

District No. 1 - Ronald Williams  
District No. 2 - Rocky Ford  
District No. 3 - Robby Hollingsworth  
District No. 4 - Toby Witt  
District No. 5 - Tim Murphy



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

February 1, 2022

VIA ELECTRONIC MAIL

John Wright, Project Manager  
United Parcel Service  
143 NE Armor Glen  
Lake City, FL 32055

Re: Site and Development Plan 21 12 – UPS Expansion  
Planning and Zoning Board Determination Letter

Dear Mr. Wright,

At the January 27, 2022 Planning and Zoning Board (“Board”) hearing, the Board approved your application for a Site and Development Plan for a proposed ±6,844 square foot addition for a parcel service use as permitted in Section 4.17.2 of the County’s Land Development Regulations (“LDRs”) in accordance with Section 14.13 of the County’s LDRs.

Attached is a copy of the Board’s Resolution approving SDP 21 12.

If you have any questions, please do not hesitate to contact me at [bstubbs@columbiacountyfla.com](mailto:bstubbs@columbiacountyfla.com) or (386) 754-7119.

Sincerely,

**Brandon M. Stubbs**  
Digitally signed by  
Brandon M. Stubbs  
Date: 2022.02.01  
13:25:14 -05'00'

Brandon M. Stubbs  
Community Development Director  
Land Development Regulation Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.  
AND THIRD THURSDAY AT 5:30 P.M.

P.O. BOX 1529 ▼ LAKE CITY, FLORIDA 32056-1529 ▼ PHONE: (386) 755-4100

**RESOLUTION NO. PZ SDP 21-12**

**A RESOLUTION OF THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, APPROVING A SITE AND DEVELOPMENT PLAN WITH APPROPRIATE CONDITIONS AND SAFEGUARDS FOR A PARCEL SERVICE CENTER USE LOCATED IN THE INDUSTRIAL ("I") ZONING DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; REPEALING RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, Ordinance No. 98-1, as amended, entitled Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Planning and Zoning Board of Columbia County, Florida, hereinafter referred to as the Planning and Zoning Board, to approve, to approve with conditions, or to deny site and development plans in accordance with the Land Development Regulations;

**WHEREAS**, an application for a site development plan, as described below, has been filed with the County;

**WHEREAS**, the Planning and Zoning Board, has determined and found that approval of said site and development plan, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare; and

**WHEREAS**, the Planning and Zoning Board, has studied and considered the items enumerated in Section 14.13 of the Land Development Regulations and based upon said study and consideration has determined and found that:

1. A site and development plan was prepared and submitted to the County in accordance with the provisions of Section 14.13.1 of the Land Development Regulations;
2. Statements on ownership and control of the development and of conditions of ownership or control, use, and permanent maintenance of common open space, common facilities, or common lands to ensure preservation of such lands and facilities for their intended purpose and to ensure that such common facilities will not become a future liability for the Board of County Commissioners are sufficient;
3. Density and/or the intended use of the proposed development with particular attention to its relationship to adjacent and nearby properties and effect on those properties and relationship to the Comprehensive Plan are in accordance with the Comprehensive Plan and Land Development Regulations;
4. Ingress and egress to the development and proposed structures on the development provide for automotive and pedestrian safety, minimization of marginal friction with free movement of traffic on adjacent streets, separation of automotive traffic and pedestrian and other traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe, or emergency;
5. Location and relationship of off-street parking and off-street loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscape are adequate;

6. Proposed screens and buffers sufficiently provide for the preservation of internal and external harmony and compatibility with uses inside and outside the proposed development;
7. Manner of stormwater management will not adversely affect the provisions for stormwater management on adjacent and nearby properties and overall public stormwater management capacities;
8. Provision for sanitary sewers is adequate in relationship to overall sanitary sewer availability and capacities;
9. Utilities, with reference to hook-in locations and availability and capacity for the uses projected are adequate;
10. Recreation facilities and open spaces, with attention to the size, location, and development of the areas as to adequacy, effect on privacy of adjacent and nearby properties and uses within the proposed development, and relationship to community open spaces and recreational facilities are adequate;
11. General amenities and convenience, with particular reference to appearance and general layout of the proposed development will be compatible and harmonious with properties in the general area and will not be in conflict with other development in the area as to cause substantial depreciation of property values; and
12. Said site and development plan conforms to all other standards imposed by the Land Development Regulations.

**NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING BOARD OF COLUMBIA COUNTY, FLORIDA, THAT:**

**Section 1.** Pursuant to an application, SDP 21 12, an application by John Write, project manager for United Parcel Service, owner, for site and development plan approval for a Parcel Service Center use located in the Industrial ("I") Zone District in accordance with a site plan dated January 5, 2022, and submitted as part of an application dated December 16, 2021 to be located on property described, as follows:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 5°34'17" W, 700.00 FEET; THENCE S 4°35'17" W, 834.50 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF THE S.C.L. RAILROAD; THENCE S 85°14'17" W ALONG SAID SOUTH RIGHT-OF-WAY LINE, 373.60 FEET; THENCE S 86°05'17" W STILL ALONG SAID SOUTH RIGHT-OF-WAY LINE 183.10 FEET; THENCE S 86°58'17" W STILL ALONG SAID SOUTH RIGHT-OF-WAY LINE, 267.64 FEET; THENCE S 1°58'08" E, 47.50 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE CONTINUE S 1°58'08" E, 474.71 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 1°58'08" E, 271.96 FEET; THENCE N 85°10'13" W, 557.93 FEET TO THE EAST RIGHT-OF-WAY LINE OF A COUNTY MAINTAINED ROAD (KNOWN AS JONES ROAD); THENCE N 4°49'47" E ALONG SAID EAST RIGHT-OF-WAY LINE, 270.00 FEET; THENCE S 85°10'13" E, 526.00 FEET TO THE POINT OF BEGINNING.

LESS, A STRIP OF LAND 20 FEET IN WIDTH BEING 20 FEET TO THE LEFT OF A LINE DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S 5°34'17" W, 700.00 FEET; THENCE S 4°35'17"

W, 834.50 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF THE S.C.L. RAILROAD; THENCE S 85°14'17" W ALONG SAID SOUTH RIGHT-OF-WAY LINE, 373.60 FEET; THENCE S 86°05'17" W STILL ALONG SAID SOUTH RIGHT-OF-WAY LINE, 183.10 FEET; THENCE S 86°58'17" W STILL ALONG SAID SOUTH RIGHT-OF-WAY LINE, 267.64 FEET; THENCE S 1°58'08" E, 47.50 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF WASHINGTON STREET; THENCE FEET; THENCE CONTINUE S 1°58'08" E, 746.67 FEET TO THE POINT OF BEGINNING; THENCE N 85°10'13" W, 557.93 FEET TO THE EAST RIGHT-OF-WAY LINE OF A COUNTY MAINTAINED ROAD KNOWN AS JONES ROAD AND TO THE POINT OF BEGINNING.

Containing 3.1-acres, more or less.

Tax Parcel Number 34-3s-17-06875-002

**Section 2.** The Planning and Zoning Board, hereby approves the above referenced site and development plan subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A".

**Section 3.** A site and development plan made a part of this resolution by reference, shall govern the development of the above described property. Any deviation determined to be a major variation from the site and development plan submitted as part of this application shall be deemed a violation of the Land Development Regulations.

**Section 4.** The Land Development Regulation Administrator is hereby authorized to issue building permits pursuant to this resolution approving with conditions said site and development plan.

**Section 5.** The use of land approved by this site plan approval shall be in place, or a valid building permit shall be in force for the commencement of such land use within twelve (12) months of the granting of the site plan approval. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the approval of the site plan, this resolution granting such site plan approval is thereby revoked and of no force and effect.

**Section 6.** All resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

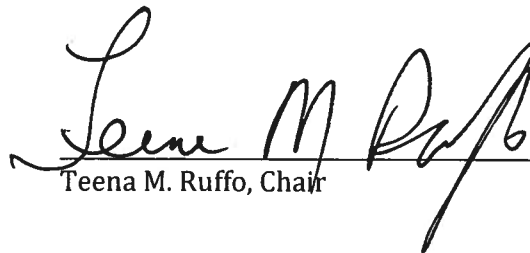
**DULY ADOPTED in regular session with a quorum present and voting, by the Planning and Zoning Board, this 27<sup>th</sup> day of January 2022.**

PLANNING AND ZONING BOARD OF  
COLUMBIA COUNTY, FLORIDA,

Attest:



Brandon M. Stubbs, Secretary to the  
Planning and Zoning Board



Teena M. Ruffo, Chair



From: Brandon Stubbs  
To: [tmoisan@pickeringfirm.com](mailto:tmoisan@pickeringfirm.com); [Liza Williams](#); [Jennifer Dubose](#)  
Subject: RE: Columbia County Zoning Department Upload Confirmation  
Date: Monday, November 15, 2021 2:17:52 PM

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Mr. Moisan,

The Columbia County Building & Zoning Department is in receipt of the Site & Development Plan Application for the proposed UPS Expansion. There are a few items I need and a few corrections required. Below is a list of items and corrections. Once they all have been addressed, please resubmit the entire package with the additional items and corrections.

- 1) Please revise the application to include the contact information of the owner. Further, there is an agent authorization form. Therefore, the agent must be listed on the application with ALL required contact information.
- 2) Given the property is owned by a corporation, a list of eligible officers, managing members, and/or those authorized to sign on behalf of the corporation must be provided. Further, the authorization form must be signed by someone listed as an eligible member. Lastly, the agent or whoever signs the authorization form must sign the application.
- 3) The deed states the subject property is in FLOTAMPAR CORPORATION. The applicant must provide documentation of how the deed went from FLOTAMPAR CORPORATION to UPS.
- 4) The site plan includes structural and architectural plans. This is not need and not advised to include with the site plan since they are subject to change. Please remove all architectural plans and structural plans for the site plan set.
- 5) The site plan does not have adequate development data. The development data must include ALL pre and post conditions (i.e. impervious area, building sq ft, and etc). Further, parking calculations must be provided. Applicant must reference what section of code the parking requirement was obtained. Lastly, please dimension parking spaces (at least on per lot, per side), and drive isles. Wheel stops are required for an parking spaces with 3-feet of the property boundary. Add wheel stops.
- 6) ADA accessibility plan must be provided with grades. Current ADA does not meet ADA requirements. Please made a separate ADA plan and revise to meet the requirements of ADA.
- 7) Landscape plan must provide calculations for landscaping. 10% of all drive isles and parking area must be landscaped. Revised landscape plan to include calculations. See Section 4.2.17.10 of the LDRs. Existing landscaping calculations seems excessively low for the amount of parking area.
- 8) Please provide the legal description, per the deed, in Microsoft Word format.

Sincerely,  
Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulation Admin.

Building & Zoning  
Columbia County  
135 NE Hernando Ave  
Lake City, FL 32055  
Ph: (386) 754-7119  
Fx: (386) 758-2160



**From:** Web Master

**Sent:** Thursday, November 11, 2021 4:22 PM

**To:** tmoisan@pickeringfirm.com; Brandon Stubbs <bstubbs@columbiacountyfla.com>; Liza Williams <lwilliams@columbiacountyfla.com>; Jennifer Dubose <jennifer\_dubose@columbiacountyfla.com>

**Subject:** Columbia County Zoning Department Upload Confirmation

## Columbia County Zoning Department Uploads

These files were recently uploaded to the Columbia County Zoning Department by user [tmoisan@pickeringfirm.com](mailto:tmoisan@pickeringfirm.com).

File name	Size	Date	Message
<a href="#">Site Development Plan Application and drawing set (September 2021) Fillable.pdf</a>	55.24MB	11/11/2021 4:21 PM	Success



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

December 23, 2021

VIA ELECTRONIC MAIL

John Wright, Project Manager  
United Postal Service  
143 NE Armor Glen  
Lake City, FL 32055

Re: SDP 21 12 – Review Comments – UPS Expansion

Dear Mr. Wright,

The above referenced application was review for sufficiency in accordance with Columbia County's Comprehensive Plan and Land Development Regulations ("LDRs"). Please address all insufficiencies detailed below in writing and provide detail as to how each insufficiency has been addressed. Please make sure the revised submittal contains the complete submittal with the appropriate revisions. Submittals must be made via the County's Planning and Zoning Upload Webportal @ <https://www.columbiacountyfla.com/PermitSearch/UploadLogin.aspx>

- 1) The site plan depicts the proposed required ADA/handicap parking located across the drive isle and along the south property boundary. This does not meet the minimum requirements for ADA/handicap parking. Parking spaces for the physically handicapped shall be located as close as possible to elevators, ramps, walkways, and entrances. These parking spaces should be located so that physically handicapped persons are not compelled to wheel or walk behind parked cars to reach entrances, ramps, walkways, and elevators. Therefore, the handicap parking must be relocated along the side of the building, provide ADA accessible sidewalks, and ADA accessible entrance into the building. Revise accordingly.
- 2) The applicant proposes parking lot lighting. While the County does not have any photometric requirements for on-site lighting, the County does regulate the over height and fixture types for lighting. The applicant must provide details of the lighting fixture and height of poles and fixtures. Per Section 4.2.20.7 of the LDRs, lighting fixtures must be full cut-off fixtures to keep glare from illuminating off-site. Further, the applicant proposes the lighting fixture and pole south of the proposed handicap parking to be located within County Right-of-Way. This is not permitted. All improvements must be located on the subject property.
- 3) The applicant must address the attached comments from Sallie Ford, Environmental Health, dated December 16, 2021. See attached correspondence.

If you have any questions or comments, please do not hesitate to contact me.

Sincerely,

Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulations Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.  
AND THIRD THURSDAY AT 5:30 P.M.

From: [Ford, Sallie](#)  
To: [Brandon Stubbs](#)  
Subject: RE: SDP 21 12 - UPS Expansion  
Date: Thursday, December 16, 2021 10:43:35 AM

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Hello,

It is not clear to me the plan for the wastewater. The utility notes on page 79 lead to City sewer connection, however, the drawing notes on this same page lead to septic system installation. The sewer plan will need to be clarified by designating one or the other clearly. If the plan is for a septic system, we still do not have any permits that have been submitted or approved. The septic system would need a significant upgrade with very limited available area, therefore, we must make sure we have the capacity for this project on the property.

Also, the calculated number is 6000 gallons of sewage flow per day for the proposal. This includes office space, warehouse areas, and employees.

Thanks!

**Sallie A. Ford**  
**Environmental Health Director**  
**Columbia and Hamilton Counties**  
**Florida Department of Health**  
**386-758-1058**

**Please Note: Florida has a very broad public records law. Most written communications to or from state officials regarding state business are public records available to the public and media upon request. Your email communication may therefore be subject to public disclosure.**

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**From:** Brandon Stubbs <bstubbs@columbiacountyfla.com>  
**Sent:** Thursday, December 16, 2021 9:10 AM  
**To:** Chad Williams <chad\_williams@columbiacountyfla.com>; David Kraus <david\_kraus@columbiacountyfla.com>; David Moore <david\_moore@columbiacountyfla.com>; Jeff Crawford <jeff\_crawford@columbiacountyfla.com>; Jennifer Dubose <jennifer\_dubose@columbiacountyfla.com>; Joel Foreman <jforeman@columbiacountyfla.com>; Kevin Kirby <kevin\_kirby@columbiacountyfla.com>; Lance Hill <lhill@columbiacountyfla.com>; Lawrence Wilson <lwilson@columbiacountyfla.com>; Ford, Sallie <Sallie.Ford@flhealth.gov>; Troy Crews <troy\_crews@columbiacountyfla.com>; Troy Register - FDOT, District 2 (Troy.Register@dot.state.fl.us) <Troy.Register@dot.state.fl.us>  
**Subject:** SDP 21 12 - UPS Expansion

EXTERNAL EMAIL: DO NOT CLICK links or open attachments unless you recognize the sender

Mr. Moisan,

The Columbia County Building & Zoning Department is in receipt of the Site & Development Plan Application for the proposed UPS Expansion. There are a few items I need and a few corrections required. Below is a list of items and corrections. Once they all have been addressed, please resubmit the entire package with the additional items and corrections.

- 1) Please revise the application to include the contact information of the owner. Further, there is an agent authorization form. Therefore, the agent must be listed on the application with ALL required contact information.  
**Owner contact information can be found on Page 3 of the document. See Page 34 for Agent Authorization form.**
- 2) Given the property is owned by a corporation, a list of eligible officers, managing members, and/or those authorized to sign on behalf of the corporation must be provided. Further, the authorization form must be signed by someone listed as an eligible member. Lastly, the agent or whoever signs the authorization form must sign the application.  
**Both the Application and the Agent Authorization forms have been signed by the same qualified representative (see Pages 3 and 34).**
- 3) The deed states the subject property is in FLOTAMPAR CORPORATION. The applicant must provide documentation of how the deed went from FLOTAMPAR CORPORATION to UPS.  
**Please refer to Pages 20-32 for details on the deed.**
- 4) The site plan includes structural and architectural plans. This is not need and not advised to include with the site plan since they are subject to change. Please remove all architectural plans and structural plans for the site plan set.  
**Architectural plans have been removed from the set for clarity.**
- 5) The site plan does not have adequate development data. The development data must include ALL pre and post conditions (i.e. impervious area, building sq ft, and etc). Further, parking calculations must be provided. Applicant must reference what section of code the parking requirement was obtained. Lastly, please dimension parking spaces (at least on per lot, per side), and drive isles. Wheel stops are required for an parking spaces with 3-feet of the property boundary. Add wheel stops.  
**Please see details on Sheet C2 (Page 75 of document as submitted). Parking spaces were provided per Columbia County, Florida/Part I. – Land Development Regulations/ Article 4-Zoning Regulations/Section 4.17.11 Minimum off-street parking requirements and 2020 Florida Building Code, Accessibility, 7th Edition: Section 208.2 Minimum Number of required accessible parking spaces per Table 208.2 PARKING SPACES.**
- 6) ADA accessibility plan must be provided with grades. Current ADA does not meet ADA requirements. Please made a separate ADA plan and revise to meet the requirements of ADA.  
**Please see details on Sheets C2, C4 and C10 (Pages 75, 77 and 84 of document as submitted). Parking spaces are added to existing pavement that is sloped at less than**

1.9% which is less than the max. 1:20 (5%) with an entrance ramp that is detailed on Sheet C10.

- 7) Landscape plan must provide calculations for landscaping. 10% of all drive isles and parking area must be landscaped. Revised landscape plan to include calculations. See Section 4.2.17.10 of the LDRs. Existing landscaping calculations seems excessively low for the amount of parking area.

Please see details on Sheet C7 (Page 81 of document as submitted).

- 8) Please provide the legal description, per the deed, in Microsoft Word format.

Please see separate file for Word document requested.

Sincerely,  
Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulation Admin.  
Building & Zoning  
Columbia County  
135 NE Hernando Ave  
Lake City, FL 32055  
Ph: (386) 754-7119  
Fx: (386) 758-2160





# Columbia County Gateway to Florida

21 12

756843

12-16-21

Lake City United Parcel Service - Facility Expansion

143 NE Armor Glen

34-3S-17-06875-002

Industrial

3.1 Acres

Sort Facility

Sort Facility

6,844 SF

6,844 SF

0

55,152 SF

John Wright

Project Manager

United Parcel Service

143 NE Armor Glen

Lake City

Florida

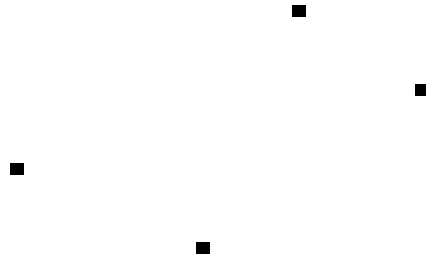
32055

901-573-3495

johnwright@ups.com

United Parcel Service

No



Vicinity Map – Indicating general location of the site, abutting streets, existing utilities,

Site Plan – Including, but not limited to the following:



Stormwater Management Plan—including the following:

Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever

Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with

Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s

John Wright

A handwritten signature in blue ink, appearing to read "John W. Wright".

12/10/21

# **Lake City United Parcel Service Facility Expansion**

## **ATTACHMENT/SUBMITTAL REQUIREMENTS for Lake City United Parcel Services (UPS) – Facility Expansion**

**Koby J. Coulon  
PE License # 68629**

**Pickering Firm, Inc.  
126 Rue Magnolia  
Biloxi, MS 39530  
Phone (228) 432-5925  
Fax (800) 844-0810  
kcoulon@pickeringfirm.com**

## Site Plan Application - D. ATTACHMENT/SUBMITTAL REQUIREMENTS

PROJECT: United Parcel Service (Renovation)  
143 N.E. Armor Glen  
Lake City, FL 32055

- 1) The Vicinity Map indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use is detailed on Sheet C0 – SURVEY.

2) (a) Owner:	United Parcel Service	Designer:	Pikering Firm, Inc.
	55 Glenlake Parkway NE		126 Rue Magnolia
	Atlanta, GA 30328		Biloxi, MS 39530

(b) The current zoning at this location is Industrial. UPS is not requesting any changes in zoning but is expanding to add capacity to its existing facility. (c) All surrounding properties, right-of-way, servitudes, buffers, etc. are thoroughly identified and detailed in plans and specifications for this project. (d- f) Plans, including the site survey, are all scaled with global position and dated correctly. (g) The location and positions of all existing and proposed utility connections and utility lines are detailed and referenced on Sheets C0, C5, C8, and C9 of this submittal.

(h) Existing and proposed parking areas are detailed on Sheet C2 – Site & Striping Plan. (i) Proposed landscaped areas including existing trees that are to remain and required landscaped buffer areas are located and detailed on Sheet C7 – Landscape Plan while most dimensions are provided on the Site Plan, Sheet C2. 3,502-ft<sup>2</sup> are provided where 2,011-ft<sup>2</sup> with 10-ea trees are required. (j) Location and size of any lakes, ponds, canals, or other waters and waterways. (k) Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures. (l) Existing conditions do not include a location that is designated for the trash receptacle. The 10'x14' Concrete Dumpster Pad is called out on Sheet C2 – Site and Striping Plan.

- 3) The Stormwater Management Plans include: (a) Existing Contours on Sheet C0, (b -e) with grading, drainage, stormwater runoff, and adjacent roadway elevations in Sheet C4 and Sheet C4.1. (f) The surface water management permit (File No. 0412243001EG) is attached and is the Self-Certification for a Stormwater Management System in Uplands Serving Less Than 10 Acres Total Land Area and Less Than 2 Acres Impervious under Section 403.814(12), F.S.
- 4) There are no municipal water utilities that are currently available at this location that have the capacity to supply the water supply that is required by the local fire department. 143 NE Armor Glen is located approximately 4.6 miles away from Columbia Co. Fire and Rescue Station 51; 1533 NW Lake Jeffery Rd, Lake City, FL.

The CONCURRENCY & COMPREHENSIVE PLAN CONSISTENCY ANALYSIS was performed and is included in Appendix A along with (7) Legal Description with Tax Parcel Number (In Word Format) (8) Proof of Ownership (deed) (9) Agent Authorization Form (signed and notarized) (10) Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

# APPENDIX A

- I. SELF-CERTIFICATION FOR A STORMWATER MANAGEMENT SYSTEM
- II. CONCURRENCY & COMPREHENSIVE PLAN CONSISTENCY ANALYSIS
- III. LEGAL DESCRIPTION WITH TAX PARCEL NUMBER
- IV. PROPERTY DEED (PROOF OF OWNERSHIP)
- V. AGENT AUTHORIZATION FORM
- VI. PROPERTY TAX RECEIPT
- VII. STORMWATER MANAGEMENT ANALYSIS (HYDRAFLOW REPORT)

I. SELF-CERTIFICATION FOR A STORMWATER MANAGEMENT SYSTEM



FLORIDA DEPARTMENT OF  
Environmental Protection

Bob Martinez Center  
2600 Blair Stone Road  
Tallahassee, Florida 32399-2400

**Ron DeSantis**  
Governor

**Jeanette Nuñez**  
Lt. Governor

**Shawn Hamilton**  
Secretary

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**SELF-CERTIFICATION FOR  
A STORMWATER MANAGEMENT SYSTEM IN UPLANDS SERVING  
LESS THAN 10 ACRES OF TOTAL PROJECT AREA AND  
LESS THAN 2 ACRES OF IMPERVIOUS SURFACES**

<b>Owner(s)/Permittee(s):</b>	Koby Coulon
<b>File No:</b>	0412243001EG
<b>File Name:</b>	EXPANSION/RENOVATION
<b>Site Address:</b>	143 NE Armor Gln Lake City FL - 32055 1434
<b>County:</b>	Columbia
<b>Latitude:</b>	30° 11' 16.1485"
<b>Longitude:</b>	-82° 35' 42.328"
<b>Total Project Area:</b>	3.1
<b>Total Impervious Surface Area:</b>	2
<b>Approximate Date of Commencement of Construction:</b>	12/20/2021
<b>Registered Florida Professional:</b>	Koby Coulon
<b>License No.:</b>	68629
<b>Company:</b>	Pickering Firm, Inc.

**Date:** November 09, 2021

**Koby Coulon** certified through the Department's Enterprise Self-Service Application portal that the project described above was designed by the above-named Florida registered professional to meet the following requirements:

- (a) The total project area involves less than 10 acres and less than 2 acres of impervious surface;
- (b) Activities will not impact wetlands or other surface waters;
- (c) Activities are not conducted in, on, or over wetlands or other surface waters;
- (d) Drainage facilities will not include pipes having diameters greater than 24 inches, or the hydraulic equivalent, and will not use pumps in any manner;
- (e) The project is not part of a larger common plan, development, or sale; and
- (f) The project does not:
  - 1. Cause adverse water quantity or flooding impacts to receiving water and adjacent lands;

- 2.Cause adverse impacts to existing surface water storage and conveyance capabilities;
- 3.Cause a violation of state water quality standards; or
- 4.Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to s. 373.042 or a work of the district established pursuant to s. 373.086, F.S.

This certification was submitted before initiation of construction of the above project. The system is designed, and will be operated and maintained in accordance with applicable rules adopted pursuant to part IV of chapter 373, F.S. There is a rebuttable presumption that the discharge from such system will comply with state water quality standards. Therefore, construction, alteration, and maintenance of the stormwater management system serving this project is authorized in accordance with s.403.814(12), F.S.

In accordance with s. 373.416(2), F.S., if ownership of the property or the stormwater management system is sold or transferred to another party, continued operation of the system is authorized only if notice is provided to the Department within 30 days of the sale or transfer. This notice can be submitted to:

FDEP Northeast District  
8800 Baymeadows Way West  
Jacksonville, FL32256

This certification was submitted along with the following electronic documents:

File Description	
Plans for Site	26197.00 CIVIL.UPS Lake City FL

If you have submitted this certification as a Florida Registered Professional, you may wish to sign and seal this certification, and return a copy to the Department, in accordance with your professional practice act requirements under Florida Statutes.

I, Koby Coulon, License No. 68629, do hereby certify that the above information is true and accurate, based upon my knowledge, information and belief. In the space below, affix signature, date, seal, company name, address and certificate of authorization (if applicable).

This sealed certification may be submitted to the Department, either electronically (as an attachment in Adobe PDF or other secure, digital format) at [DEP\\_NED@dep.state.fl.us](mailto:DEP_NED@dep.state.fl.us), or as a hardcopy, at the postal address below:

FDEP Northeast District  
8800 Baymeadows Way West  
Jacksonville, FL32256





## II. CONCURRENCY & COMPREHENSIVE PLAN CONSISTENCY ANALYSIS

# **Lake City United Parcel Service Facility Expansion**

## **CONCURRENCY & COMPREHENSIVE PLAN CONSISTENCY ANALYSIS**

**Koby J. Coulon  
PE License # 68629**

**Pickering Firm, Inc.  
126 Rue Magnolia  
Biloxi, MS 39530  
Phone (228) 432-5925  
Fax (800) 844-0810  
[kcoulon@pickeringfirm.com](mailto:kcoulon@pickeringfirm.com)**

## Water & Sewer Usage

Water & Sewer usage is 15 GPD per 100 square feet of floor space. Total usage is thus  $15 \times 6,816 / 100 = 1,022.4$  GPD.

## Solid Waste

Solid Waste is 5.5 lbs/day per 1,000 square feet of floor space. Total usage is thus  $5.5 \times 6,816 / 1,000 = 37.49$  lbs/day.

## Trip Generation

ADT is 6.97 trips/day per 1,000 square feet of floor space. Thus, total ADT is  $6.97 \times 6,816 / 1,000 = 47.51$  trips/day.

PM peak trips is 0.98 trips per 1,000 square feet of floor space. Thus, total PM peak trips is  $0.98 \times 6,816 / 1,000 = 6.68$  trips.

## Consistency with Objectives and Policies for Urban Development Areas

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE COUNTY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

OBJECTIVE I.1 The county shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

*Consistency: The facility is located inside the Designated Urban Development Area and conforms to the requirements of the Comprehensive Plan and Land Development Regulations.*

### Policy I.1.1

The county shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the county shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

*Consistency: The facility is located along NE Jones Way where adequate capacity for transportation, water, sanitary sewer, etc... is available to support the facility.*

#### Policy I.1.2

The county's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

***Consistency: The property is being proposed to be used for activities that are consistent with usage of current surrounding properties.***

#### Policy I.1.3

The county's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

***Consistency: The property owner does not intend to wait until 2023 to begin construction but instead wishes to start construction as soon as is reasonably possible to support current needs and future growth.***

#### Policy I.1.4

The county shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

***Consistency: The facility is not located in any environmentally sensitive areas. It will not be used for agricultural or forestry activities.***

#### Policy I.1.5

The county shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

***Consistency: The facility was designed so as to conform with the existing land topography, soil conditions, and other unique features specific to this property.***

#### Policy I.1.6

The county's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the county. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

***Consistency: The facility is not designed to exceed any density, floor area ratio, or other similar required threshold. If necessary, a variance will be requested after exhausting all other options.***

III.      LEGAL DESCRIPTION WITH TAX PARCEL NUMBER

## Columbia County Property Appraiser

Jeff Hampton

2021 Working Values

updated: 12/8/2020

Parcel: &lt;&lt; 34-3S-17-06875-002 &gt;&gt;

## Owner &amp; Property Info

Result: 1 of 1

Owner	UNITED PARCEL SERVICE INC ATTN:REAL ESTATE 55 GLENLAKE PKWY NE ATLANTA, GA 30328		
Site	143 ARMOR GLN,		
Description*	COMM NE COR, RUN S 1534.50 FT TO S R/W OF RR, W ALONG R/W 824.34 FT, S 522.21 FT FOR POB, RUN S 271.96 FT, W 557.93 FT TO E R/W JONES RD, N ALONG 270 FT TO POB, EX 20 FT STRIP DEEDED TO COUNTY IN ORB 562- 720. ORB 707-791 THRU 802,		
Area	3.1 AC	S/T/R	34-3S-17
Use Code**	WAREHOUSE/ (004800)	Tax District	2

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property &amp; Assessment Values

2020 Certified Values		2021 Working Values	
Mkt Land (1)	\$36,890	Mkt Land (1)	\$36,890
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$90,132	Building (1)	\$90,132
XFOB (7)	\$24,839	XFOB (7)	\$24,839
Just	\$151,861	Just	\$151,861
Class	\$0	Class	\$0
Appraised	\$151,861	Appraised	\$151,861
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$151,861	Assessed	\$151,861
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$151,861 city:\$151,861 other:\$151,861 school:\$151,861	Total Taxable	county:\$151,861 city:\$151,861 other:\$151,861 school:\$151,861

Aerial Viewer Pictometry Google Maps



## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
4/1/1985	\$50,900	562/0610	WD	I	U	01

## Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	PREF M B A (008700)	1982	4925	5910	\$90,132

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

## Extra Features &amp; Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	0	\$12,319.00	36500.000	0 x 0 x 0	AP (025.00)
0140	CLFENCE 6	0	\$4,300.00	1.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	1998	\$300.00	1.000	0 x 0 x 0	(000.00)
0253	LIGHTING	1993	\$500.00	1.000	0 x 0 x 0	(000.00)

1/20/2021

Columbia County Property Appraiser

0057	CAN-GAS IS	1998	\$6,720.00	800.000	20 x 40 x 0	AP (030.00)
------	------------	------	------------	---------	-------------	-------------

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
004800	WAREHOUSE (MKT)	3.100 AC	1.00/1.00 1.00/0.85	\$11,900	\$36,890

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com

IV. PROPERTY DEED (PROOF OF OWNERSHIP)



49/6.50

# State of Florida



## Department of State

I certify the attached is a true and correct copy of the Articles of Merger, filed on June 5, 1989, effective July 1, 1989, as shown by the records of this office.

The document number of the surviving corporation is 819816.

OFFICIAL RECORDS  
BOOK PAGE

2235 0044

SEMINOLE CO. FL.

MARYANNE MORSE  
CLERK OF CIRCUIT COURT  
SEMINOLE COUNTY, FL.

093325

RECORDED & VERIFIED

1990 OCT 30 AM 9:41

Given under my hand and the  
Great Seal of the State of Florida,  
at Tallahassee, the Capital, this the  
21st day of December, 1989.



*Jim Smith*

Jim Smith  
Secretary of State

CR2E022 (8-89)

1. 4556-88-19136

EFFECTIVE DATE

7/1/89

FILED  
JUL 5 1989  
FBI - MIAMI

ARTICLES OF MERGER  
OF  
AMIFLO COMPANY AND  
FLOTAMPAR CORPORATION  
AND  
UNITED PARCEL SERVICE, INC.

To the Department of State  
State of Florida

Pursuant to the provisions of the Florida General Corporation Act governing the merger of a domestic corporation with and into a foreign corporation, the corporations hereinafter named do hereby adopt the following Articles of Merger.

1. The names of the merging corporations are Amiflo Company and Flotampar Corporation, both of which are business corporations organized under the laws of the State of Florida, and the existence of which will cease, and United Parcel Service, Inc., which is a business corporation organized under the laws of the State of Ohio, and which shall be the surviving corporation.

2. The Agreement and Plan of Merger for merging Amiflo Company and Flotampar Corporation with and into United Parcel Service, Inc. was approved and adopted by the sole shareholder of Amiflo Company on May 1, 1989 and by the sole shareholder of Flotampar Corporation on May 1, 1989.

3. The laws of the jurisdiction of organization of United Parcel Service, Inc. permit the merger of a business corporation of another jurisdiction with and into a business corporation of the jurisdiction of organization of United Parcel Service, Inc.; and the merger of Amiflo Company and Flotampar Corporation with and into United Parcel Service, Inc. is in compliance with the laws of the jurisdiction of organization of United Parcel Service, Inc.

4. United Parcel Service, Inc. will continue its existence as the surviving corporation under its present name pursuant to the provisions of the laws of the jurisdiction of its organization.

5. United Parcel Service, Inc. does hereby agree that it may be served with process in the State of Florida in any proceedings for the enforcement of any obligation of either Amiflo Company or Flotampar Corporation and in any proceeding for the enforcement of the rights of a dissenting shareholder, if any, of either Amiflo Company or Flotampar Corporation against United Parcel Service, Inc.; does hereby irrevocably appoint the Secretary of State of the State of Florida as its agent to accept

LEGIBILITY UNSATISFACTORY  
FOR MICROGRAPHICS

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PAGE 0044A

6656-88-19136

service of process in any such proceeding; and does hereby agree that it will promptly pay the dissenting shareholders of either Amiflo Company or Flotampar Corporation the amount, if any, to which they shall be entitled under the provisions of the Florida General Corporation Act with respect to the rights of dissenting shareholders.

6. The merger herein provided for shall become effective in the State of Florida on the 1st day of July, 1989.

Executed on this 1<sup>st</sup> day of May, 1989.

AMIFLO COMPANY

By: Joseph R. Maderow  
Joseph R. Maderow,  
Vice President

Thomas E. Butt  
Thomas E. Butt,  
Assistant Secretary

FLOTAMPAR CORPORATION

By: Joseph R. Maderow  
Joseph R. Maderow,  
Vice President

Thomas E. Butt  
Thomas E. Butt,  
Assistant Secretary

UNITED PARCEL SERVICE, INC.

