

ABBREVIATIONS

A/C	AIR COOLING UNIT
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
ALUM	ALUMINUM
BLK	BLOCK
BOT	BOTTOM
BRG	BEARING
CJ	CONTROL JOINT
CLG	CEILING
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
ELEC	ELECTRIC
EQ	EQUAL
FF	FINISH FLOOR
FTG	FOOTING
HB	HOSE BIB
HDR	HEADER
HGT	HEIGHT
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
OPNG	OPENING
SIM	SIMILAR
TYP	TYPICAL
VLT	VAULT
UNO	UNLESS NOTED OTHERWISE

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

area tabulation 'b'

GARAGE	451 SF
FRONT PORCH	85 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

BUILDING CODE COMPLIANCE

ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCE CURRENTLY IN USE WITH THE LOCAL JURISDICTION.

PRODUCT: NEW SINGLE FAMILY DETACHED

OCCUPANCY CLASSIFICATION:

RESIDENTIAL R-3

CONSTRUCTION CLASS:

UNPROTECTED

CONSTRUCTION TYPE:

TYPE VB

EMERGENCY ESCAPE:

EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE MINIMUM OF 5.7 SQUARE FEET

APPLICABLE CODES:
FOLLOW ALL APPLICABLE STATE AND LOCAL CODES.
FLORIDA STATE SUPPLEMENTS AND AMENDMENTS.

2020 Florida Building Code, Residential, 7th Edition

2017 National Electrical Code, NFPA 70

Carlisle

37' - 1398 - LH

Florida Region (Frame)

INDEX

ARCHITECTURAL

CS	GENERAL NOTES & LEGENDS
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A2	SLAB PENETRATION PLAN
A3	FLOOR PLANS
A4	SECTIONS & DETAILS
A5	INTERIOR DETAILS
A6	ROOF PLAN
E1	ELECTRICAL PLANS
CD	CONSTRUCTION DETAILS

REVISIONS

NUMBER	DATE	DESCRIPTION
01	2.16.2021	Revised O.Bath door size to 2868
02	3.3.2021	Add elevations A1 & B1
03	6.4.2021	Added stem wall occasions A2/B2
04	06.10.2021	verify & notation of outlets 6'-0" max from wall break at O. Suite (E1.1)
05	07.06.21	Added floor break transition strips to plan
06	07.12.21	Added outlet to Owner's
07	07.21.21	Added elevations A4 & B4
08	08.04.21	labeled egress windows, labeled accessible bath, smoke/carbon alarms near appliances noted
09	09.03.21	Added stemwall option to all elev's, called out gfi outlets within 6' of kitchen sink, revised attic calcs.



Signing Date: 06/27/2022

THE SEAL OF THE ENGINEER, PROFESSIONAL ENGINEERING, NO. 12345, STATE OF FLORIDA, EXPIRES 12/31/2024. THIS SEAL MUST BE PLACED ON ALL WORK. THE SEALING AND SEALING OF THIS SEAL IS THE RESPONSIBILITY OF THE SEALING OFFICIAL. IF SEAL AND SEALING OF THIS SEAL IS NOT COMPLETED, THE SEAL IS NOT VALID.



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☐ CARLA A. BROWN, P.E. - FL # 58128
☐ LUIS PABLO TORRES, P.E. - FL # 27184



Reserve at Jewel Lake
Lot 026
376 SW Jewel Lake Drive
Lake City, FL 32024

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PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
COVER SHEET

SHEET NO:

CS

1. CORROSION RESISTANT ROOF TO WALL FLASHING AT ALL ROOF / WALL INTERSECTIONS.
2. CORROSION RESISTANT SCREEN LOUVERED VENTS, SIZE AS NOTED.
3. BRICK WAINSCOT WITH SLOPED BRICK ROWLOCK CAP.
4. STONE WAINSCOT WITH SLOPED STONE CAP.
5. 3 1/2" VINYL TRIM SURROUND
6. 36" H. GUARDRAIL AS REQUIRED



1/4" = 1'-0" @ 22x34



1/4" = 1'-0" @ 22x34



WWW.FDSENG.COM

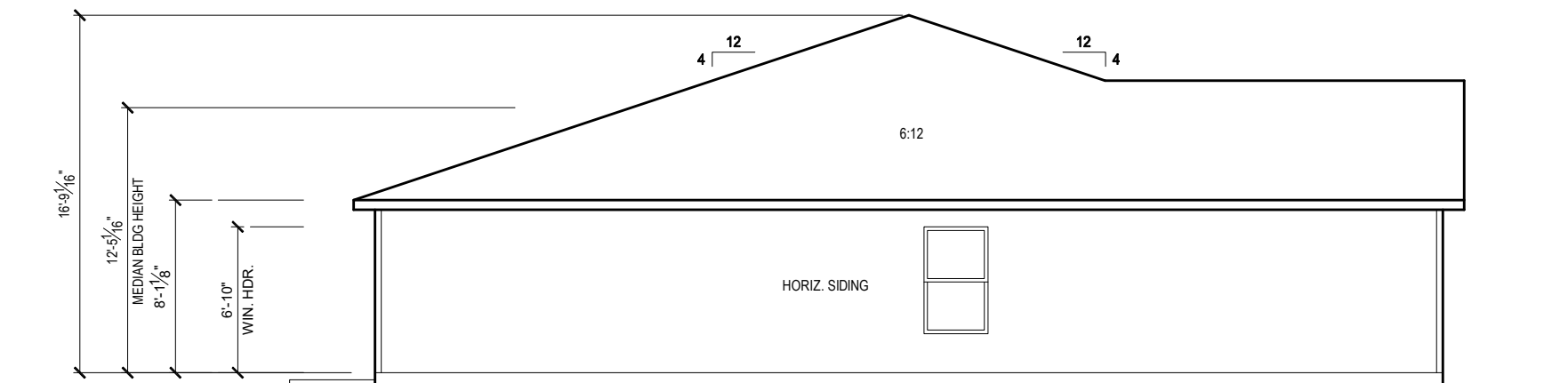
☐ LUIS JOSE BURGOS ROSADO, PE - FL #92724
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RELEASE DATE:
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DRAWING TITLE:
EXTERIOR ELEVATIONS

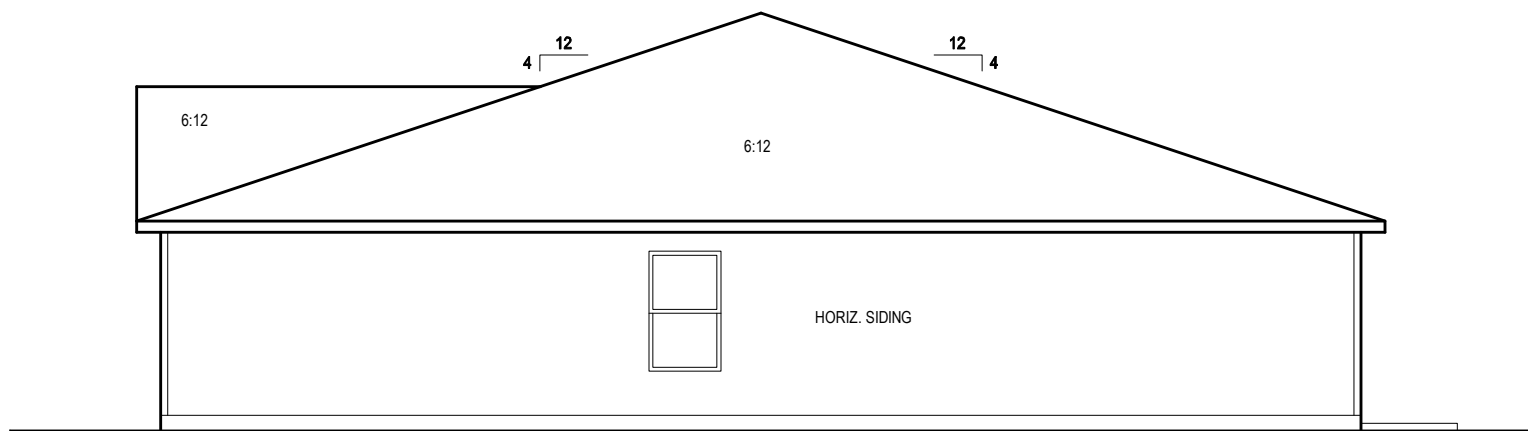
1.1-A1



LEFT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



RIGHT SIDE ELEVATION 'A1'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34

[illegible]

February 21, 2022

6-24-2022



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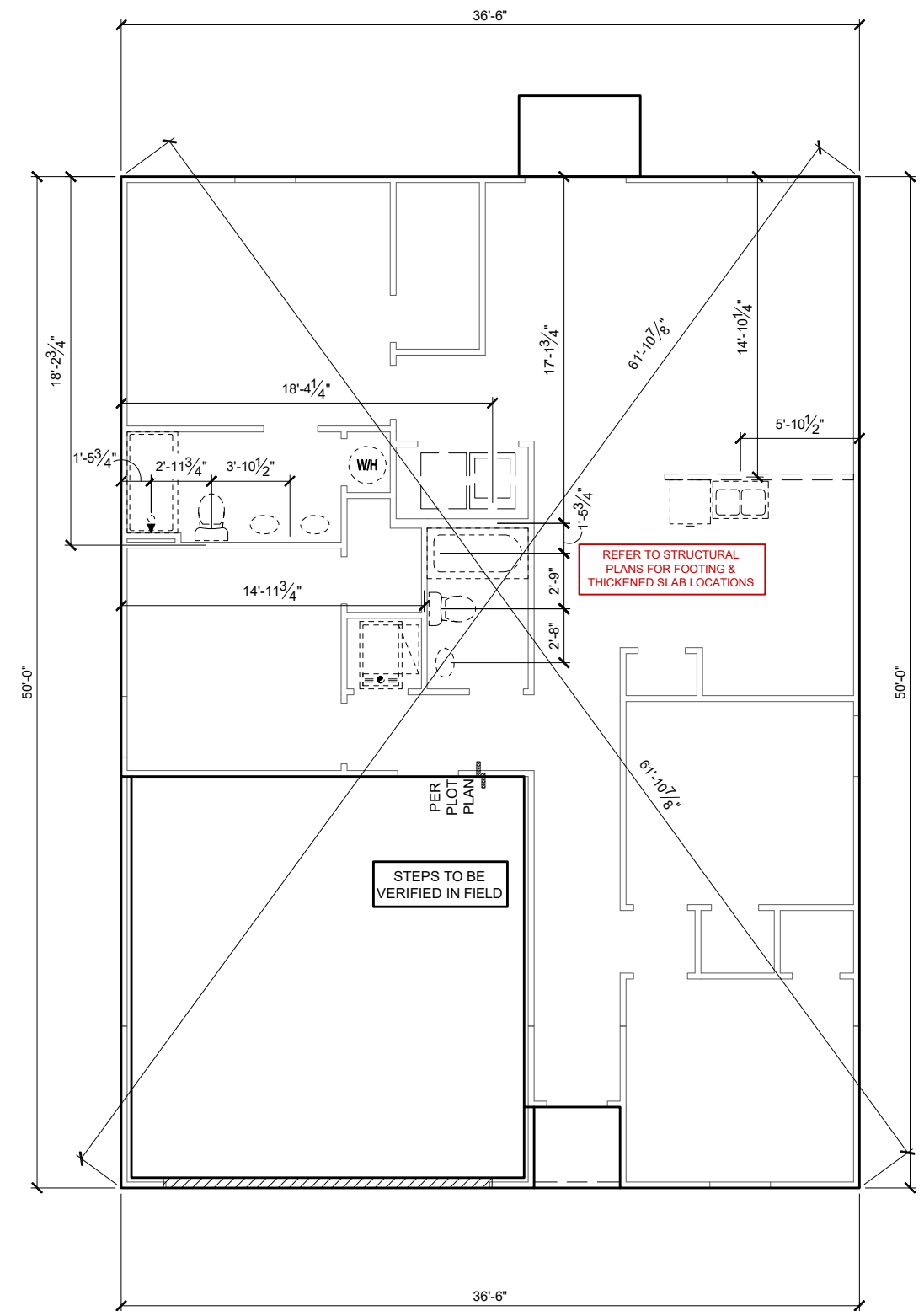
MODEL: CARLISLE

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NO:

1.2-A1

- PLUMBING CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING LOCATIONS.
- REFER TO EXTERIOR ELEVATIONS FOR BRICK/STONE LOCATIONS.
- GARAGE SLAB SHALL SLOPE TOWARD GARAGE DOOR OPENING.



1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

IF SEAL AND SIGNATURE ARE NOT BLANK OR CAN NOT BE
SMUDGED CONTACT THE DOJ FOR WITHDRAWAL.

6-24-2022



serve at Jewel Lake
026
SW Jewel Lake Drive
City, FL 32024

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33711398

33/11398
RELEASE DATE:
01.11.2021

CARLISLE

SLAB PENETRATIONS PLAN

ET NO:

2.1-A

NOTES & LEGENDS

1. REFER TO ENGINEERING STRUCTURAL DRAWINGS (S-#) FOR BEARING WALL LOCATIONS AND FOR ALL BEAM & HEADER SIZES AND BEARING WALL LOCATIONS

2. ALL BEARING WALLS SHALL BE 16" O.C. WALL CONST. W/ DOUBLE TOP PLATE U.N.O.

3. ALL INTERIOR NON BEARING DOOR & WINDOW HEADERS SHALL BE (1) 2x4 OR (1) 2x6 W/VERTICAL CRIPPLERS @ 2'-0" O.C. TO MATCH WALL WIDTH UNLESS NOTED OTHERWISE.

