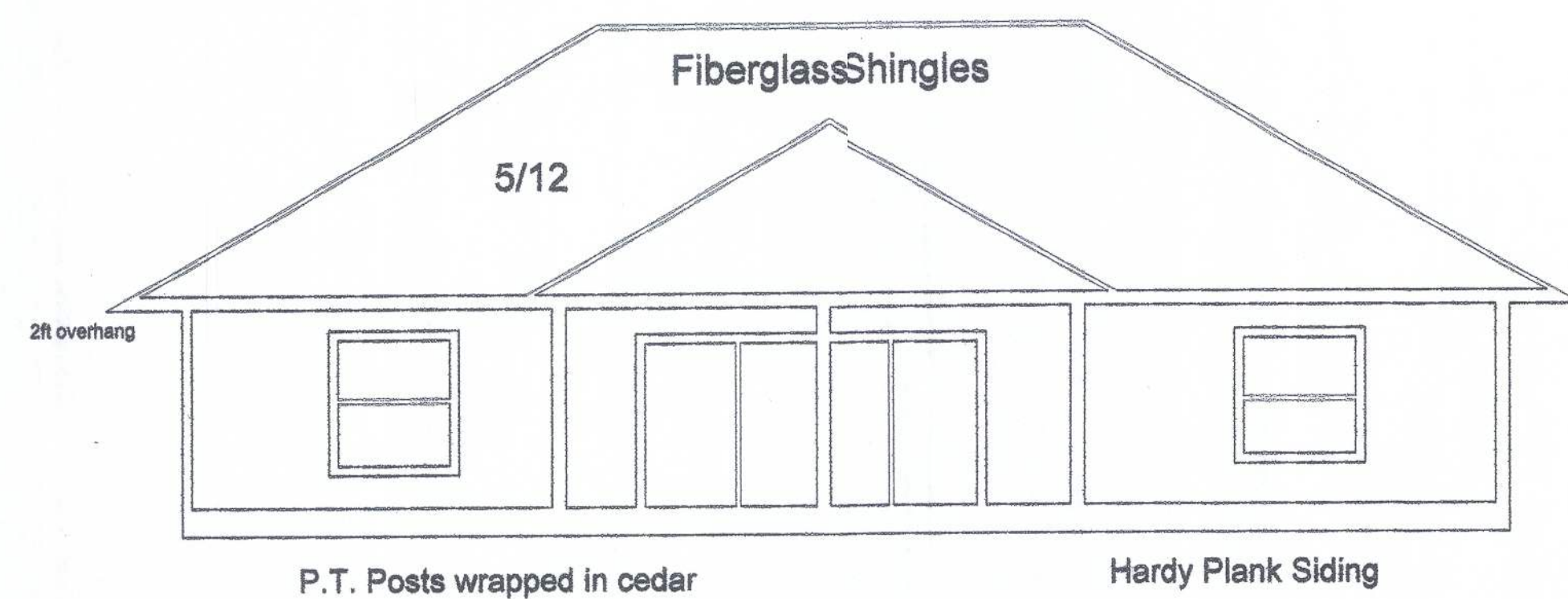
VENTILATION SCHEDULE:
AS PER FLORIDA BUILDING CODE 2309.7

RIDGE VENT
MIN. 50% TOTAL VENT AREA
LOCATED IN THE UPPER PORTION OF ATTIC (MIN. 3' ABOVE EAVE)
2848 S.F. / 300 x 50% = 4.7 S.F. RIDGE VENT AREA REQUIRED
58 FEET OF RIDGE VENT PROVIDED x .11 FT²/FT = 6.38 FT²
4" OFF-RIDGE VENTS PROVIDED x .70 FT²/FT = _____ FT²
TOTAL PROVIDED = 6.38 FT²

SOFFIT VENT
2848 S.F. / 300 x 50% = 4.7 S.F. SOFFIT VENT AREA REQUIRED
177 FEET OF SOFFIT VENT PROVIDED x .03 FT²/FT = 5.31 FT²