By: Joseph R. Maderow  
Joseph R. Maderow,  
Vice President

Thomas E. Butt  
Thomas E. Butt,  
Assistant Secretary

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FOR MICROGRAPHICS

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PAGE 0044B



4456-88-19136

STATE OF CONNECTICUT  
COUNTY OF FAIRFIELD

On this day of May 1, 1989, before me, a  
Notary Public in and for the State and County aforesaid, personally  
appeared Joseph R. Noderov, known to me to be the Vice Pres-  
ident of Amfle Company, which is one of the corporations which  
executed the foregoing instrument, and Thomas E. Butt, known to  
me to be the Assistant Secretary of said corporation, and each of  
said officers acknowledged to me that the execution of the fore-  
going instrument was the act and deed of said corporation, and  
that his signing of said instrument upon behalf of said corpora-  
tion was his official act and deed.

WITNESS my hand and seal of office on the day and year  
aforesaid.

Virginia D. Hutch  
Notary Public

Commission expires: 3-31-90

VIRGINIA D. HUTCH  
NOTARY PUBLIC  
BY COM. EXPIRES MARCH 31, 1990

LEGIBILITY UNSATISFACTORY  
FOR MICROGRAPHICS

ORB 2235  
PAGE 0044C

A656-88-19136

STATE OF CONNECTICUT  
COUNTY OF FAIRFIELD

On this day of May 1, 1989, before me, a  
Notary Public in and for the State and County aforesaid, personally appeared Joseph R. Moderow, known to me to be the Vice President of Flotampar Corporation, which is one of the corporations which executed the foregoing instrument, and Thomas E. Butt, known to me to be the Assistant Secretary of said corporation, and each of said officers acknowledged to me that the execution of the foregoing instrument was the act and deed of said corporation, and that his signing of said instrument upon behalf of said corporation was his official act and deed.

WITNESS my hand and seal of office on the day and year aforesaid.

Virginia D. Hutch  
Notary Public

Commission expires: 3-31-90

VIRGINIA D. HUTCH  
NOTARY PUBLIC  
BY CHAL. SUPER. MARCH 21, 1990

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FOR MICROGRAPHICS

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PAGE 00447

4656-88-19136

STATE OF *Connecticut*  
COUNTY OF *Fairfield*

On this day of May 1, 1989, before me, a  
Notary Public in and for the State and County aforesaid, personally appeared Joseph R. Moderow, known to me to be the Vice President of United Parcel Service, Inc., which is one of the corporations which executed the foregoing instrument, and Thomas E. Butt, known to me to be the Assistant Secretary of said corporation, and each of said officers acknowledged to me that the execution of the foregoing instrument was the act and deed of said corporation, and that his signing of said instrument upon behalf of said corporation was his official act and deed.

WITNESS my hand and seal of office on the day and year aforesaid.

*Virginia E. Hutch*  
\_\_\_\_\_  
Notary Public

Commission expires:

VIRGINIA E. HUTCH  
NOTARY PUBLIC  
BY CHARTER EXPIRES MARCH 31, 1991

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FOR MICROGRAPHICS



2382-87-8967

AGREEMENT AND PLAN OF MERGER

of

ANIFLO COMPANY  
and  
FLOTAMPAR CORPORATION  
(each a Florida Corporation)

into

UNITED PARCEL SERVICE, INC.  
(an Ohio Corporation)

AGREEMENT AND PLAN OF MERGER made and entered into  
by and among ANIFLO COMPANY and FLOTAMPAR CORPORATION, both cor-  
porations of the State of Florida, and UNITED PARCEL SERVICE,  
INC., a corporation of the State of Ohio, as approved by a reso-  
lution adopted by the Board of Directors of each such corpora-  
tion.

WHEREAS, Aniflo Company, Flotampar Corporation and  
United Parcel Service, Inc. are wholly owned subsidiaries of  
United Parcel Service of America, Inc.; and

WHEREAS, Aniflo Company and Flotampar Corporation are  
corporations of the State of Florida and are subject to the  
provisions of the Florida General Corporation Act; and

WHEREAS, United Parcel Service, Inc. is a corporation  
of the State of Ohio and is subject to the provisions of Chapter  
1701 of the Revised Code of Ohio; and

WHEREAS, Aniflo Company, Flotampar Corporation and  
United Parcel Service, Inc. and the respective Boards of

LEGIBILITY UNSATISFACTORY  
FOR MICROGRAPHICS

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PAGE 00447

2382-87-8967

Directors thereof deem it advisable and to the advantage, welfare, and best interests of said corporations and their sole shareholder to merge Amiflo Company and Flotampar Corporation into United Parcel Service, Inc. pursuant to the provisions of Chapter 1701 of the Revised Code of Ohio and the Florida General Corporation Act, upon the terms and conditions hereinafter set forth:

NOW, THEREFORE, in consideration of the premises and of the mutual agreement of the parties hereto, being thereunto duly approved by the resolutions adopted by the respective Boards of Directors of Amiflo Company, Flotampar Corporation, and United Parcel Service, Inc., in accordance with the provisions of Chapter 1701 of the Revised Code of Ohio and the Florida General Corporation Act, the Agreement and Plan of Merger and the terms and conditions thereof, the mode of carrying the same into effect, together with any provisions required or permitted to be set forth therein, are hereby determined and agreed upon for submission to the sole shareholder of Amiflo Company, Flotampar Corporation, and of United Parcel Service, Inc. as required by Chapter 1701 of the Revised Code of Ohio and the Florida General Corporation Act, as hereinafter in this agreement set forth.

1. In consideration, respectively, of all of the shares of Amiflo Company and Flotampar Corporation, which are hereinafter sometimes referred to as the "terminating corporations", United Parcel Service, Inc. agrees to assume all of the

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debts and liabilities and all of the responsibilities of the terminating corporations.

2. Amiflo Company and Flotampar Corporation are hereby merged into United Parcel Service, Inc., which shall be the continuing and resulting corporation, and which is herein-after sometimes referred to as the "surviving corporation".

3. The present Articles of Incorporation of the surviving corporation shall constitute the Articles of Incorporation of said surviving corporation and shall continue to be in full force and effect until altered or amended under the authority of Chapter 1701 of the Revised Code of Ohio.

4. The present regulations of the surviving corporation will be the regulations of said surviving corporation and will continue in full force and effect until altered or amended as therein provided under the authority of Chapter 1701 of the Revised Code of Ohio.

5. The members constituting the Board of Directors of the surviving corporation upon the effective date of the merger herein provided for and the officers in the offices of said corporation upon said effective date shall continue to hold their respective directorships and offices until the election and qualification of their respective successors or until their tenure is otherwise terminated in accordance with the regulations of the surviving corporation in effect from time to time.

6. The surviving corporation will not issue any of its shares in exchange for the issued shares of any terminating

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corporation inasmuch as the terminating corporations and the surviving corporation each have the same ultimate controlling corporate shareholder. The shares of the terminating corporations shall not be converted or substituted for shares in the surviving corporation. All of the issued shares of the terminating corporations shall, upon the effective date of the merger, be surrendered and extinguished. The shares of the surviving corporation shall not be converted or substituted, but each said share which is issued as of the effective date of the merger shall continue to represent one issued share of the surviving corporation.

7. The Agreement and Plan of Merger herein made and entered into shall be submitted to the sole shareholder of each of the terminating corporations and of the surviving corporation for its adoption or rejection in the manner prescribed by the law of the State of Ohio and of the State of Florida, as applicable.

8. In the event that this Agreement and Plan of Merger shall have been adopted by the sole shareholder of each of the terminating corporations and of the surviving corporation under Chapter 1701 of the Revised Code of Ohio and the Florida General Corporation Act, the terminating corporations and the surviving corporation agree that they will cause to be executed and filed any document or documents prescribed by the laws of the States of Ohio and Florida, and that they will cause to be performed all necessary acts within the States of Ohio, Florida

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2382-87-8967

and elsewhere to effectuate the merger. This undertaking is subject, however, to any provision contained herein for abandoning the merger before or after the approval of the Agreement and Plan of Merger by the sole shareholder of each of the terminating corporations and of the surviving corporation.

9. The Boards of Directors and the proper officers of the constituent corporations are hereby authorized, empowered, and directed to do any and all acts and things, and to make, execute, deliver, and file, any and all instruments, papers, and documents which shall be or become necessary, proper, or convenient to carry out or put into effect any of the provisions of this agreement or of the merger herein provided for.

10. Notwithstanding the approval of this Agreement and Plan of Merger by the shareholder entitled to vote of the terminating corporations and of the surviving corporation, this Agreement and Plan of Merger, as between any two constituent corporations entering into this Agreement and Plan of Merger, may be abandoned by either or both such corporations at any time prior to the filing of any requisite merger documents with the Department of State of the States of Ohio and Florida, in the event that the Board of Directors of either constituent corporation, for whatever reason, deems that the merger is no longer viable or desirable and adopts a resolution, whether in a meeting or by written consent to that effect.

11. The effective date of the merger herein agreed upon shall be July 1, 1969.

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IN WITNESS WHEREOF, the parties hereto have duly  
executed this Agreement and Plan of Merger the 1<sup>st</sup> day  
of May 1989.

AMIFLO COMPANY

By: Joseph R. Maderow  
Joseph R. Maderow, Vice President

Thomas E. Butt  
Thomas E. Butt, Assistant Secretary

FLOTANPAR CORPORATION

By: Joseph R. Maderow  
Joseph R. Maderow, Vice President

Thomas E. Butt  
Thomas E. Butt, Assistant Secretary

UNITED PARCEL SERVICE, INC.

By: Joseph R. Maderow  
Joseph R. Maderow, Vice President

Thomas E. Butt  
Thomas E. Butt, Assistant Secretary

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PAGE 0044K

V. AGENT AUTHORIZATION FORM

## APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department  
135 NE Hernando Avenue  
Lake City, FL 32055

### Authority to Act as Agent

On my/our behalf, I appoint Koby Coulon, P.E.  
(Name of Person to Act as my Agent)

for Pickering Firm, Inc.  
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application  
for Site Plan Application, UPS - Facility Expansion, Lake City, FL  
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: John Wright

Applicant/Owner's Title: East Region Project Manager

On Behalf of: United Parcel Service Inc, an Ohio corporation (UPS)  
(Company Name, if applicable)

Telephone: 901-573-3495 Date: 11/10/2021

Applicant/Owner's Signature: [Signature]  
Print Name: JOHN W. WRIGHT

STATE OF FLORIDA  
COUNTY OF DAVAL

The Foregoing instrument was acknowledged before me this 10 day of NOV, 20 21, by JOHN W. WRIGHT,  
whom is personally known by me ☒ OR produced identification ☒.  
Type of Identification Produced FL DL

[Signature]  
(Notary Signature)

(SEAL)



JAMES T OWENS  
Commission # GG 233443  
Expires June 28, 2022  
Bonded Thru Budget Notary Services

VI. PROPERTY TAX RECEIPT

generated on 1/20/2021 5:03:12 AM EST

Last Update: 1/20/2021 5:02:00 AM EST

**Register for eBill**

The information contained herein does not constitute a title search and should not be relied on as such.

Date Paid	Transaction	Receipt	Item	Amount Paid



11/17/2020	PAYMENT	1500614.0001	2020	\$2,482.60
------------	---------	--------------	------	------------

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

VIII. STORMWATER MANAGEMENT ANALYSIS (HYDRAFLOW REPORT)

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	8.722	2	734	38,508	-----	-----	-----	Pre A to Center Pond
2	SCS Runoff	4.303	2	724	13,552	-----	-----	-----	Pre B to NW Pond
4	Reservoir	6.682	2	746	25,012	1	193.03	14,055	Pre A Center Pond
5	Reservoir	0.277	2	824	4,605	2	193.00	8,988	Pre B NW Pond
6	Combine	6.682	2	746	29,616	4, 5	-----	-----	Pre to North
7	SCS Runoff	0.668	2	722	1,900	-----	-----	-----	Pre C West Offsite
10	SCS Runoff	25.99	2	722	73,302	-----	-----	-----	Post A to Pond
12	Reservoir	1.692	2	792	27,223	10	193.09	47,640	Post A Pond to North
13	SCS Runoff	0.941	2	722	2,675	-----	-----	-----	Post C West Offsite
197.00-HYDRAFLOW-CBW.gpw					Return Period: 25 Year			Tuesday, 11 / 9 / 2021	

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

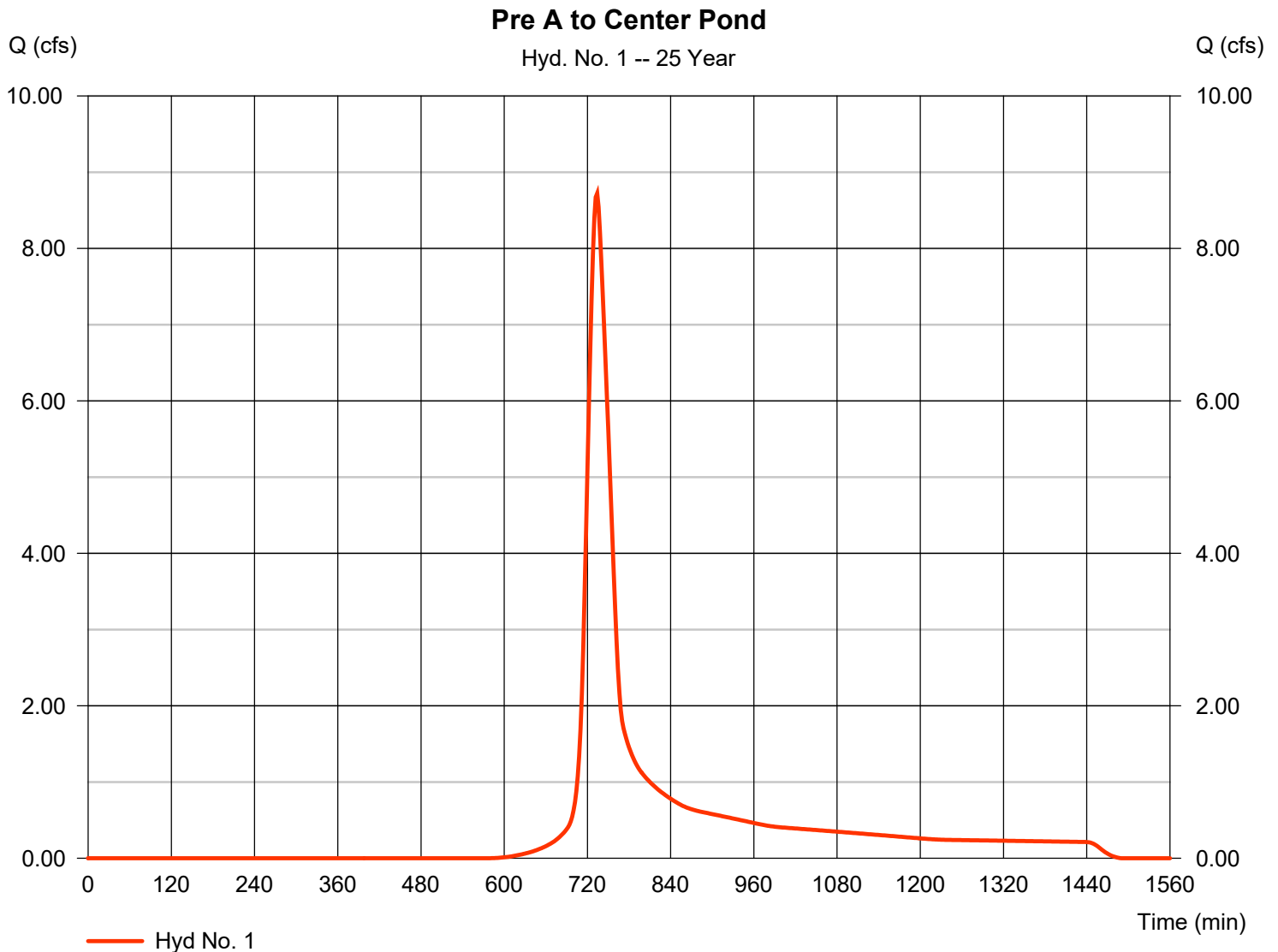
## Hyd. No. 1

Pre A to Center Pond

Hydrograph type = SCS Runoff  
 Storm frequency = 25 yrs  
 Time interval = 2 min  
 Drainage area = 3.400 ac  
 Basin Slope = 0.0 %  
 Tc method = TR55  
 Total precip. = 7.24 in  
 Storm duration = 24 hrs

Peak discharge = 8.722 cfs  
 Time to peak = 734 min  
 Hyd. volume = 38,508 cuft  
 Curve number = 63\*  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 33.00 min  
 Distribution = Type II  
 Shape factor = 484

\* Composite (Area/CN) =  $[(2.420 \times 49) + (0.984 \times 98)] / 3.400$



# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

## Hyd. No. 1

Pre A to Center Pond

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>			
<b>Sheet Flow</b>							
Manning's n-value	= 0.011	0.011	0.150				
Flow length (ft)	= 75.0	25.0	250.0				
Two-year 24-hr precip. (in)	= 4.19	4.19	4.19				
Land slope (%)	= 8.83	0.50	0.49				
<b>Travel Time (min)</b>	<b>= 0.46</b>	<b>+</b>	<b>0.61</b>	<b>+</b>	<b>31.28</b>	<b>=</b>	<b>32.35</b>
<b>Shallow Concentrated Flow</b>							
Flow length (ft)	= 42.00	13.00	0.00				
Watercourse slope (%)	= 0.44	30.00	0.00				
Surface description	= Unpaved	Unpaved	Paved				
Average velocity (ft/s)	=1.07	8.84	0.00				
<b>Travel Time (min)</b>	<b>= 0.65</b>	<b>+</b>	<b>0.02</b>	<b>+</b>	<b>0.00</b>	<b>=</b>	<b>0.68</b>
<b>Channel Flow</b>							
X sectional flow area (sqft)	= 0.00	0.00	0.00				
Wetted perimeter (ft)	= 0.00	0.00	0.00				
Channel slope (%)	= 0.00	0.00	0.00				
Manning's n-value	= 0.015	0.015	0.015				
Velocity (ft/s)	=0.00	0.00	0.00				
Flow length (ft)	(0)0.0	0.0	0.0				
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b>	<b>0.00</b>	<b>+</b>	<b>0.00</b>	<b>=</b>	<b>0.00</b>
<b>Total Travel Time, Tc .....</b>					<b>33.00 min</b>		

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

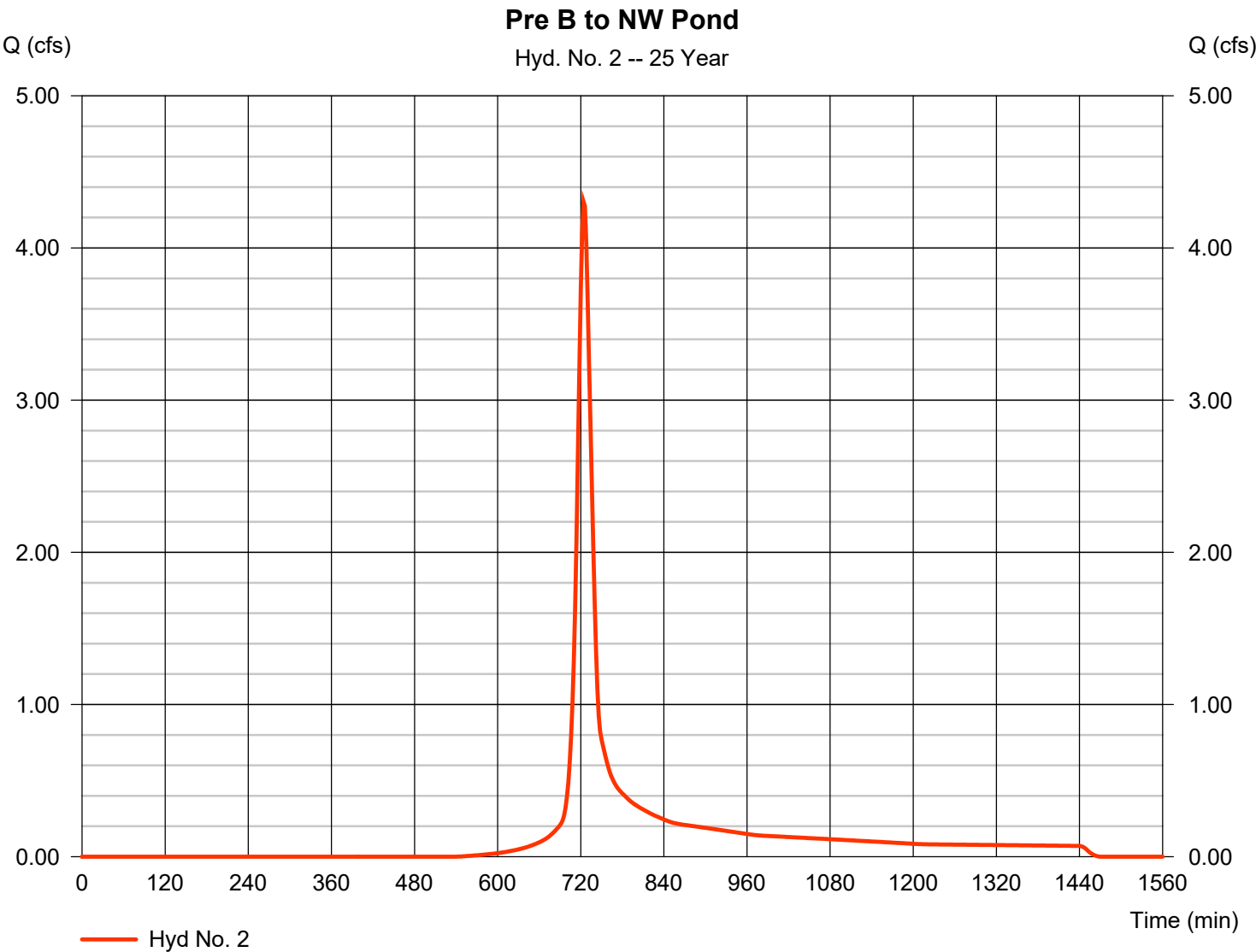
Tuesday, 11 / 9 / 2021

## Hyd. No. 2

Pre B to NW Pond

Hydrograph type	= SCS Runoff	Peak discharge	= 4.303 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 13,552 cuft
Drainage area	= 1.100 ac	Curve number	= 66*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 17.80 min
Total precip.	= 7.24 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) = [(0.710 x 49) + (0.393 x 98)] / 1.100



# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

## Hyd. No. 2

Pre B to NW Pond

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
<b>Sheet Flow</b>				
Manning's n-value	= 0.150	0.150	0.011	
Flow length (ft)	= 139.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.19	0.00	0.00	
Land slope (%)	= 0.74	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 16.59</b>	<b>+</b>	<b>0.00</b>	<b>+</b>
			<b>0.00</b>	<b>= 16.59</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 142.00	0.00	0.00	
Watercourse slope (%)	= 1.41	0.00	0.00	
Surface description	= Unpaved	Unpaved	Paved	
Average velocity (ft/s)	=1.92	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 1.24</b>	<b>+</b>	<b>0.00</b>	<b>+</b>
			<b>0.00</b>	<b>= 1.24</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	(0)0.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b>	<b>0.00</b>	<b>+</b>
			<b>0.00</b>	<b>= 0.00</b>
<b>Total Travel Time, Tc .....</b>				<b>17.80 min</b>

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

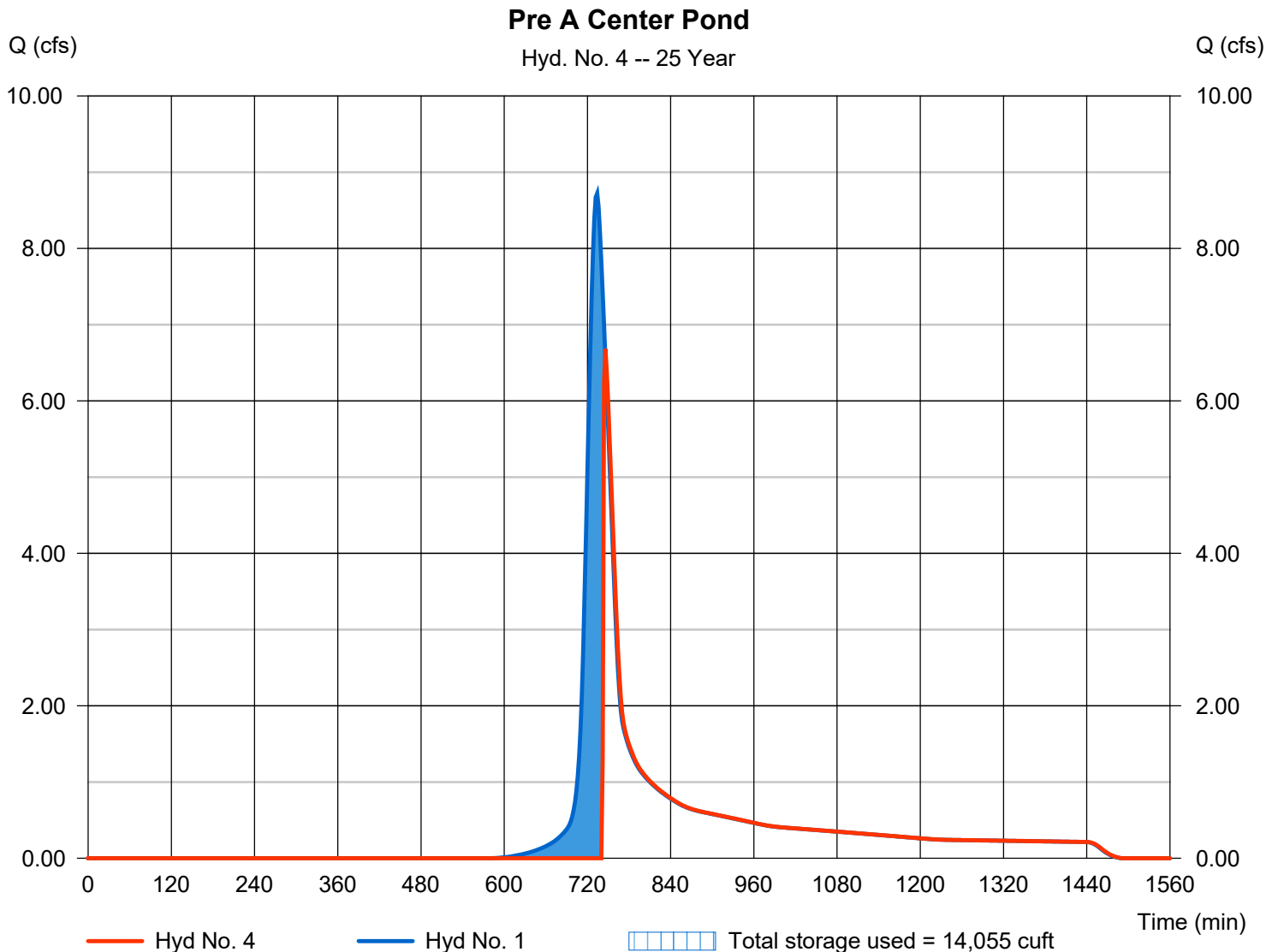
Tuesday, 11 / 9 / 2021

## Hyd. No. 4

Pre A Center Pond

Hydrograph type	= Reservoir	Peak discharge	= 6.682 cfs
Storm frequency	= 25 yrs	Time to peak	= 746 min
Time interval	= 2 min	Hyd. volume	= 25,012 cuft
Inflow hyd. No.	= 1 - Pre A to Center Pond	Max. Elevation	= 193.03 ft
Reservoir name	= Exist Center Pond	Max. Storage	= 14,055 cuft

Storage Indication method used.





# Pond Report

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Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

## Pond No. 3 - Exist Center Pond

### Pond Data

**Contours** -User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 190.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	190.00	269	0	0
1.00	191.00	3,537	1,594	1,594
2.00	192.00	5,890	4,663	6,257
3.00	193.00	8,680	7,239	13,496
4.00	194.00	28,445	17,611	31,107

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	Inactive	Inactive	Inactive	Inactive
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 200.00	Inactive	Inactive	Inactive
Crest El. (ft)	= 193.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	190.00	---	---	---	---	0.00	---	---	---	---	---	0.000
1.00	1,594	191.00	---	---	---	---	0.00	---	---	---	---	---	0.000
2.00	6,257	192.00	---	---	---	---	0.00	---	---	---	---	---	0.000
3.00	13,496	193.00	---	---	---	---	0.00	---	---	---	---	---	0.000
4.00	31,107	194.00	---	---	---	---	666.00	---	---	---	---	---	666.00

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

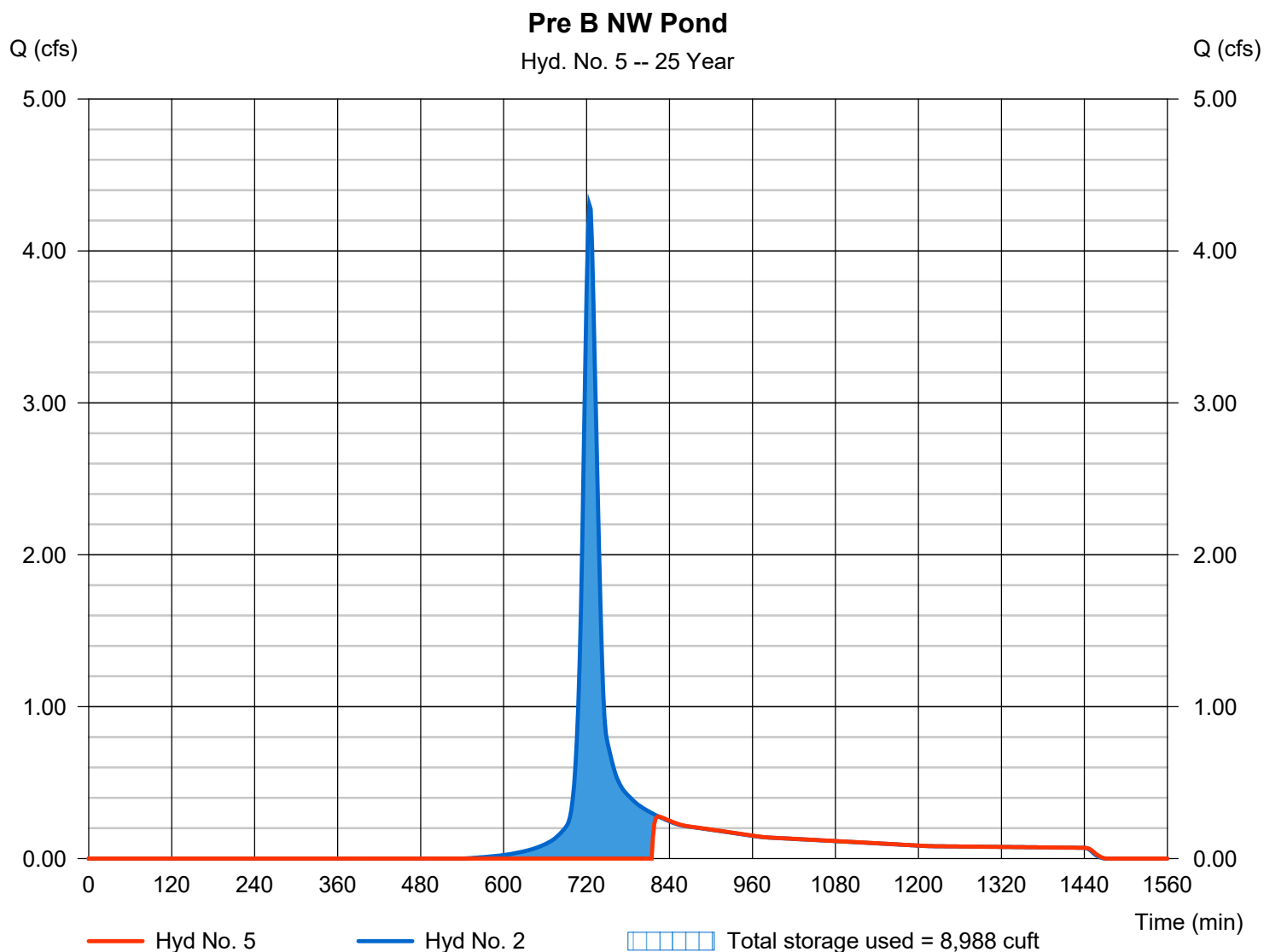
Tuesday, 11 / 9 / 2021

## Hyd. No. 5

Pre B NW Pond

Hydrograph type	= Reservoir	Peak discharge	= 0.277 cfs
Storm frequency	= 25 yrs	Time to peak	= 824 min
Time interval	= 2 min	Hyd. volume	= 4,605 cuft
Inflow hyd. No.	= 2 - Pre B to NW Pond	Max. Elevation	= 193.00 ft
Reservoir name	= Exist NW Pond	Max. Storage	= 8,988 cuft

Storage Indication method used.