4. (2) HOSE BIBS SHALL BE INSTALLED, LOCATION TO BE DETERMINED BY PLUMBING CONTRACTOR

OPTIONAL WINDOW

2X4 FRAME WALL

2X6 FRAME WALL

BALLOON FRAME WALL
(PER STRUCTURALS)

KEYNOTES

A1 GARAGE CEILING - 5/8" TYPE X DRYWALL, VERTICAL SURFACE WALLS - 1/2" DRYWALL

A2 22X30" ATTIC ACCESS CONSTRUCTED WITH GYP. BD. (5/8" TYPE X AT GARAGE) WITH DOOR TRIM FRAME ACCESS SUPPORT

A3 PROVIDE 6" MIN. FLAT CLG AT ANGLED CLG CONDITION

A4 PULL DOWN STAIRS 25.5" x 54"

A5 TEMPERED SAFETY GLASS PER IRC R308.4

A6 HOUSE TO GARAGE DOOR SEPARATION. PROVIDE APPROVED 20 MINUTE RATED DOOR PER IRC 302.5.1

A7 A/C CONDENSER PAD. REFER TO SITE PLAN FOR FINAL LOCATION. VERIFY CONNECTION TO CONC. PAD W/ MANUF. SPECS

A8 1/2" TYPE X DRYWALL AT ACCESSIBLE AREAS UNDER STAIRS

A9 LOUVERED DOOR w/ GAS FURNACE

D1 DRYWALL SOFFIT - 12" DROP FROM CEILING LINE

D2 DRYWALL SOFFIT - 8" DROP FROM CEILING LINE

K1 39" KNEE WALL WITH CAP PER SPECS

K2 38" KNEE WALL WITH 1x CAP

K3 46" KNEE WALL WITH CAP PER SPECS

K4 34 1/2" KNEE WALL

K5 42" KNEE WALL WITH 1x CAP

K6 KNEE WALL WITH 1x CAP 42" ABOVE STAIR NOSING OR LANDING

P1 30" X 60" SHOWER ENCLOSURE PER SPECS

P2 30"x60" TUB PER SPECS

S1 BOX STAIR WITH 38" KNEE WALL & 1X CAP

S2 1X CAPPED STRINGER, TOP AT 3" ABOVE TREAD

S3 HANDRAIL AT +36" ABV. STAIR NOSING OR LANDING

area tabulation 'a'

GARAGE	451 SF
FRONT PORCH	17 SF
REAR PATIO	24 SF
FLOOR 1 LIVING	1,398 SF
TOTAL LIVING	1,398 SF

The first floor plan 'A' shows a rectangular building with overall dimensions of 36'-6" wide by 50'-0" deep. The layout includes a large garage (451 SF) at the rear left, a front porch (17 SF), and a rear patio (24 SF). The main living area (1,398 SF) consists of a great room (8' clg), dining room (8' clg), kitchen, and four bedrooms (br 2, br 3, br 4, and owner's suite). The owner's suite includes a walk-in closet (wic) and a private bathroom (o. ba). The kitchen features a pantry, dishwasher (DW), and island. The plan also shows a central foyer, a linen closet (linen), a laundry room (lau), and a second bathroom (ba 2). Structural details include various wall types (2x4, 2x6, balloon frame), doors (3050 SH, 2468, 2868), windows (3050 SH, 2468, 2868), and egress points. Dimensions for rooms and setbacks are provided throughout the plan.

FIRST FLOOR PLAN 'A'

1/8" = 1'-0" @ 11x17
1/4" = 1'-0" @ 22x34

CENTURY
Complete

February 21, 2022

REVISIONS

6-24-2022

FDS

ENGINEERING ASSOCIATES

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MODEL: CARLISLE

DRAWING TITLE: FIRST FLOOR PLAN

SHEET NO: 3.1-A

ATTIC VENT CALCULATION

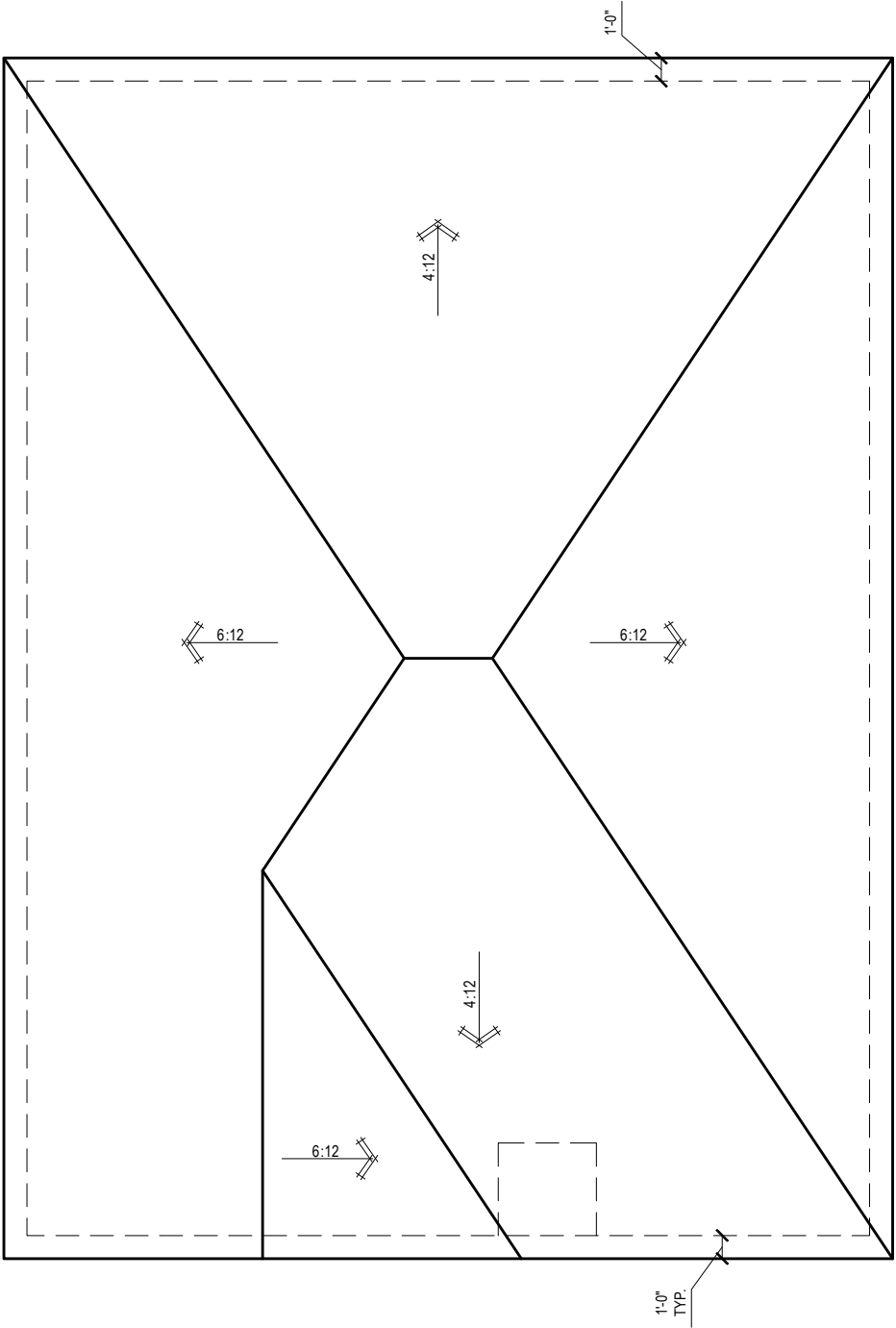
ATTIC VENTILATION TO COMPLY w/ F.B.C RESIDENTIAL CODE. THE REQUIRED NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE SPACE VENTILATED. AREA MAY BE REDUCED TO 1/300 PROVIDED THAT 40 TO 50 PERCENT OF THE REQ'D VENTILATING AREA IS PROVIDED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE WITH THE BALANCE OF THE REQ'D VENTILATION PROVIDED BY THE EAVE OR CORNICE VENTS.

MANUFACTURE SELECTED TO VERIFY THE NET FREE VENTILATION OF THE VENT PRODUCT SELECTED AND TO MAINTAIN THE REQUIRED VENTILATION.

DO NOT LOCATE VENTS ON ROOF PLANE(S) FACING STREET.

ROOF VENTILATION CALCULATIONS			
ROOF AREA	2,002 SF		
TOTAL NET FREE AREA REQ'D (1 TO 300)	961.0 SQ. IN.		
MAIN HOUSE INLET (SOFFIT) VENTILATION	96.0 LF x	6.4 SQ. IN / LINEAR FT =	614.4 SQ. IN.
POD VENT(S) REQUIRED WITH BASE HOUSE	7	VENTS AT 70.0 SQ. IN EA. =	490.0 SQ. IN.
LOWER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	614.4 SQ. IN	55.6%	
UPPER VENTING PROVIDED (480.5 SQ. IN. REQ'D)	490.0 SQ. IN	44.4%	

NOTE: TYPICAL VENTILATION INCLUDES:
1. SOFFIT VENTS
(AREA: 6.4 SQ. IN PER FOOT - VERIFY WITH MANUFACTURE)
2. LOMANCO 770" ATTIC VENT LOCATED 12" MIN. FROM RIDGE
(AREA: 70 SQ. IN. - VERIFY W MANUFACTURE)
*(1) LOMANCO 770D VENT AT 140 S.I. EA.CAN BE USED IN PLACE OF (2) 770 VENTS.



ROOF PLAN 'A'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



6-24-2022



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MODEL:
CARLISLE

DRAWING TITLE:
ROOF PLAN

SHEET NO:

6.1-A

ELECTRICAL LEGEND

\$

SWITCH

\$3

3 WAY SWITCH

\$4

4 WAY SWITCH

WALL MOUNTED LIGHT

LED DOWNLIGHT

DISCONNECT

CEILING FIXTURE OUTLET

S

SMOKE DETECTOR

C

SMOKE/CARBON MONOXIDE ALARM

110v RECEPTACLE

110v SWITCHED RECEPTACLE

110v ABOVE COUNTER RECEPTACLE. GFI PROTECTED AT KITCHEN, BATH & LAUNDRY

110v DEDICATED RECEPTACLE FOR SECURITY/STRUCTURED WIRING PANEL

GFI OUTLET

220v RECEPTACLE

110v FLOOR RECEPTACLE

DISPOSAL

CHIME

BATH EXHAUST FAN

CEILING FAN PREWIRE WITH BRACING FOR FUTURE FAN

PW

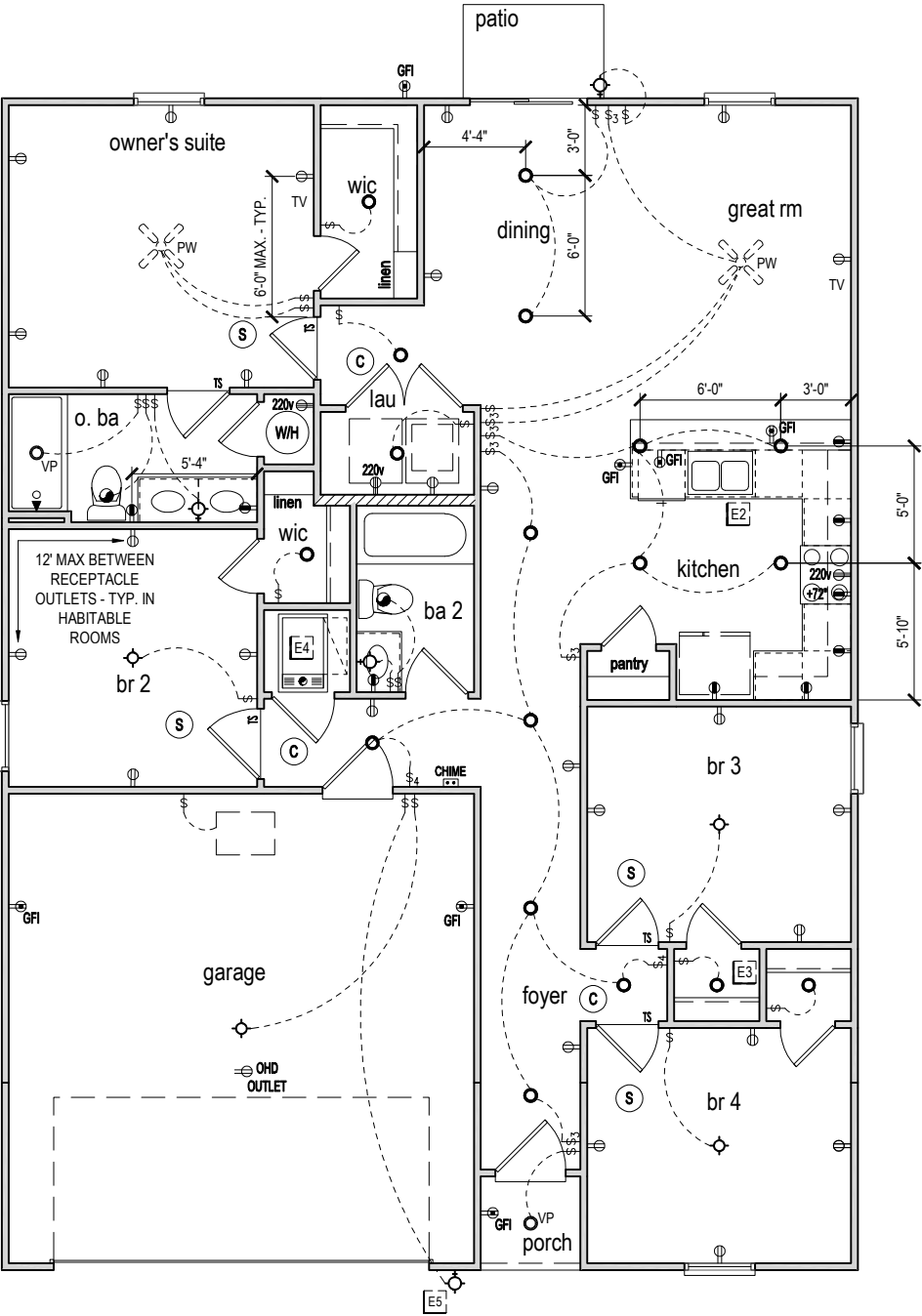
VP=VAPOR PROTECTED

B = BRACE FOR FUTURE FAN
H = HANGING
P = OPT. PENDANT

- PROVIDE ADDITIONAL EXTERIOR WEATHERPROOF RECEPTACLE WITHIN 15 FEET OF CONDENSING UNITS
- INSTALL GFCI AND ARC FAULT CIRCUIT INTERRUPTER PROTECTION PER NEC SECTIONS 210.52G
- ALL GARAGE OUTLETS SHALL BE ON A DEDICATED CIRCUIT
- IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- DWGS. ARE DIAGRAMMATICAL & INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL WORK. ANY DISCREPANCIES ON THE DOCUMENTS SHALL BE CALLED TO THE ARCHITECT'S ATTENTION PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE ELECTRICAL DRAWINGS.