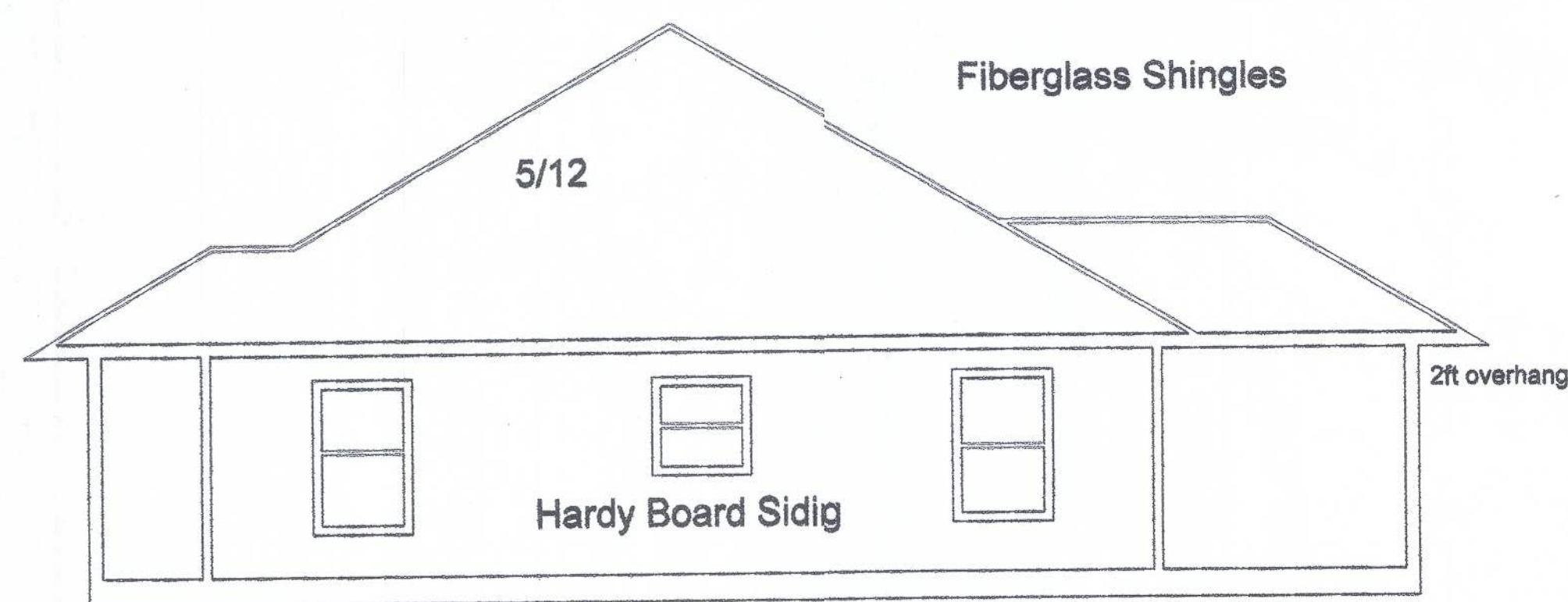
BUILDER MUST VERIFY THE FOLLOWING MINIMUM NET FREE VENT AREAS:

1. RIDGE VENTS = 16 IN²/FT (.11 FT²/FT)
2. OFF-RIDGE VENTS = .70 FT² PER 4" UNIT
3. SOFFIT VENTS = 4.3 IN²/FT (.03 FT²/FT)