# Pond Report

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Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

## Pond No. 5 - Exist NW Pond

### Pond Data

**Contours** -User-defined contour areas. Conic method used for volume calculation. Beginning Elevation = 190.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	190.00	05	0	0
1.00	191.00	2,105	737	737
2.00	192.00	4,034	3,017	3,755
3.00	193.00	6,446	5,193	8,947
4.00	194.00	48,029	24,021	32,968

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	Inactive	Inactive	Inactive	Inactive
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 155.00	0.00	0.00	0.00
Crest El. (ft)	= 193.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= Rect	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	190.00	---	---	---	---	0.00	---	---	---	---	---	0.000
1.00	737	191.00	---	---	---	---	0.00	---	---	---	---	---	0.000
2.00	3,755	192.00	---	---	---	---	0.00	---	---	---	---	---	0.000
3.00	8,947	193.00	---	---	---	---	0.00	---	---	---	---	---	0.000
4.00	32,968	194.00	---	---	---	---	516.15	---	---	---	---	---	516.15

# Hydrograph Report

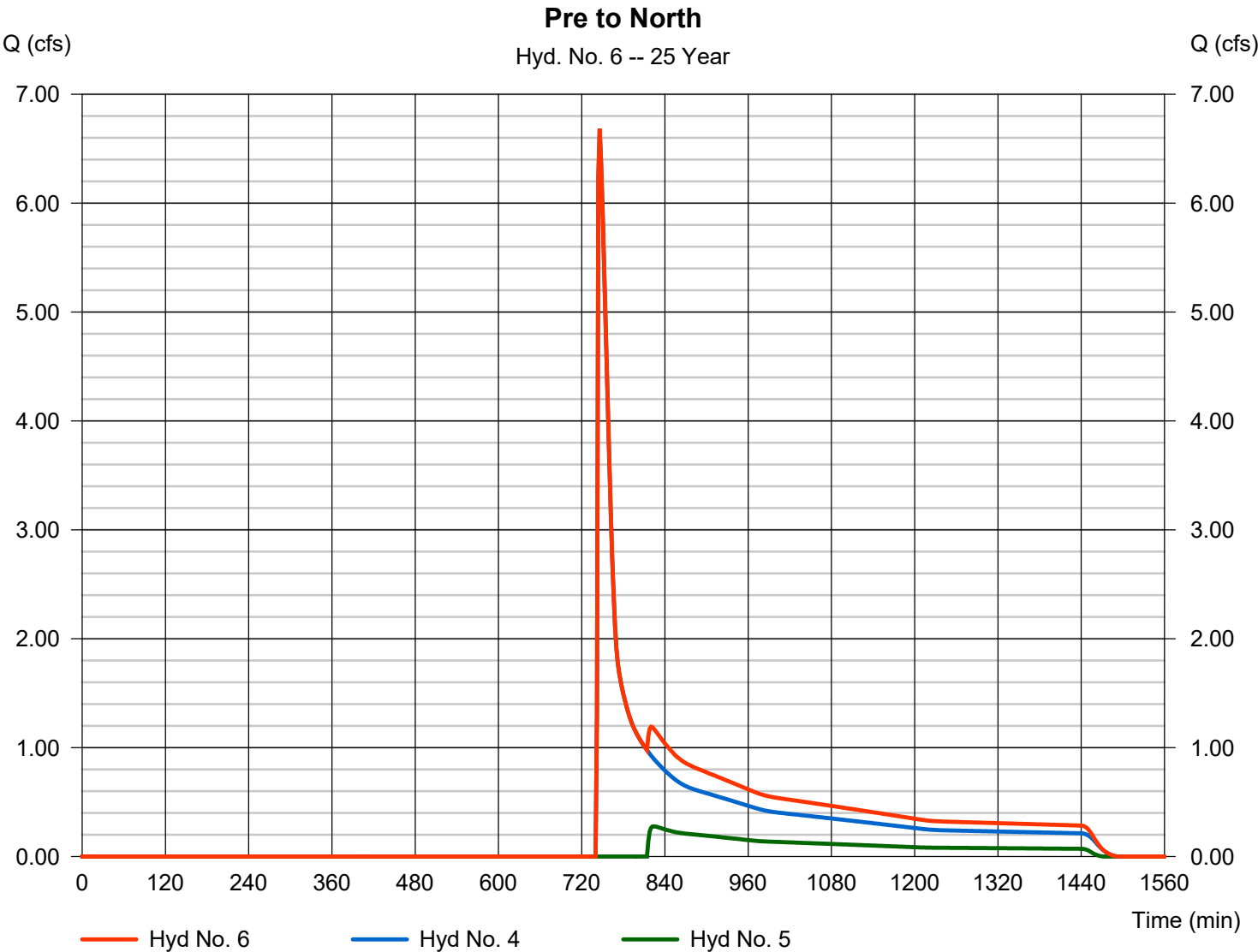
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

## Hyd. No. 6

Pre to North

Hydrograph type	= Combine	Peak discharge	= 6.682 cfs
Storm frequency	= 25 yrs	Time to peak	= 746 min
Time interval	= 2 min	Hyd. volume	= 29,616 cuft
Inflow hyds.	= 4, 5	Contrib. drain. area	= 0.000 ac



# Hydrograph Report

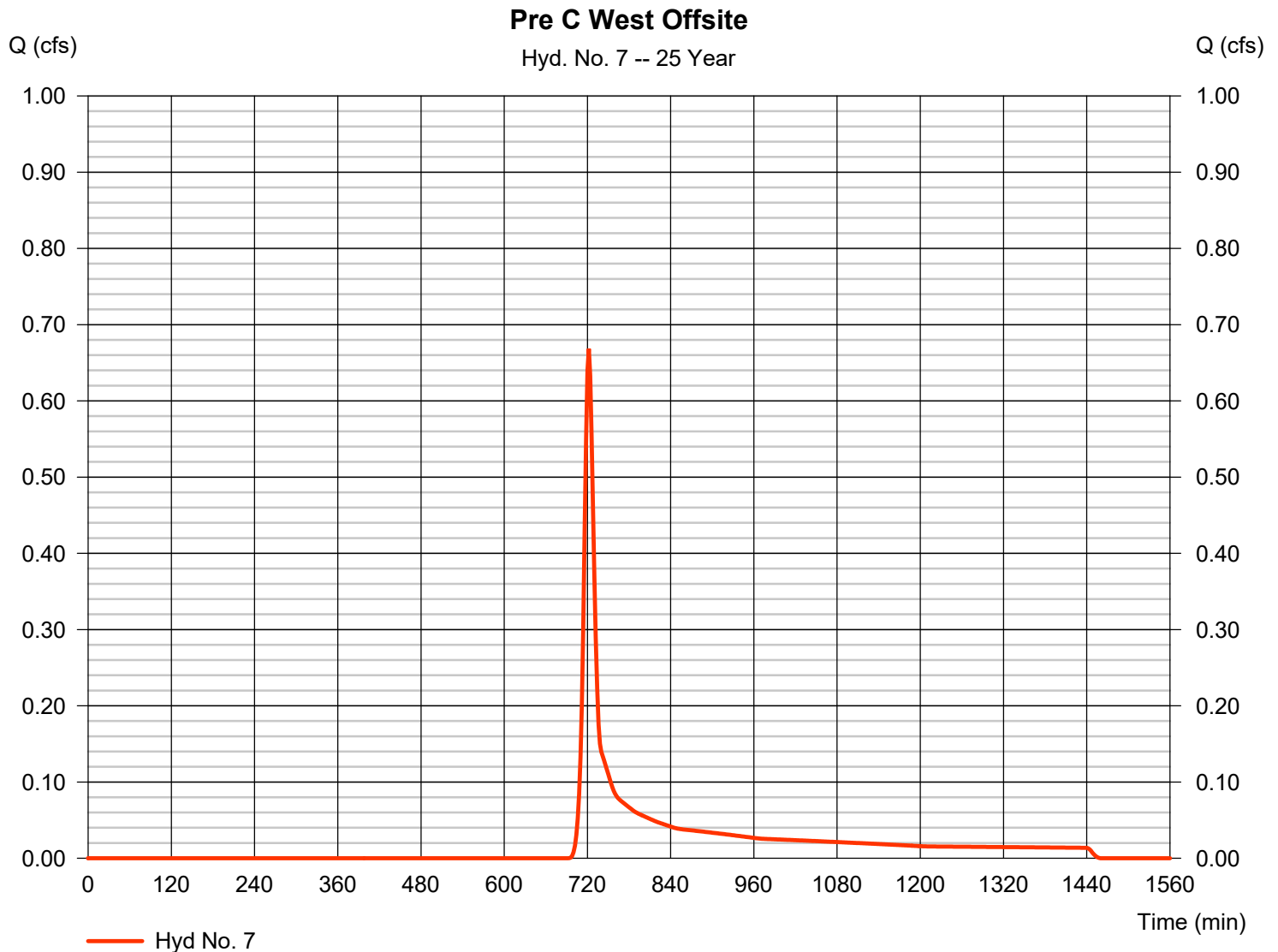
Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

## Hyd. No. 7

Pre C West Offsite

Hydrograph type	= SCS Runoff	Peak discharge	= 0.668 cfs
Storm frequency	= 25 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 1,900 cuft
Drainage area	= 0.297 ac	Curve number	= 49*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 12.90 min
Total precip.	= 7.24 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(0.300 \times 81)] / 0.297$ 

# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

## Hyd. No. 7

Pre C West Offsite

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
<b>Sheet Flow</b>				
Manning's n-value	= 0.150	0.011	0.011	
Flow length (ft)	= 87.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.19	0.00	0.00	
Land slope (%)	= 0.54	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 12.93</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 12.93</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=0.00	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 0.00</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	(0)0.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 0.00</b>
<b>Total Travel Time, Tc .....</b>				<b>12.90 min</b>

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

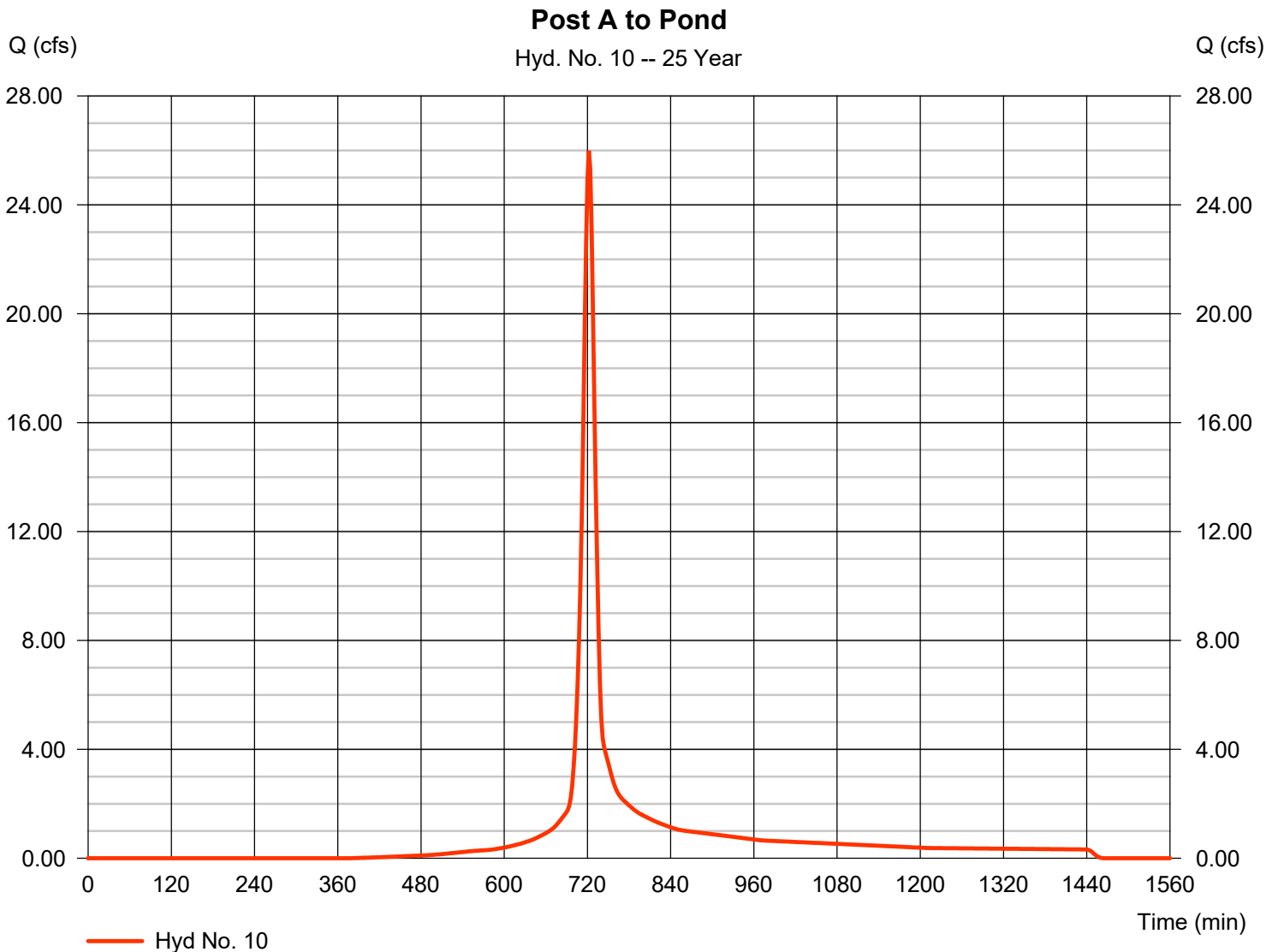
Tuesday, 11 / 9 / 2021

## Hyd. No. 10

Post A to Pond

Hydrograph type	= SCS Runoff	Peak discharge	= 25.99 cfs
Storm frequency	= 25 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 73,302 cuft
Drainage area	= 4.520 ac	Curve number	= 77*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 16.50 min
Total precip.	= 7.24 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(2.580 \times 98) + (1.940 \times 49)] / 4.520$



# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

## Hyd. No. 10

Post A to Pond

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
<b>Sheet Flow</b>				
Manning's n-value	= 0.011	0.011	0.150	
Flow length (ft)	= 74.0	26.0	82.0	
Two-year 24-hr precip. (in)	= 4.19	4.19	4.19	
Land slope (%)	= 8.83	0.50	0.50	
<b>Travel Time (min)</b>	<b>= 0.46</b>	<b>+</b>	<b>0.63</b>	<b>+</b>
			<b>12.72</b>	<b>= 13.81</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 229.00	0.00	0.00	
Watercourse slope (%)	= 0.50	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=1.44	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 2.66</b>	<b>+</b>	<b>0.00</b>	<b>+</b>
			<b>0.00</b>	<b>= 2.66</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	(0)0.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b>	<b>0.00</b>	<b>+</b>
			<b>0.00</b>	<b>= 0.00</b>
<b>Total Travel Time, Tc .....</b>				<b>16.50 min</b>



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

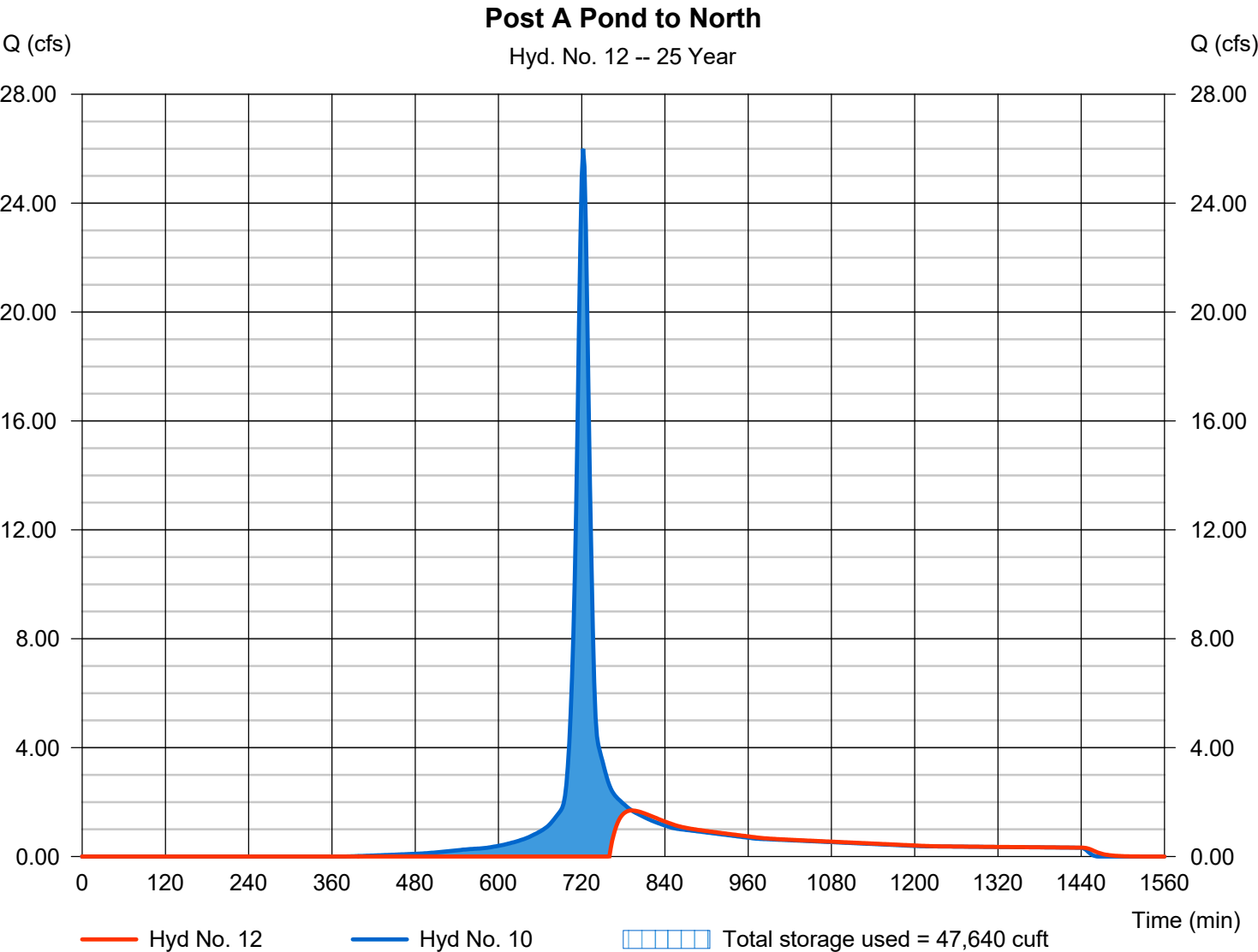
Tuesday, 11 / 9 / 2021

## Hyd. No. 12

Post A Pond to North

Hydrograph type	= Reservoir	Peak discharge	= 1.692 cfs
Storm frequency	= 25 yrs	Time to peak	= 792 min
Time interval	= 2 min	Hyd. volume	= 27,223 cuft
Inflow hyd. No.	= 10 - Post A to Pond	Max. Elevation	= 193.09 ft
Reservoir name	= NW Retention Pond	Max. Storage	= 47,640 cuft

Storage Indication method used.



## Pond No. 1 - NW Retention Pond

### Pond Data

**Contours** -User-defined contour areas. Average end area method used for volume calculation. Beginning Elevation = 189.00 ft

### Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	189.00	6,413	0	0
0.50	189.50	7,471	3,471	3,471
1.50	190.50	9,516	8,494	11,965
2.50	191.50	13,232	11,374	23,339
3.50	192.50	15,540	14,386	37,725
4.50	193.50	17,874	16,707	54,432

### Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	Inactive	Inactive	Inactive	Inactive
Span (in)	= 0.00	0.00	0.00	0.00
No. Barrels	= 0	0	0	0
Invert El. (ft)	= 0.00	0.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

### Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 22.00	Inactive	Inactive	Inactive
Crest El. (ft)	= 193.00	0.00	0.00	0.00
Weir Coeff.	= 2.60	2.00	3.33	3.33
Weir Type	= Cipiti	---	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Contour)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).

### Stage / Storage / Discharge Table

Stage ft	Storage cuft	Elevation ft	Clv A cfs	Clv B cfs	Clv C cfs	PrfRsr cfs	Wr A cfs	Wr B cfs	Wr C cfs	Wr D cfs	Exfil cfs	User cfs	Total cfs
0.00	0	189.00	---	---	---	---	0.00	0.00	---	---	---	---	0.000
0.50	3,471	189.50	---	---	---	---	0.00	0.00	---	---	---	---	0.000
1.50	11,965	190.50	---	---	---	---	0.00	0.00	---	---	---	---	0.000
2.50	23,339	191.50	---	---	---	---	0.00	0.00	---	---	---	---	0.000
3.50	37,725	192.50	---	---	---	---	0.00	0.00	---	---	---	---	0.000
4.50	54,432	193.50	---	---	---	---	20.22	0.00	---	---	---	---	20.22

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

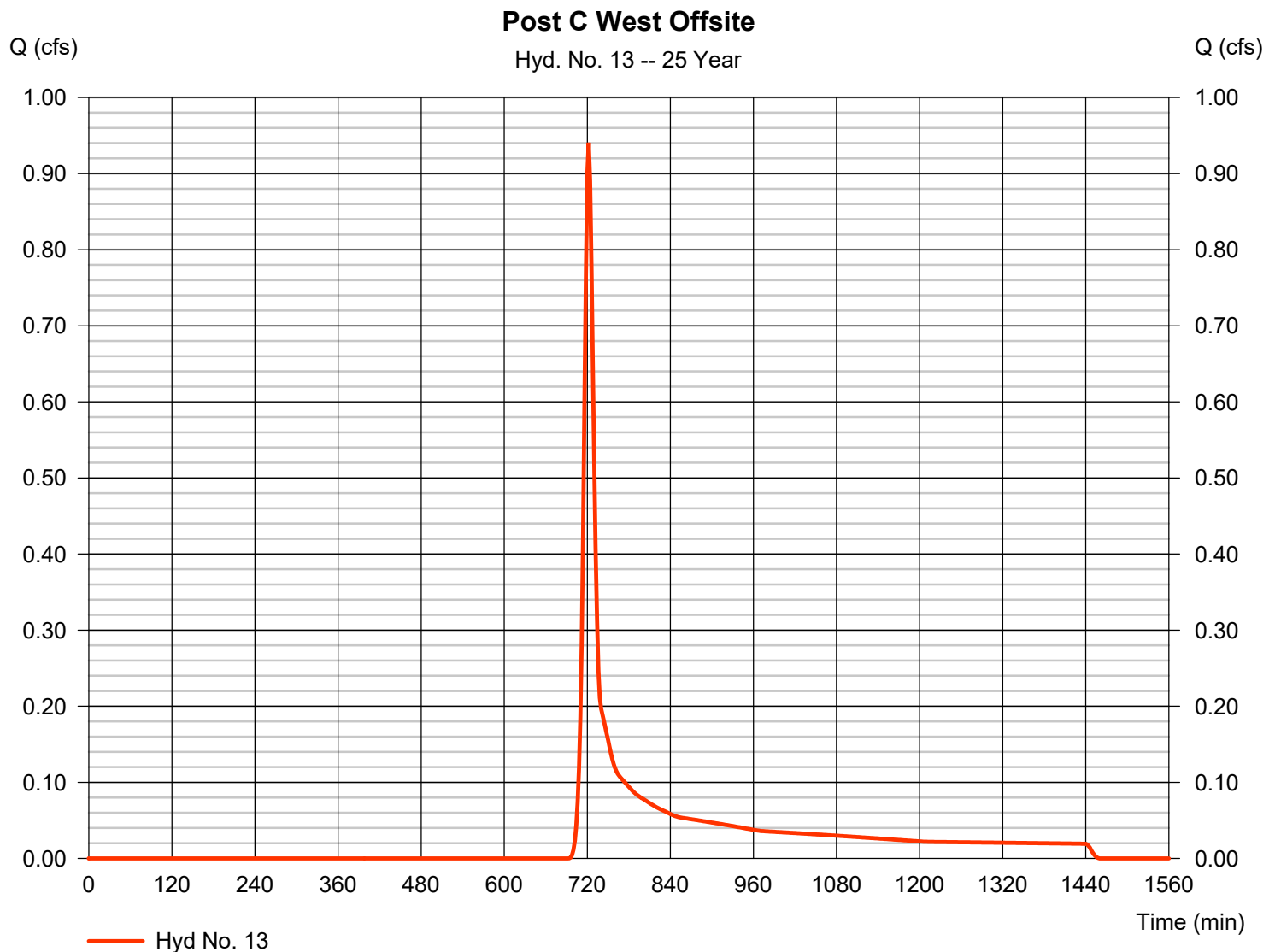
Tuesday, 11 / 9 / 2021

## Hyd. No. 13

Post C West Offsite

Hydrograph type	= SCS Runoff	Peak discharge	= 0.941 cfs
Storm frequency	= 25 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 2,675 cuft
Drainage area	= 0.418 ac	Curve number	= 49*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 11.70 min
Total precip.	= 7.24 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(1.200 \times 89) + (0.480 \times 49)] / 0.418$



# TR55 Tc Worksheet

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

## Hyd. No. 13

Post C West Offsite

<u>Description</u>	<u>A</u>	<u>B</u>	<u>C</u>	<u>Totals</u>
<b>Sheet Flow</b>				
Manning's n-value	= 0.150	0.011	0.011	
Flow length (ft)	= 74.0	0.0	0.0	
Two-year 24-hr precip. (in)	= 4.19	0.00	0.00	
Land slope (%)	= 0.50	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 11.72</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 11.72</b>
<b>Shallow Concentrated Flow</b>				
Flow length (ft)	= 0.00	0.00	0.00	
Watercourse slope (%)	= 0.00	0.00	0.00	
Surface description	= Paved	Paved	Paved	
Average velocity (ft/s)	=0.00	0.00	0.00	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 0.00</b>
<b>Channel Flow</b>				
X sectional flow area (sqft)	= 0.00	0.00	0.00	
Wetted perimeter (ft)	= 0.00	0.00	0.00	
Channel slope (%)	= 0.00	0.00	0.00	
Manning's n-value	= 0.015	0.015	0.015	
Velocity (ft/s)	=0.00	0.00	0.00	
Flow length (ft)	(0)0.0	0.0	0.0	
<b>Travel Time (min)</b>	<b>= 0.00</b>	<b>+</b> <b>0.00</b>	<b>+</b> <b>0.00</b>	<b>= 0.00</b>
<b>Total Travel Time, Tc .....</b>				<b>11.70 min</b>

# Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description
1	SCS Runoff	14.28	2	734	62,040	-----	-----	-----	Pre A to Center Pond
2	SCS Runoff	6.836	2	724	21,372	-----	-----	-----	Pre B to NW Pond
4	Reservoir	14.11	2	734	48,544	1	193.07	14,676	Pre A Center Pond
5	Reservoir	3.862	2	736	12,424	2	193.02	9,516	Pre B NW Pond
6	Combine	17.97	2	736	60,968	4, 5	-----	-----	Pre to North
7	SCS Runoff	1.314	2	722	3,506	-----	-----	-----	Pre C West Offsite
10	SCS Runoff	37.86	2	722	108,138	-----	-----	-----	Post A to Pond
12	Reservoir	17.78	2	732	62,060	10	193.46	53,721	Post A Pond to North
13	SCS Runoff	1.849	2	722	4,934	-----	-----	-----	Post C West Offsite
197.00-HYDRAFLOW-CBW.gpw					Return Period: 100 Year			Tuesday, 11 / 9 / 2021	

# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

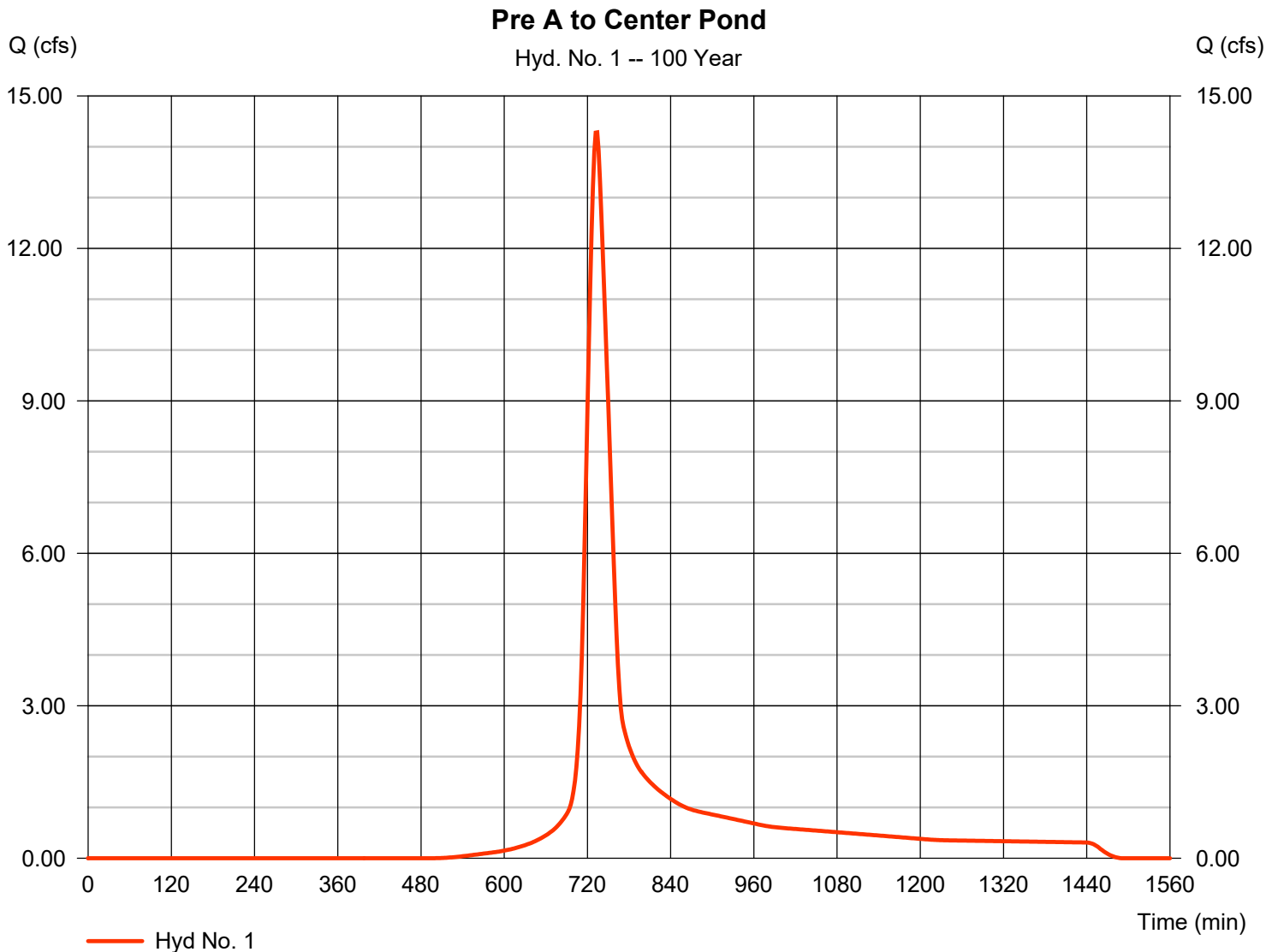
## Hyd. No. 1

Pre A to Center Pond

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 3.400 ac  
 Basin Slope = 0.0 %  
 Tc method = TR55  
 Total precip. = 9.60 in  
 Storm duration = 24 hrs

Peak discharge = 14.28 cfs  
 Time to peak = 734 min  
 Hyd. volume = 62,040 cuft  
 Curve number = 63\*  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 33.00 min  
 Distribution = Type II  
 Shape factor = 484

\* Composite (Area/CN) =  $[(2.420 \times 49) + (0.984 \times 98)] / 3.400$



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

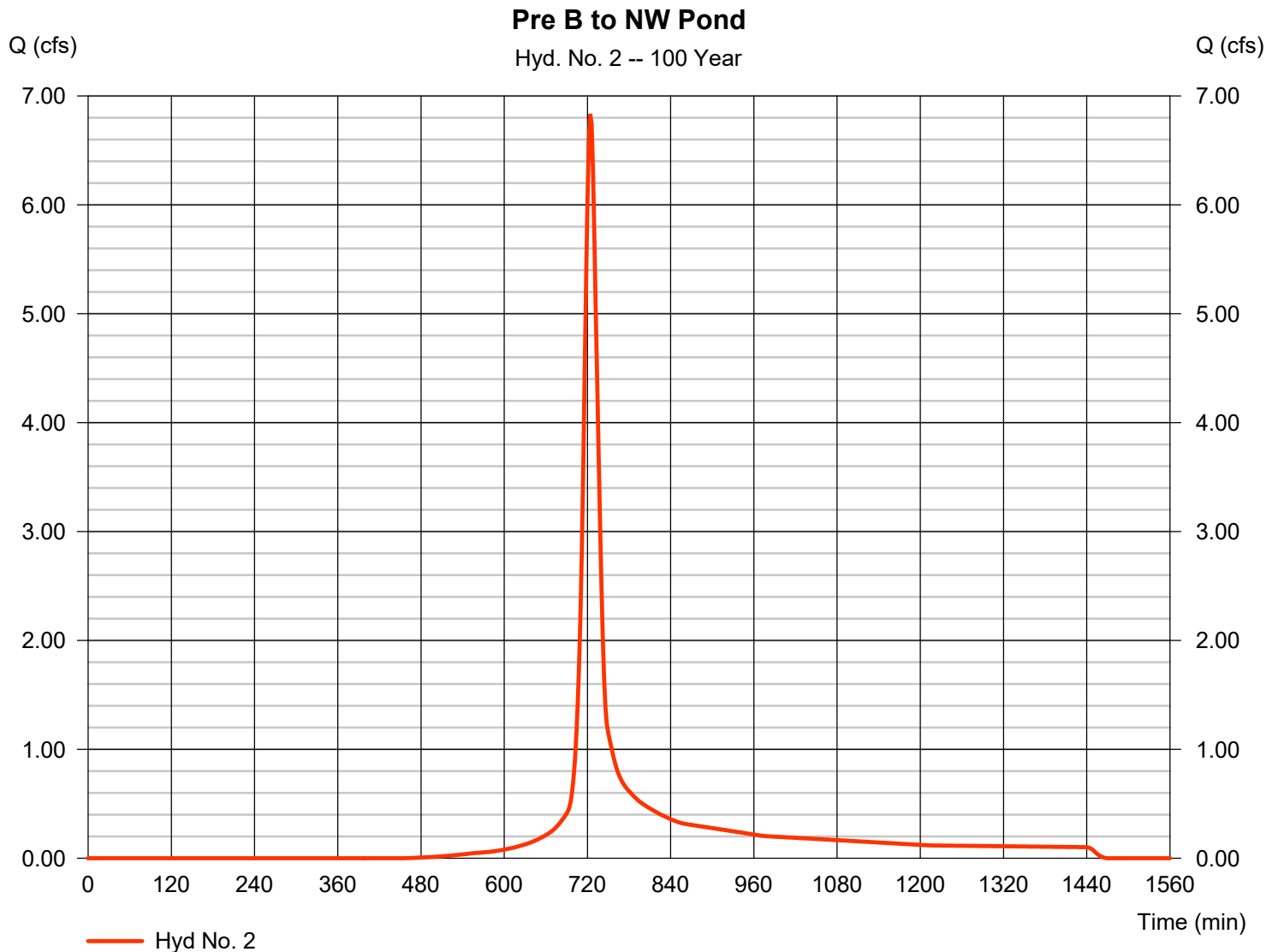
Tuesday, 11 / 9 / 2021

## Hyd. No. 2

Pre B to NW Pond

Hydrograph type	= SCS Runoff	Peak discharge	= 6.836 cfs
Storm frequency	= 100 yrs	Time to peak	= 724 min
Time interval	= 2 min	Hyd. volume	= 21,372 cuft
Drainage area	= 1.100 ac	Curve number	= 66*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 17.80 min
Total precip.	= 9.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(0.710 \times 49) + (0.393 \times 98)] / 1.100$



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

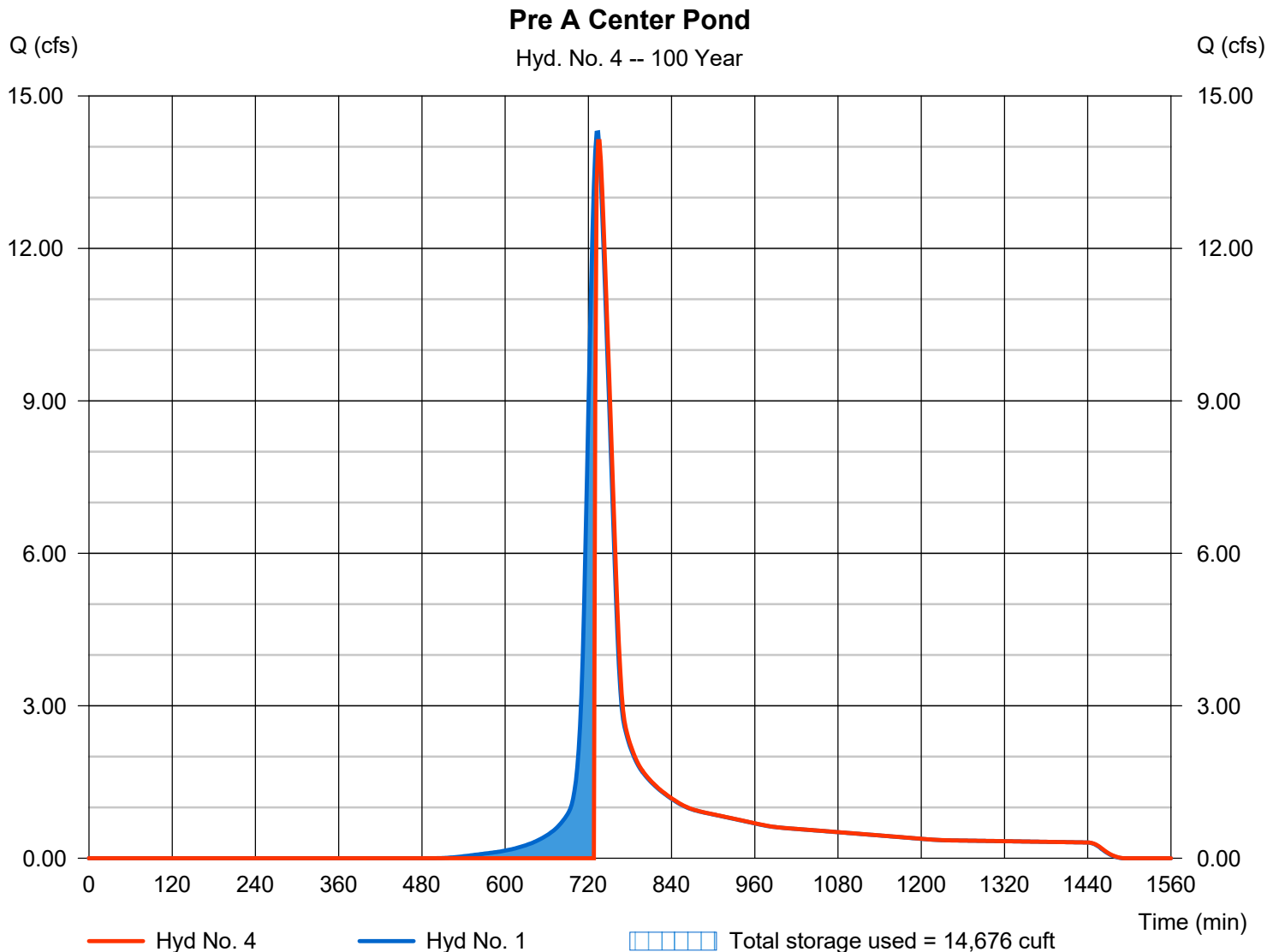
Tuesday, 11 / 9 / 2021

## Hyd. No. 4

Pre A Center Pond

Hydrograph type	= Reservoir	Peak discharge	= 14.11 cfs
Storm frequency	= 100 yrs	Time to peak	= 734 min
Time interval	= 2 min	Hyd. volume	= 48,544 cuft
Inflow hyd. No.	= 1 - Pre A to Center Pond	Max. Elevation	= 193.07 ft
Reservoir name	= Exist Center Pond	Max. Storage	= 14,676 cuft

Storage Indication method used.





# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

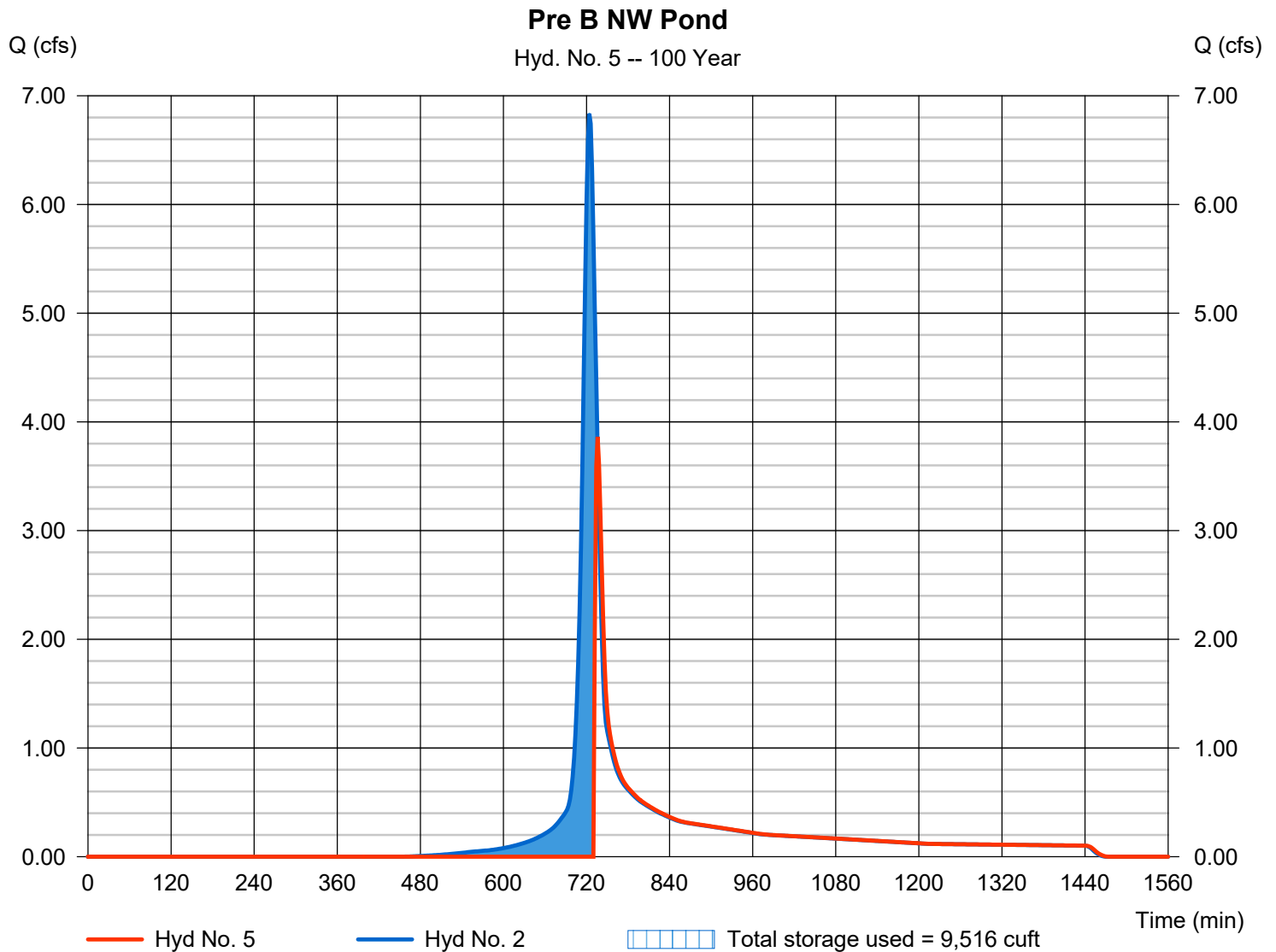
Tuesday, 11 / 9 / 2021

## Hyd. No. 5

Pre B NW Pond

Hydrograph type	= Reservoir	Peak discharge	= 3.862 cfs
Storm frequency	= 100 yrs	Time to peak	= 736 min
Time interval	= 2 min	Hyd. volume	= 12,424 cuft
Inflow hyd. No.	= 2 - Pre B to NW Pond	Max. Elevation	= 193.02 ft
Reservoir name	= Exist NW Pond	Max. Storage	= 9,516 cuft

Storage Indication method used.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

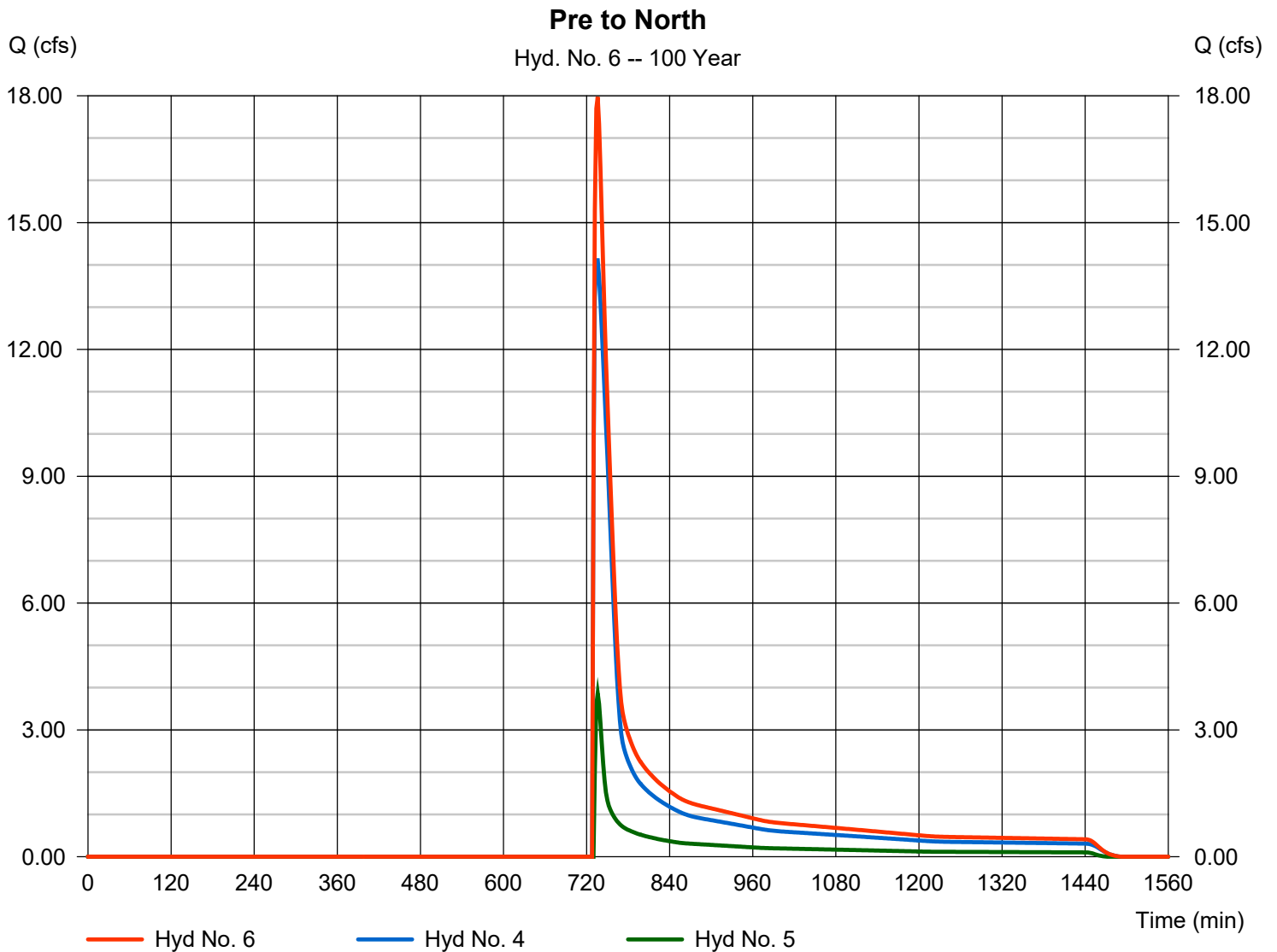
Tuesday, 11 / 9 / 2021

## Hyd. No. 6

Pre to North

Hydrograph type = Combine  
Storm frequency = 100 yrs  
Time interval = 2 min  
Inflow hyds. = 4, 5

Peak discharge = 17.97 cfs  
Time to peak = 736 min  
Hyd. volume = 60,968 cuft  
Contrib. drain. area = 0.000 ac



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

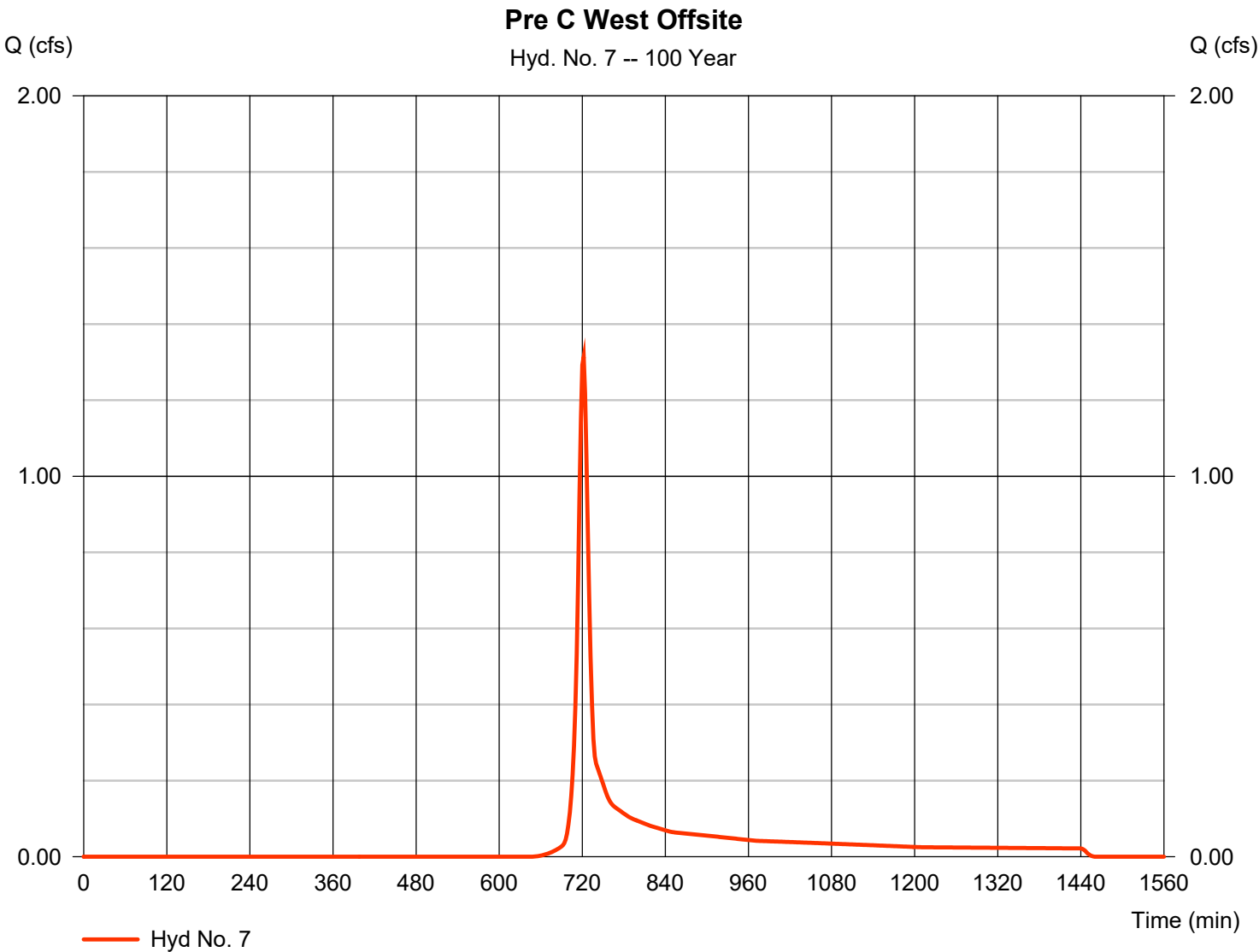
Tuesday, 11 / 9 / 2021

## Hyd. No. 7

Pre C West Offsite

Hydrograph type	=	SCS Runoff	Peak discharge	=	1.314 cfs
Storm frequency	=	100 yrs	Time to peak	=	722 min
Time interval	=	2 min	Hyd. volume	=	3,506 cuft
Drainage area	=	0.297 ac	Curve number	=	49*
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	TR55	Time of conc. (Tc)	=	12.90 min
Total precip.	=	9.60 in	Distribution	=	Type II
Storm duration	=	24 hrs	Shape factor	=	484

\* Composite (Area/CN) = [(0.300 x 81)] / 0.297



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

Tuesday, 11 / 9 / 2021

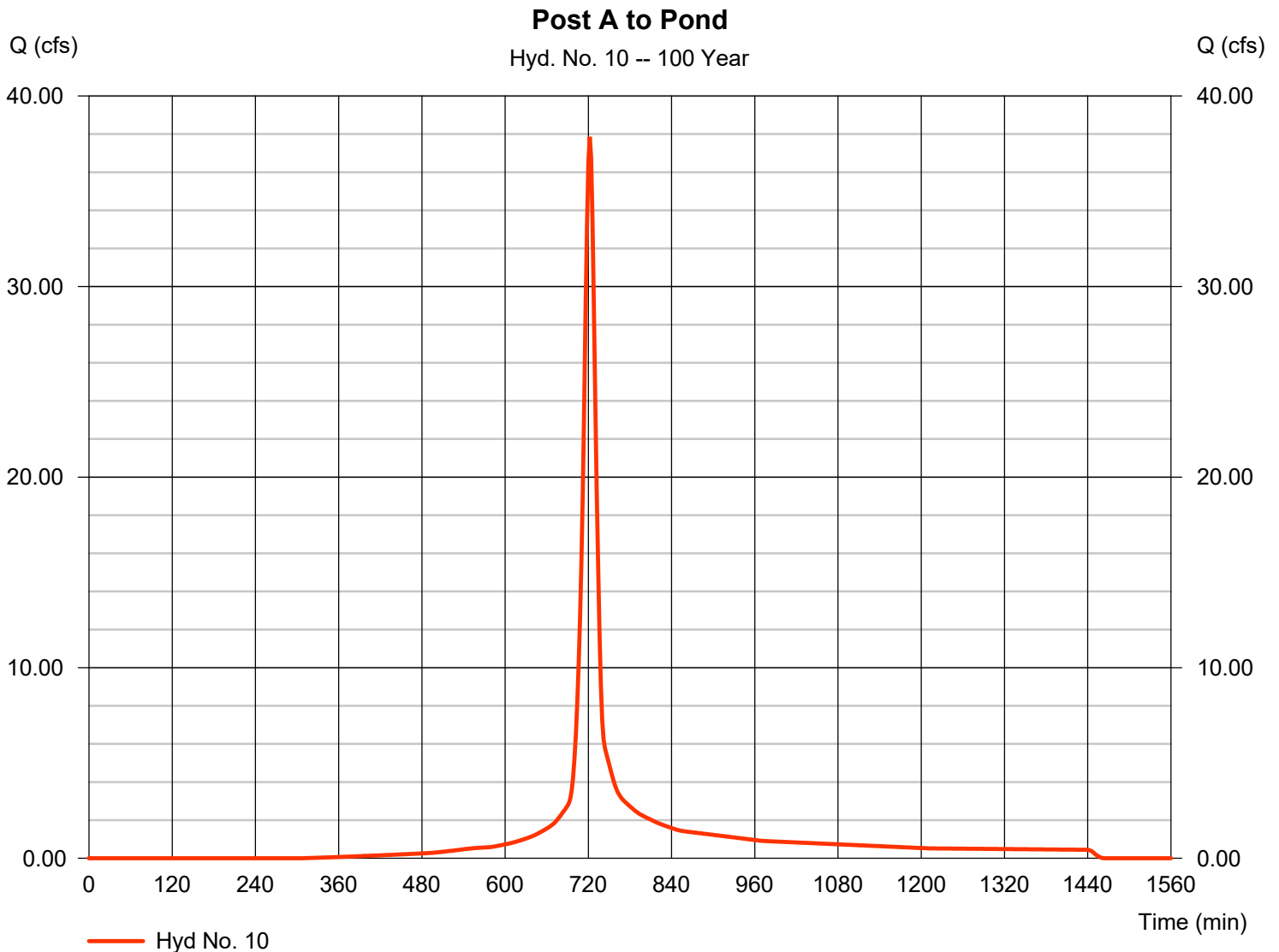
## Hyd. No. 10

Post A to Pond

Hydrograph type = SCS Runoff  
 Storm frequency = 100 yrs  
 Time interval = 2 min  
 Drainage area = 4.520 ac  
 Basin Slope = 0.0 %  
 Tc method = TR55  
 Total precip. = 9.60 in  
 Storm duration = 24 hrs

Peak discharge = 37.86 cfs  
 Time to peak = 722 min  
 Hyd. volume = 108,138 cuft  
 Curve number = 77\*  
 Hydraulic length = 0 ft  
 Time of conc. (Tc) = 16.50 min  
 Distribution = Type II  
 Shape factor = 484

\* Composite (Area/CN) =  $[(2.580 \times 98) + (1.940 \times 49)] / 4.520$



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

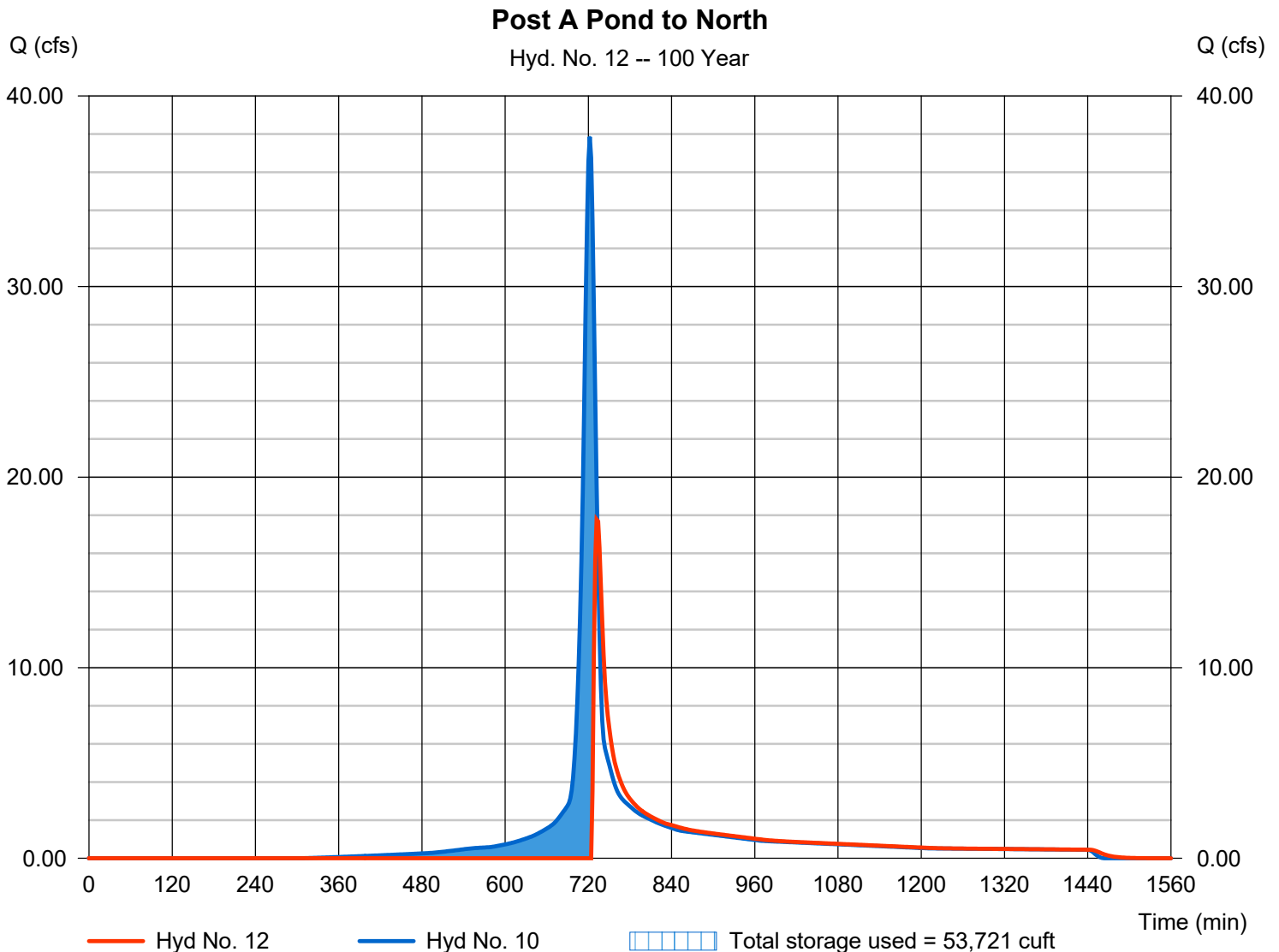
Tuesday, 11 / 9 / 2021

## Hyd. No. 12

Post A Pond to North

Hydrograph type	= Reservoir	Peak discharge	= 17.78 cfs
Storm frequency	= 100 yrs	Time to peak	= 732 min
Time interval	= 2 min	Hyd. volume	= 62,060 cuft
Inflow hyd. No.	= 10 - Post A to Pond	Max. Elevation	= 193.46 ft
Reservoir name	= NW Retention Pond	Max. Storage	= 53,721 cuft

Storage Indication method used.



# Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® by Autodesk, Inc. v2022

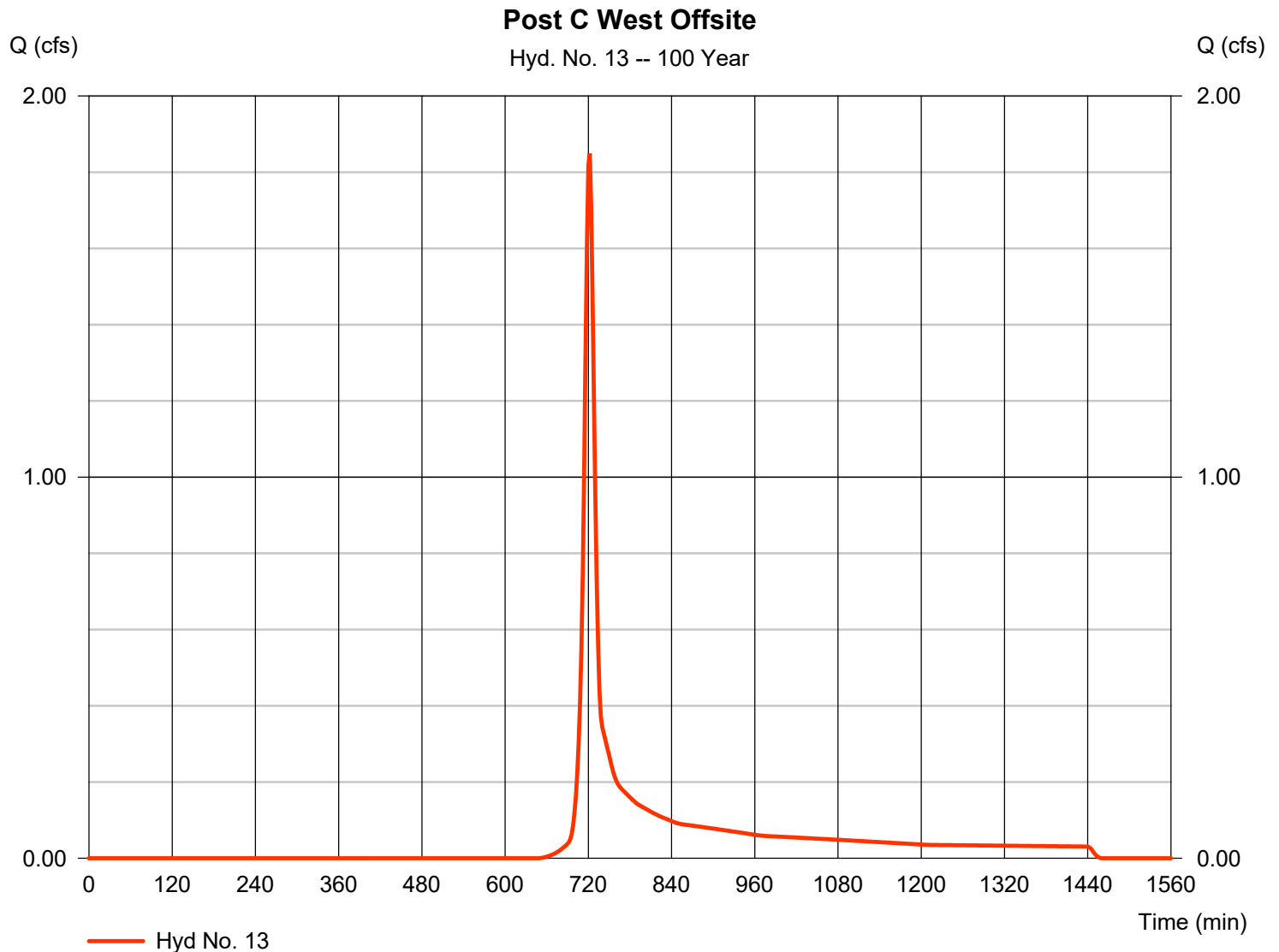
Tuesday, 11 / 9 / 2021

## Hyd. No. 13

Post C West Offsite

Hydrograph type	= SCS Runoff	Peak discharge	= 1.849 cfs
Storm frequency	= 100 yrs	Time to peak	= 722 min
Time interval	= 2 min	Hyd. volume	= 4,934 cuft
Drainage area	= 0.418 ac	Curve number	= 49*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= TR55	Time of conc. (Tc)	= 11.70 min
Total precip.	= 9.60 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

\* Composite (Area/CN) =  $[(1.200 \times 89) + (0.480 \times 49)] / 0.418$



## Land Development Regulations

### Supplement 13

Online content updated on September 13, 2021

LAND DEVELOPMENT REGULATIONS COLUMBIA COUNTY, FLORIDA Codified through Ordinance No. 2021-02, adopted March 18, 2021. (Supp. No. 13)

		<u>Req'd Parking</u>	
<u>Area</u>	<u>Description</u>	<u>Spaces</u>	<u>Spaces Provided</u>
<u>Existing</u>			
5,866	Existing Building and Accessories	<u>17</u>	30
		17	
<u>Addition</u>			
	Existing Parking (carried over)	30	57
2,172	MDU Warehousing b/t buildings.	1	
3,765	Warehousing, Vert. Construction.	1	
1,954	Office Space with Restrooms.	<u>6</u>	
		38	

The existing facility has 30 parking spaces and therefore this value was carried over as required. Eight (8) additional spaces were required while 33 were added.

4.17.1  
1 Minimum off-street parking requirements (Sec. 4.17 - "I" Industrial District)

- (1) 6,000 sf of floor area per parking space req'd - Waterhousin and Storage.
- (4) 350 sf of floor area per parking space req'd - Misc. delivery office.

Function of Space	Area (sf)	Parking Factor	Parking Required
Warehouse (F-1)	8,706	500	18
Business (B)	1,382	350	4
Storage (S-1)	1,328	500	3

25

Columbia County, Florida/Part I. – Land Development Regulations/ Article 4-Zoning Regulations/Section 4.17.11 Minimum off-street parking requirements.

25 parking spaces are required.

57 parking spaces are provided for site access.

2020 Florida Building Code, Accessibility, 7th Edition: Section 208.2 Minimum Number of required accessible parking spaces per Table 208.2 PARKING SPACES.

2 parking spaces are required to be accessible.

3 accessible parking spaces are provided.

#### 4.17.11 *Minimum off-street parking requirements.*

(See also [section 4.2.](#))

1. *Warehousing and storage only.* One space for each 6,000 square feet of floor area.
2. *Retail commercial establishments for sale, repair, and service of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, and farm equipment; motor vehicle body shops; retail establishments for sale of farm supplies, lumber and building supplies, monuments, and automotive vehicle parts and accessories; wrecking yards; and similar uses.* One space for each 350 square feet of floor area, plus where applicable, one space for each 1,000 square feet of lot or ground area outside buildings used for any type of sales, display, or activity.
3. *Restaurants.* One space for each three seats in public rooms.
4. *Miscellaneous uses such as express or parcel delivery office, telephone exchange, motor bus or truck or other transportation terminal.* One space for each 350 square feet of floor area.
5. *For uses specifically listed under ILW.* As for ILW off-street parking requirements.
6. *Other permitted uses (unless otherwise specified).* One space for each 500 square feet of floor area.

*Note.* Off-street loading required. (See [section 4.2.](#))



## APPLICABLE CODES

2020 Florida Building Code-Building(7th Edition)
2020 Florida Building Code-Existing Building(7th Edition)
2020 Florida Building Code-Test Protocols for High-Velocity Hurricane Zones
2020 Florida Building Code-Plumbing(7th Edition)
2020 Florida Building Code-Mechanical(7th Edition)
2020 Florida Building Code-Energy Conservation(7th Edition)
2020 Florida Building Code-Fuel Gas(7th Edition)
2020 Florida Building Code-Accessibility(7th Edition)
2020 National Electrical Code
2020 Florida Fire Prevention Code(7th Edition)

## OCCUPANCY SUMMARY

(See Table 1004.5-FBC) Maximum Floor Area Allowances Per Occupant

Function of Space	Area S.F.	Occ Load Factor	Occ Load
Warehouse (F-1)	8,706	300	30
Business Group (B)	1,382	150	10
Storage Group (S-1)	1,328	300	5
TOTALS	11,416		45

## MIN. NUMBER OF REQUIRED PLUMBING FIXTURES

(Table 403.1 - FPC 2017)

	WC M/F	Lav M/F	Fountains	Other
Group F-1 (30 occ)	1	1	1	1 svc sink
Group B (10 occ)	2	2	1	1 svc sink
Group S-1 (5 occ)	1	1	1	1 svc sink
TOTALS Required	4	4	3	3 svc sink
Actual Fixt Provided:	7	6	3	1 svc sink

## CONSTRUCTION TYPE AND REQUIREMENTS

Type of Construction	Type III B
(Table 601-FBC 2020)	(Existing Office Complex is framed w/wood studs)
Allowable Area Factor:	19,000 SF(B), 17,500 SF(S-1), 12,000 SF(F-1)
(Table 506.2-FBC 2020)	Actual Area: 1,382 SF(B) + 1,328 SF(S-1) + 8,706 SF(F-1)
Actual Total Area:	11,416 Sq. Ft.
Allowable Stories:	Three(B), Two(S-1)
(Table 504.4-FBC 2020)	Mezzanine: 976 SF (< 1/3 of ground floor)
Actual Stories:	One
Allowable Height:	55'-0"
(Table 504.3a-FBC 2020)	
Actual Height:	24'-0"
Required Separation of Occupancies	None required
(508.4-FBC 2020)	
Required Exterior Wall Fire Rating	None
Reference 2020 FBC Table 602	
Maximum Travel Distance:	200 ft
(Table 1017.2 - FBC 2020)	Without sprinkler system
Actual Travel Distance:	Less than 200 feet, see plan
Egress Width Required:	9"
(1005.3.2 - FBC 2020)	(45 occupants x 0.2"/occupant)=9"
Actual Egress Width:	416"
Stairways serving an occupant load of less than 50 shall have a width of no less than 36 inches	Mezzanine area=951 sq. ft./150(Occ. Load Factor)=7 (1011.2-IBC 2020)
Minimum Number of Exits Required:	2
(Table 1006.3.2 - FBC 2020)	(1-500) Occupant Load per Story
Actual Exits Provided:	13

**208.2 Minimum Number.** Parking spaces complying with 502 shall be provided in accordance with Table 208.2 except as required by 208.2.1, 208.2.2, and 208.2.3. Where more than one parking facility is provided on a site, the number of accessible spaces provided on the site shall be calculated according to the number of spaces required for each parking facility.

**Table 208.2 Parking Spaces**

Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	2 percent of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1000

**Advisory 208.2 Minimum Number.** The term "parking facility" is used Section 208.2 instead of the term "parking lot" so that it is clear that both parking lots and parking structures are required to comply with this section. The number of parking spaces required to be accessible is to be calculated separately for each parking facility; the required number is not to be based on the total number of parking spaces provided in all of the parking facilities provided on the site.

Project 26197.00  
 UNITED PARCEL SERVICE  
 143 NE ARMOR GLEN RD.  
 LAKE CITY, FL (COLUMBIA CO.)

Areas designated 1, 2, and 3 are detailed on attached document and further detailed below. Landscaping in this site includes 10% of parking. Within this Industrial Zone, all employee parking was included to represent this area and driveways that are shared between "UPS Package Cars" and employee parking. Areas that are designated for loading and staging Package Cars was not included as parking while grassed areas with trees and shrubs along NE Vilano Way and NE Armor Glen were also not included.

No paved areas located on the North side of the building were included for parking. This area is used specifically for loading of package cars, transit of package cars, or drainage.

Calculations below add further detail to the attached drawing. 45,130 square-feet (sf) of parking require 4,515 sf of landscaping (10%) while 5,346sf were provided. 23ea. trees are also required. A total of 23ea. Trees were provided as follows:

- 12 Crape Myrtle or Drake Elms have been proposed
- 7ea. Hardwood trees (existing to remain)
- 4ea. Psalm trees (existing to remain)

#### SECTION 4.2.17.10, COLUMBIA COUNTY

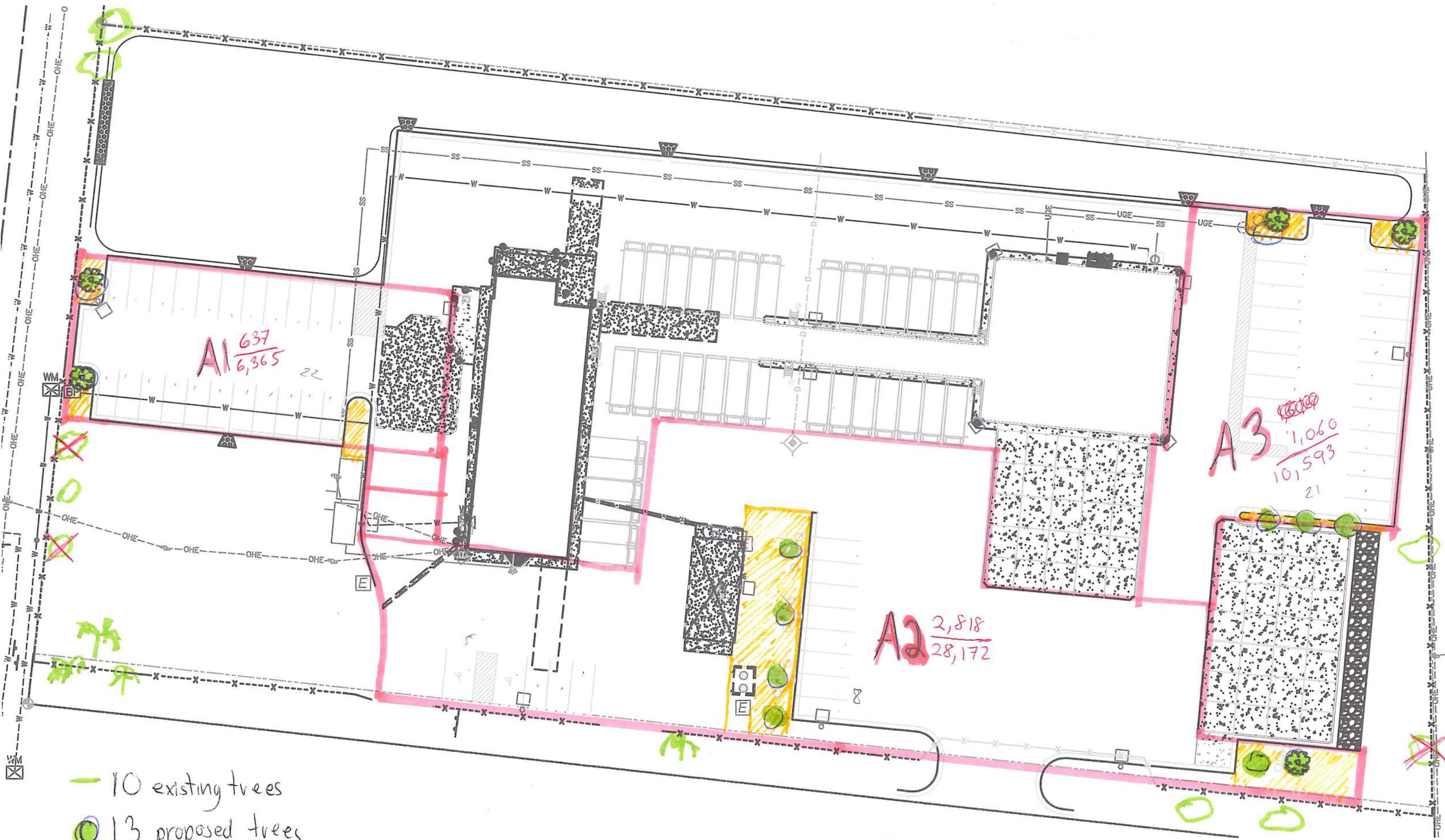
10% of Parking Islands greater than or equal to 50 square feet with 3 foot minimum width.