KEYNOTES

- E1 ELECTRICAL PANEL PER SPECS
- E2 INSTALL GFI OUTLET UNDER SINK FOR FUTURE DISPOSAL
- E3 DOOR CHIME TRANSFORMER LOCATION
- E4 MECHANICAL ROOMS TO INCLUDE KEYLESS LIGHT, PLUG AND DISCONNECT FOR AIR HANDLER
- E5 COACH LIGHT ONLY IF REQUIRED BY LOCAL MUNICIPALITY. INSTALL AT 68" AFF
- E6 INSTALL COACH LIGHT AT 68" AFF



FIRST FLOOR ELECTRICAL PLAN 'A'

1/8" = 1'-0" @ 11x17

1/4" = 1'-0" @ 22x34



6-24-2022

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PLAN NUMBER:
33711398

RELEASE DATE:
01.11.2021

MODEL:
CARLISLE

DRAWING TITLE:
FIRST FLOOR ELECTRICAL

SHEET NO:

E1.1

[illegible]

ABBREVIATIONS

A.B.	Anchor Bolt	Fl. Sys.	Floor System	PSF	Pounds per square foot
Abv.	Above	F.O.M.	Face Of Masonry	P.T.	Pressure Treated
Adj.	Adjustable	Ft.	Foot / Feet	Rad.	Radius
A.F.F.	Above Finished Floor	Ftg.	Footing	Req'd.	Required
ALT.	Alternate	Galv.	Galvanized	Rm.	Room
Bm.	Beam	G.C.	General Contractor	Rnd.	Round
B/B	Bottom of Beam	G.F.I.	Ground Fault Interrupter	S.F.	Square Feet
Bt.	Bearing	G.T.	Girder Truss	SHT	Sheet
Cant.	Cantilever	Hdr.	Header	S.L.	Side Lights
Cir.	Circle	Hgt.	Height	S.P.F.	Spruce Pine Fir
Ctg.	Ceiling	Int.	Interior	Sq.	Square
CJ	Control Joint	K/Wall	Kneewall	S.Y.P.	Southern Yellow Pine
Col.	Column	L.F.	Linear Ft.	Th.K.	Thicken
Cont.	Continuous	Max.	Masonry	T.O.B.	Top of Block
Dis.	Double	Max.	Maximum	T.O.M.	Top of Masonry
Dis.	Diameter	Min.	Minimum	T.O.P.	Top of Plate
Ea.	Each	M.L.	Microalim	Trans.	Transom Window
E.W.	Each Way	Mir.	Mirror	Typ.	Typical
Elec.	Electrical	Mono	Monolithic	U.N.O.	Unless Noted Otherwise
Elev.	Elevation	N.T.S.	Not to Scale	Vert.	Vertical
E.O.R	Engineering or Record	O.C.	On center	V.L.	Versalum
Ext.	Exterior	Op'ng.	Opening	VTR	Vent through Roof
Exp.	Expansion	Opt.	Optional	W.	Washer
F.B.C.	Florida Bldg. Code	P.	Piece	W.	With
Fin. Flr.	Finished Floor	P.L.	Parallam	W.A.	Wedge Anchor
Flr.	Floor	PLF	Pounds per linear foot	Wd	Wood
Fdn.	Foundation	Plt. Ht.	Plate Height	WP	Water Proof

TERMITE SPECIFICATIONS

SECTION R318 PROTECTION AGAINST TERMITES

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDES). UPON COMPLETION OF THE APPLICATION OF A TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED BY THE BUILDING DEPARTMENT. THE CERTIFICATE OF COMPLIANCE SHALL CONTAIN THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

NOTES:

1. METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.
2. PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION.
3. OPTIONAL BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

- -NOTICE TO BUILDER AND ALL SUBCONTRACTORS- -

IT IS THE INTENT OF THE ENGINEER LISTED IN THE TITLEBLOCK OF THESE DOCUMENTS THAT THESE DOCUMENTS BE ACCURATE, PROVIDING LICENSED PROFESSIONALS CLEAR INFORMATION. EVERY ATTEMPT HAS BEEN MADE TO PREVENT ERROR. THE BUILDER AND ALL SUBCONTRACTORS ARE REQUIRED TO:

1. REVIEW ALL THE INFORMATION CONTAINED IN THESE DOCUMENTS, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE ENGINEER ARE NOT RESPONSIBLE FOR ANY PLAN ERRORS, OMISSIONS, OR MISINTERPRETATIONS UNDETECTED AND NOT REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. SHALL STRICTLY OBSERVE ALL APPLICATION CODES DURING THE COURSE OF CONSTRUCTION INCLUDING ALL STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.
3. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR SAFETY PROCEDURES, THE MEANS AND METHODS OF CONSTRUCTION, TECHNOLOGIES, OR THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS OR RELATED CODES.
4. THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM DESIGNER. THE DESIGN PROFESSIONAL OF RECORD OF THE TRUSS SYSTEM ENGINEER (DELEGATED ENGINEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION.
5. ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
6. ALL CONSTRUCTION MUST BE IN ACCORDANCE TO THE INFORMATION FOUND IN THESE DOCUMENTS. ANY QUESTIONS REGARDING THE INFORMATION FOUND IN THESE PLANS SHOULD BE DIRECTED TO OUR QUALITY ASSURANCE MANAGER AT 321-972-0491 IMMEDIATELY. NO BACK CHARGES WILL BE ASSESSED FOR INFORMATION PRESENT BY THE ENGINEER WITHOUT ADVANCED NOTIFICATION AND APPROVAL BY THE ENGINEER. PAYMENTS WILL BE MADE IN ACCORDANCE TO THE TERMS OF THE AGREEMENT.

HOME MAINTENANCE & INSPECTIONS

YEARLY MAINTENANCE AND INSPECTIONS BY THE BUILDER/HOMEOWNER ARE NECESSARY FOR THE FUTURE LIFE OF THIS HOME. CARE MUST BE TAKEN TO CHECK WINDOWS AND DOORS FOR CAULKING, REMOVE LEAVES AND DEBRIS OFF ROOFS, MAKE SURE THAT WATER FLOW IS AWAY FROM THE HOUSE AND HAVE YOUR HOME REPAINTED EVERY 3 - 5 YEARS TO PROTECT THE COULINGS. THE DESIGNER AND ENGINEER OF RECORD IS NOT RESPONSIBLE FOR THE UPKEEP OF THE HOME AND WILL NOT BE HELD LIABLE FOR INSTANCES THAT MAY OCCUR OVER THE NORMAL LIFE OF THE HOME WITHOUT PROPER MAINTENANCE.

STRUCTURAL DESIGN CRITERIA

CODE CRITERIA

- FLORIDA BUILDING CODE 7TH EDITION (2020) RESIDENTIAL
- FLORIDA FIRE PREVENTION CODE 7TH EDITION (2020)
- FLORIDA BUILDING CODE ACCESSIBILITY 7TH EDITION (2020)
- NFPA 70-17. NATIONAL ELECTRICAL CODES. (NEC 2017)
- BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE - (ACI 318-14).
- SPECIFICATIONS FOR STRUCTURAL CONCRETE - (ACI 301-16).
- BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES - (ACI 530-13).
- NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - 2018 EDITION
- WOOD FRAMED CONSTRUCTION MANUAL 2018 EDITION.
- APA PLYWOOD DESIGN SPECIFICATION E30-16
- AMERICAN SOCIETY OF CIVIL ENGINEERS: ASCE/SEI 7-16
- ALUMINUM DESIGN MANUAL - AAF-20

GENERAL ROOF LOADING

	SHINGLE ROOF (PSF)	METAL ROOF (PSF)	TILE ROOF (PSF)	HEAVY ROOF (PSF)
TOP CHORD LL	20	20	20	20
TOP CHORD DL	10	10	15	25
BOTTOM CHORD LL	0	0	0	0
BOTTOM CHORD DL	10	10	10	10
TOTAL (PSF)	40	40	45	55
BOTTOM CHORD LL (OPT)				
ATTICS W/ LIMITED STORAGE	20			
ATTICS W/ HEAVY STORAGE	50			
ATTICS W/ NO STORAGE (NON-CONCURRENT)				

NOTE: LL REDUCTIONS ARE ALLOWED PER CODE BUT ONLY WITH WRITTEN APPROVAL FROM EOR OR INDICATED ON PLAN

GENERAL FLOOR LOADING

TOP CHORD LL	40 (PSF)	COMMENTS:
TOP CHORD DL	10 (PSF)	
BOTTOM CHORD LL	0 (PSF)	
BOTTOM CHORD DL	5 (PSF)	

SPECIAL FLOOR LOADING

GAME ROOM / READING ROOMS	60 (PSF)	COMMENTS:
BALCONIES / DECKS	40 (PSF)	d. A SINGLE CONCENTRATED LOAD
BALCONIES OVER 100 SQ.FT	120 (PSF)	APPLIED IN ANY DIRECTION AT ANY
STAIRS	100 (PSF)	POINT ALONG THE TOP
GUARDRAILS AND HANDRAILS	200(LBS/ft)	d. BALUSTERS AND PANELS FILLERS
GUARDRAIL IN-FILL COMPONENTS	50 (LBS/ft)	SHALL BE DESIGNED TO WITHSTAND
STAIRS / NON SLEEPING ROOMS	40 (PSF)	A HORIZONTALLY APPLIED NORMAL
SLEEPING ROOMS	30 (PSF)	LOAD OF 50 POUNDS ON AN AREA
LIBRARIES - STACK ROOMS	150(PSF)	EQUAL TO 1 SQ. FT.
HABITABLE ATTICS SERVED		
w/ FIXED STAIRS	30(PSF)	
PASSENGER VEHICLE GARAGES	50(PSF)	

DEFLECTION CRITERIA

ROOF TRUSSES*	LL/360	TL/240	COMMENTS:
ROOF RAFTERS	LL/180	TL/120	
ROOF RAFTERS (W/O CLG)	LL/360	TL/240	
FLOOR TRUSSES/ BEAMS**	LL/360	TL/240	
FLOOR I-JOIST***	LL/480	TL/240	

*TL MAX 2" UP TO 40FT SPAN
**TL MAX 3/4"
*** TL MAX 3/8" S/20'

****TL MAX 1/4" DIFFERENTIAL BETWEEN
ADJACENT TRUSSES

GENERAL STRUCTURAL NOTES

STRUCTURAL STEEL

1. MATERIAL SPECIFICATIONS: WIDE FLANGE SECTIONS: ASTM A992, GRADE 50, Fy=50 ksi TUBE STEEL (HSS): ASTM A500, GRADE B, Fy = 46 ksi PIPE STEEL: ASTM F3125, TYPE E OR F, Fy = 35 ksi ALL OTHER STRUCTURAL & MISC. STEEL: A36 Fy=36 ksi STRUCTURAL CONNECTIONS: ALL STRUCTURAL STEEL SHALL BE 36ksi MINIMUM YIELD STRENGTH.
2. STRUCTURAL BOLTS SMALLER THAN 5/8" DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A307 OR A307 ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 ALL BOLTS CAST IN CONCRETE: ASTM A36 OR A307 3/8" SHOP AND FIELD WELDS: E70X ELECTRODES STEEL REINFORCEMENT SHOP DRAWINGS TO BE PROVIDED TO ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVAL.
3. STRUCTURAL STEEL SHALL BE WELDED TO CONCRETE. WELDS SHALL BE BURNED TO A "SMUG-TIGHT" CONDITION. AS DEFINED IN THE SPECIFICATION. SLIP CRITICAL (SC) BOLTS MUST BE FULLY TENSIONED PER SPECIFICATION STRUCTURAL BOLTS SMALLER THAN 5/8" DIA. TO BE A307 THREADED ROD SHALL CONFORM TO A307 OR A307 ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 ALL BOLTS CAST IN CONCRETE: ASTM F1554 ALL BOLTS CAST IN CONCRETE SHALL BE WELDED TO CONCRETE. WELDS SHALL BE BURNED TO A "SMUG-TIGHT" CONDITION. ENGINEER OF RECORD BEFORE FABRICATION FOR REVIEW AND APPROVAL. WELDED CONNECTIONS: ELECTRODES - E70X UNO (LOW HYDROGEN), FILLET WELDS SHALL BE 3/4" UNO.
4. SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE ALL STRUCTURAL DETAILS AND SCHEDULES FOR FABRICATION AND ASSEMBLY OF STRUCTURAL STEEL MEMBERS, PROCEDURES, AND DIAGRAMS INCLUDING DETAILS OF CUTS, CAMBERS, HOLES, PROFILES, SIZES, SPACING, AND LOCATIONS OF STRUCTURAL MEMBERS, CONNECTION ATTACHMENTS, FASTENERS, LOAD, TOLERANCES, AND OTHER PERTINENT DATA. INDICATE WELDS BY STANDARD AWS NOTATION. SHOP DRAWINGS SHALL INCLUDE WELDING SYMBOLS, WELDING PROCEDURES, TEMPLATES, AND DIRECTIONS FOR INSTALLATION OF ANCHOR BOLTS AND OTHER ANCHORAGE TO BE INSTALLED FOR WORK OF OTHER TRADES.
5. STRUCTURAL STEEL SHALL RECEIVE SHOP COAT OF PRIMER (COLOR AS DIRECTED BY ARCHITECT) EXCEPT FOR AREAS WHICH WILL RECEIVE SPRAY-ON FIRE PROTECTION.
6. THE ENGINEER OF RECORD SHALL BE ENGAGED TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND SPECIFICATIONS (IF PROVIDED), SUBMIT REPORTS TO ARCHITECT AND ENGINEER.