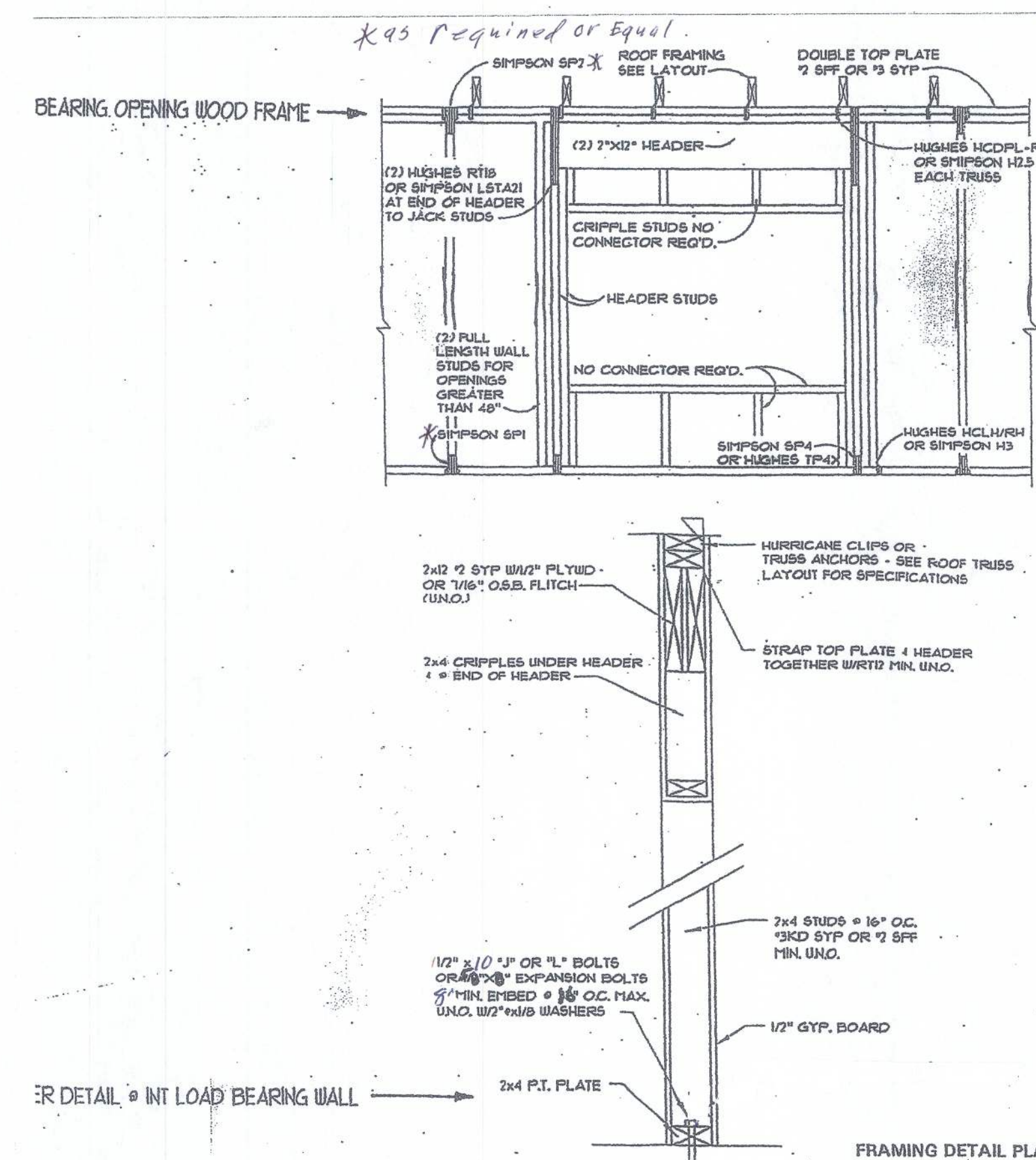
Back Elevation

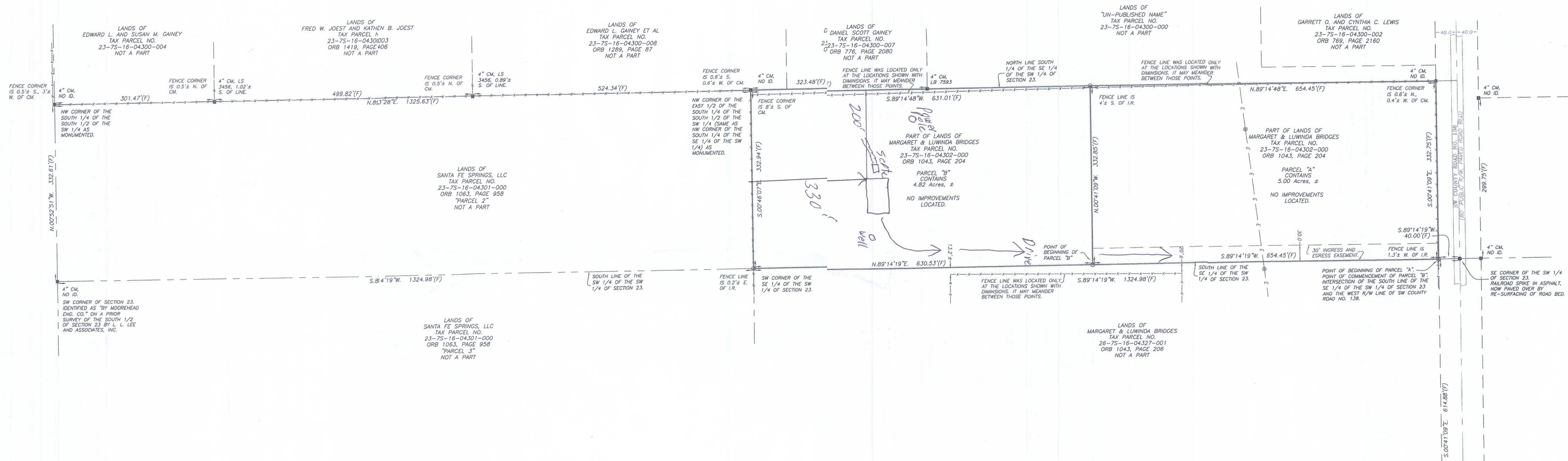
12-8E



Right Elevation

12-5





DESCRIPTION: PARCEL "A"
PART OF THE SOUTH 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A 5/8" IRON ROD, LS 4708, MARKING THE INTERSECTION OF THE SOUTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THE WEST RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 138, AN 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, AND THENCE S.89 DEGREES 14'19"W, ALONG THE SOUTH LINE OF SAID SE 1/4 OF THE SW 1/4, A DISTANCE OF 654.45 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 41'09"E, 332.85 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED NORTH LINE OF THE SOUTH 1/4 OF SAID SE 1/4 OF THE SW 1/4; THENCE N.89 DEGREES 14'48"E, ALONG SAID NORTH LINE, 631.01 FEET TO A CONCRETE MONUMENT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE, THENCE S.00 DEGREES 41'09"E, 332.75 FEET TO THE POINT OF BEGINNING.
DESCRIBED LANDS CONTAIN 5.00 ACRES, MORE OR LESS.
SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE SOUTH 30 FEET OF THE ABOVE DESCRIBED LANDS.

DESCRIPTION: PARCEL "B"
PART OF THE SOUTH 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LS 4708, MARKING THE INTERSECTION OF THE SOUTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THE WEST RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 138, AN 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, AND THENCE S.89 DEGREES 14'19"W, ALONG THE SOUTH LINE OF SAID SE 1/4 OF THE SW 1/4, A DISTANCE OF 654.45 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE N.00 DEGREES 41'09"E, 332.85 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED NORTH LINE OF THE SOUTH 1/4 OF SAID SE 1/4 OF THE SW 1/4; THENCE S.89 DEGREES 14'48"E, ALONG SAID NORTH LINE, 631.01 FEET TO A CONCRETE MONUMENT MARKING THE NW CORNER OF SAID SOUTH 1/4 OF SAID SE 1/4 OF THE SW 1/4; THENCE S.00 DEGREES 41'09"E, ALONG THE WEST LINE OF SAID SOUTH 1/4 OF SAID SE 1/4 OF THE SW 1/4, A DISTANCE OF 332.94 FEET TO A 5/8" IRON ROD, LS 4708, MARKING THE SW CORNER OF SAID SE 1/4 OF THE SW 1/4; THENCE N.89 DEGREES 14'19"E, 630.53 FEET TO THE POINT OF BEGINNING.
DESCRIBED LANDS CONTAIN 4.82 ACRES, MORE OR LESS.
TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE SOUTH 30 FEET OF THE FOLLOWING DESCRIBED LANDS:
PART OF THE SOUTH 1/4 OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT A 5/8" IRON ROD, LS 4708, MARKING THE INTERSECTION OF THE SOUTH LINE OF THE SE 1/4 OF THE SW 1/4 OF SECTION 23, TOWNSHIP 7 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THE WEST RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 138, AN 80 FOOT WIDE PUBLIC RIGHT-OF-WAY, AND THENCE S.89 DEGREES 14'19"W, ALONG THE SOUTH LINE OF SAID SE 1/4 OF THE SW 1/4, A DISTANCE OF 654.45 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 41'09"E, 332.85 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED NORTH LINE OF THE SOUTH 1/4 OF SAID SE 1/4 OF THE SW 1/4; THENCE N.89 DEGREES 14'48"E, ALONG SAID NORTH LINE, 654.45 FEET TO A CONCRETE MONUMENT ON THE AFOREMENTIONED WEST RIGHT-OF-WAY LINE, THENCE S.00 DEGREES 41'09"E, 332.75 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE RECORD TITLE BOUNDARIES OF THIS PARCEL TO THE BEST OF MY ABILITY TO INTERPRET AND LOCATE SAID BOUNDARIES BASED ON THE EVIDENCE OF PRIOR SURVEYS AND RECORDS PROVIDED TO OR OTHERWISE OBTAINED BY THIS OFFICE.
2. BEARINGS BASED ON A BEARING OF S.00°41'09"E, USING MONUMENTS FOUND ON THE WEST R/W LINE OF SW COUNTY ROAD NO. 138 AS SHOWN HEREON.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED FEBRUARY 4, 2009, COMMUNITY PANEL NOS. 12023C0527C AND 12023C0531C.
4. NO NOTE.
5. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
6. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
7. "NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
8. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/7500. BOUNDARY AND CONTROL MONUMENTS CAN BE EXPECTED TO HAVE BEEN MEASURED TO APPROXIMATELY THAT RATIO OF PRECISION. BUILDINGS AND SIMILAR IMPROVEMENTS ARE LOCATED WITHIN ± 0.2 FEET OF THE ACTUAL LOCATION UNLESS OTHERWISE NOTED. OTHER IMPROVEMENTS SUCH AS UTILITY POLES, SEPTIC TANKS, TREES, INTERIOR FENCES, ETC. ARE NORMALLY WITHIN ± 0.5 FEET UNLESS OTHERWISE NOTED.
9. EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS OR DISCOVERED BY THIS OFFICE. AN EFFORT HAS BEEN MADE IN GOOD FAITH TO SHOW PHYSICAL EVIDENCE OF EASEMENTS, OCCUPATION AND USE BY OTHER PARTIES, HOWEVER PHYSICAL CONDITIONS ON THE PARCEL MAY HAVE PREVENTED DISCOVERY OF ALL SUCH EVIDENCE.
10. CERTIFIED TO:
DAVID KENT DOBBINS
LAWYER
LAWYER DOBBINS