1 tree is required per 200 square feet.

Designation	Area		Landscaped		Trees	
	100%	10%	Area	(%)	Qty.	Type
1	6,365	637	634	9.96%	2	DE or CM
2	28,172	2,818	3,393	12.04%	6	DE or CM
3	10,593	1,060	1,319	12.45%	45	DE or CM
	45,130	4,515	5,346	11.85%	12 - Proposed 13 +10 - Existing	







A1  $\frac{637}{6,365}$  22

A2  $\frac{2,818}{28,172}$  8

A3  $\frac{1,060}{101,593}$  21

- 10 existing trees
- 13 proposed trees



October 5, 2021

To: Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulation Admin.  
Building & Zoning  
Columbia County

CC: SPD 21 12 – Review Comments – UPS Expansion  
(Pickering Project 26197.00)

Plans for the expansion of UPS on 143 NE Armor Glen, Lake City, Florida were updated in response to SPD 21 12 – Review Comments – UPS Expansion made by Columbia County on December 23, 2021:

1. Accessible Parking Spaces were relocated as close as possible to the accessible curb ramp which provides an ADA accessible entrance into the building. (see attached Sheet C2)
2. Details were added including, but not limited to: type of light fixture, height above finished grade, noted lighting design and requirements (Note 9) were added per Section 4.2.20.7. (see attached Sheet C5 and E-501)
3. It has been determined that the sewer force main is being used for this project. The system has been designed for 6,000 gallons of sewage flow per day and plans have been updated accordingly.

If there are further questions from you or the council, I will be in at the City Council Meeting tonight to address concerns and questions.

Thank you,

A handwritten signature in blue ink, appearing to read "Koby Coulon".

Koby Coulon, PE  
Pickering Firm, Inc.



# **SITE DATA**

UPS  
143 NE ARMOR GLEN  
LAKE CITY, FL 32055

## **ZONING:**

**SET BACK REQUIREMENTS**  
FRONT 20 FT  
REAR 15 FT  
SIDE 15 FT

LAND AREA	EXISTING	PROPOSED
PERVIOUS	97,450 SF	41,195 SF
IMPERVIOUS	37,612 SF	135,062 SF
TOTAL	132,062 SF	176,257 SF

BUILDING AREA	EXISTING	PROPOSED
WAREHOUSING	4,925 SF	8,706 SF
BUSINESS	841 SF	1,382 SF
STORAGE	5,866 SF	11,416 SF
TOTAL	11,632 SF	21,504 SF

PARKING PROVIDED 56  
PARKING REQUIRED 45  
ACCESSIBLE PARKING 3/3 (PROVIDED/REQUIRED)

# **GENERAL SITE NOTES:**

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
  - OBTAIN ALL CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
  - CONTACT THE CITY OF LAKE CITY.
  - VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- CALL FLORIDA ONE CALL AT 811 SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION FOR THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS.
- ALL CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY CONSTRUCTION STANDARDS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE OWNER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS.
- THE CONTRACTOR SHALL FOLLOW THE CITY OF LAKE CITY CONSTRUCTION STANDARDS FOR MAINTENANCE OF TRAFFIC. THE CONTRACTOR AT NO TIME SHALL ENROACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT.
- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI. EXPOSED EDGES SHALL BE CHAMFERED 3/4".
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER AND AFFECTED ADJACENT OWNERS.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT, ETC. DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL DISPOSE OFF-SITE ALL MISCELLANEOUS TRASH, DEBRIS, AND DAMAGED VEGETATION FROM ALL AREAS WITHIN THE LIMITS OF WORK. ALL SUCH WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS AND SPECIFICATIONS; CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON, AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE UPS PROJECT ENGINEER AND SHALL OBTAIN A WRITTEN INTERPRETATION OR CLARIFICATION FROM THE UPS PROJECT ENGINEER OR BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.
- THE ACTUAL LOCATION AND CONFIGURATION OF SIDEWALKS AND RAMPS PROPOSED THROUGHOUT THIS PROJECT MAY BE SUBJECT TO FIELD MODIFICATION/ADJUSTMENT DURING CONSTRUCTION. ANY REVISIONS ARE TO BE COORDINATED WITH THE ENGINEER. ALL SIDEWALKS AND RAMPS ARE TO BE INSTALLED TO MEET CURRENT ADA STANDARDS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



REVISIONS:			
1	10/21/21	ADD. #2	
2	11/16/21	ADD. #3	
3	12/29/21	ADD. #4	

PROJECT #: 26197.00  
DATE: AUGUST 9, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



## **UNITED PARCEL SERVICE LAKE CITY FACILITIES RENOVATION 143 N.E. ARMOR GLEN LAKE CITY, FL**



SHEET NUMBER:

**C2**

DESCRIPTION:  
SITE & STRIPING PLAN

## **1A SITE & STRIPING PLAN** 1" = 20'

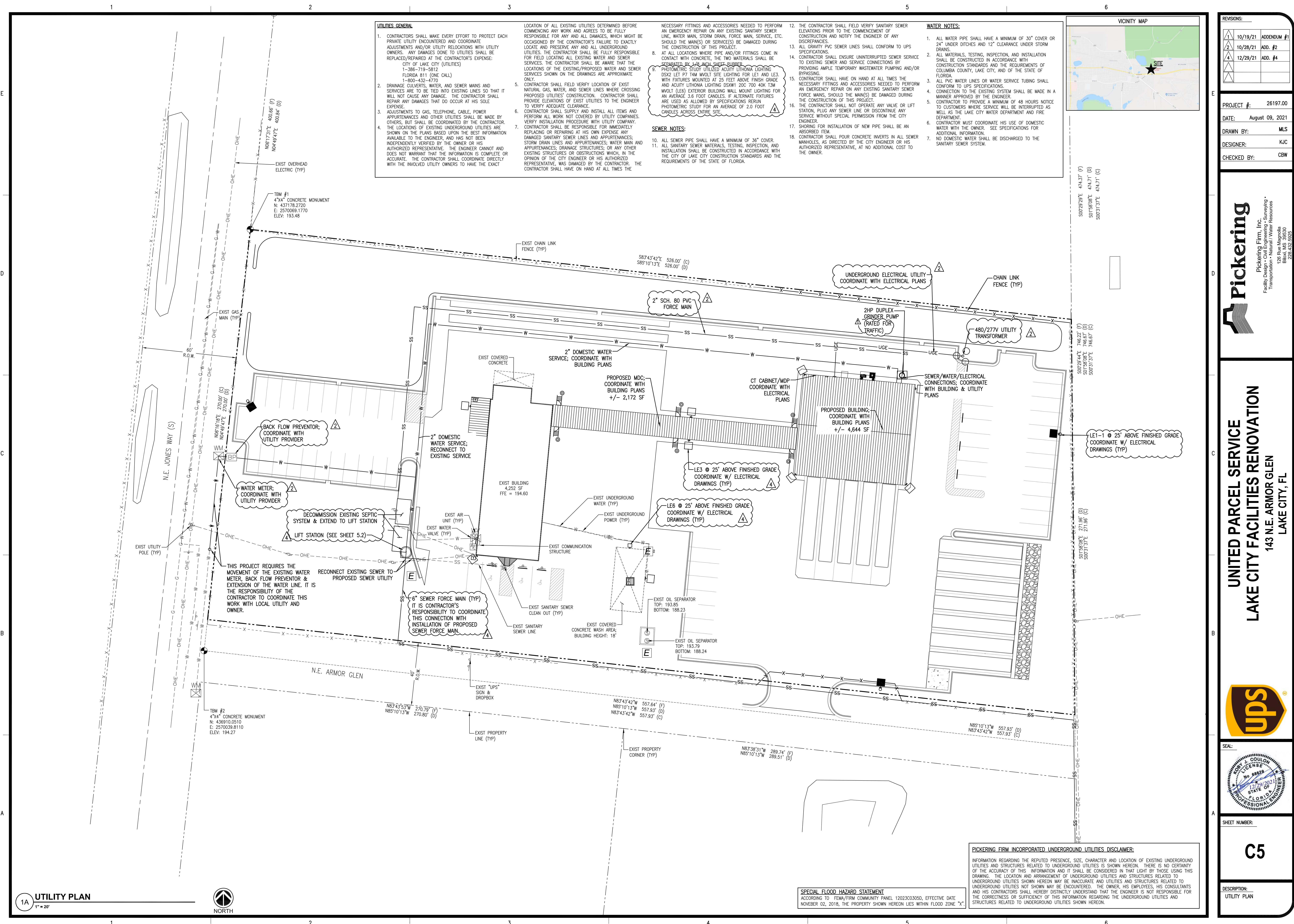


## **PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

**SPECIAL FLOOD HAZARD STATEMENT**  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".





UTILITIES GENERAL

- CONTRACTORS SHALL MAKE EVERY EFFORT TO PROTECT EACH PRIVATE UTILITY ENCOUNTERED AND COORDINATE ADJUSTMENTS AND/OR UTILITY RELOCATIONS WITH UTILITY OWNERS. ANY DAMAGES DONE TO UTILITIES SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE:  
CITY OF LAKE CITY (UTILITIES)  
1-386-719-5812  
FLORIDA 811 (ONE CALL)  
1-800-432-4770
- DRAINAGE CULVERTS, WATER, AND SEWER MAINS AND SERVICES ARE TO BE TIED INTO EXISTING LINES SO THAT IT WILL NOT CAUSE ANY DAMAGE. THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT DO OCCUR AT HIS SOLE EXPENSE.
- ADJUSTMENTS TO GAS, TELEPHONE, CABLE, POWER APPURTENANCES AND OTHER UTILITIES SHALL BE MADE BY OTHERS, BUT SHALL BE COORDINATED BY THE CONTRACTOR. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER, AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. THE ENGINEER CANNOT AND DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS TO HAVE THE EXACT
- LOCATION OF ALL EXISTING UTILITIES DETERMINED BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING WATER AND SEWER SERVICES. THE CONTRACTOR SHALL BE AWARE THAT THE LOCATIONS OF THE EXISTING/PROPOSED WATER AND SEWER SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXIST NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXIST UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPLACING OR REPAIRING AT HIS OWN EXPENSE ANY DAMAGED SANITARY SEWER LINES AND APPURTENANCES; STORM DRAIN LINES AND APPURTENANCES; WATER MAIN AND APPURTENANCES; DRAINAGE STRUCTURES; OR ANY OTHER EXISTING STRUCTURES OR OBSTRUCTIONS WHICH, IN THE OPINION OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE

NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAIN(S) OR SERVICE(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.

AT ALL LOCATIONS WHERE PIPE AND/OR FITTINGS COME IN CONTACT WITH CONCRETE, THE TWO MATERIALS SHALL BE SEPARATED BY 1/8" HIGH SHEET PILE.

PHOTOMETRIC STUDY UTILIZED ACQUITY LITHONIA LIGHTING DSX2 LET P7 T4M MVOLT SITE LIGHTING FOR LE1 AND LE3. WITH FIXTURES MOUNTED AT 25 FEET ABOVE FINISH GRADE AND ACQUITY LITHONIA LIGHTING DSXW1 200 700 40K T3M MVOLT (LE5) EXTERIOR BUILDING WALL MOUNT LIGHTING FOR AN AVERAGE 3.6 FOOT CANDLES. IF ALTERNATE FIXTURES ARE USED AS ALLOWED BY SPECIFICATIONS RERUN PHOTOMETRIC STUDY FOR AN AVERAGE OF 2.0 FOOT CANDLES ACROSS ENTIRE SITE.

SEWER NOTES:

- ALL SEWER PIPE SHALL HAVE A MINIMUM OF 36" COVER.
- ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE CITY CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE STATE OF FLORIDA.

WATER NOTES:

- ALL WATER PIPE SHALL HAVE A MINIMUM OF 30" COVER OR 24" UNDER DITCHES AND 12" CLEARANCE UNDER STORM DRAINS.
- ALL MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF COLUMBIA COUNTY, LAKE CITY, AND OF THE STATE OF FLORIDA.
- ALL PVC WATER LINES OR WATER SERVICE TUBING SHALL CONFORM TO UPS SPECIFICATIONS.
- CONNECTION TO THE EXISTING SYSTEM SHALL BE MADE IN A MANNER APPROVED BY THE ENGINEER.
- CONTRACTOR TO PROVIDE A MINIMUM OF 48 HOURS NOTICE TO CUSTOMERS WHERE SERVICE WILL BE INTERRUPTED AS WELL AS THE LAKE CITY WATER DEPARTMENT AND FIRE DEPARTMENT.
- CONTRACTOR MUST COORDINATE HIS USE OF DOMESTIC WATER WITH THE OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO DOMESTIC WATER SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.

VICINITY MAP



REVISIONS:

1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2
4	12/29/21	ADD. #4

PROJECT #: 26197.00

DATE: August 09, 2021

DRAWN BY: MLS

DESIGNER: KJC

CHECKED BY: CBW



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SEAL:



SHEET NUMBER:

C5

DESCRIPTION:  
UTILITY PLAN



SPECIAL FLOOD HAZARD STATEMENT  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.





UTILITIES GENERAL

- CONTRACTORS SHALL MAKE EVERY EFFORT TO PROTECT EACH PRIVATE UTILITY ENCOUNTERED AND COORDINATE ADJUSTMENTS AND/OR UTILITY RELOCATIONS WITH UTILITY OWNERS. ANY DAMAGES DONE TO UTILITIES SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE:  
CITY OF LAKE CITY (UTILITIES)  
1-386-719-5812  
FLORIDA 811 (ONE CALL)  
1-800-432-4770
- DRAINAGE CULVERTS, WATER, AND SEWER MAINS AND SERVICES ARE TO BE TIED INTO EXISTING LINES SO THAT IT WILL NOT CAUSE ANY DAMAGE. THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT DO OCCUR AT HIS SOLE EXPENSE.
- ADJUSTMENTS TO GAS, TELEPHONE, CABLE, POWER APPURTENANCES AND OTHER UTILITIES SHALL BE MADE BY OTHERS, BUT SHALL BE COORDINATED BY THE CONTRACTOR. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER, AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. THE ENGINEER CANNOT AND

DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS TO HAVE THE EXACT LOCATION OF ALL EXISTING UTILITIES DETERMINED BEFORE COMMENCING ANY WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING WATER AND SEWER SERVICES. THE CONTRACTOR SHALL BE AWARE THAT THE LOCATIONS OF THE EXISTING/PROPOSED WATER AND SEWER SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.

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- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPLACING OR REPAIRING AT HIS OWN EXPENSE ANY

DAMAGED SANITARY SEWER LINES AND APPURTENANCES; STORM DRAIN LINES AND APPURTENANCES; WATER MAIN AND APPURTENANCES; DRAINAGE STRUCTURES; OR ANY OTHER EXISTING STRUCTURES OR OBSTRUCTIONS WHICH, IN THE OPINION OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAIN(S) OR SERVICE(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.

- AT ALL LOCATIONS WHERE PIPE AND/OR FITTINGS COME IN CONTACT WITH CONCRETE, THE TWO MATERIALS SHALL BE SEPARATED BY 1/8 INCH SHEET RUBBER.

SEWER NOTES:

- ALL SEWER PIPE SHALL HAVE A MINIMUM OF 36" COVER.
- ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE CITY CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE STATE OF FLORIDA.
- THE CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER

ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

- ALL GRAVITY PVC SEWER LINES SHALL CONFORM TO UPS SPECIFICATIONS.
- CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE TO EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
- CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER FORCE MAINS, SHOULD THE MAIN(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL NOT OPERATE ANY VALVE OR LIFT STATION, PLUG ANY SEWER LINE OR DISCONTINUE ANY SERVICE WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
- SHORING FOR INSTALLATION OF NEW PIPE SHALL BE AN ABSORBED ITEM.
- CONTRACTOR SHALL POUR CONCRETE INVERTS IN ALL SEWER MANHOLES, AS DIRECTED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.

WATER NOTES:

- ALL WATER PIPE SHALL HAVE A MINIMUM OF 30" COVER OR 24" UNDER DITCHES AND 12" CLEARANCE UNDER STORM DRAINS.
- ALL MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF COLUMBIA COUNTY, LAKE CITY, AND OF THE STATE OF FLORIDA.
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- CONTRACTOR MUST COORDINATE HIS USE OF DOMESTIC WATER WITH THE OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO DOMESTIC WATER SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.



REVISIONS:		
1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2
3		
4		

PROJECT #: #####  
DATE: August 09, 2021  
DRAWN BY: ###  
DESIGNER: KJC  
CHECKED BY: ###



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SEAL:  
PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NUMBER:  
5.1

DESCRIPTION:  
SEWER FORCE MAIN

6" - SEWER FORCE MAIN (SFM)

1" = 20'

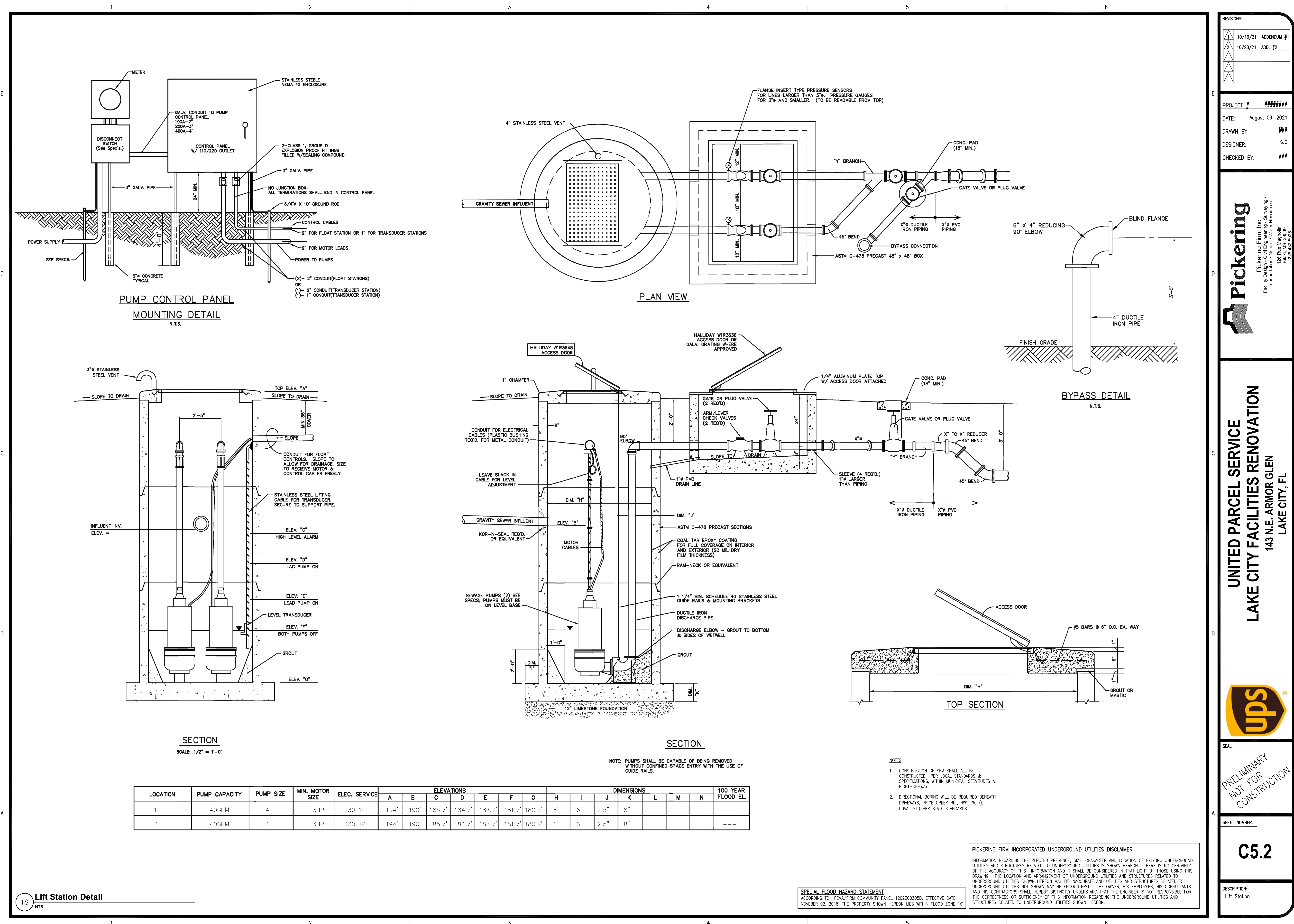


SPECIAL FLOOD HAZARD STATEMENT  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.





REVISIONS:

1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2

PROJECT #: #####  
DATE: August 09, 2021  
DRAWN BY: ###  
DESIGNER: KJC  
CHECKED BY: ###

Pickering

Pickering Firm, Inc.  
Facility Design & Construction  
Transportation / Water Resources  
136 Bay Magnolia  
Bloom, MS 39530  
228.432.5925

UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

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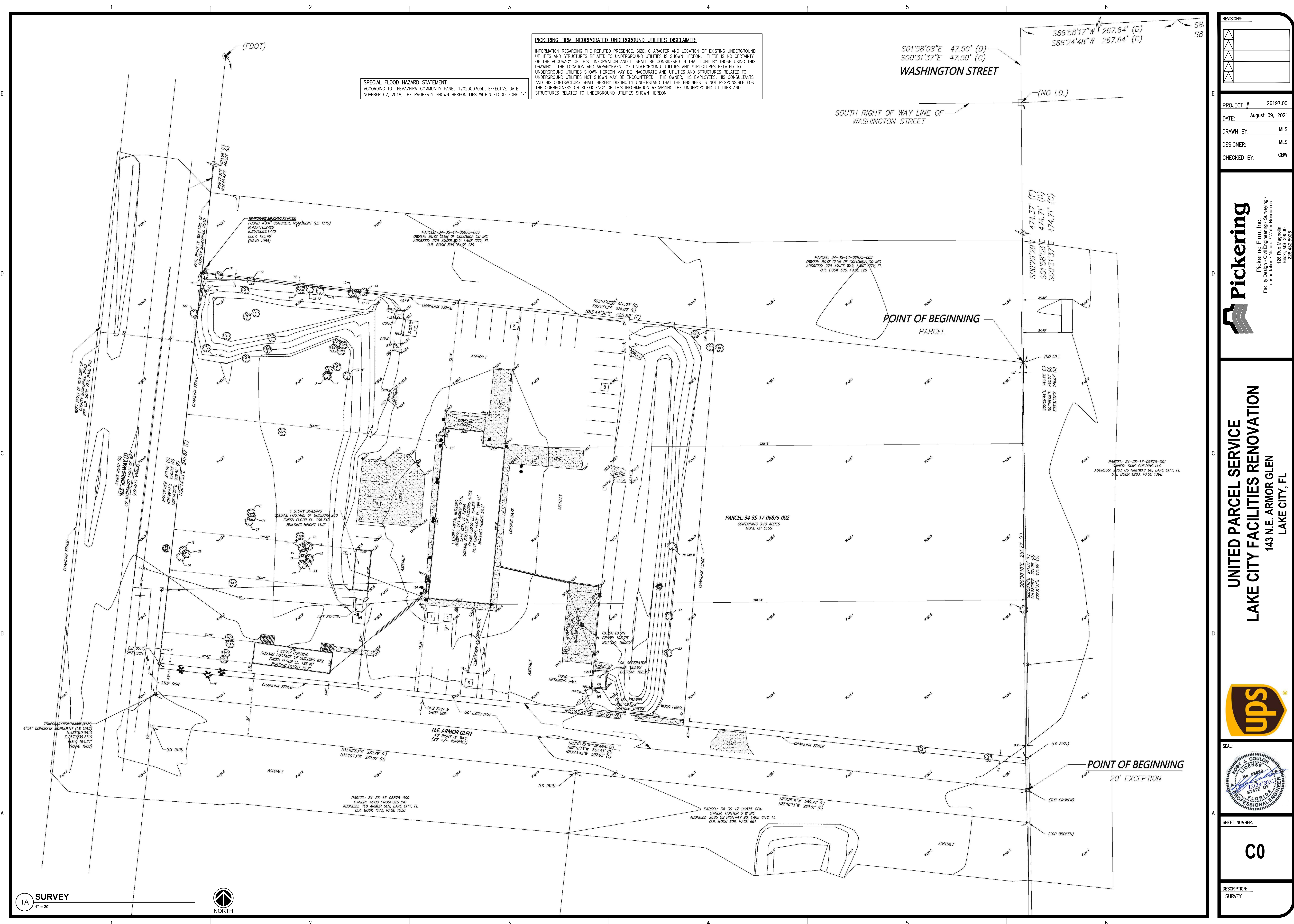
SEAL:

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SHEET NUMBER:  
  
C5.2

DESCRIPTION:  
Lift Station





**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

**SPECIAL FLOOD HAZARD STATEMENT**  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

S01°58'08"E 47.50' (D)  
S00°31'37"E 47.50' (C)  
**WASHINGTON STREET**

SOUTH RIGHT OF WAY LINE OF  
WASHINGTON STREET

**POINT OF BEGINNING**  
PARCEL

**POINT OF BEGINNING**  
20' EXCEPTION

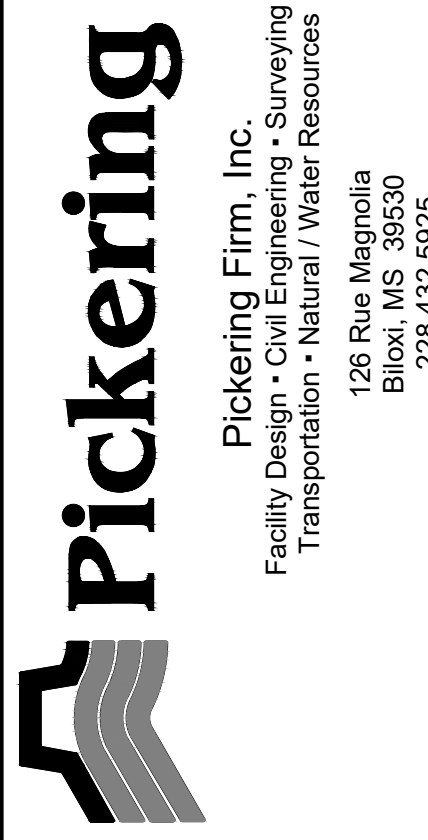
1A **SURVEY**  
1" = 20'



REVISIONS:

1		
2		
3		
4		
5		
6		

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: MLS  
CHECKED BY: CBW



**UNITED PARCEL SERVICE**  
**LAKE CITY FACILITIES RENOVATION**  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

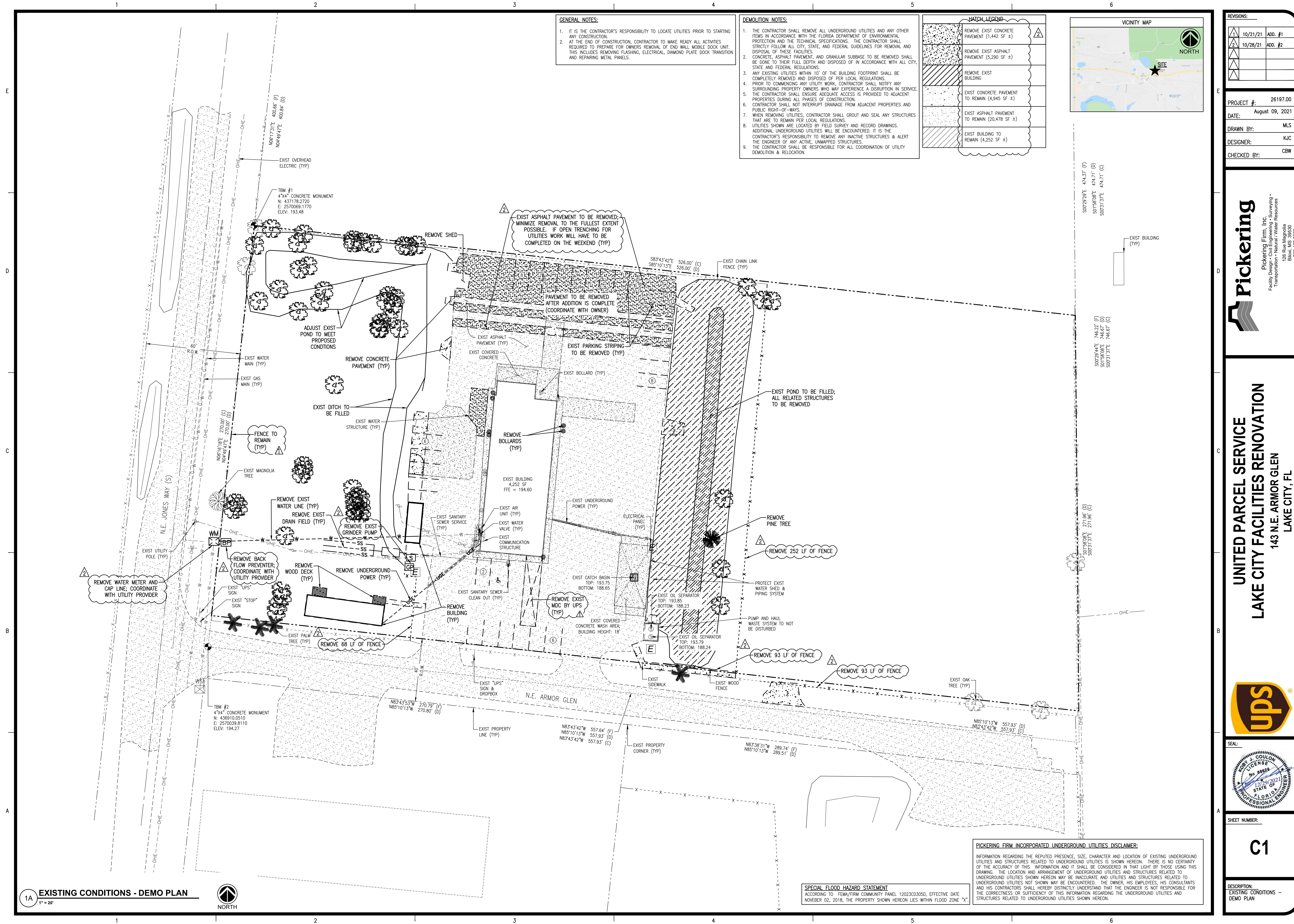


SHEET NUMBER:

**C0**

DESCRIPTION:  
SURVEY





**GENERAL NOTES:**

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES PRIOR TO STARTING ANY CONSTRUCTION.
- AT THE END OF CONSTRUCTION, CONTRACTOR TO MAKE READY ALL ACTIVITIES REQUIRED TO PREPARE FOR OWNERS REMOVAL OF END WALL MOBILE DOCK UNIT. THIS INCLUDES REMOVING FLASHING, ELECTRICAL, DIAMOND PLATE DOCK TRANSITION AND REPAIRING METAL PANELS.

**DEMOLITION NOTES:**

- THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND UTILITIES AND ANY OTHER ITEMS IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THE TECHNICAL SPECIFICATIONS. THE CONTRACTOR SHALL STRICTLY FOLLOW ALL CITY, STATE, AND FEDERAL GUIDELINES FOR REMOVAL AND DISPOSAL OF THESE FACILITIES.
- CONCRETE, ASPHALT PAVEMENT, AND GRANULAR SUBBASE TO BE REMOVED SHALL BE DONE TO THEIR FULL DEPTH AND DISPOSED OF IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING UTILITIES WITHIN 10' OF THE BUILDING FOOTPRINT SHALL BE COMPLETELY REMOVED AND DISPOSED OF PER LOCAL REGULATIONS.
- PRIOR TO COMMENCING ANY UTILITY WORK, CONTRACTOR SHALL NOTIFY ANY SURROUNDING PROPERTY OWNERS WHO MAY EXPERIENCE A DISRUPTION IN SERVICE. THE CONTRACTOR SHALL ENSURE ADEQUATE ACCESS IS PROVIDED TO ADJACENT PROPERTIES DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL NOT INTERRUPT DRAINAGE FROM ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAYS.
- WHEN REMOVING UTILITIES, CONTRACTOR SHALL GROUT AND SEAL ANY STRUCTURES THAT ARE TO REMAIN PER LOCAL REGULATIONS.
- UTILITIES SHOWN ARE LOCATED BY FIELD SURVEY AND RECORD DRAWINGS. ADDITIONAL UNDERGROUND UTILITIES WILL BE ENCOUNTERED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY INACTIVE STRUCTURES & ALERT THE ENGINEER OF ANY ACTIVE, UNMAAPPED STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF UTILITY DEMOLITION & RELOCATION.