PRE ENGINEERED WOOD TRUSSES

1. ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS PER STRUCTURAL PLAN.
2. THE PRELIMINARY TRUSS DESIGN SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND THE LIVE LOADS GIVEN IN THE NOTES AND TOTAL DEAD LOAD.
4. THE DESIGN OF THE TRUSSES SHALL BE BY THE TRUSS MANUFACTURER UNLESS NOTED ON THE PLANS.
5. TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY THE TRUSS MANUFACTURER IN ACCORDANCE WITH THE FRAMING DESIGN LOADS.
6. THE TRUSS MANUFACTURER SHALL SUBMIT TO THE TRUSS PLAN INSTITUTE TPI LATEST EDITION TRUSS PLAN INSTITUTE TPI LATEST EDITION PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH SPECIFIED LOADS AND GOVERNING CODES.
7. SUBMITTALS SHALL INCLUDE TRUSS FRAMING PLANS AND DETAILS SHOWING MEMBER SIZES, BRACING, ANCHORAGE, CONNECTIONS, TRUSS MANUFACTURER'S NAME AND ADDRESS, AND THE NAME AND ADDRESS OF THE DESIGNING STRUCTURAL ENGINEER. EACH SUBMITTAL SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. SUBMIT 3 COPIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
8. THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.

UPLIFT CONNECTORS

1. UPLIFT CONNECTORS SUCH AS HURRICANE CLIPS, TRUSS ANCHORS AND ANCHOR BOLTS ARE ONLY REQUIRED ON MEMBERS IN WALLS THAT ARE EXPOSED TO UPLIFT OR LATERAL FORCES. INTERIOR LOAD BEARING WALLS ARE NOT ALWAYS EXPOSED TO UPLIFT FORCES. THE MEMBERS OF THESE WALLS WOULD NOT NEED TO HAVE CONNECTORS APPLIED. PLEASE COORDINATE THE TRUSS ENGINEER FOR THE LOCATION OF THESE WALLS AND STRUCTURAL PLANS FOR MORE INFO.

FIELD REPAIR NOTES

1. MISS J "B" BOLTS FOR WOOD BEARING WALLS MAY BE SUBSTITUTED WITH 1/2" DIA. EPOXY ANCHORS WITH 7" EMBEDMENT. SIMPSON "SET" EPOXY ADHESIVE DURING FOLLOWING ALL MANUFACTURER'S RECOMMENDATIONS OR SIMPSON 1/2" TITEN HUB BOLTS WITH MINIMUM 7" EMBEDMENT. SEE PLAN FOR EMBEDMENT DEPTH AT FLOOR STEPS.
2. IF EOR CERT. 100% OF THE DIAMETER HOLE #6 DEEP AT THE LOCATION OF THE OMITTED REBAR AND INSTALL A 32" LONG #8 BAR INTO THE EPOXY FILLED HOLE. USE A TWO PART EMBEDMENT EPOXY (SIMPSON HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE) MIXED PER THE MANUFACTURER'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM THE HOLE BY BRUSHING AND USING COMPRESSED AIR PRIOR TO APPLYING THE EPOXY. ALLOW THE EPOXY TO CURE TO THE MANUFACTURER'S SPECIFICATIONS, THEN FILL THE CELL IN REMAINING JOINTS DURING BOND BEHIND THE JOINT.
3. FOR FORMER JOINTS LESS THAN 14", PROVIDE (1) #8VET IN CONC. FILLED CELL EACH SIDE OF THE JOINT (BAR DOES NOT HAVE TO BE CONT. TO FOOTING).
4. MISS LINTEL STRIPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED WITH (1) SIMPSON STM16H TWIST STRAP W/ (4) 3/4" X 2 1/4" TITENS TO MASONRY AND (7)-10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 800 LBS (USE (2) MTSM16F FOR UPLIFTS LESS THAN 1800LB). IF CORNER STRAP IS MISSED, CONTACT THE EOR FOR SUBSTITUTION.
5. NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW WITHOUT APPROVAL FROM EOR. IF GRIDER TRUSS CONNECTIONS ARE MISSED, CONTACT THE EOR FOR SUBSTITUTION.
6. IF MISSED, MTSM16B OR MTSM16M STRAP IS MISSED FOR 2ND FLOOR JAMB STUD CONNECTION, CONTRACTOR MAY INSTALL SIMPSON HTCS V/ (2B) OR HTCS V/ (2C) STRAP WITH ANCHOR BOLT INTO HIGH STRENGTH EPOXY W/ MIN 6" EMBEDMENT AND MIN 3" EDGE DISTANCE. CONTACT EOR IF STRAPS ARE MISSED UNDER GRIDER JAMB STUD LOCATIONS.

WIND LOADING CRITERIA

WIND SPEED (ULTIMATE)
WIND SPEED (ALLOWABLE)

EXPOSURE CATEGORY

BUILDING CATEGORY

BUILDING TYPE

ENCLASURE CLASSIFICATION

INTERNAL PRESSURE COEFFICIENT

130.0 MPH
101.0 MPH
C
II
V
ENCLOSED
+/- 0.18

NOTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT. AND FOR 2 STORY HOME IS 30FT

ASCE 7-16 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WALL PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 60 ft

EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF) (+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION	
AREA	G	
10 - 19.99	A (+) 25.5 (-) 26.6	B (+) 25.5 (-) 33.6
20 - 99.99	C (+) 24.4 (-) 26.6	D (+) 24.4 (-) 30.8
50 - 99.99	E (+) 22.8 (-) 23.8	F (+) 22.8 (-) 28.0
> 100	G (+) 21.7 (-) 23.8	H (+) 21.7 (-) 26.6

GARAGE DOORS*		SOFFIT
9'-0" x 7'-0"		
(+) 22.5 (-) 25.5	J (+) 21.7 (-) 24.1	K (+) 25.5 (-) 33.6

GENERAL PRESSURE NOTES

NOTES:

- MULTIPLY THE ABOVE PRESSURES BY 1.67 TO GET ULTIMATE WIND PRESSURES
- "g" = END ZONE IS ONLY WITHIN 4'-0" OF ALL EXTERIOR BUILDING CORNERS. * INDICATED PRESSURES CAN BE INTERPOLATED FOR OTHER DOOR SIZES, OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREAS.
- DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR GREATER AND IS CONSIDER TO BE IN THE WIND-BOURNE DEBRIS AREA. CONTRACTOR TO PROVIDED ADDITIONAL INFO AS REQUIRED FOR PERMITTING.

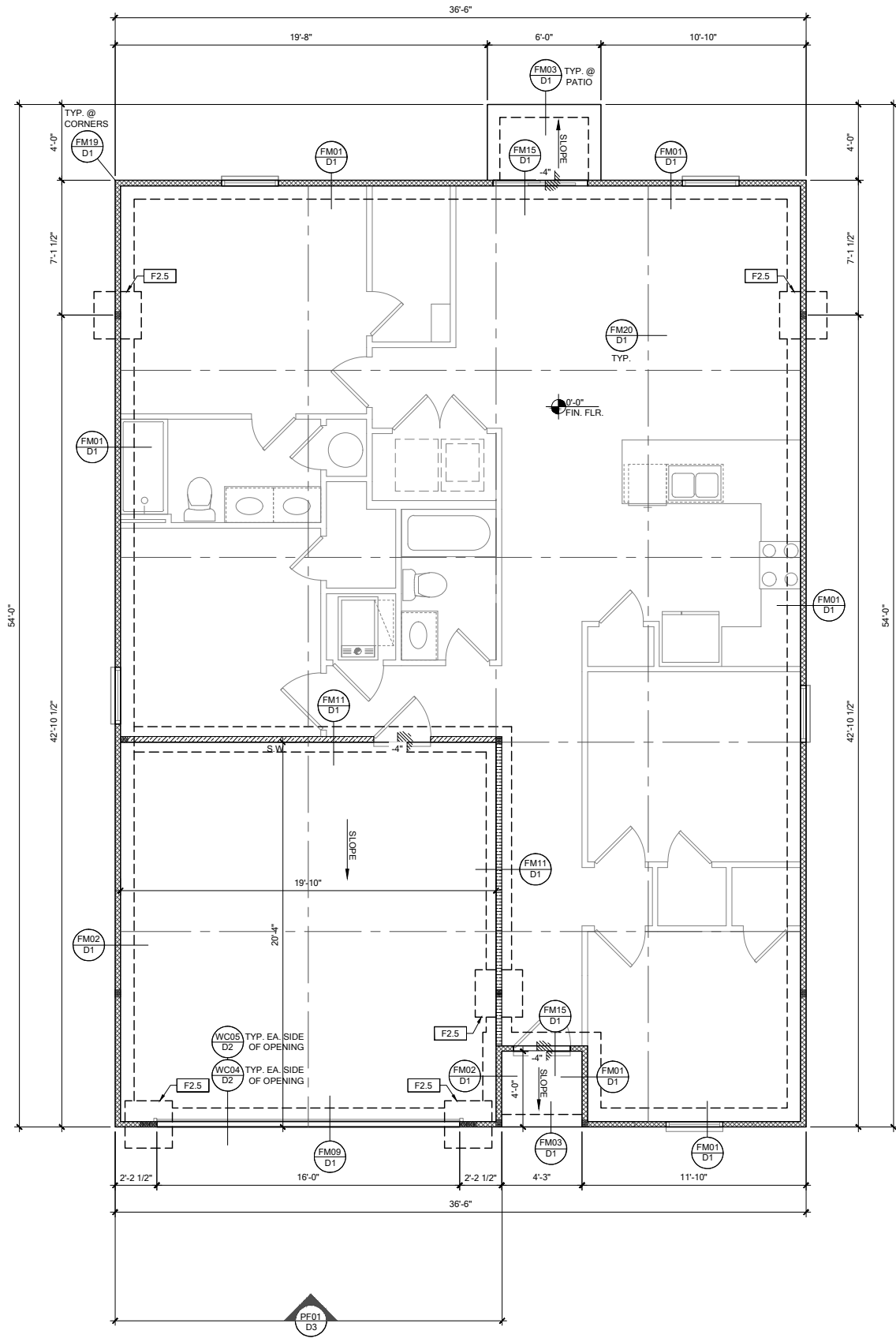
SHEET INDEX

S0	NOTES & SCHEDULES		
S1	FOUNDATION PLAN		
S2	ROOF FRAMING PLAN		
SN	NOTES & SCHEDULES		
D1	FOUNDATION DETAILS		
D2	FRAMING DETAILS		
D3	FRAMING DETAILS		
D4	FRAMING DETAILS		
D5	FRAMING DETAILS		

[illegible]

LOT 26
RESERVE @ JEWEL LAKE
376 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

SHEET NO:	MODEL: CARLISLE	PLAN NUMBER: 33711398
	DRAWING TITLE: NOTES & SCHEDULES	RELEASE DATE: 08.03.2020



FOUNDATION PLAN A

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

FOUNDATION LEGEND	
SYMBOL	DESIGN DESCRIPTION
	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS.
	INDICATES CONSTRUCTION JOINT (IF SHOWN) SHALL BE 1/2" x 1" SAW CUTS FILLED WITH APPROVED SLAB JOINT MATERIAL COVERING A 12'x12' SQUARE MAXIMUM
	INDICATES STEP IN FOUNDATION, VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
	4" 2500 PSI CONC. SLAB W/ REINF. PER S0 w/6 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
	INDICATES BUILT UP COLUMN. SEE FRAMING PLAN FOR SIZE, DETAIL WF37/SN FOR PLY ATTACHMENT, AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB

- GENERAL NOTES:
1. TYPICAL CORNER FRAMING PER DETAIL FM19/D1
 2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOW SHOWN WITHIN THESE DOCUMENTS.

PLAN KEY NOTES

BUILDER NOTE:
ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x INTERIOR BEARING SHEARWALL - SEE BEARING WALL SCHEDULE ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	INTERIOR NON-BRG. WALL BY BUILDER
	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)

DATE: June 27, 2022
PROJECT: 33711398

33711398
O 321972-0481 F-407-880-2304
Certificate of Authorization No. 9161
CARLA A. BROWN, PE - FL # 55126
SCOTT A. LEWIS, PE - FL # 78150

LOT 26
RESERVE @ JEWEL LAKE
376 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

MODEL: CARLISLE
DRAWING TITLE: FOUNDATION PLAN A & B

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

SHEET NO: S1

SCALE: 1/4" = 1'-0" @ 22x34
SCALE: 1/8" = 1'-0" @ 11x17

RSH	ENGINEERED ROOF PER ASCE 7-16 ROOF DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT ≤ 25 ft
-----	---

WIND SPEED (ULTIMATE)	130 MPH
WIND SPEED (ALLOWABLE)	100.7 MPH
EXPOSURE CATEGORY	C

EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF) (+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION								
	AREA	ROOF	1	2e	2n	2r	3	3e	3r
10	HIP	-33.0	-45.50			-45.50	-45.50		
	GABLE	-35.0	-35.0	-55.90	-55.90			-55.90	-65.20

ROOF NAILING SCHEDULE/ NAILING ZONES (SHINGLE AND TILE):

ZONE 1: ASTM F1667 RSRS-01 (8d) NAILS @ 6" O.C. ON EDGE AND 6" O.C IN FIELD

ZONE 2e, 2n, 2r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C IN FIELD

ZONE 3, 3e, 3r: ASTM F1667 RSRS-01 (8d) NAILS @ 4" O.C. ON EDGE AND 4" O.C. IN FIELD

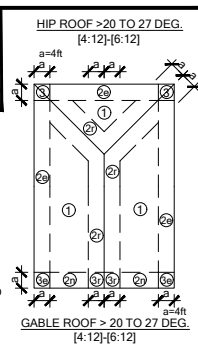
ROOF SHEATHING:
SHINGLE 7/8" EXP

TILE: $15\frac{3}{32}"$ EXP. 1 ($32\frac{1}{16}$)

NOTE:

1. P
2. W

3. GABLES- DROP GABLE END & (1) ADDITIONAL DROPPED TRUSS 2x4 #2 SYP OUTLOOKER RAFTER W/ BLOCKING @ 16" O.C. IF NO DROPPED GABLE END, ATTACH 2x4 #2 SYP BLOCKING @ 16" O.C FIRST 4 BAYS WITH (2) 12d NAILS EA. END. ATTACH ROOF SHEATHING TO RAFTERS W/ BLOCKING PER NAILING SCHEDULE.