SYMBOL LEGEND
O.R.I. OFFICIAL RECORD INSTRUMENT
C.M. CONCRETE MONUMENT FOUND
C.M. CONCRETE MONUMENT SET, LS 4708
I.R. IRON ROD OR PIPE FOUND
I.R. 5/8" IRON ROD SET, LS 4708
E.U. ELECTRIC UTILITY LINE (OVERHEAD)
U.E. UNDERGROUND ELECTRIC SERVICE
C.T.V. CABLE TV LINE (OVERHEAD)
C.L.F. CHAIN LINK FENCE
W.F. WOODEN FENCE
C.M.P. CORRUGATED METAL PIPE
R.C.P. REINFORCED CONCRETE PIPE
L.S. LAND SURVEYOR
L.B. LICENSED BUSINESS
O.R.B. OFFICIAL RECORD BOOK
P.R.M. PERMANENT REFERENCE MONUMENT
P.C.P. PERMANENT CONTROL POINT
U.P. UTILITY POLE
R/W RIGHT-OF-WAY
NO ID. NO IDENTIFICATION
FLA. DEPT. OF TRANSPORTATION
C. CENTERLINE
C.M. CONCRETE MONUMENT
I.R. IRON ROD
I.P. IRON PIPE
SRD STATE ROAD DEPARTMENT

EXTRA ABBREVIATION:
(F) FIELD, AS IN "FIELD MEASUREMENT"
(D) DEED, AS IN "DEED DIMENSION"
(P) PLAT, AS IN "PLAT DIMENSION"
(R) RECORD, AS IN "RECORD DIMENSION"
(C) RECORD, AS IN "CALCULATED DIMENSION"

MARK D. DUREN AND ASSOCIATES INC.
LB 762C
1604 SW SISTERS WELCOME ROAD
LAKE CITY, FLA. 32025
(386) 758-9831 OFFICE
(386) 758-8000 FAX
FIELD SURVEY DATE: FEBRUARY 9, 2021
DATE DRAWN: FEBRUARY 9, 2021
FOR: DOBBINS
FIELD BOOK: 250 PAGE: 68
DRAWN BY: M. DUREN
WO#: 21-040

SIGNING SURVEYOR:
MARK D. DUREN, LS 4708
1604 SW SISTERS WELCOME ROAD
LAKE CITY, FL 32025

SIGNED:
MARK D. DUREN, LS 4708