HATCH LEGEND	
	REMOVE EXIST CONCRETE PAVEMENT (1,442 SF ±)
	REMOVE EXIST ASPHALT PAVEMENT (5,290 SF ±)
	REMOVE EXIST BUILDING
	EXIST CONCRETE PAVEMENT TO REMAIN (4,945 SF ±)
	EXIST ASPHALT PAVEMENT TO REMAIN (20,478 SF ±)
	EXIST BUILDING TO REMAIN (4,252 SF ±)



REVISIONS:		
1	10/21/21	ADD. #1
2	10/28/21	ADD. #2
PROJECT #: 26197.00		
DATE: August 09, 2021		
DRAWN BY: MLS		
DESIGNER: KJC		
CHECKED BY: CBW		



**UNITED PARCEL SERVICE**  
**LAKE CITY FACILITIES RENOVATION**  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SHEET NUMBER:  
**C1**  
DESCRIPTION:  
EXISTING CONDITIONS - DEMO PLAN

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
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**SPECIAL FLOOD HAZARD STATEMENT**  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

1A EXISTING CONDITIONS - DEMO PLAN  
1" = 20'



# SITE DATA

UPS  
143 NE ARMOR GLEN  
LAKE CITY, FL 32055

## ZONING:

SET BACK REQUIREMENTS  
FRONT 20 FT  
REAR 15 FT  
SIDE 15 FT

LAND AREA	EXISTING	PROPOSED
PERVIOUS	97,450 SF	41,195 SF
IMPERVIOUS	37,612 SF	13,867 SF
TOTAL	132,062 SF	135,062 SF

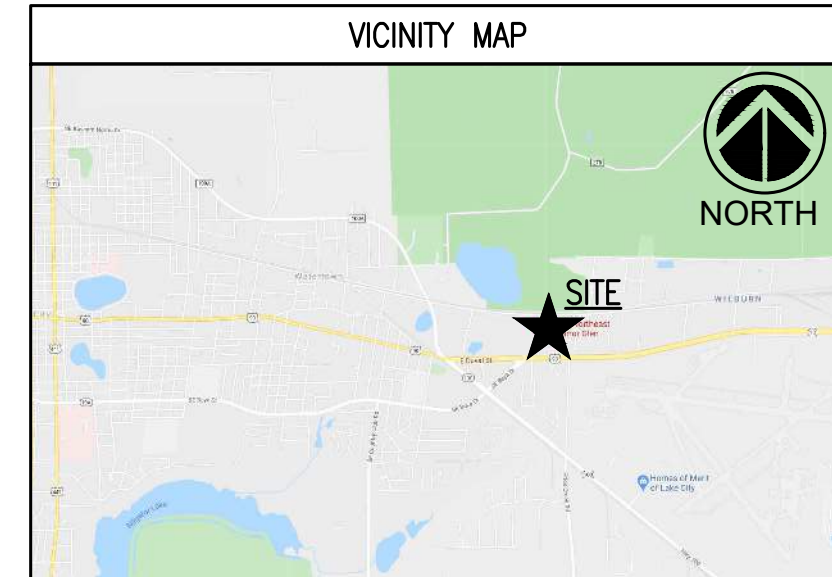
  

BUILDING AREA	EXISTING	PROPOSED
WAREHOUSING	4,925 SF	8,706 SF
BUSINESS	841 SF	1,382 SF
STORAGE	841 SF	1,382 SF
TOTAL	5,866 SF	11,416 SF

PARKING PROVIDED 56  
PARKING REQUIRED 45  
ACCESSIBLE PARKING 3/3 (PROVIDED/REQUIRED)

# GENERAL SITE NOTES:

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL:
  - OBTAIN ALL CONSTRUCTION PERMITS AS REQUIRED BY PERTINENT REGULATORY AND GOVERNMENTAL AGENCIES.
  - CONTACT THE CITY OF LAKE CITY.
  - VERIFY EXISTING DATA AND REPORT ANY SIGNIFICANT DISCREPANCIES TO THE ENGINEER.
- CALL FLORIDA ONE CALL AT 811 SEVENTY-TWO (72) HOURS BEFORE BEGINNING ANY EXCAVATION FOR THE LOCATION OF UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ANY UTILITY COMPANY WHICH MAINTAINS A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT BEFORE THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR ANY DAMAGE INCURRED BY ANY UTILITY COMPANY TO THEIR UTILITY LINES WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING WORK ON THE PROJECT.
- THE CONTRACTOR SHALL AT ALL TIMES EMPLOY ADEQUATE EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT DAMAGE TO THE PROPERTY, ADJACENT PROPERTIES, PUBLIC RIGHTS-OF-WAY, AND PUBLIC OR PRIVATE DRAINAGE SYSTEMS.
- ALL CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY CONSTRUCTION STANDARDS.
- THE CONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE OWNER AND THE PROJECT ENGINEER BEFORE ANY CHANGE IN DESIGN IS MADE.
- THE CONTRACTOR SHALL NOT ENTER NOR CAUSE DAMAGE TO ANY ADJACENT PROPERTIES WITHOUT WRITTEN PERMISSION FROM SAID PROPERTY OWNERS.
- THE CONTRACTOR SHALL FOLLOW THE CITY OF LAKE CITY CONSTRUCTION STANDARDS FOR MAINTENANCE OF TRAFFIC. THE CONTRACTOR AT NO TIME SHALL ENROACH UPON OR CAUSE DISRUPTION TO TRAFFIC FLOW ON ADJACENT PUBLIC RIGHTS-OF-WAY WITHOUT SECURING THE PROPER PERMITS PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ERECT THE PROPER TRAFFIC CONTROL DEVICES ACCORDING TO THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AND SHALL PROTECT THE PUBLIC FROM HAZARD OR INJURY BY ERECTING BARRICADES WHERE APPROPRIATE, I.E., AROUND EXCAVATIONS OR OPERATING EQUIPMENT.
- ALL SITE RELATED CONCRETE UNLESS SPECIFIED OTHERWISE SHALL BE 4,000 PSI. EXPOSED EDGES SHALL BE CHAMFERED 3/4".
- ANY EXISTING UTILITIES REQUIRING RELOCATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WORKING UTILITY SERVICES TO ADJACENT BUILDINGS DURING CONSTRUCTION. COORDINATE ALL PLANNED SERVICE OUTAGES OR EMERGENCIES WITH THE OWNER AND AFFECTED ADJACENT OWNERS.
- FIELD STAKING IS TO BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE REQUIREMENTS INCLUDING THE LOCAL NOISE ORDINANCE.
- ANY FENCING, SIDEWALK, CURB AND GUTTER, CURB CUT, ETC. DAMAGED BY CONSTRUCTION SHALL BE REPLACED AND RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL DISPOSE OFF-SITE ALL MISCELLANEOUS TRASH, DEBRIS, AND DAMAGED VEGETATION FROM ALL AREAS WITHIN THE LIMITS OF WORK. ALL SUCH WORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS AND SPECIFICATIONS; CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON, AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD CONDITIONS, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE UPS PROJECT ENGINEER AND SHALL OBTAIN A WRITTEN INTERPRETATION OR CLARIFICATION FROM THE UPS PROJECT ENGINEER OR BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.
- THE ACTUAL LOCATION AND CONFIGURATION OF SIDEWALKS AND RAMPS PROPOSED THROUGHOUT THIS PROJECT MAY BE SUBJECT TO FIELD MODIFICATION/ADJUSTMENT DURING CONSTRUCTION. ANY REVISIONS ARE TO BE COORDINATED WITH THE ENGINEER. ALL SIDEWALKS AND RAMPS ARE TO BE INSTALLED TO MEET CURRENT ADA STANDARDS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.



REVISIONS:		
1	10/21/21	ADD. #2
2	11/16/21	ADD. #3
3	12/29/21	ADD. #4

PROJECT #: 26197.00

DATE: AUGUST 9, 2021

DRAWN BY: MLS

DESIGNER: KJC

CHECKED BY: CBW



## UNITED PARCEL SERVICE LAKE CITY FACILITIES RENOVATION 143 N.E. ARMOR GLEN LAKE CITY, FL



SHEET NUMBER:

C2

DESCRIPTION:  
SITE & STRIPING PLAN

## 1A SITE & STRIPING PLAN

1" = 20'



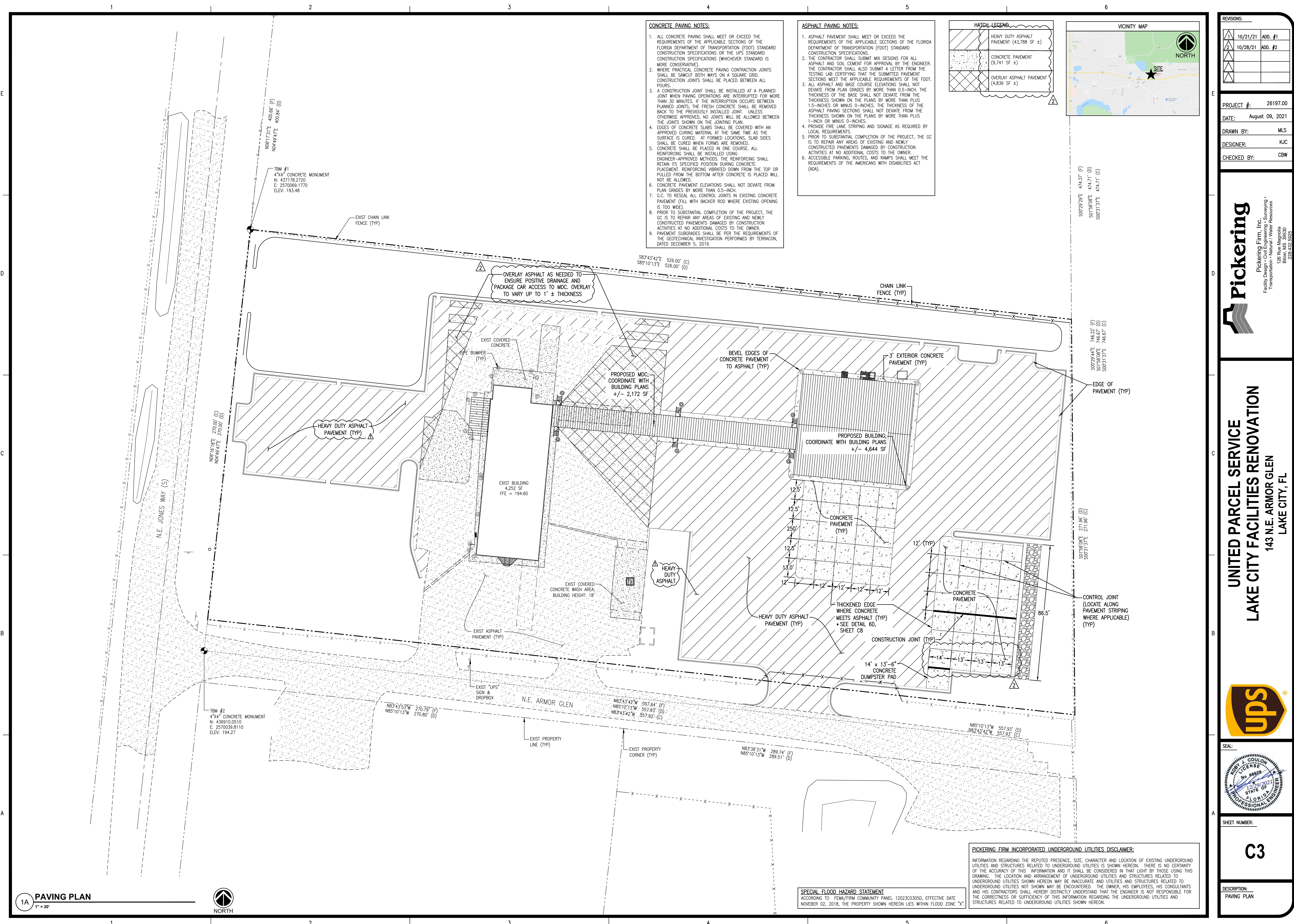
## PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

## SPECIAL FLOOD HAZARD STATEMENT

ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".





CONCRETE PAVING NOTES:

1. ALL CONCRETE PAVING SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD CONSTRUCTION SPECIFICATIONS OR THE UPS STANDARD CONSTRUCTION SPECIFICATIONS (WHICHEVER STANDARD IS MORE CONSERVATIVE).
2. WHERE PRACTICAL CONCRETE PAVING CONTRACTION JOINTS SHALL BE SAWCUT BOTH WAYS ON A SQUARE GRID. CONTRACTION JOINTS SHALL BE PLACED BETWEEN ALL POURS.
3. A CONSTRUCTION JOINT SHALL BE INSTALLED AT A PLANNED JOINT WHEN PAVING OPERATIONS ARE INTERRUPTED FOR MORE THAN 30 MINUTES. IF THE INTERRUPTION OCCURS BETWEEN PLANNED JOINTS, THE FRESH CONCRETE SHALL BE REMOVED BACK TO THE PREVIOUSLY INSTALLED JOINT. UNLESS OTHERWISE APPROVED, NO JOINTS WILL BE ALLOWED BETWEEN THE JOINTS SHOWN ON THE JOINING PLAN.
4. EDGES OF CONCRETE SLABS SHALL BE COVERED WITH AN APPROVED CURING MATERIAL AT THE SAME TIME AS THE SURFACE IS CURED. AT FORMED LOCATIONS, SLAB SIDES SHALL BE CURED WHEN FORMS ARE REMOVED.
5. CONCRETE SHALL BE PLACED IN ONE COURSE. ALL REINFORCING SHALL BE INSTALLED USING ENGINEER-APPROVED METHODS. THE REINFORCING SHALL RETAIN ITS SPECIFIED POSITION DURING CONCRETE PLACEMENT. REINFORCING VIBRATED DOWN FROM THE TOP OR PULLED FROM THE BOTTOM AFTER CONCRETE IS PLACED WILL NOT BE ALLOWED.
6. CONCRETE PAVEMENT ELEVATIONS SHALL NOT DEVIATE FROM PLAN GRADES BY MORE THAN 0.5-INCH.
7. G.C. TO RESEAL ALL CONTROL JOINTS IN EXISTING CONCRETE PAVEMENT (FILL WITH BACKER ROD WHERE EXISTING OPENING IS TOO WIDE).
8. PRIOR TO SUBSTANTIAL COMPLETION OF THE PROJECT, THE GC IS TO REPAIR ANY AREAS OF EXISTING AND NEWLY CONSTRUCTED PAVEMENTS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COSTS TO THE OWNER.
9. PAVEMENT SUBGRADES SHALL BE PER THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PERFORMED BY TERRACON, DATED DECEMBER 5, 2019.

ASPHALT PAVING NOTES:

1. ASPHALT PAVEMENT SHALL MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE SECTIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD CONSTRUCTION SPECIFICATIONS.
2. THE CONTRACTOR SHALL SUBMIT MIX DESIGNS FOR ALL ASPHALT AND SOIL CEMENT FOR APPROVAL BY THE ENGINEER. THE CONTRACTOR SHALL ALSO SUBMIT A LETTER FROM THE TESTING LAB CERTIFYING THAT THE SUBMITTED PAVEMENT SECTIONS MEET THE APPLICABLE REQUIREMENTS OF THE FDOT.
3. ALL ASPHALT AND BASE COURSE ELEVATIONS SHALL NOT DEVIATE FROM PLAN GRADES BY MORE THAN 0.5-INCH. THE THICKNESS OF THE BASE SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1.5-INCHES OR MINUS 0-INCHES. THE THICKNESS OF THE ASPHALT PAVING SECTIONS SHALL NOT DEVIATE FROM THE THICKNESS SHOWN ON THE PLANS BY MORE THAN PLUS 1-INCH OR MINUS 0-INCHES.
4. PROVIDE FIRE LANE STRIPING AND SIGNAGE AS REQUIRED BY LOCAL REQUIREMENTS.
5. PRIOR TO SUBSTANTIAL COMPLETION OF THE PROJECT, THE GC IS TO REPAIR ANY AREAS OF EXISTING AND NEWLY CONSTRUCTED PAVEMENTS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COSTS TO THE OWNER.
6. ACCESSIBLE PARKING, ROUTES, AND RAMPS SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).

HATCH LEGEND:

	HEAVY DUTY ASPHALT PAVEMENT (43,788 SF ±)
	CONCRETE PAVEMENT (9,741 SF ±)
	OVERLAY ASPHALT PAVEMENT (4,836 SF ±)

VICINITY MAP



REVISIONS:

1	10/21/21	ADD. #1
2	10/28/21	ADD. #2
3		
4		

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SHEET NUMBER:

C3

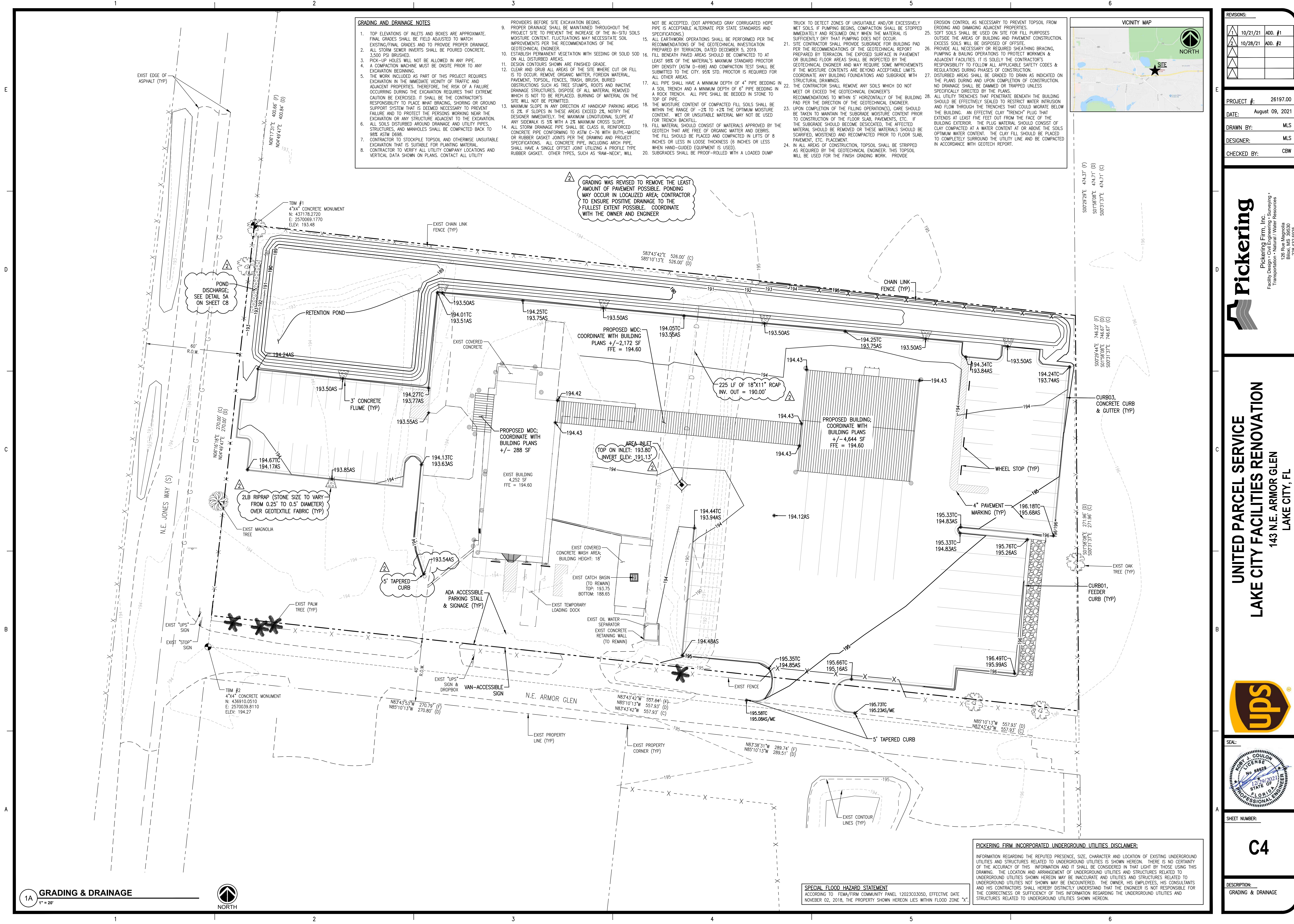
DESCRIPTION:  
PAVING PLAN



SPECIAL FLOOD HAZARD STATEMENT  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C0305D, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

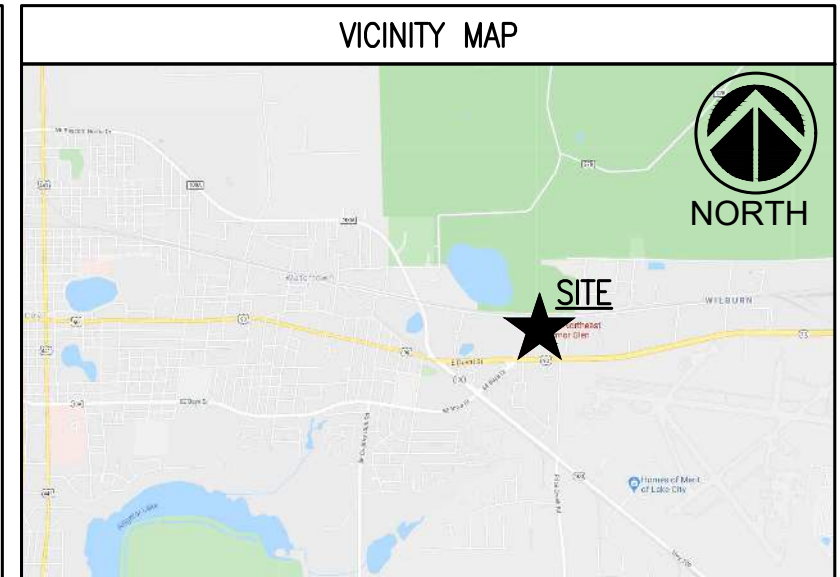
PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.





GRADING AND DRAINAGE NOTES

1. TOP ELEVATIONS OF INLETS AND BOXES ARE APPROXIMATE. FINAL GRADES SHALL BE FIELD ADJUSTED TO MATCH EXISTING/FINAL GRADES AND TO PROVIDE PROPER DRAINAGE. ALL STORM SEWER INVERTS SHALL BE POURED CONCRETE. 3,500 PSI BRUSHED.
2. PICK-UP HOLES WILL NOT BE ALLOWED IN ANY PIPE.
3. A COMPACTION MACHINE MUST BE ONSITE PRIOR TO ANY EXCAVATION BEGINNING.
4. THE WORK INCLUDED AS PART OF THIS PROJECT REQUIRES EXCAVATION IN THE IMMEDIATE VICINITY OF TRAFFIC AND ADJACENT PROPERTIES. THEREFORE, THE RISK OF A FAILURE OCCURRING DURING THE EXCAVATION REQUIRES THAT EXTREME CAUTION BE EXERCISED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLACE WHAT BRACING, SHORING OR GROUND SUPPORT SYSTEM THAT IS DEEMED NECESSARY TO PREVENT FAILURE AND TO PROTECT THE PERSONS WORKING NEAR THE EXCAVATION OR ANY STRUCTURE ADJACENT TO THE EXCAVATION. ALL SOILS DISTURBED AROUND DRAINAGE AND UTILITY PIPES, STRUCTURES, AND MANHOLES SHALL BE COMPACTED BACK TO 98% ASTM D698.
5. CONTRACTOR TO STOCKPILE TOPSOIL AND OTHERWISE UNSUITABLE EXCAVATION THAT IS SUITABLE FOR PLANTING MATERIAL. CONTRACTOR TO VERIFY ALL UTILITY COMPANY LOCATIONS AND VERTICAL DATA SHOWN ON PLANS. CONTACT ALL UTILITY PROVIDERS BEFORE SITE EXCAVATION BEGINS.
6. PROPER DRAINAGE SHALL BE MAINTAINED THROUGHOUT THE PROJECT SITE TO PREVENT THE INCREASE OF THE N-STU SOILS MOISTURE CONTENT. FLUCTUATIONS MAY NECESSITATE SOIL IMPROVEMENTS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
7. ESTABLISH PERMANENT VEGETATION WITH SEEDING OR SOLID SOO ON ALL DISTURBED AREAS.
8. DESIGN CONTOURS SHOWN ARE FINISHED GRADE.
9. CLEAR AND GRUB ALL AREAS OF THE SITE WHERE CUT OR FILL IS TO OCCUR. REMOVE ORGANIC MATTER, FOREIGN MATERIAL, PAVEMENT, TOPSOIL, FENCES, TRASH, BRUSH, BURIED OBSTRUCTIONS SUCH AS TREE STUMPS, ROOTS AND INACTIVE DRAINAGE STRUCTURES. DISPOSE OF ALL MATERIAL REMOVED WHICH IS NOT TO BE REPLACED. BURNING OF MATERIAL ON THE SITE WILL NOT BE PERMITTED.
10. MAXIMUM SLOPE IN ANY DIRECTION AT HANDICAP PARKING AREAS IS 2% IF SLOPES IN THESE AREAS EXCEED 2%, NOTIFY THE DESIGNER IMMEDIATELY. THE MAXIMUM LONGITUDINAL SLOPE AT ANY SIDEWALK IS 5% WITH A 2% MAXIMUM CROSS SLOPE.
11. ALL STORM DRAINAGE PIPE SHALL BE CLASS III, REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 WITH BUTYL-MASTIC OR RUBBER GASKET JOINTS PER THE DRAWING AND PROJECT SPECIFICATIONS. ALL CONCRETE PIPE, INCLUDING ARCH PIPE, SHALL HAVE A SINGLE OFFSET JOINT UTILIZING A PROFILE TYPE RUBBER GASKET. OTHER TYPES, SUCH AS 'RAM-NECK', WILL NOT BE ACCEPTED. (DOT APPROVED GRAY CORRUGATED HDPE PIPE IS ACCEPTABLE ALTERNATE PER STATE STANDARDS AND SPECIFICATIONS.)
12. ALL EARTHWORK OPERATIONS SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON, DATED DECEMBER 5, 2019.
13. FILL BENEATH PAVED AREAS SHOULD BE COMPACTED TO AT LEAST 98% OF THE MATERIAL'S MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D-698) AND COMPACTION TEST SHALL BE SUBMITTED TO THE CITY. 95% STD. PROCTOR IS REQUIRED FOR ALL OTHER AREAS.
14. ALL PIPE SHALL HAVE A MINIMUM DEPTH OF 4" PIPE BEDDING IN A SOIL TRENCH AND A MINIMUM DEPTH OF 6" PIPE BEDDING IN A ROCK TRENCH. ALL PIPE SHALL BE BEDDED IN STONE TO TOP OF PIPE.
15. THE MOISTURE CONTENT OF COMPACTED FILL SOILS SHALL BE WITHIN THE RANGE OF -2% TO +2% THE OPTIMUM MOISTURE CONTENT. WET OR UNSUITABLE MATERIAL MAY NOT BE USED FOR TRENCH BACKFILL.
16. FILL MATERIAL SHOULD CONSIST OF MATERIALS APPROVED BY THE GEOTECH THAT ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 8 INCHES OR LESS IN LOOSE THICKNESS (6 INCHES OR LESS WHEN HAND-GUIDED EQUIPMENT IS USED).
17. SUBGRADES SHALL BE PROOF-ROLLED WITH A LOADED DUMP TRUCK TO DETECT ZONES OF UNSUITABLE AND/OR EXCESSIVELY WET SOILS. IF PUMPING BEGINS, COMPACTION SHALL BE STOPPED IMMEDIATELY AND RESUMED ONLY WHEN THE MATERIAL IS SUFFICIENTLY DRY THAT PUMPING DOES NOT OCCUR.
18. SITE CONTRACTOR SHALL PROVIDE SUBGRADE FOR BUILDING PAD PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON. THE EXPOSED SURFACE IN PAVEMENT OR BUILDING FLOOR AREAS SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER AND MAY REQUIRE SOME IMPROVEMENTS IF THE MOISTURE CONTENTS ARE BEYOND ACCEPTABLE LIMITS. COORDINATE ANY BUILDING FOUNDATIONS AND SUBGRADE WITH STRUCTURAL DRAWINGS.
19. THE CONTRACTOR SHALL REMOVE ANY SOILS WHICH DO NOT MEET OR EXCEED THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS TO WITHIN 5' HORIZONTALLY OF THE BUILDING PAD PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
20. UPON COMPLETION OF THE FILLING OPERATION(S), CARE SHOULD BE TAKEN TO MAINTAIN THE SUBGRADE MOISTURE CONTENT PRIOR TO CONSTRUCTION OF THE FLOOR SLAB, PAVEMENTS, ETC. IF THE SUBGRADE SHOULD BECOME DESICCATED, THE AFFECTED MATERIAL SHOULD BE REMOVED OR THESE MATERIALS SHOULD BE SCARIFIED, MOISTENED AND RECOMPACTED PRIOR TO FLOOR SLAB, PAVEMENT, ETC. PLACEMENT.
21. IN ALL AREAS OF CONSTRUCTION, TOPSOIL SHALL BE STRIPPED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THIS TOPSOIL WILL BE USED FOR THE FINISH GRADING WORK. PROVIDE EROSION CONTROL AS NECESSARY TO PREVENT TOPSOIL FROM ERODING AND DAMAGING ADJACENT PROPERTIES.
22. SOFT SOILS SHALL BE USED ON SITE FOR FILL PURPOSES OUTSIDE THE AREAS OF BUILDING AND PAVEMENT CONSTRUCTION. EXCESS SOILS WILL BE DISPOSED OF OFFSITE.
23. PROVIDE ALL NECESSARY OR REQUIRED SHEATHING BRACING, PUMPING & BAILING OPERATIONS TO PROTECT WORKMEN & ADJACENT FACILITIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES & REGULATIONS DURING PHASES OF CONSTRUCTION.
24. DISTURBED AREAS SHALL BE GRADED TO DRAIN AS INDICATED ON THE PLANS DURING AND UPON COMPLETION OF CONSTRUCTION. NO DRAINAGE SHALL BE DAMMED OR TRAPPED UNLESS SPECIFICALLY DIRECTED BY THE PLANS.
25. ALL UTILITY TRENCHES THAT PENETRATE BENEATH THE BUILDING SHOULD BE EFFECTIVELY SEALED TO RESTRICT WATER INTRUSION AND FLOW THROUGH THE TRENCHES THAT COULD MIGRATE BELOW THE BUILDING. AN EFFECTIVE CLAY 'TRENCH' PLUG THAT EXTENDS AT LEAST FIVE FEET OUT FROM THE FACE OF THE BUILDING EXTERIOR. THE PLUG MATERIAL SHOULD CONSIST OF CLAY COMPACTED AT A WATER CONTENT AT OR ABOVE THE SOILS OPTIMUM WATER CONTENT. THE CLAY FILL SHOULD BE PLACED TO COMPLETELY SURROUND THE UTILITY LINE AND BE COMPACTED IN ACCORDANCE WITH GEOTECH REPORT.



REVISIONS:

1	10/21/21	ADD. #1
2	10/28/21	ADD. #2

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: MLS  
CHECKED BY: CBW

Pickering

Pickering Firm, Inc.  
Facility Design • Civil Engineering • Surveying •  
Transportation • Natural / Water Resources  
126 Rue Magnolia  
Bloom, MS 39550  
228.432.3923

UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

ups

SEAL:  
J. COULON  
No. 8899  
12/29/2021  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

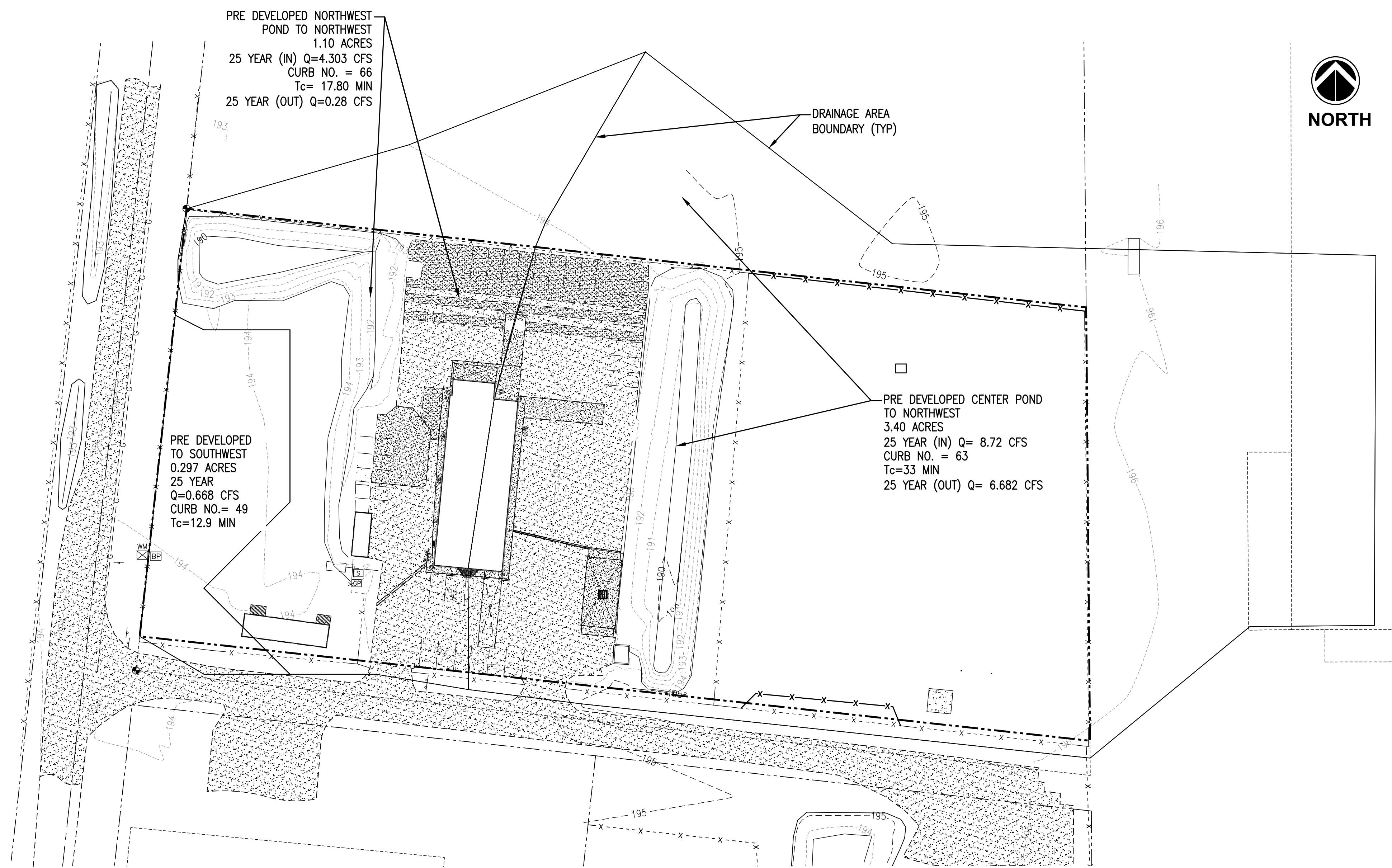
SHEET NUMBER:  
C4

DESCRIPTION:  
GRADING & DRAINAGE

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:  
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SPECIAL FLOOD HAZARD STATEMENT  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".