SYMBOL	DESIGN DESCRIPTION
	INDICATES BEARING WALL. SEE <u>BEARING CONNECTION SCHEDULE</u> ON SN, SEE ARCHITECTURAL PLANS FOR WALL WIDTH, 2x4 MINIMUM U.O.N.
	INDICATES BUILT UP COLUMN, SEE FRAMING PLAN FOR SIZE. DETAIL WF37/SN FOR PLY ATTACHMENT AND UPLIFT. <u>CONNECTION SCHEDULE</u> ON SN FOR CONNECTION TO SLAB
	INDICATES NO BOTTOM CONNECTOR REQUIRED
	INDICATES WINDOW PRESSURE - SEE S0 FOR MORE INFORMATION.
	INDICATES UPLIFT CONNECTION CONSTRUCTED PER DETAIL UPLIFT CONNECTOR SCHEDULE ON SHEET SN

FRAMING NOTES:

1. SEE WIND SPEED CHART ON **S0** FOR WINDOW PRESSURES
2. AT SECOND FLOOR FOR TYPICAL CORNER FRAMING SEE DETAIL **FB06/D4**

GENERAL NOTES:

1. THE FRAMING PLAN SHOWN INDICATES THE "TRUSS SYSTEM" AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD). THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION
2. ANY DISCREPANCY OR ERROR IN DIMENSIONS OR MATERIALS WITHIN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION.
3. SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.

PLAN KEY NOTES

BUILDER NOTE:

IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT

---STOP---

AND CALL THE ENGINEER OF RECORD PRIOR TO
PLACEMENT OF ANY TRUSSES.

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	2x_ INTERIOR BEARING SHEARWALL - SEE <u>BEARING WALL SCHEDULE</u> ON SHEET SN FOR REQUIREMENTS.
	INDICATES BEARING WALL SEE <u>BEARING WOOD BEARING SCHEDULE</u> ON SN
	INTERIOR NON-BRG. WALL BY BUILDER
	2x WOOD FRAME EXTERIOR WALL (SEE PLAN FOR MORE INFO)

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, INFORMATION AND BELIEF, THIS STRUCTURAL PLAN AND SPE. ORIFICATIONS CONFORM WITH THE REQUIREMENTS OF THE 2001 ILLINOIS BUILDING CODE, RESIDENTIAL, THIRD EDITION. ENGINEER'S SIGNATURE AND SEAL.

IS ONLY FOR THE STRUCTURAL ENGINEERING PORTIONS OF THE DRAWING. IT IS NOT A GUARANTEE OF THE QUALITY OF THE DESIGN OR THE ACCURACY OF THE INFORMATION. THE ENGINEER'S SIGNATURE AND SEAL ARE NOT A GUARANTEE OF THE QUALITY OF THE DESIGN OR THE ACCURACY OF THE INFORMATION. THE ENGINEER'S SIGNATURE AND SEAL ARE NOT A GUARANTEE OF THE QUALITY OF THE DESIGN OR THE ACCURACY OF THE INFORMATION.



FDS
ENGINEERING ASSOCIATES

DATE: June 27, 2022

J CARLA A. BROWN, PE - FL # 56126
 J LUIS JOSE BURGOS ROSADO, PE - FL #92724
 J SCOTT A. LEWKOWSKI, PE - FL #78750

LOT 26
RESERVE @ JEWEL LAKE
376 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN
NUMBER:
33711398

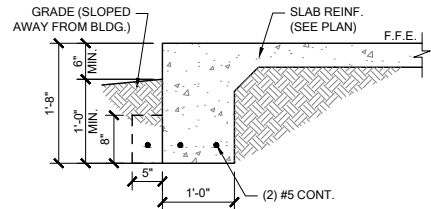
RELEASE
DATE:
08.03.2020

MODEL: CARLISLE

DRAWING
TITLE:

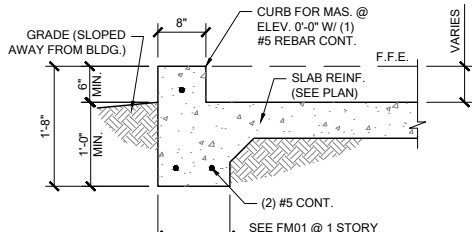
SHEET
NO:

S2



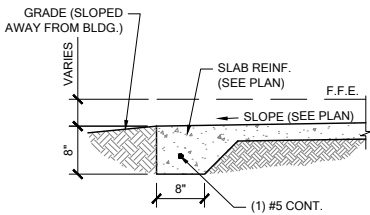
FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.C ON THIS SHEET.

FM01 SINGLE STORY FTG
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

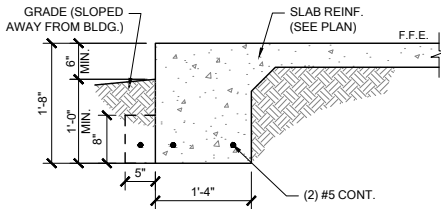


FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.D ON THIS SHEET.

FM02 SECTION @ GARAGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

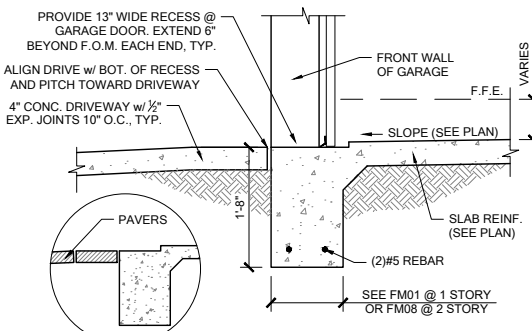


FM03 THICKENED EDGE
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

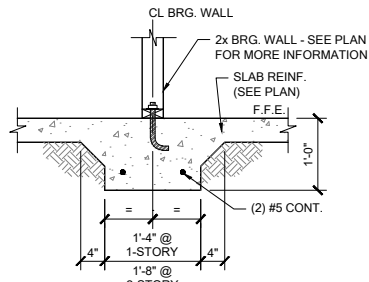


FOR GRADE DIFFERENCES
GREATER THAN 8" - SEE DETAILS
FM01.C ON THIS SHEET.

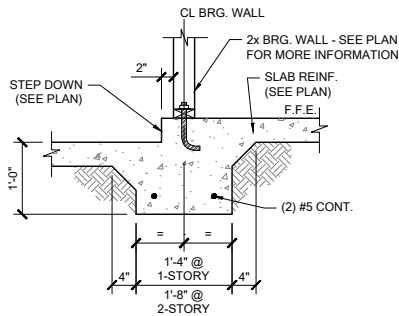
FM08 2-STORY FOOTING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



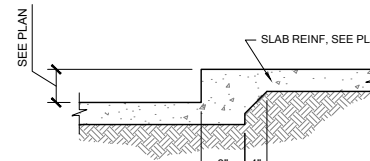
FM09 SECTION @ GARAGE DOOR
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



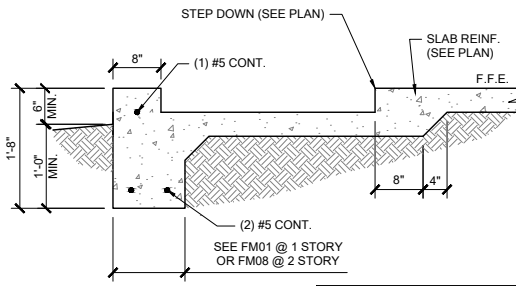
FM10 INTERIOR BEARING WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



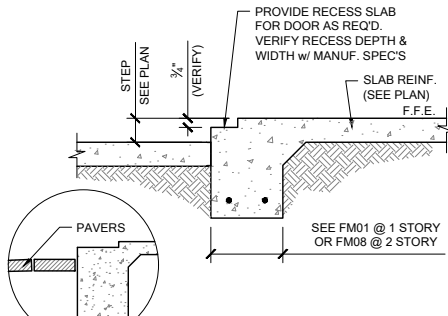
FM11 STEP DOWN BEARING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



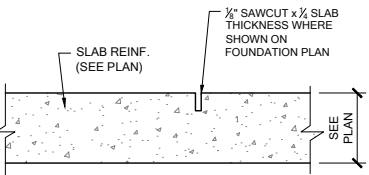
FM12 STEP DOWN @ NON BRG.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



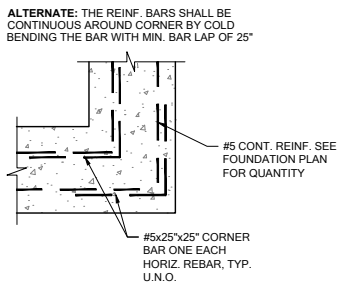
FM14 SECTION @ SHOWER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



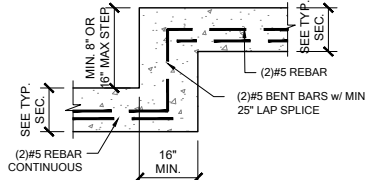
FM15 EXTERIOR BEARING @ RECESS
SCALE: 3/4" = 1'-0" @ 22x34
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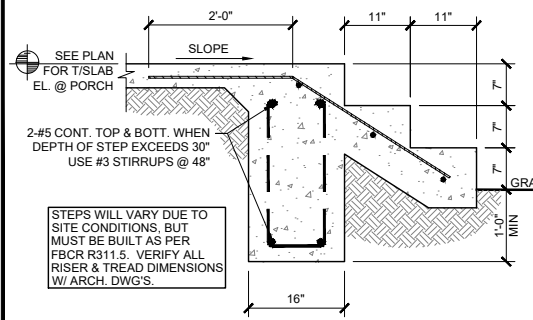
FM20 CONTROL JOINT
SCALE: N.T.S.



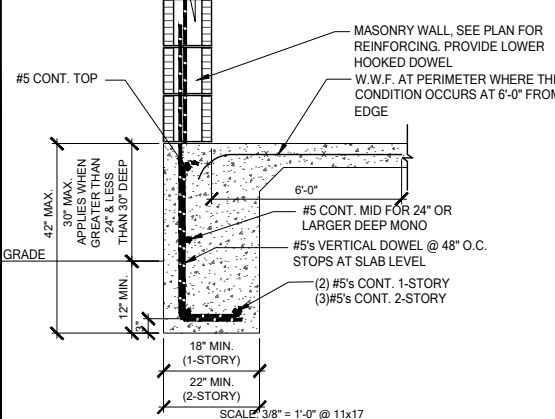
FM19 TYP. CORNER BAR DETAIL
SCALE: N.T.S.



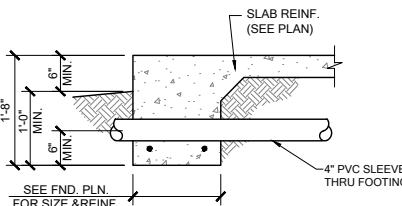
FM18 TYP. STEP FOOTING DETAIL
SCALE: N.T.S.



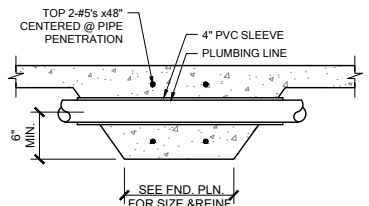
FM22 PORCH STEP
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



FM01.C DEEP MONO FTG.
SCALE: 3/4" = 1'-0"

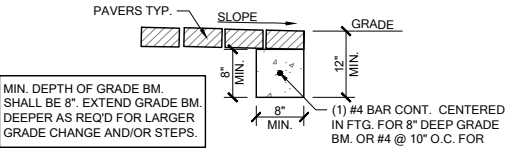


PIPE PERPENDICULAR TO EXTERIOR FOOTING

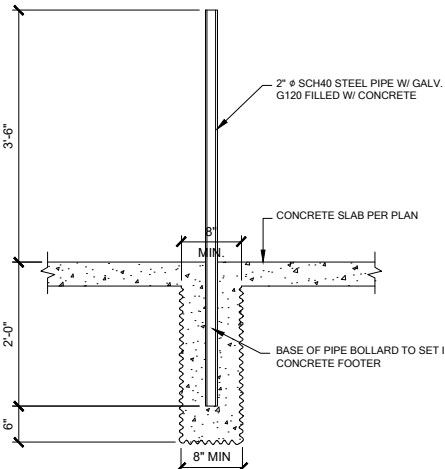


PIPE PERPENDICULAR TO INTERIOR FOOTING

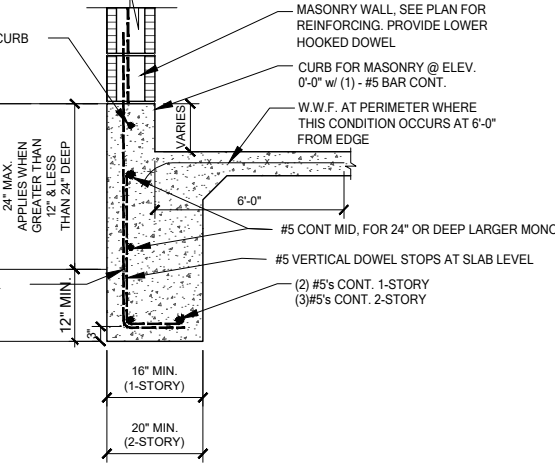
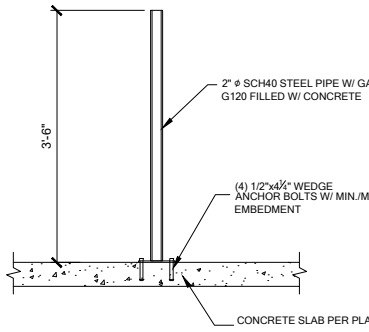
FM23 FOUNDATION PENETRATIONS, TYPICAL
SCALE: N.T.S.