RUNOFF CALCULATIONS 25 YEAR DESIGN STORM EVENT			
EXISTING CONDITIONS			
DESCRIPTION	AREA (AC)	PEAK FLOW (CFS)	TIME TO PEAK (MIN)
NW FROM CENTER POND	3.4	6.682	746
NW FROM NW POND	1.1	0.277	824
SW OFFSITE	0.287	0.668	722
*The SW Offsite flow and Center and NW pond discharge all flow into the ditch on the NW end of the property			
PROPOSED CONDITIONS			
DESCRIPTION	AREA (AC)	PEAK FLOW (CFS)	TIME TO PEAK (MIN)
DISCHARGE OUT OF WEST WEIR FROM DETENTION POND		1.692	756
SW OFF SITE DRAINAGE	0.418	0.941	722

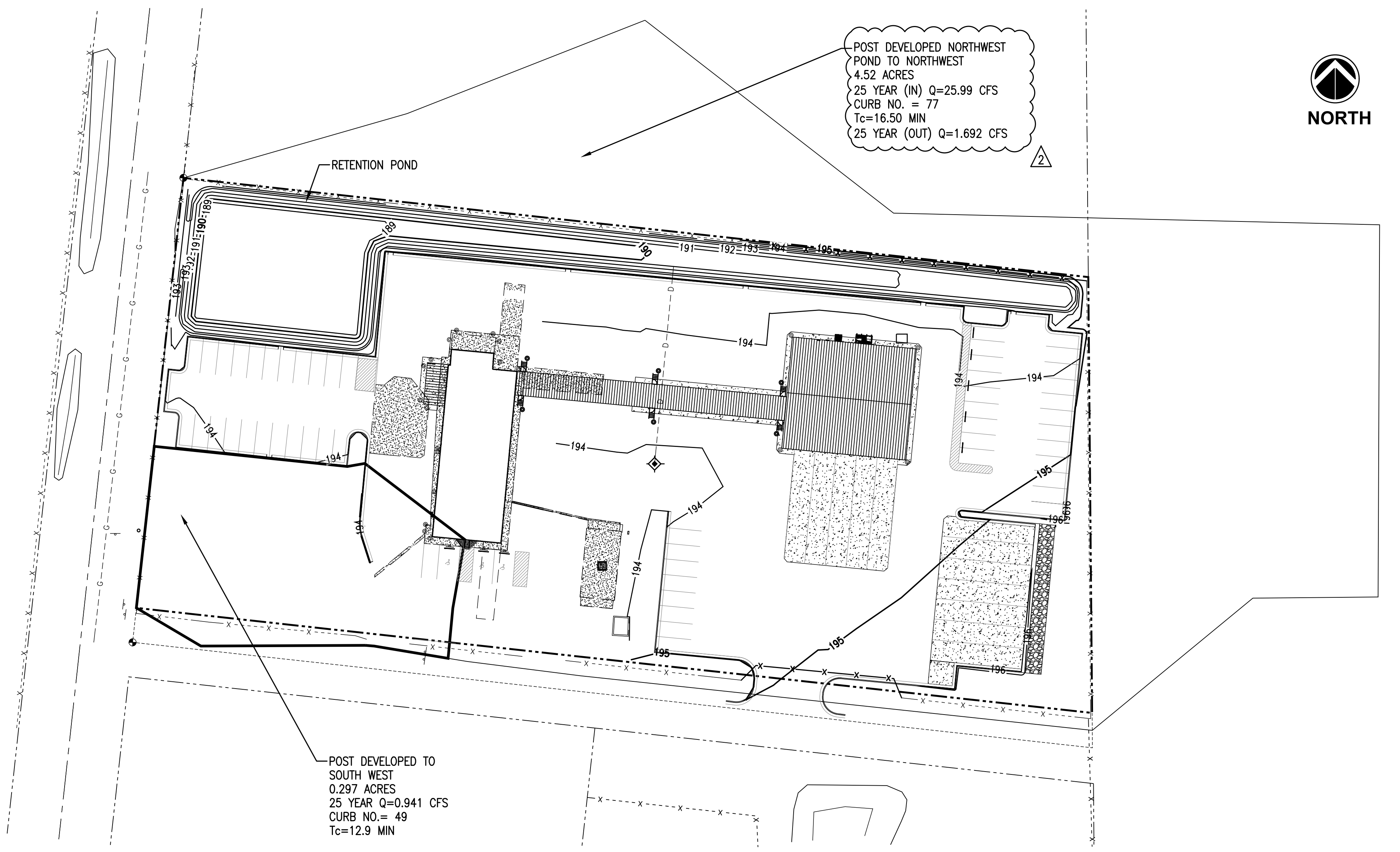
NET CHANGE IN RUNOFF	
DESCRIPTION	
OFF-SITE DRAINAGE	-4.994

RETENTION POND DATA 25 YR STORM EVENT			
Stage (ft)	Elev. (ft)	Storage (cu ft)	Discharge (cfs)
0.00	188.00	0	0.00
0.50	189.50	3,471	0.00
1.50	190.50	11,565	0.00
2.50	191.50	23,339	0.00
3.50	192.50	37,725	0.00
4.50	193.50	54,430	20.22

DETENTION POND DATA	
25 YEAR POST-DEVELOPED FLOW TO DETENTION = 25.99 CFS	
TOTAL DRAINAGE AREA TO POND = 4.936 AC	
INVERT OF WEIR = 193.00	
2'-0" (LENGTH) x 22'-0" (WIDTH)	
SLOPE = 0.1%	
ELEVATION OF TOP OF POND = 193'-6"	
25 YEAR DISCHARGE FROM POND = 1.692 CFS	
MAX 25 YEAR WATER SURFACE ELEVATION = 193.09 FT	
MAX 100 YEAR WATER SURFACE ELEVATION = 193.46 FT	



REVISIONS:

1	10/21/21	ADD. #1
2	10/28/21	ADD. #2
3		
4		

PROJECT #: 26197.00  
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DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW

Pickering Firm, Inc.  
Facility Design • Surveying •  
Transportation • Natural / Water Resources  
126 Rue Magnolia  
Bloomington, MS 38903  
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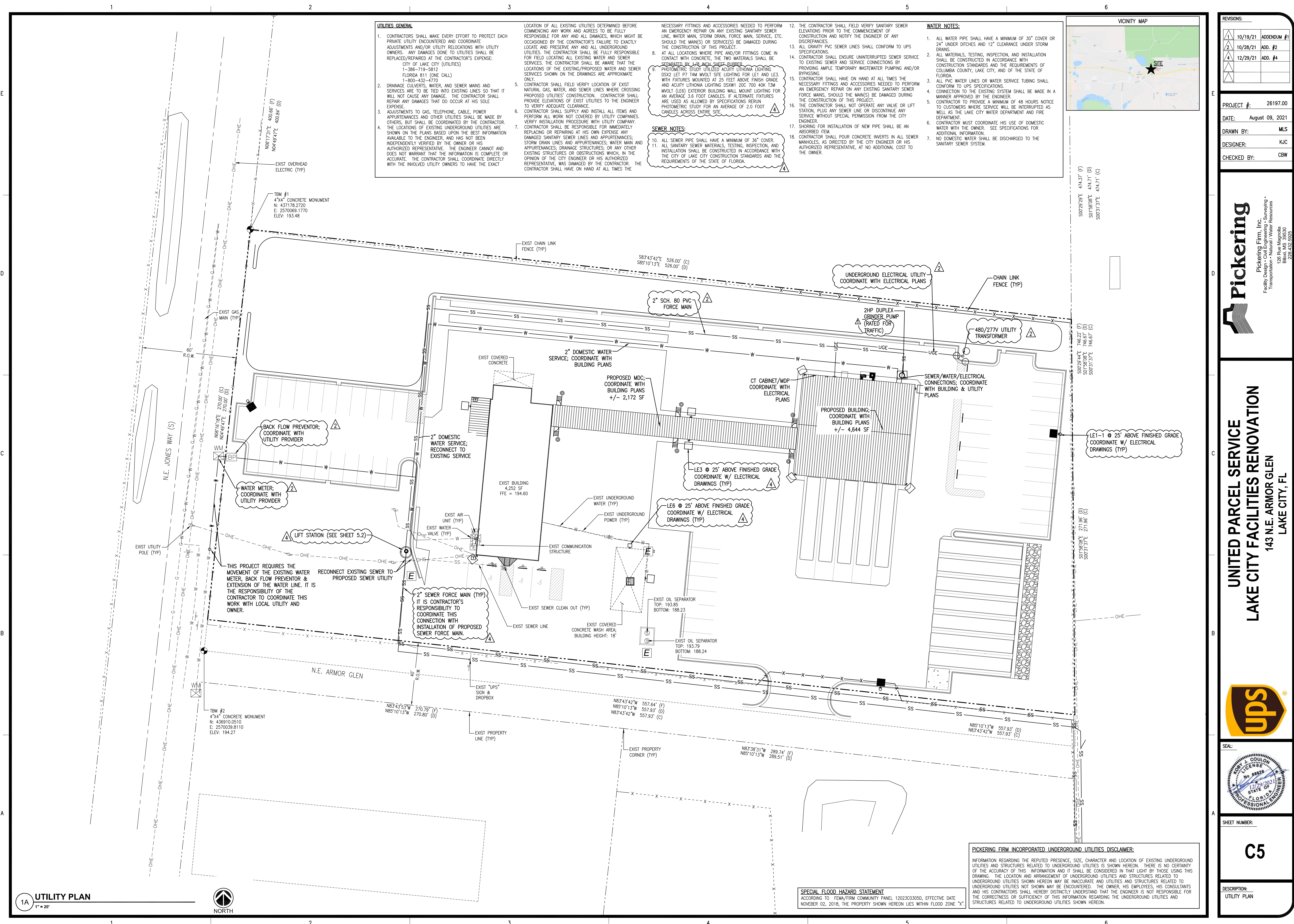
UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

SEAL:

SHEET NUMBER:  
C4.1

DESCRIPTION:  
DETENTION





UTILITIES GENERAL

- CONTRACTORS SHALL MAKE EVERY EFFORT TO PROTECT EACH PRIVATE UTILITY ENCOUNTERED AND COORDINATE ADJUSTMENTS AND/OR UTILITY RELOCATIONS WITH UTILITY OWNERS. ANY DAMAGES DONE TO UTILITIES SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE: CITY OF LAKE CITY (UTILITIES) 1-386-719-5812 FLORIDA 811 (ONE CALL) 1-800-432-4770
- DRAINAGE CULVERTS, WATER, AND SEWER MAINS AND SERVICES ARE TO BE TIED INTO EXISTING LINES SO THAT IT WILL NOT CAUSE ANY DAMAGE. THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT DO OCCUR AT HIS SOLE EXPENSE.
- ADJUSTMENTS TO GAS, TELEPHONE, CABLE, POWER APPURTENANCES AND OTHER UTILITIES SHALL BE MADE BY OTHERS, BUT SHALL BE COORDINATED BY THE CONTRACTOR. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER, AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. THE ENGINEER CANNOT AND DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS TO HAVE THE EXACT
- LOCATION OF ALL EXISTING UTILITIES DETERMINED BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING WATER AND SEWER SERVICES. THE CONTRACTOR SHALL BE AWARE THAT THE LOCATIONS OF THE EXISTING/PROPOSED WATER AND SEWER SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXIST NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXIST UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND PERFORM ALL WORK NOT COVERED BY UTILITY COMPANIES. VERIFY INSTALLATION PROCEDURE WITH UTILITY COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATELY REPLACING OR REPAIRING AT HIS OWN EXPENSE ANY DAMAGED SANITARY SEWER LINES AND APPURTENANCES; STORM DRAIN LINES AND APPURTENANCES; WATER MAIN AND APPURTENANCES; DRAINAGE STRUCTURES; OR ANY OTHER EXISTING STRUCTURES OR OBSTRUCTIONS WHICH, IN THE OPINION OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE

NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAIN(S) OR SERVICE(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.

AT ALL LOCATIONS WHERE PIPE AND/OR FITTINGS COME IN CONTACT WITH CONCRETE, THE TWO MATERIALS SHALL BE SEPARATED BY 1/8" HIGH SHEET PILE.

PHOTOMETRIC STUDY UTILIZED ACQUITY LITHONIA LIGHTING DSX2 LET P7 T4M MVOLT SITE LIGHTING FOR LE1 AND LE3. WITH FIXTURES MOUNTED AT 25 FEET ABOVE FINISH GRADE AND ACQUITY LITHONIA LIGHTING DSXW1 20C 700 40K T3M MVOLT (LE3) EXTERIOR BUILDING WALL MOUNT LIGHTING FOR AN AVERAGE 3.6 FOOT CANDLES. IF ALTERNATE FIXTURES ARE USED AS ALLOWED BY SPECIFICATIONS RERUN PHOTOMETRIC STUDY FOR AN AVERAGE OF 2.0 FOOT CANDLES ACROSS ENTIRE SITE.

SEWER NOTES:

- ALL SEWER PIPE SHALL HAVE A MINIMUM OF 36" COVER.
- ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE CITY CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE STATE OF FLORIDA.

WATER NOTES:

- ALL WATER PIPE SHALL HAVE A MINIMUM OF 30" COVER OR 24" UNDER DITCHES AND 12" CLEARANCE UNDER STORM DRAINS.
- ALL MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF COLUMBIA COUNTY, LAKE CITY, AND OF THE STATE OF FLORIDA.
- ALL PVC WATER LINES OR WATER SERVICE TUBING SHALL CONFORM TO UPS SPECIFICATIONS.
- CONNECTION TO THE EXISTING SYSTEM SHALL BE MADE IN A MANNER APPROVED BY THE ENGINEER.
- CONTRACTOR TO PROVIDE A MINIMUM OF 48 HOURS NOTICE TO CUSTOMERS WHERE SERVICE WILL BE INTERRUPTED AS WELL AS THE LAKE CITY WATER DEPARTMENT AND FIRE DEPARTMENT.
- CONTRACTOR MUST COORDINATE HIS USE OF DOMESTIC WATER WITH THE OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO DOMESTIC WATER SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.

VICINITY MAP



REVISIONS:		
1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2
4	12/29/21	ADD. #4

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SHEET NUMBER:

C5

DESCRIPTION:  
UTILITY PLAN

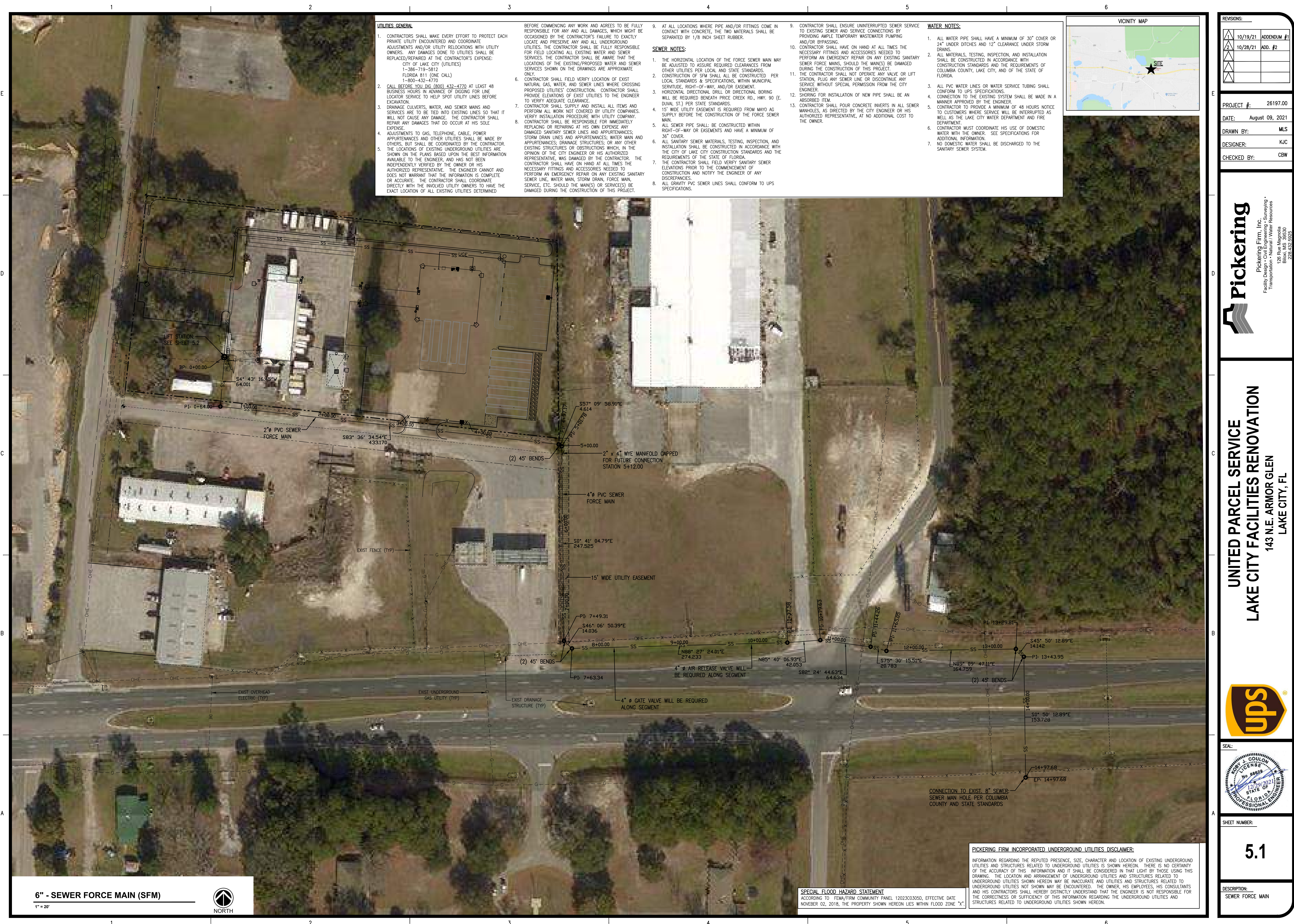
PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

SPECIAL FLOOD HAZARD STATEMENT

ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".





UTILITIES GENERAL

- CONTRACTORS SHALL MAKE EVERY EFFORT TO PROTECT EACH PRIVATE UTILITY ENCOUNTERED AND COORDINATE ADJUSTMENTS AND/OR UTILITY RELOCATIONS WITH UTILITY OWNERS. ANY DAMAGES DONE TO UTILITIES SHALL BE REPLACED/REPAIRED AT THE CONTRACTOR'S EXPENSE:  
CITY OF LAKE CITY (UTILITIES)  
1-386-719-5812  
FLORIDA 811 (ONE CALL)  
1-800-432-4770
- CALL BEFORE YOU DIG (800) 432-4770 AT LEAST 48 BUSINESS HOURS IN ADVANCE OF DIGGING FOR LINE LOCATOR SERVICE TO HELP SPOT UTILITY LINES BEFORE EXCAVATION.
- DRAINAGE CULVERTS, WATER, AND SEWER MAINS AND SERVICES ARE TO BE TIED INTO EXISTING LINES SO THAT IT WILL NOT CAUSE ANY DAMAGE. THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT DO OCCUR AT HIS SOLE EXPENSE.
- ADJUSTMENTS TO GAS, TELEPHONE, CABLE, POWER APPURTENANCES AND OTHER UTILITIES SHALL BE MADE BY OTHERS, BUT SHALL BE COORDINATED BY THE CONTRACTOR. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS BASED UPON THE BEST INFORMATION AVAILABLE TO THE ENGINEER, AND HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE. THE ENGINEER CANNOT AND DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE INVOLVED UTILITY OWNERS TO HAVE THE EXACT LOCATION OF ALL EXISTING UTILITIES DETERMINED.

- BEFORE COMMENCING ANY WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD LOCATING ALL EXISTING WATER AND SEWER SERVICES. THE CONTRACTOR SHALL BE AWARE THAT THE LOCATIONS OF THE EXISTING/PROPOSED WATER AND SEWER SERVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXIST NATURAL GAS, WATER, AND SEWER LINES WHERE CROSSING PROPOSED UTILITIES' CONSTRUCTION. CONTRACTOR SHALL PROVIDE ELEVATIONS OF EXIST UTILITIES TO THE ENGINEER TO VERIFY ADEQUATE CLEARANCE.
  - CONTRACTOR SHALL SUPPLY AND INSTALL ALL ITEMS AND APPURTENANCES; DRAINAGE STRUCTURES; OR ANY OTHER EXISTING STRUCTURES OR OBSTRUCTIONS WHICH, IN THE OPINION OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, WAS DAMAGED BY THE CONTRACTOR. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER LINE, WATER MAIN, STORM DRAIN, FORCE MAIN, SERVICE, ETC. SHOULD THE MAIN(S) OR SERVICE(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.

- SEWER NOTES:
- AT ALL LOCATIONS WHERE PIPE AND/OR FITTINGS COME IN CONTACT WITH CONCRETE, THE TWO MATERIALS SHALL BE SEPARATED BY 1/8 INCH SHEET RUBBER.
  - THE HORIZONTAL LOCATION OF THE FORCE SEWER MAIN MAY BE ADJUSTED TO ASSURE REQUIRED CLEARANCES FROM OTHER UTILITIES PER LOCAL AND STATE STANDARDS.
  - CONSTRUCTION OF SFM SHALL ALL BE CONSTRUCTED PER LOCAL STANDARDS & SPECIFICATIONS, WITHIN MUNICIPAL SERVITUDE, RIGHT-OF-WAY, AND/OR EASEMENT.
  - HORIZONTAL DIRECTIONAL DRILL OR DIRECTIONAL BORING WILL BE REQUIRED BENEATH PRICE CREEK RD., HWY. 90 (E. DUVAL ST.) PER STATE STANDARDS.
  - 15' WIDE UTILITY EASEMENT IS REQUIRED FROM MAYO AG SUPPLY BEFORE THE CONSTRUCTION OF THE FORCE SEWER MAIN.
  - ALL SEWER PIPE SHALL: BE CONSTRUCTED WITHIN RIGHT-OF-WAY OR EASEMENTS AND HAVE A MINIMUM OF 36" COVER.
  - ALL SANITARY SEWER MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAKE CITY CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE STATE OF FLORIDA.
  - THE CONTRACTOR SHALL FIELD VERIFY SANITARY SEWER ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  - ALL GRAVITY PVC SEWER LINES SHALL CONFORM TO UPS SPECIFICATIONS.

- CONTRACTOR SHALL ENSURE UNINTERRUPTED SEWER SERVICE TO EXISTING SEWER AND SERVICE CONNECTIONS BY PROVIDING AMPLE TEMPORARY WASTEWATER PUMPING AND/OR BYPASSING.
- CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY FITTINGS AND ACCESSORIES NEEDED TO PERFORM AN EMERGENCY REPAIR ON ANY EXISTING SANITARY SEWER FORCE MAINS, SHOULD THE MAIN(S) BE DAMAGED DURING THE CONSTRUCTION OF THIS PROJECT.
  - THE CONTRACTOR SHALL NOT OPERATE ANY VALVE OR LIFT STATION, PLUG ANY SEWER LINE OR DISCONTINUE ANY SERVICE WITHOUT SPECIAL PERMISSION FROM THE CITY ENGINEER.
  - SHORING FOR INSTALLATION OF NEW PIPE SHALL BE AN ABSORBED ITEM.
  - CONTRACTOR SHALL POUR CONCRETE INVERTS IN ALL SEWER MANHOLES, AS DIRECTED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.

WATER NOTES:

- ALL WATER PIPE SHALL HAVE A MINIMUM OF 30" COVER OR 24" UNDER DITCHES AND 12" CLEARANCE UNDER STORM DRAINS.
- ALL MATERIALS, TESTING, INSPECTION, AND INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF COLUMBIA COUNTY, LAKE CITY, AND OF THE STATE OF FLORIDA.
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- CONTRACTOR MUST COORDINATE HIS USE OF DOMESTIC WATER WITH THE OWNER. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO DOMESTIC WATER SHALL BE DISCHARGED TO THE SANITARY SEWER SYSTEM.



REVISIONS:		
1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2
3		
4		

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SHEET NUMBER:  
**5.1**  
DESCRIPTION:  
SEWER FORCE MAIN

6" - SEWER FORCE MAIN (SFM)

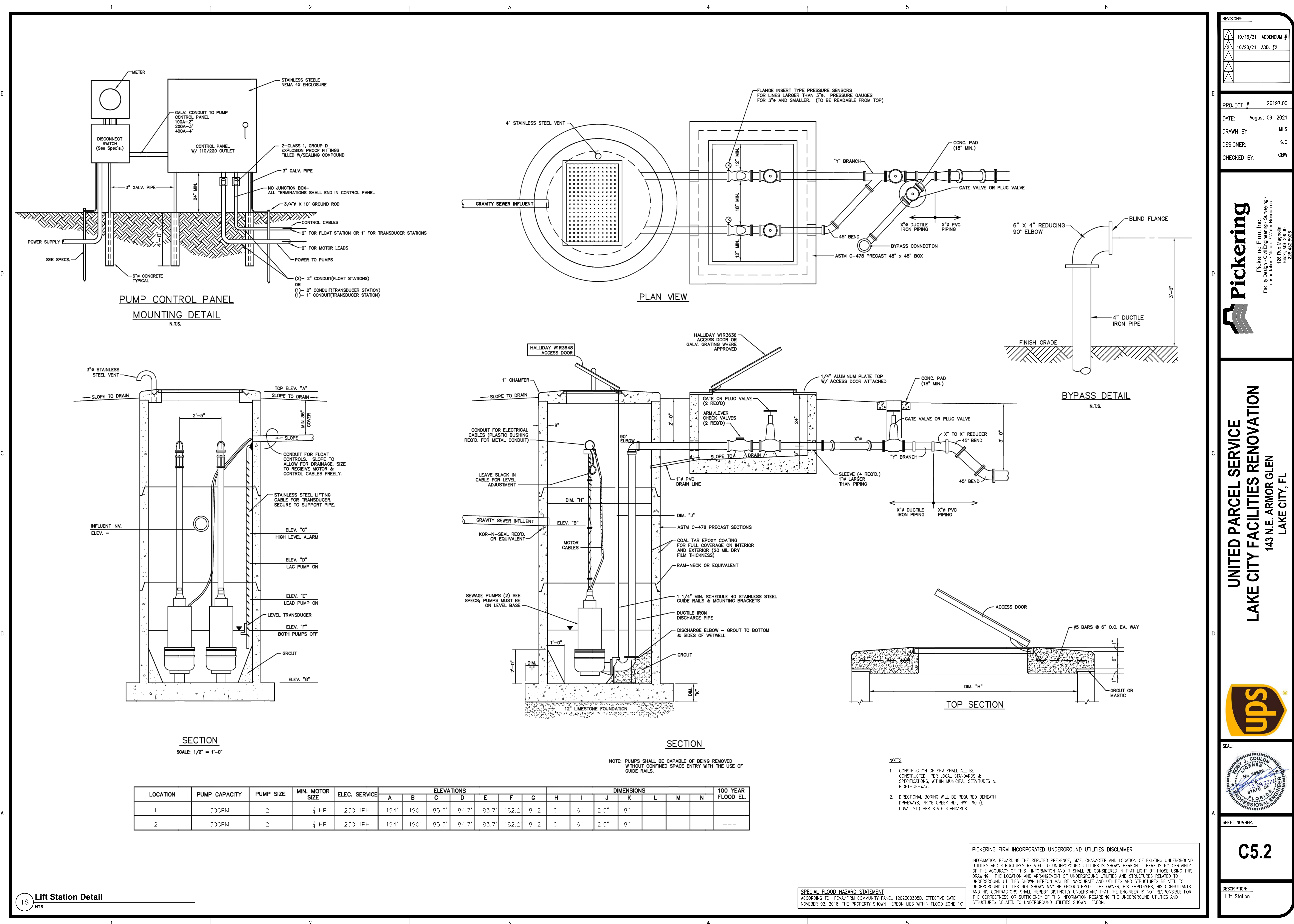
1" = 20'



SPECIAL FLOOD HAZARD STATEMENT  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C0305D, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.





LOCATION	PUMP CAPACITY	PUMP SIZE	MIN. MOTOR SIZE	ELEC. SERVICE	ELEVATIONS							DIMENSIONS							100 YEAR FLOOD EL.
					A	B	C	D	E	F	G	H	I	J	K	L	M	N	
1	30GPM	2"	1/2 HP	230 1PH	194'	190'	185.7'	184.7'	183.7'	182.2'	181.2'	6'	6"	2.5"	8"				---
2	30GPM	2"	1/2 HP	230 1PH	194'	190'	185.7'	184.7'	183.7'	182.2'	181.2'	6'	6"	2.5"	8"				---

**SPECIAL FLOOD HAZARD STATEMENT**  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C0305D, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

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REVISIONS:

1	10/19/21	ADDENDUM #1
2	10/28/21	ADD. #2

PROJECT #: 26197.00  
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Pickering

Pickering Firm, Inc.  
Facility Design, Construction Management, Surveying  
Transmission • Water Resources  
126 Rue Margalea  
Blacksburg, VA 24060  
228.432.5925

UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

ups

SEAL:

SHEET NUMBER:  
**C5.2**  
DESCRIPTION:  
Lift Station



CONTRACTOR SHALL MONITOR DOWNSTREAM PORTIONS OF DRAINAGE DITCHES OR PIPE OUTLETS FOR SEDIMENT AND POLLUTANTS CAUSED BY CONSTRUCTION; IMMEDIATELY IDENTIFY AND ALLEVIATE UPSTREAM SOURCES OF POLLUTANTS (TYP)

CONTRACTOR SHALL SWEEP ALL STREETS WITHIN THE PROJECT AREA DAILY TO CLEAN ANY CONSTRUCTION DEBRIS ACCUMULATED (INCLUDING SEDIMENT, TRASH, ETC.) WASHING OF STREETS IS PROHIBITED (TYP)

TBM #2  
4"x4" CONCRETE MONUMENT  
N: 436910.0510  
E: 2570039.8110  
ELEV: 194.27

TBM #1  
4"x4" CONCRETE MONUMENT  
N: 437178.2720  
E: 2570069.1770  
ELEV: 193.48

#### SEQUENCE OF EROSION CONTROL ACTIVITIES FOR CONSTRUCTION PROJECTS

1. INSTALL SILT FENCE ALONG SIDE SLOPE BOUNDARIES OF THE PROPERTY.
2. PROTECT STORM DRAIN INLETS DOWNSTREAM OF CONSTRUCTION WITH HAY BARRIER AND/OR OTHER PROTECTIVE MEASURES.
4. APPLY STONE TO DRIVEWAY TO STABILIZE ENTRANCE TO PROPERTY.
5. CLEARING AND GRUBBING AS REQUIRED.
6. INSTALL SILT FENCE AROUND STOCKPILES.
7. CONSTRUCT PROJECT.
8. TEMPORARILY OR PERMANENTLY STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 14 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
9. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTINGS.
10. COMPLETE FINAL PAVING FOR ROADS.
11. WHEN ALL CONSTRUCTION IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHOUTS.

#### EROSION CONTROL

1. THE CONTRACTOR SHALL BE REQUIRED TO FURNISH ALL MATERIALS AND PERFORM ALL WORK FOR THE PROPER INSTALLATION, MAINTENANCE AND REMOVAL OF ANY TEMPORARY EROSION CONTROL MEASURE(S) NECESSARY TO CONTROL SILTATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROLS DURING THE ENTIRE COURSE OF THIS PROJECT PER ACCEPTABLE/PROVED STORMWATER BEST MANAGEMENT PRACTICES. THE PLACEMENT OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL QUALITY.
3. ALL FEDERAL, LOCAL, ETC. LAWS SHALL BE COMPLIED WITH BEFORE, DURING, AND AFTER COMPLETION OF THE JOB.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS ARE ON SITE.
6. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO THE START OF ANY WORK. IF IT WILL BE REQUIRED TO REMOVE THEM TEMPORARILY DUE TO CONSTRUCTION ACTIVITIES, ONCE THOSE ACTIVITIES ARE COMPLETED OR AT THE END OF THE WORK DAY, THE TEMPORARY CONTROLS SHALL BE REINSTALLED IMMEDIATELY.
7. ALL EROSION CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS.
8. ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE DEEMED NECESSARY IF THE CONTROLS FOUND IN THIS STORMWATER MANAGEMENT PLAN ARE FOUND TO BE INEFFECTIVE.
9. ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY AND/OR EASEMENTS SHALL BE GRASSSED OR OTHERWISE HAVE PERMANENT STABILIZATION ESTABLISHED. ALL DISTURBED GROUND LEFT INACTIVE FOR 14 OR MORE DAYS SHALL BE STABILIZED BY SEEDING OR SODDING.
10. EXISTING VEGETATION SHALL BE MAINTAINED AND PROTECTED WHEREVER POSSIBLE.
11. ALL CONSTRUCTION TRAFFIC SHALL ENTER/EXIT THE SITE THROUGH THE CONSTRUCTION ENTRANCE; A CONSTRUCTION ENTRANCE IS REQUIRED AT ALL ACCESS POINTS ON THE SITE.
12. TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL NOT BE REMOVED UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED ON ALL DISTURBED AREAS. FINAL APPROVAL ON THE PROJECT WILL NOT BE MADE UNTIL ALL TEMPORARY EROSION CONTROLS ARE REMOVED AND PERMANENT EROSION CONTROLS ARE EFFECTIVELY ESTABLISHED.
13. ALL EQUIPMENT REPAIR AND MAINTENANCE SHALL BE DONE OFFSITE.
14. RECEPTACLES SHALL BE PROVIDED TO PROPERLY DISPOSE OF ALL TRASH AND WASTE. ALL CONSTRUCTION DEBRIS SHALL BE PACKED UP AT THE END OF EACH DAY AND SHALL BE REMOVED COMPLETELY FROM THE SITE AT THE END OF THE PROJECT.
15. SANITARY FACILITIES SHALL BE PROVIDED ON-SITE FOR ALL EMPLOYEES.
16. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROLS WHEN IT REACHES ONE-HALF (1/2) THE HEIGHT OF THE CONTROL. THE SEDIMENT SHALL BE PROPERLY DISPOSED OF SO AS NOT TO CAUSE SEDIMENTATION IN ANOTHER LOCATION.
17. EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED DAILY AND FOLLOWING ANY RAIN EVENT. NON-FUNCTIONING, INEFFECTIVE OR DAMAGED CONTROLS SHALL BE REPAIRED, REPLACED OR SUPPLEMENTED WITH FUNCTIONAL CONTROLS WITHIN 24 HOURS OF DISCOVERY.
18. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT MIGRATES INTO THE STORM DRAIN SYSTEM.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT OR CONSTRUCTION DEBRIS THAT IS TRACKED ON ADJACENT PAVED AREAS. ADJACENT STREETS SHALL BE KEPT CLEAN THROUGHOUT CONSTRUCTION AND SHALL BE CLEANED WITH A STREET-SWEEPER OR SIMILAR TECHNIQUE IMMEDIATELY UPON DISCOVERY OF SEDIMENT. WASHING DOWN OF THE STREET OR ANY PAVED AREAS IS NOT ALLOWED.
20. ANY SEDIMENT THAT HAS MIGRATED OFFSITE, WHETHER ONTO PUBLIC OR PRIVATE PROPERTY SHALL BE REMOVED IMMEDIATELY UPON DISCOVERY.
21. LOCATE FUEL/MATERIAL STORAGE AREAS AWAY FROM STORM WATER CONVEYANCE SYSTEMS. USE A MINIMUM 60 MIL POLYETHYLENE LINER UNDER ABOVE GROUND STORAGE TANKS. USE 2 FOOT HIGH BERM AROUND FUEL STORAGE AREAS. CONTRACTOR WILL PROVIDE PROTECTED STORAGE AREAS FOR CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS AND OTHER POTENTIALLY TOXIC MATERIALS. EQUIPMENT STAGING AREA TO BE DESIGNATED BY CONTRACTOR AND APPROVED BY OWNER PRIOR TO CONSTRUCTION.
22. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF FUELS, MATERIALS AND CONTAMINATED EXCAVATIONS IN A LEGALLY APPROVED MANNER.