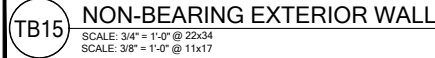
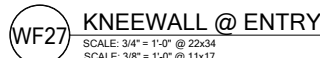
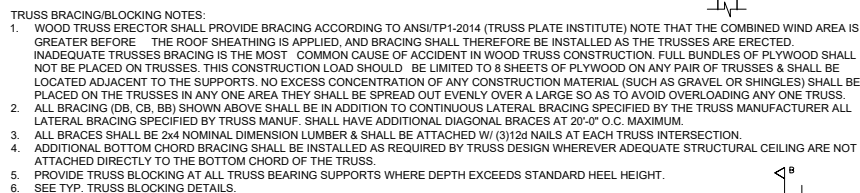
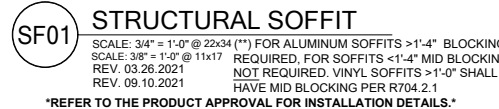
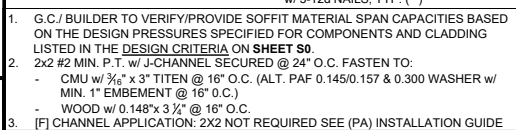
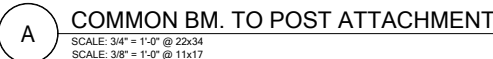
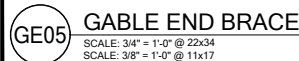
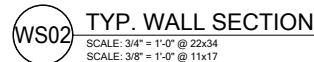
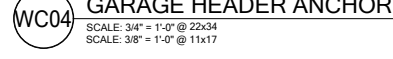
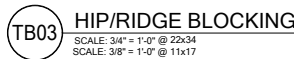
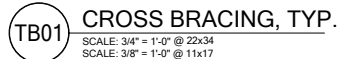
FM32 GRADE BEAM @ PAVER THRESHOLD
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

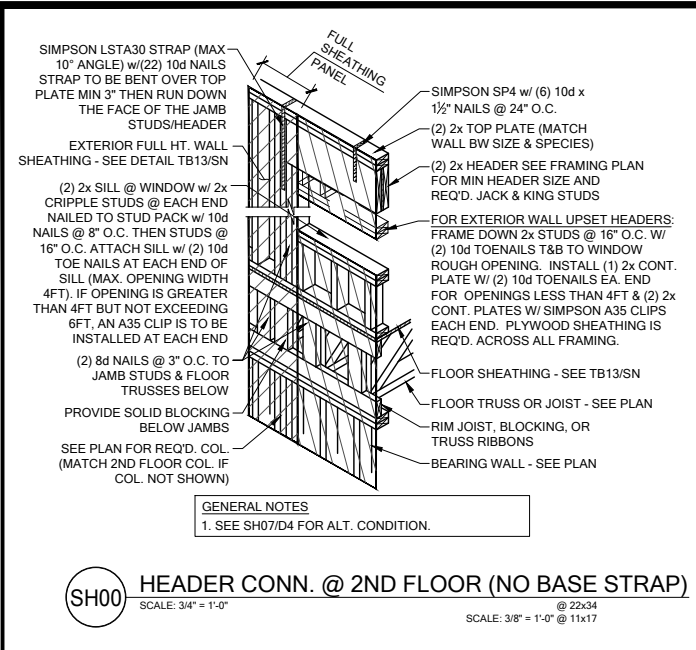


1 BOLLARD DETAIL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

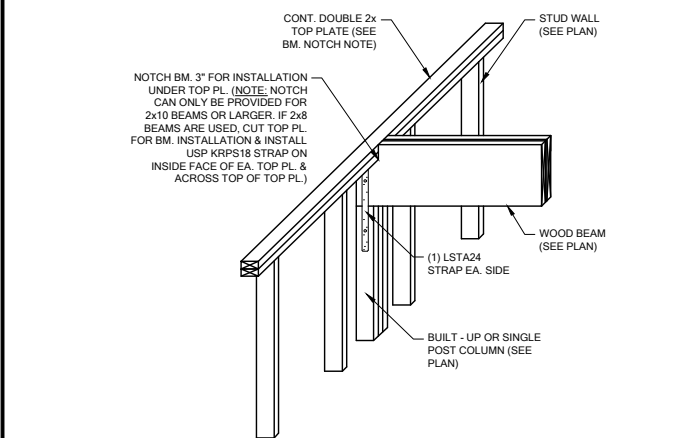


FM01.D DEEP MONO FTG. w/ CURB
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

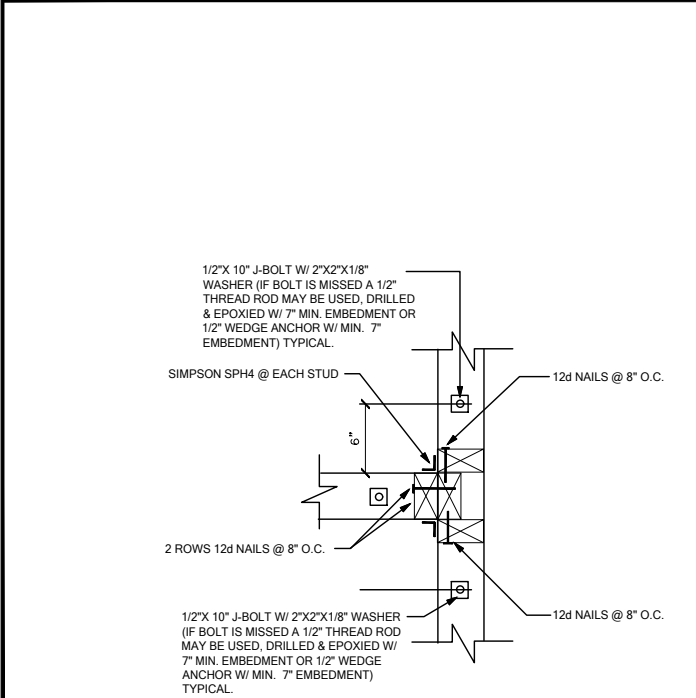




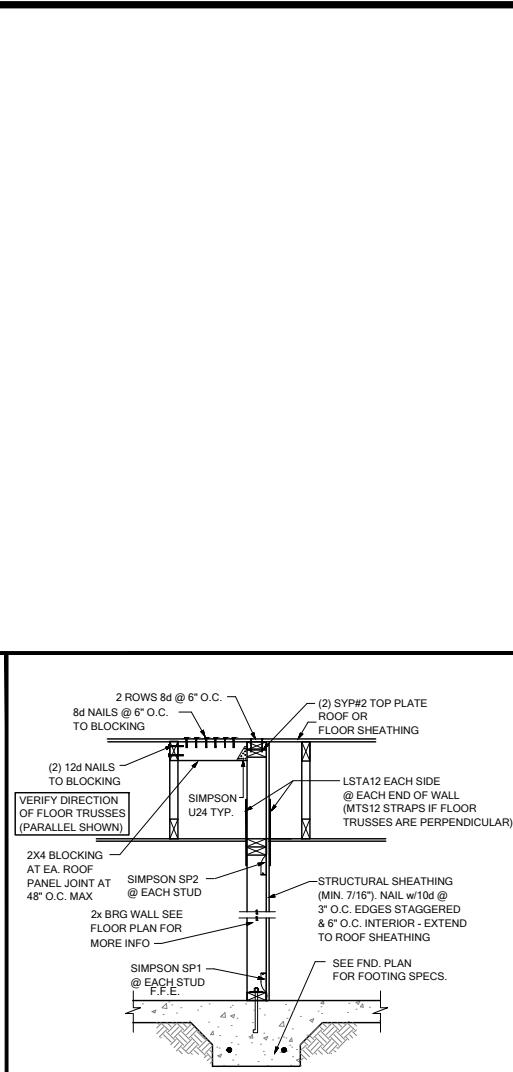
SH00 HEADER CONN. @ 2ND FLOOR (NO BASE STRAP)
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



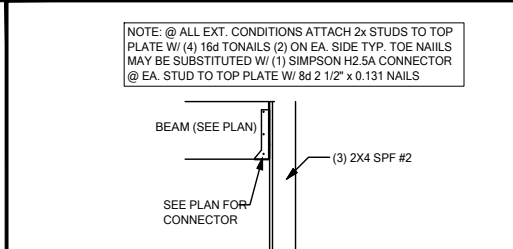
WF103 TYP. WOOD BEAM TO WOOD WALL CONN.
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



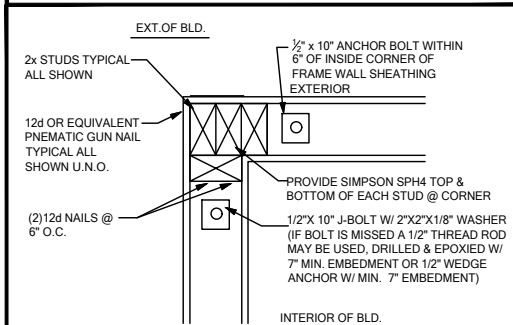
WC03 WALL TO WALL @ END OF SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



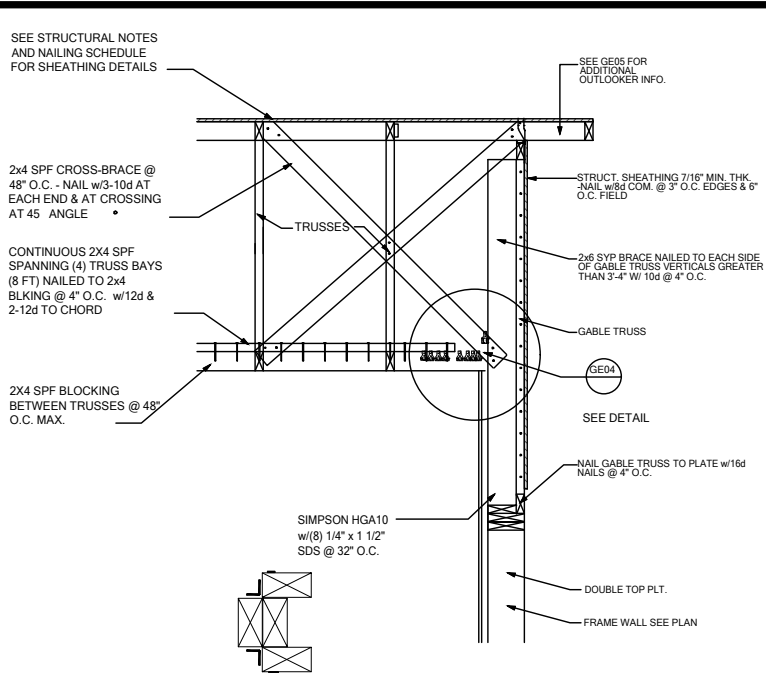
SW04 INTERIOR SHEAR WALL @ TRUSSES
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



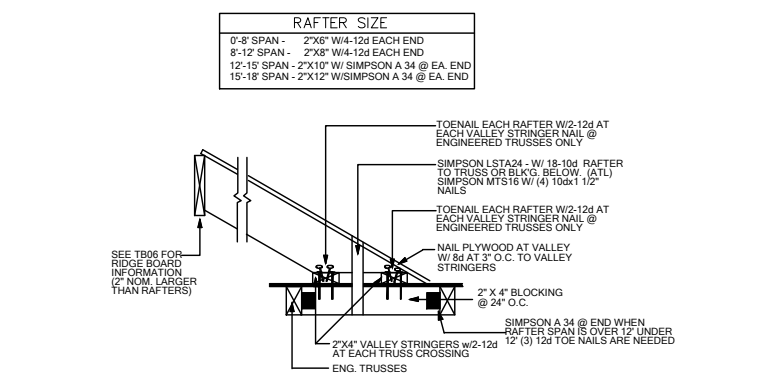
CD25 BEAM TO WALL CONNECTION
SCALE: 3/4" = 1'-0"



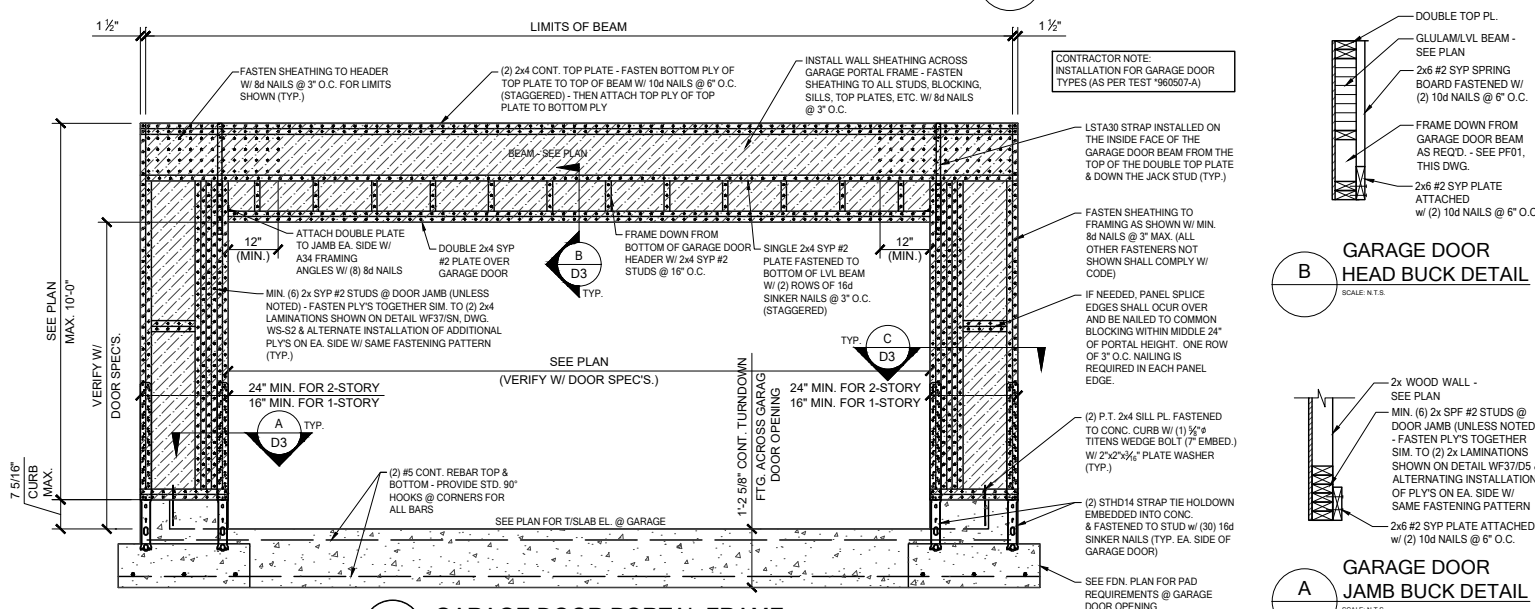
WC06 EXTERIOR FRAME CORNER
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



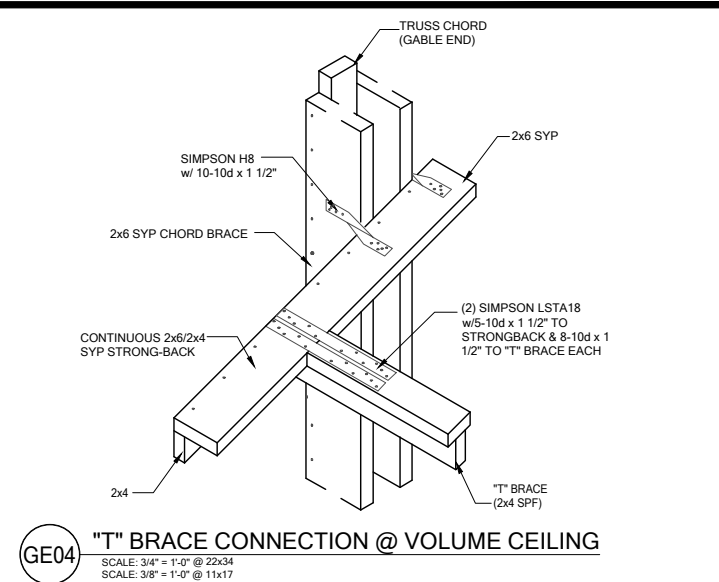
GE03 GABLE END BRACIN w/ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



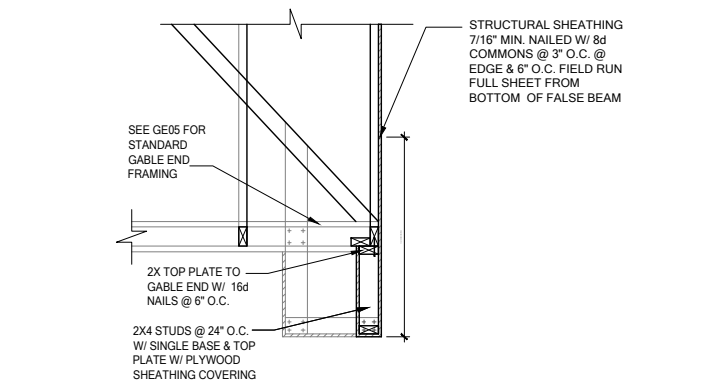
TB17 CONV. FRAMING & VALLEY FRAMING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



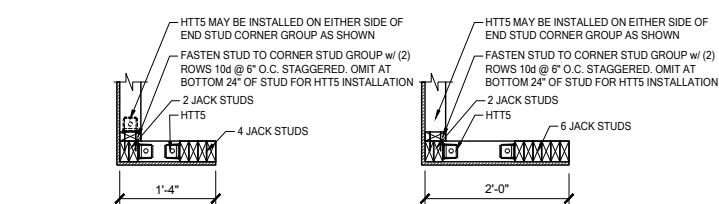
PF01 GARAGE DOOR PORTAL FRAME
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



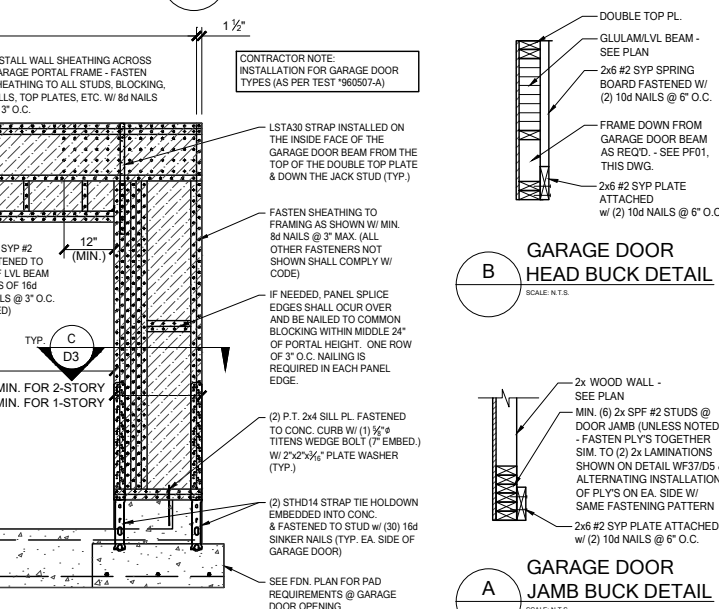
GE04 "T" BRACE CONNECTION @ VOLUME CEILING
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



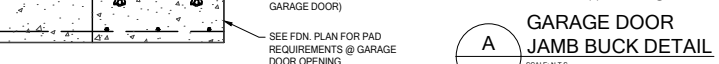
GE15 FALSE BEAM @ GABLE END
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



C ALT. PORTAL FRAME BASE ATTACH.
SCALE: N.T.S.



B GARAGE DOOR HEAD BUCK DETAIL
SCALE: N.T.S.



A GARAGE DOOR JAMB BUCK DETAIL
SCALE: N.T.S.

DATE: June 27, 2022
PROJECT: 33711398
DRAWING: D3

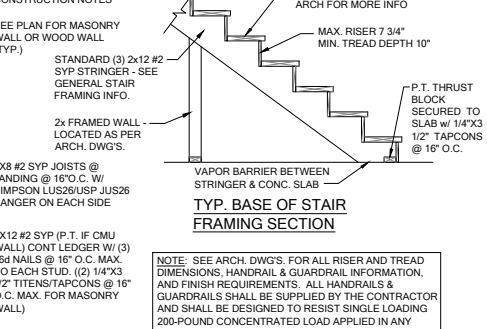
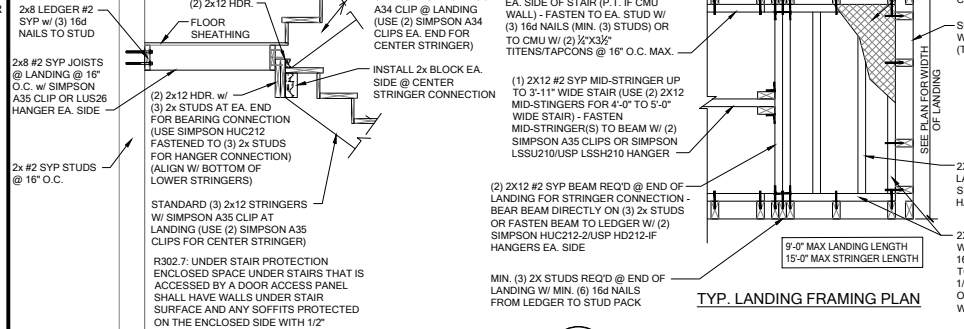
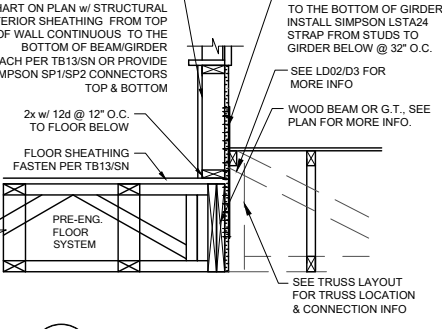
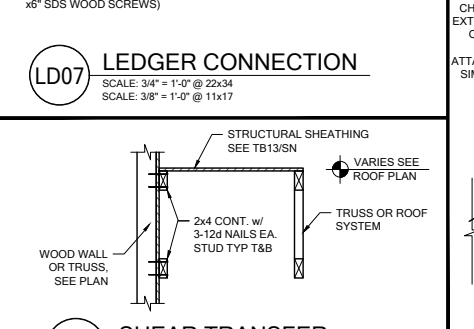
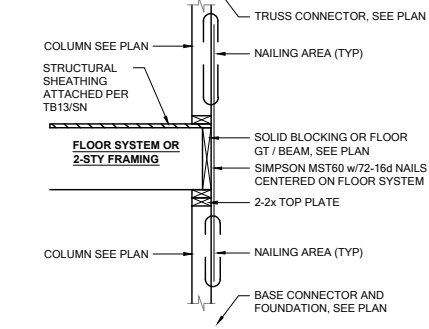
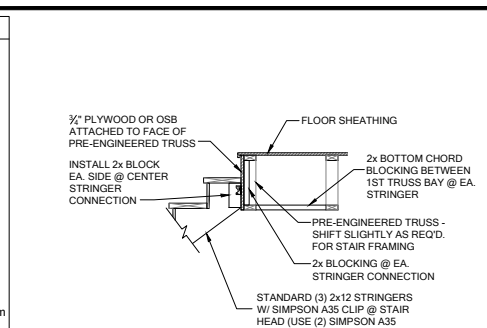
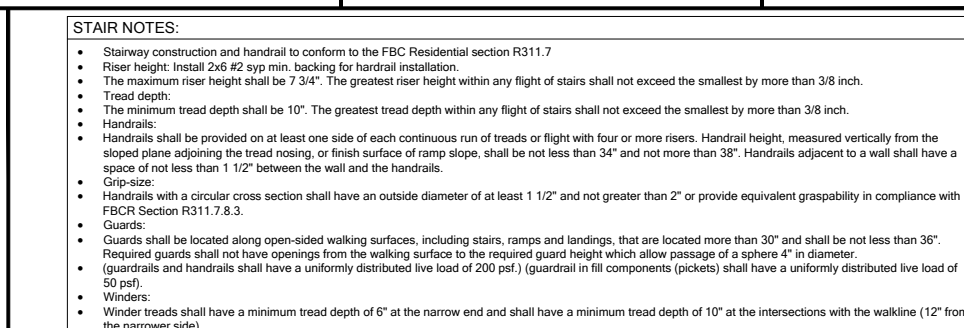
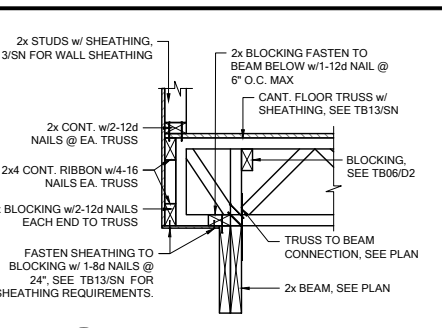
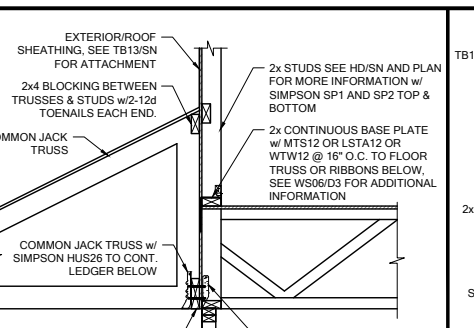
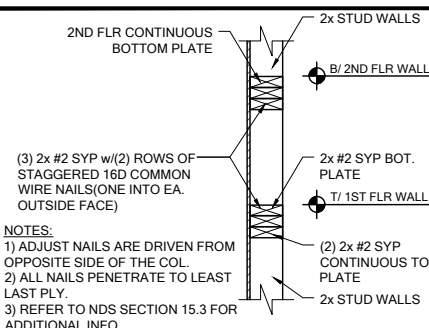
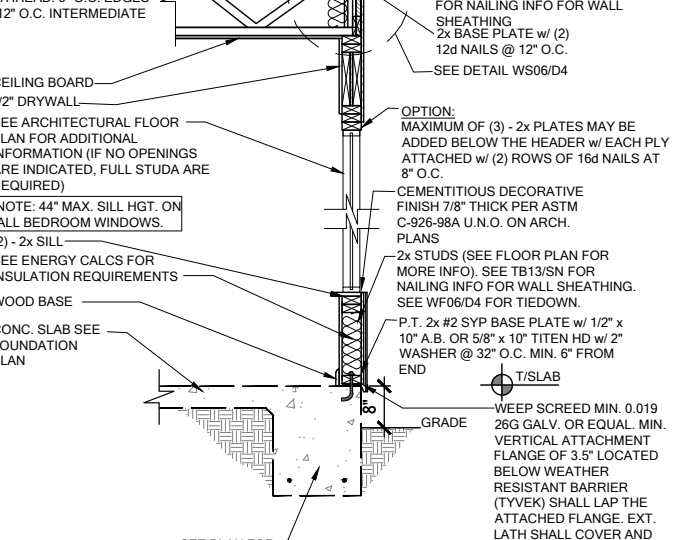
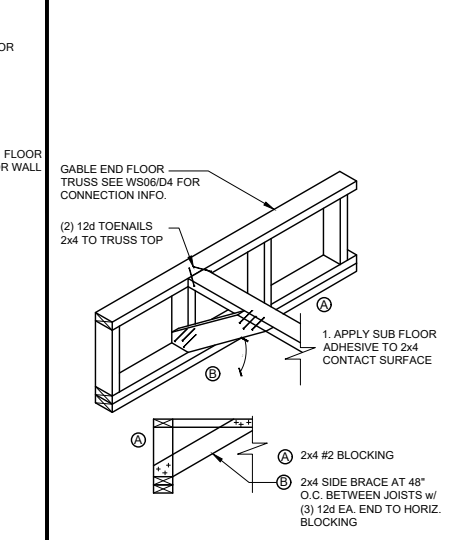
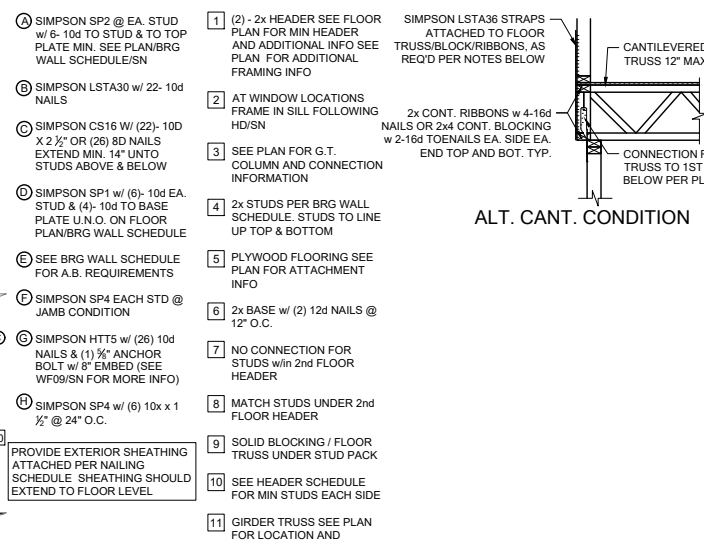
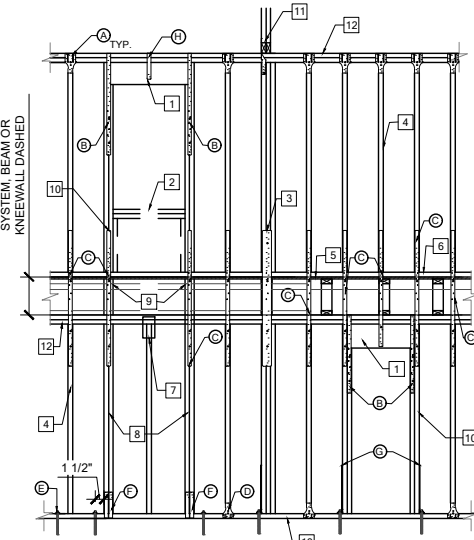
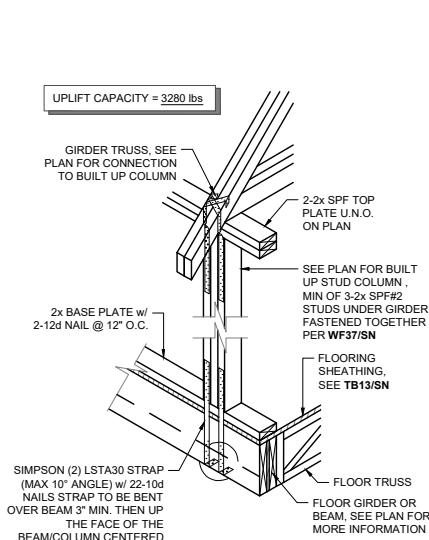
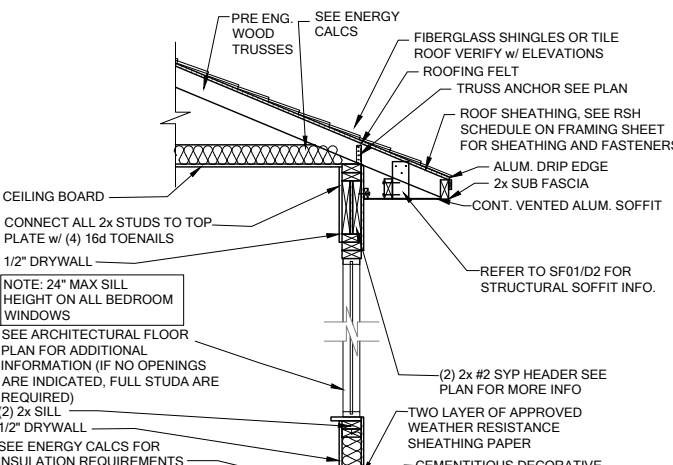
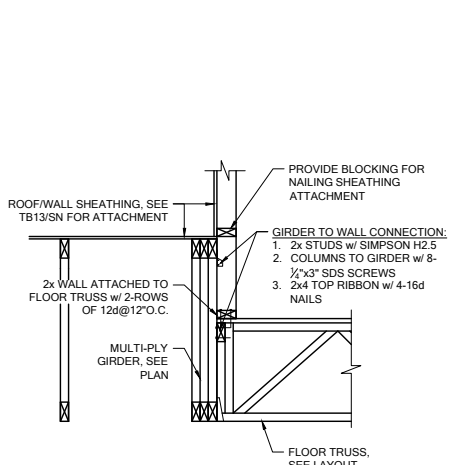
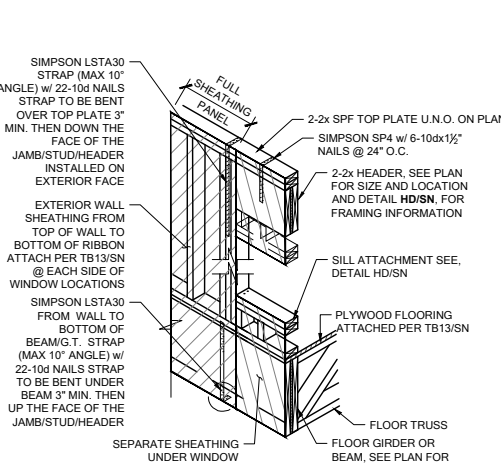
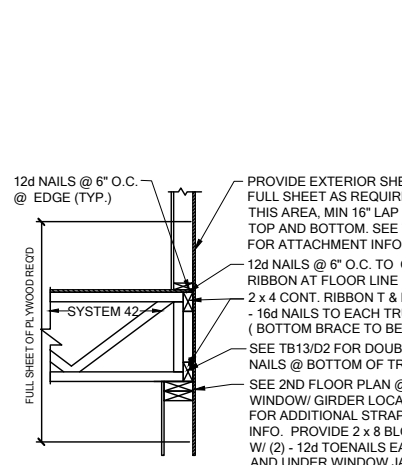
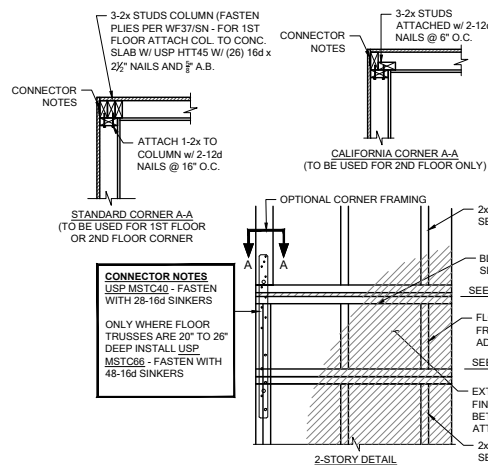
238 Southwind Avenue, Suite 200
Maitland, FL 32751
O: 321-972-0491 F: 407-480-2344
Certificate of Authorization No. 9161
CARLA A. BROWN, P.E. - FL # 55126
SCOTT A. LEWIS, P.E. - FL # 78150

LOT 26
RESERVE @ JEWEL LAKE
376 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

PLAN NUMBER: 33711398
RELEASE DATE: 08.03.2020

MODEL: CARLISLE
DRAWING TITLE: FLOOR FRAMING DETAILS

SHEET NO: D3



DATE: June 27, 2022
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Maitland, FL 32751
O: 321-972-0491 F: 407-580-2344
Certificate of Authorization No. 9161
CARLA BROWN, P.E. - FL # 55126
SCOTT A. LEWIS, P.E. - FL # 78150

LOT 26
RESERVE @ JEWEL LAKE
376 SW JEWEL LAKE DR.
LAKE CITY, FL 32024

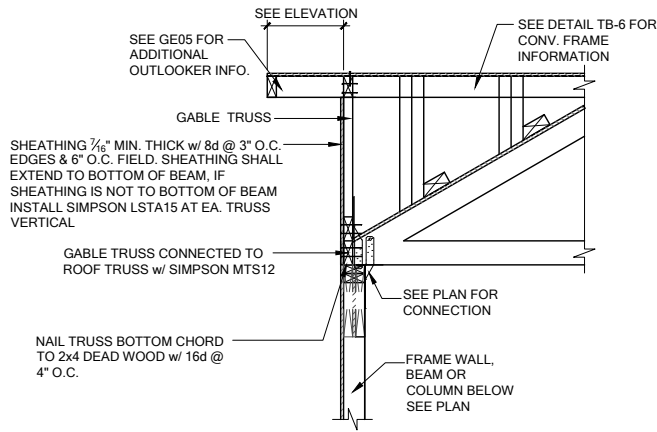
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33711398

RELEASE DATE:
08.03.2020

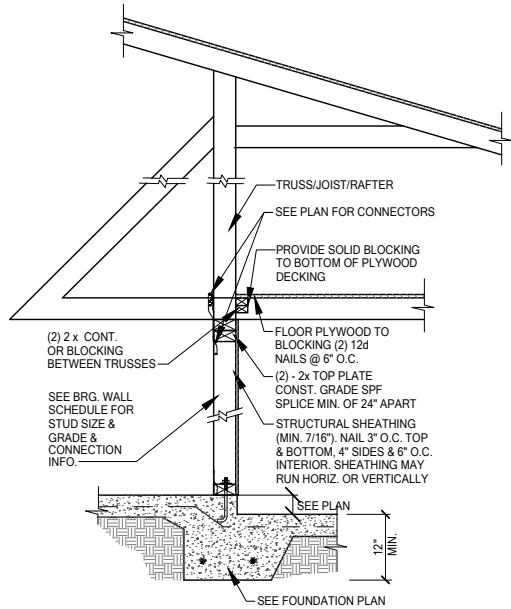
MODEL:
CARLISLE

DRAWING TITLE:
FLOOR FRAMING DETAILS

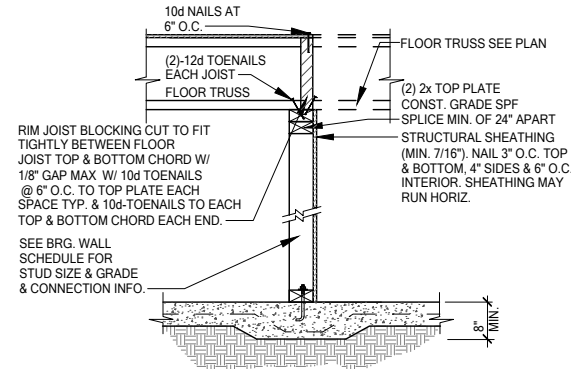
SHEET NO:
D4



GE13A SECTION AT HIP GABLE
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17

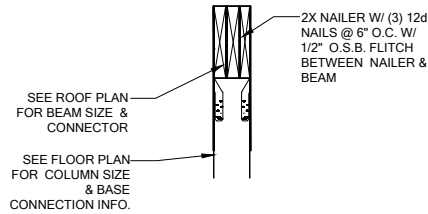


SW01 INTERIOR BEARING STEP-DOWN SHEARWALL w/UPLIFT
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17

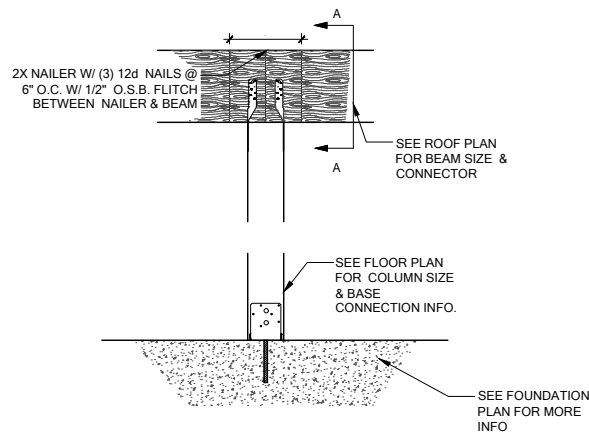


UPLIFT VALUES - (DOUBLE SIDE PLYWOOD DOUBLES VALUE BELOW)
SHEATHING I-SIDE - 860 LBS. PER TRUSS/JOIST/RAFTER

SW02 INTERIOR SHEAR WALL
SCALE: 3/4" = 1'-0" @ 22x34
SCALE: 3/8" = 1'-0" @ 11x17



SECTION A-A
SCALE: 3/4" = 1'-0"



CD13 COLUMN BM. ATTACHMENT
SCALE: 3/4" = 1'-0"
SCALE: 3/8" = 1'-0" @ 11x17