#### REVISIONS:

10/28/21	ADD. #2

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



## UNITED PARCEL SERVICE LAKE CITY FACILITIES RENOVATION 143 N.E. ARMOR GLEN LAKE CITY, FL



SEAL:



SHEET NUMBER:

C6

DESCRIPTION:  
EROSION CONTROL PLAN

#### PICKERING FIRM, INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:

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#### SPECIAL FLOOD HAZARD STATEMENT

ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C03050, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

1A EROSION CONTROL PLAN  
1" = 20'





LANDSCAPE LEGEND					
SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE AT PLANTING	SIZE AT MATURITY
	DRAKE ELM	ULMUS PARVIFOLIA	6	4' HEIGHT	30' TO 50'
	CAPE MYRTLE	LAGERSTOEMIA INDICA	7	4' HEIGHT	10' TO 40'
	SPRINTER BOXWOOD	BUXUS MICROPHYLLA	28	1.67' HEIGHT	2' TO 4'
	GRASSING		4,320 SY		GROUND COVER
	MULCH		605 SY	6" HEIGHT	ISLAND COVER

**LANDSCAPE REQUIREMENTS:**  
AREA REQUIRED = 10% OF PARKING AREA = 4,515 SQ FT  
AREA PROVIDED = 5,346 SQ FT  
TREES REQUIRED = 1/200 SQ FT OF REQUIRED LANDSCAPE AREA = 23  
TREES PROVIDED = 10 EXISTING + 13 PROPOSED = 23 EA

#### LANDSCAPE NOTES:

- SEED, SOLID SOO, OR HYDROMULCH ALL AREAS DISTURBED AND OUTSIDE LIMITS OF PAVING AS SHOWN.
- SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. ALTERNATIVE RECOMMENDATIONS WILL BE CONSIDERED IF SUPPLEMENTED BY A SOIL TEST. SOIL HAVING A PH LESS THAN 6 SHALL BE THOROUGHLY MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACIDIC REACTION (A PH OF 6 TO 6.5).
- 15-15-15 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD SHALL BE ADDED. BOTH FERTILIZER AND PEAT SHALL BE THOROUGHLY MIXED BY HAND OR ROTARY TILLER. 4" MINIMUM THICKNESS OF TOPSOIL IS REQUIRED.
- THE LANDSCAPE CONTRACTOR SHALL INSPECT ALL BACKFILL AND PLACEMENT OF TOPSOIL TO DETERMINE WHETHER OR NOT A "HARDPAN" SITUATION EXISTS DUE TO PREVIOUS SOIL CONDITIONS, PLACEMENT AND COMPACTION OF FILL DURING CONSTRUCTION, OR ANY OTHER CONTRIBUTING FACTOR PRIOR TO INSTALLATION OF PLANT MATERIALS. IF SUCH A SITUATION IS ANTICIPATED, IT SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT IMMEDIATELY, PRIOR TO THE INSTALLATION OF PLANT MATERIAL FOR A REMEDY.
- HERBICIDE PRE-EMERGENT (TREFLAN OR EQUIVALENT) TO BE APPLIED TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL.
- ALL PLANTING BEDS TO HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. BARK CHIPS ARE NOT ACCEPTABLE.
- ALL TREES TO BE STAKED AS PER PLANTING DETAIL, AND SHALL REMAIN IN PLACE THROUGHOUT THE WARRANTY PERIOD OF ONE YEAR.
- DIMENSIONS FOR HEIGHTS, SPREAD, AND CALIPER OF TRUNK SPECIFIED ON THE DRAWING IS A GENERAL GUIDE FOR THE MINIMUM DESIRED SIZE OF EACH PLANT. EACH PLANT SHALL HAVE A UNIFORM AND CONSISTENT SHAPE AS IT PERTAINS TO THE PARTICULAR SPECIES. ANY PLANT MATERIAL WHICH FAILS TO CONFORM IS SUBJECT TO REJECTION BY THE CONSULTANT.
- THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS, FILLING PLANTED AREAS AT THE REQUIRED SPACING AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO A HEIGHT MEASURED 5' ABOVE FINISH GRADE. ALL DEAD TREES AND/OR LIMBS TO BE REMOVED.
- LANDSCAPE CONTRACTOR TO VERIFY LOCATION AND PROTECT ALL ABOVE AND BELOW GROUND UTILITIES. REPLACE DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER. PROTECT AREAS FROM SITUATION AS NEEDED.
- LIMITATIONS: DO NOT PROCEED WITH PLANT MATERIAL INSTALLATION UNTIL SITE UTILITY CONSTRUCTION AND FINISH GRADING IS COMPLETE. COORDINATE SCHEDULING OF PLANT MATERIAL INSTALLATION WITH OTHER CONTRACTORS INVOLVED IN THE AFOREMENTIONED CONSTRUCTION.
- PROVIDE HOSE AND PLANT MATERIAL WATERING EQUIPMENT AS REQUIRED.
- HANDLE PLANTS FROM BOTTOM OF BALL. PROTECT PLANT ROOTS AND TOPS FROM SUN OR DRYING WINDS UNTIL FINAL PLANTING. PLANTS WITH CRACKED, BROKEN OR LOOSELY WRAPPED BALLS SHALL BE REJECTED.
- DURING THE PROGRESS OF ALL OPERATIONS, PROTECT CURB AND OTHER STRUCTURES WITH WOOD STRIPS OR PADDING, OR OTHER APPROVED MEANS AS REQUIRED.
- LANDSCAPE AND SOO INSTALLER AND SUPERVISOR QUALIFICATIONS: COMPANY SPECIALIZING IN LANDSCAPE DEVELOPMENT CONSTRUCTION, PARTICULARLY SOIL PREPARATION, LAWNS, AND LIVE PLANT MATERIALS; WITH AT LEAST FIVE (5) YEARS EXPERIENCE IN SUCH WORK.
- REPLACEMENT PLANT MATERIALS SHALL CARRY A ONE (1) YEAR WARRANTY PERIOD.
- ANY PLANTS THAT ARE 25 PERCENT OR MORE DEAD SHALL BE CONSIDERED DEAD. ONE YEAR WARRANTY SHALL COMMENCE AT FINAL ACCEPTANCE. WARRANTY SHALL EXTEND INTO NEXT GROWING PERIOD WHEN DORMANT PLANTS ARE INSTALLED.
- PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS. DISEASE FREE WELL-BRANCHED, AND DENSELY FOLIATE WHEN IN LEAF. TREES SHALL NOT HAVE FORKED LEADERS.
- PLANTS SHALL CONFORM TO MEASUREMENTS SPECIFIED EXCEPT THAT PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED. USE OF SUCH PLANTS SHALL NOT INCREASE CONTRACT SUM. PLANTS THAT MEET THE MEASUREMENTS SPECIFIED BUT DO NOT POSSESS A NORMAL BALANCE BETWEEN HEIGHT AND SPREAD SHALL BE REJECTED.
- TREES WHICH HAVE DAMAGED OR CROOKED LEADERS, OR MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH ABRASIONS OF THE BARK, SUN SCALDS, DISFIGURING KNOTS, OR FRESH CUTS OF LIMBS OVER 3/4 INCH WHICH HAVE NOT COMPLETELY CALLED, WILL BE REJECTED.
- PLANT SIZES AND QUALITY SHALL MEET OR EXCEED STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (LATEST EDITION).
- THE PERSON IN CHARGE OF OR IN CONTROL OF THE PROPERTY, WHETHER AS OWNER, LESSEE, TENANT, OCCUPANT OR OTHERWISE, SHALL BE RESPONSIBLE FOR THE CONTINUED PROPER MAINTENANCE OF ALL LANDSCAPING MATERIALS.
- PRIOR TO PLANTING TREES, CONTRACTOR TO VERIFY THAT NO CONFLICTS EXIST BETWEEN THE TREE AND ALL EXISTING AND PROPOSED UTILITIES.
- IRRIGATION SLEEVES TO BE INSTALLED PRIOR TO PAVING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND POWER FOR A FULLY AUTOMATED IRRIGATION SYSTEM WITHIN ALL LANDSCAPED AREAS.



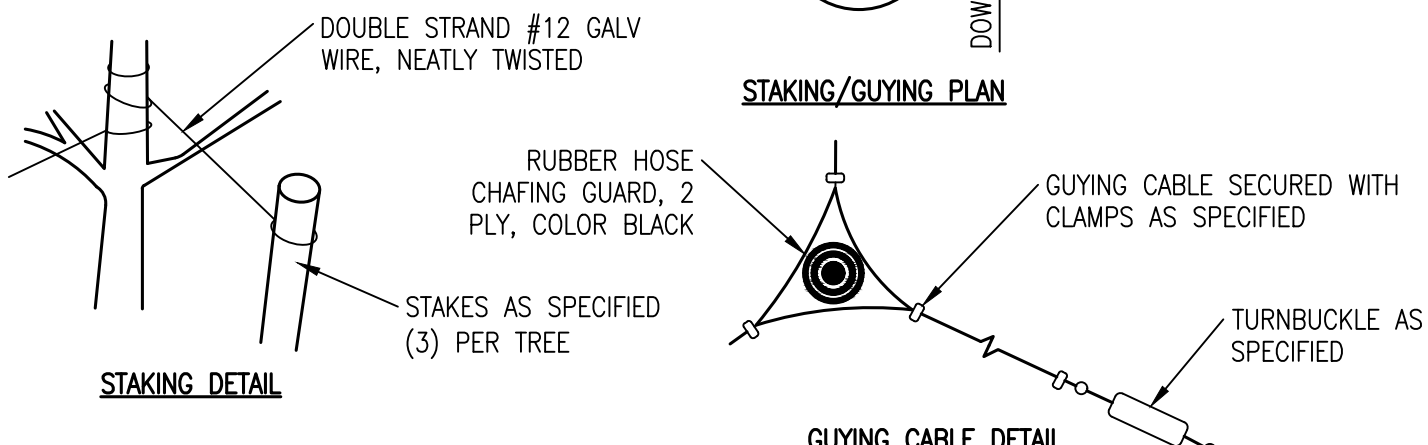
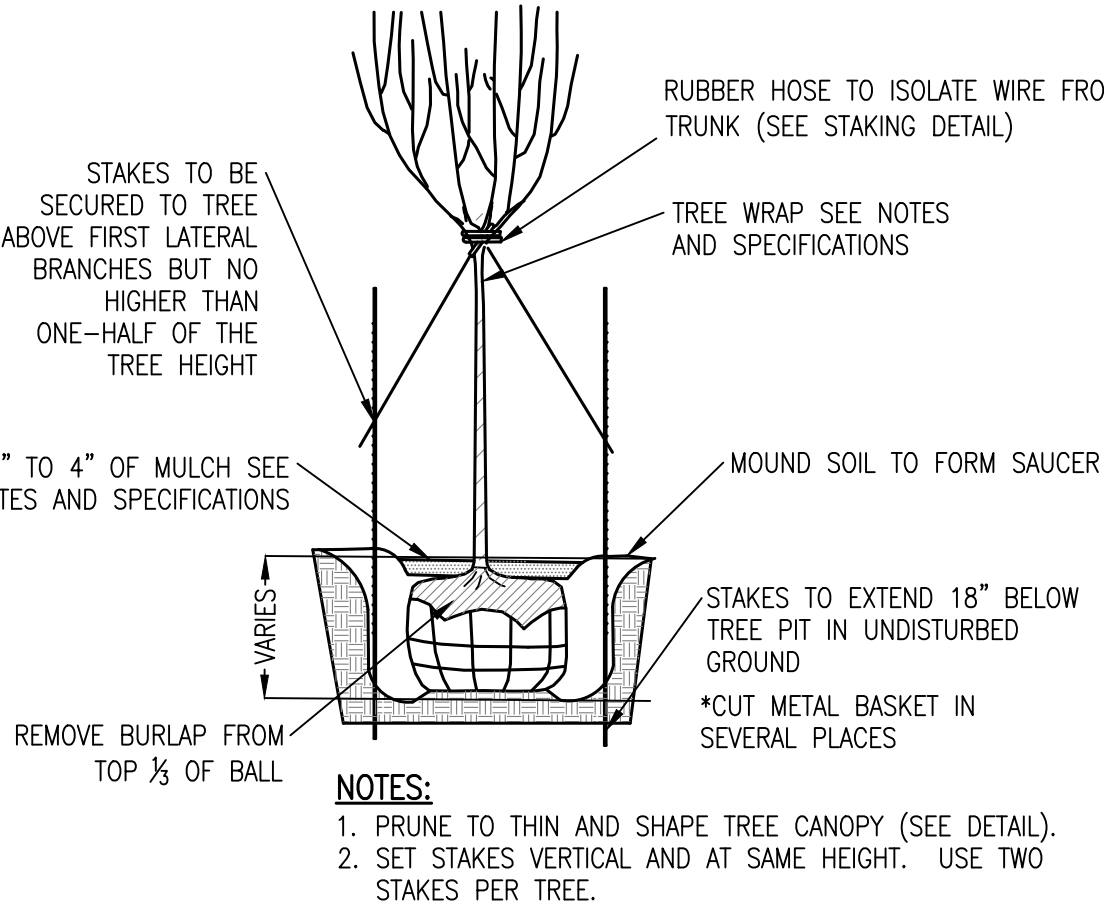
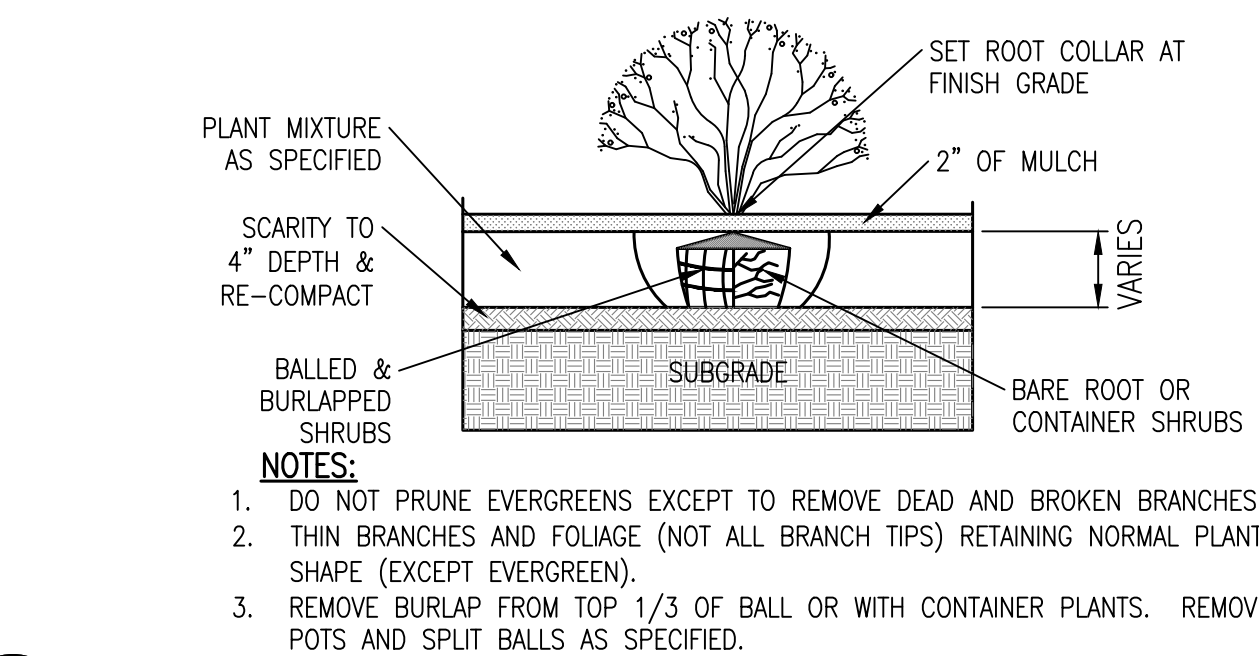
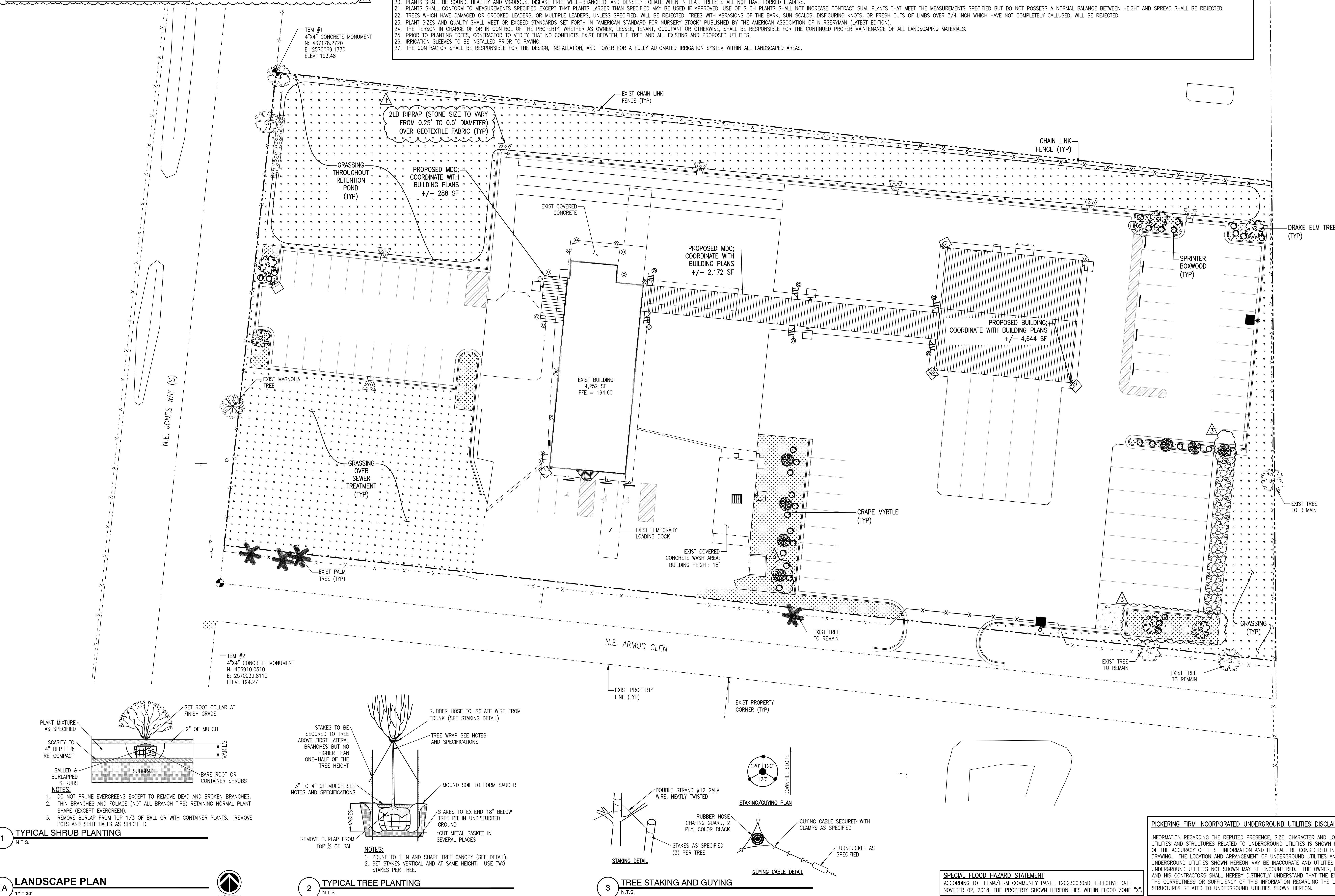
REVISIONS:		
	10/28/21	ADD #2
	11/16/21	ADD #3
PROJECT #: 26197.00		
DATE: August 09, 2021		
DRAWN BY: MLS		
DESIGNER: KJC		
CHECKED BY: CBW		



## UNITED PARCEL SERVICE LAKE CITY FACILITIES RENOVATION 143 N.E. ARMOR GLEN LAKE CITY, FL



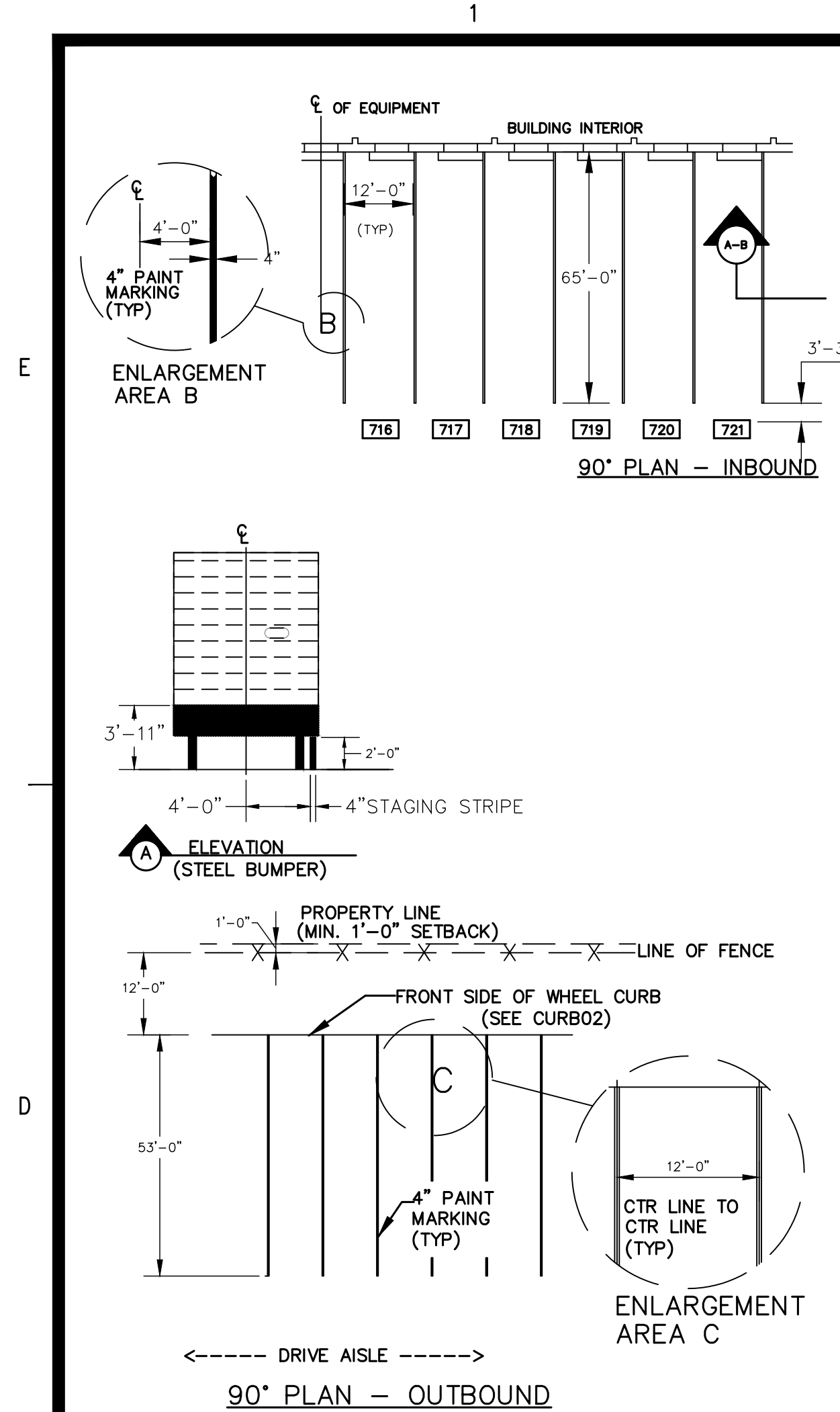
SHEET NUMBER:  
**C7**  
DESCRIPTION:  
LANDSCAPE PLAN



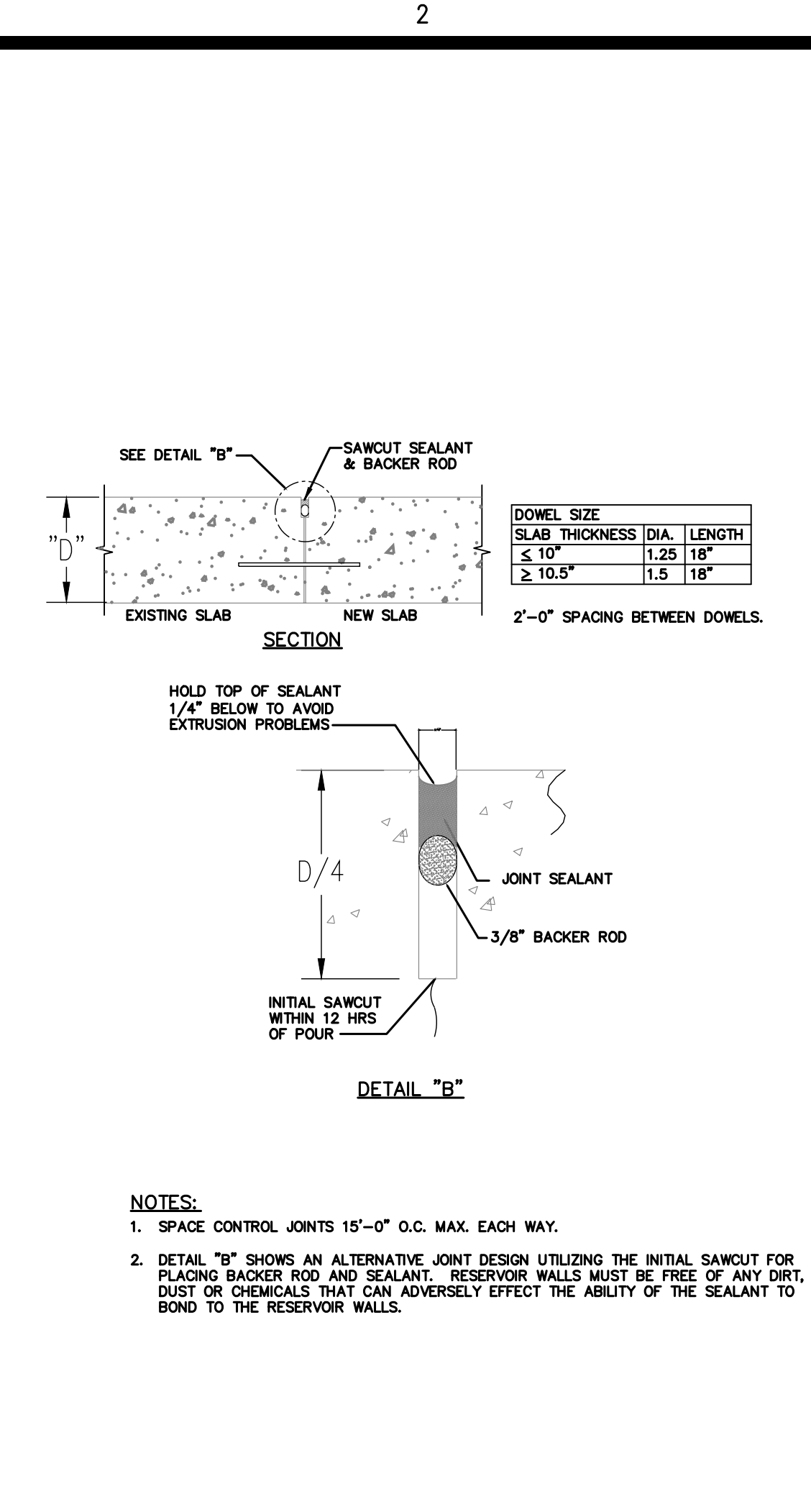
**SPECIAL FLOOD HAZARD STATEMENT**  
ACCORDING TO FEMA/FIRM COMMUNITY PANEL 12023C0305D, EFFECTIVE DATE NOVEMBER 02, 2018, THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X".

**PICKERING FIRM INCORPORATED UNDERGROUND UTILITIES DISCLAIMER:**  
INFORMATION REGARDING THE REPUTED PRESENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES IS SHOWN HEREON. THERE IS NO CERTAINTY OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED IN THAT LIGHT BY THOSE USING THIS DRAWING. THE LOCATION AND ARRANGEMENT OF UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON MAY BE INACCURATE AND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE OWNER, HIS EMPLOYEES, HIS CONSULTANTS AND HIS CONTRACTORS SHALL HEREBY DISTINCTLY UNDERSTAND THAT THE ENGINEER IS NOT RESPONSIBLE FOR THE CORRECTNESS OR SUFFICIENCY OF THIS INFORMATION REGARDING THE UNDERGROUND UTILITIES AND STRUCTURES RELATED TO UNDERGROUND UTILITIES SHOWN HEREON.

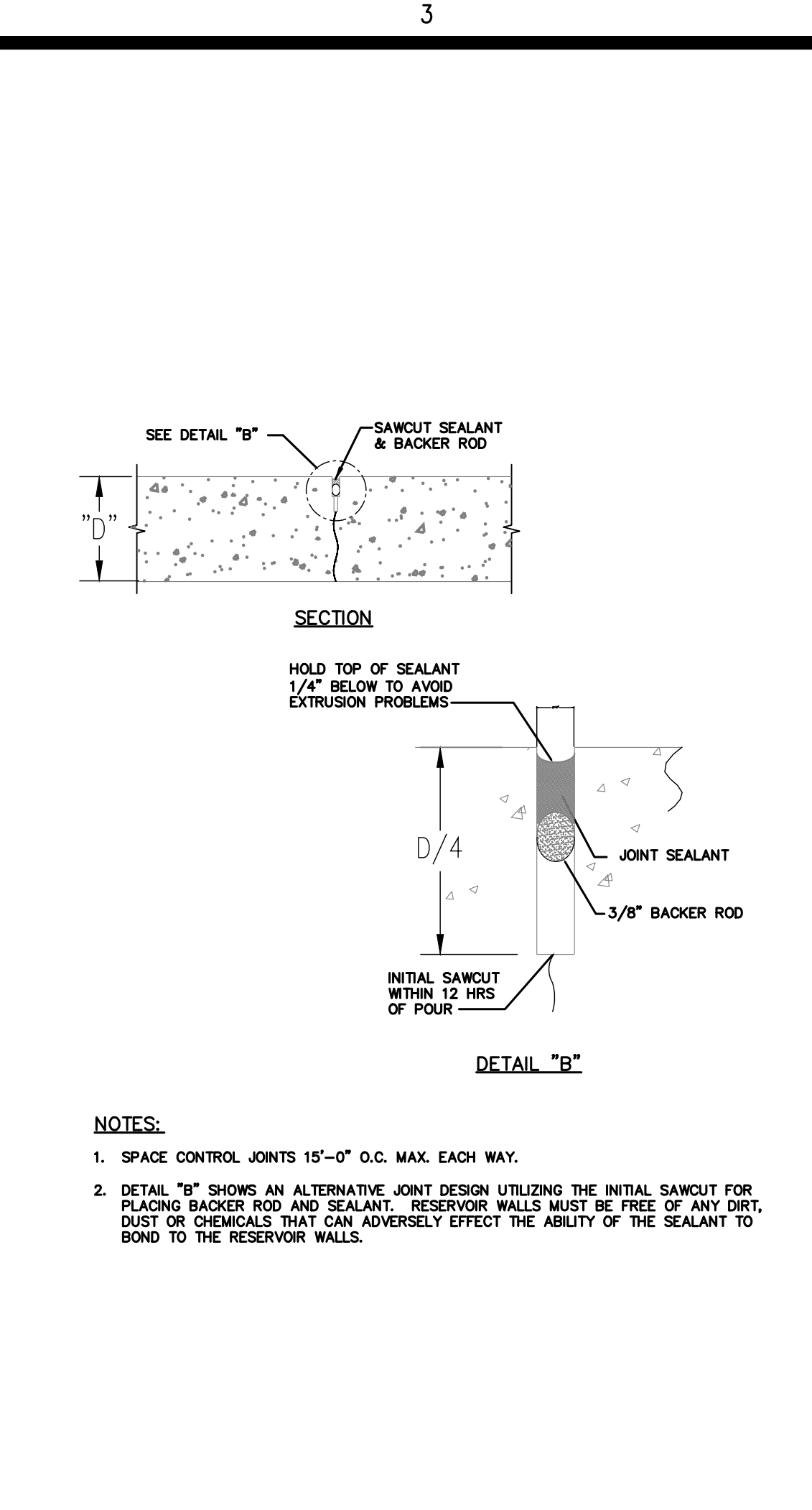




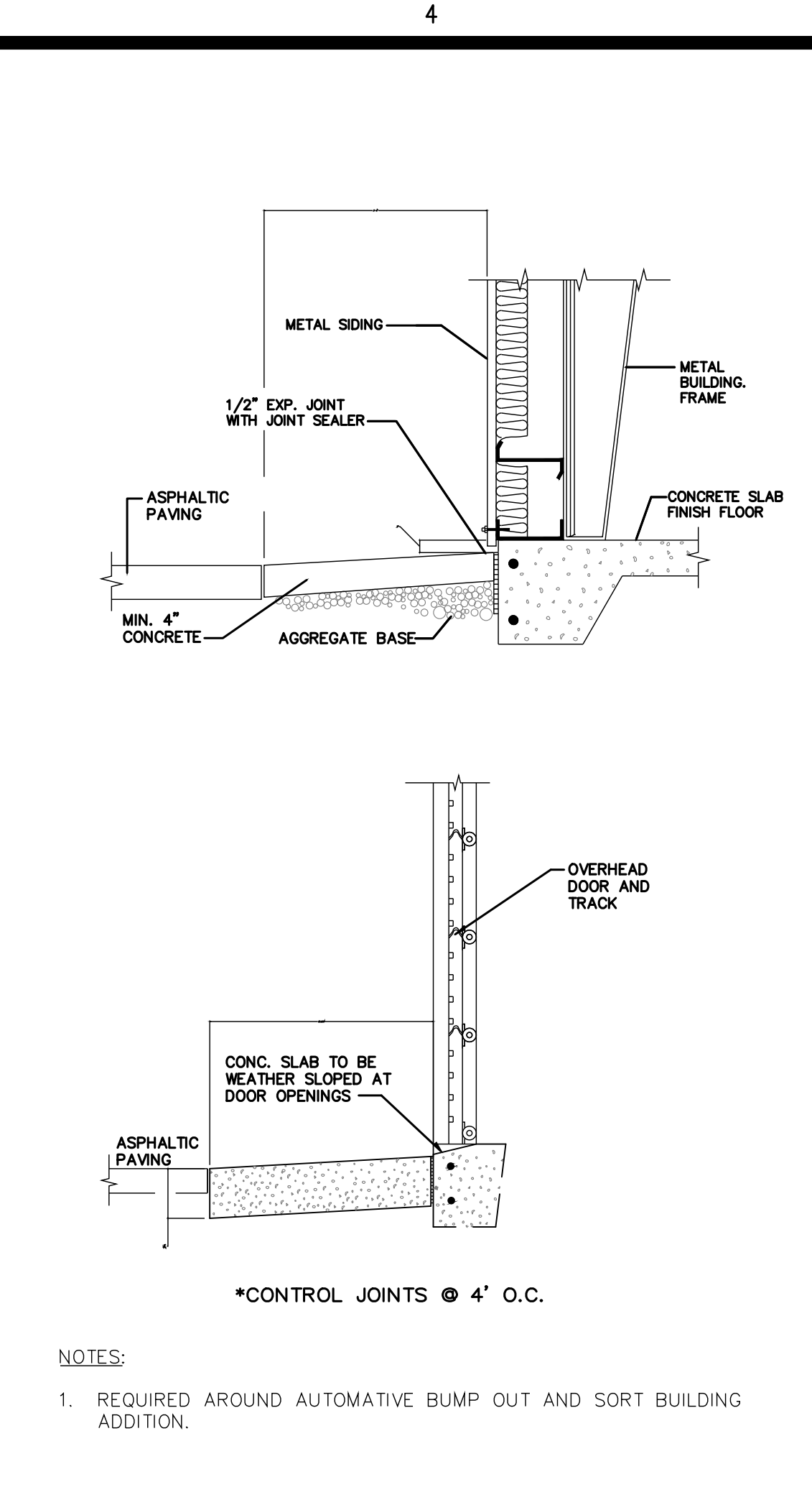
1D PAVE01 - YARD STAGING MARKING PLAN  
N.T.S.



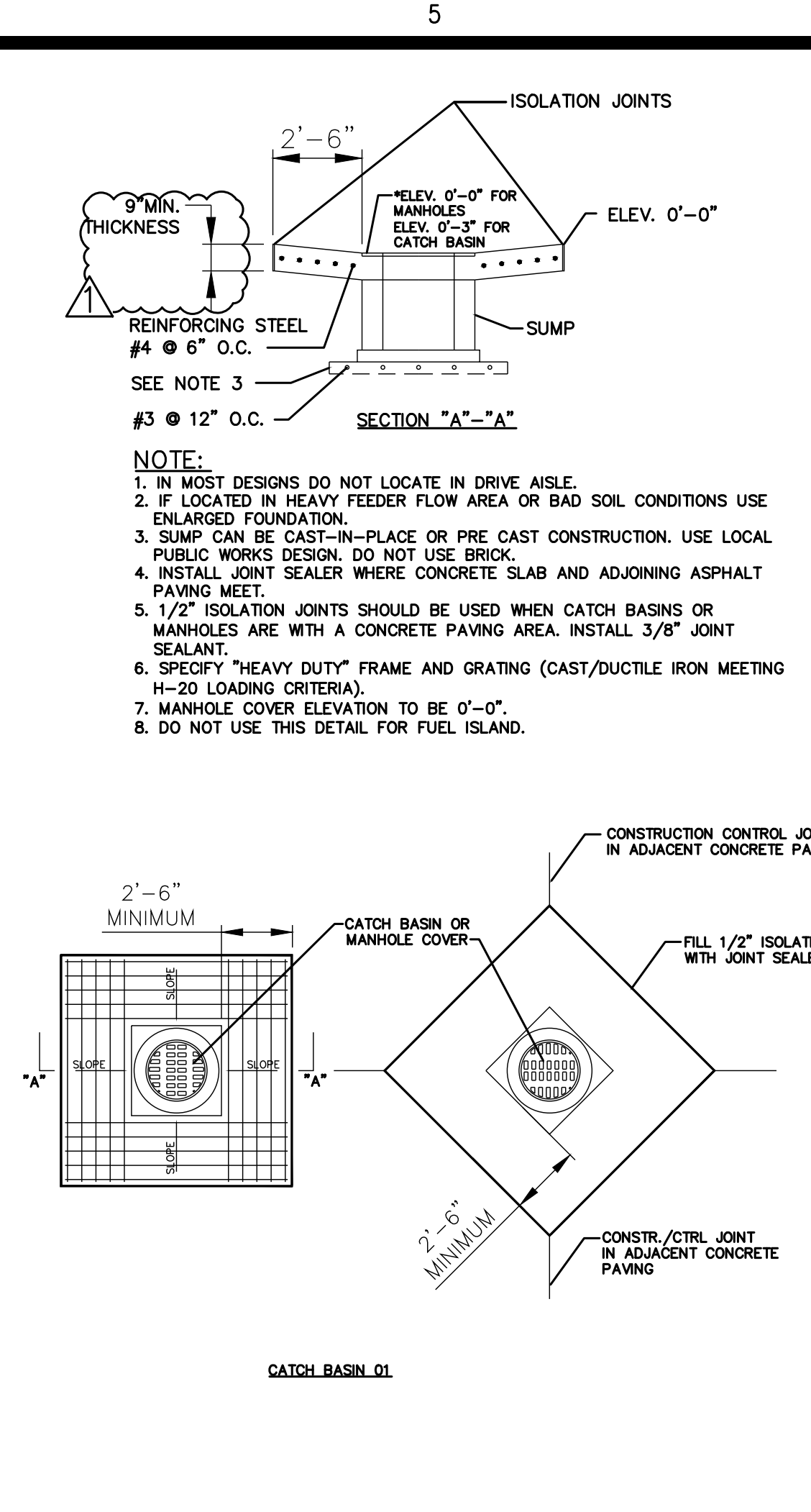
2D PAVE05 - CONCRETE PAVEMENT CONSTRUCTION JOINT  
N.T.S.



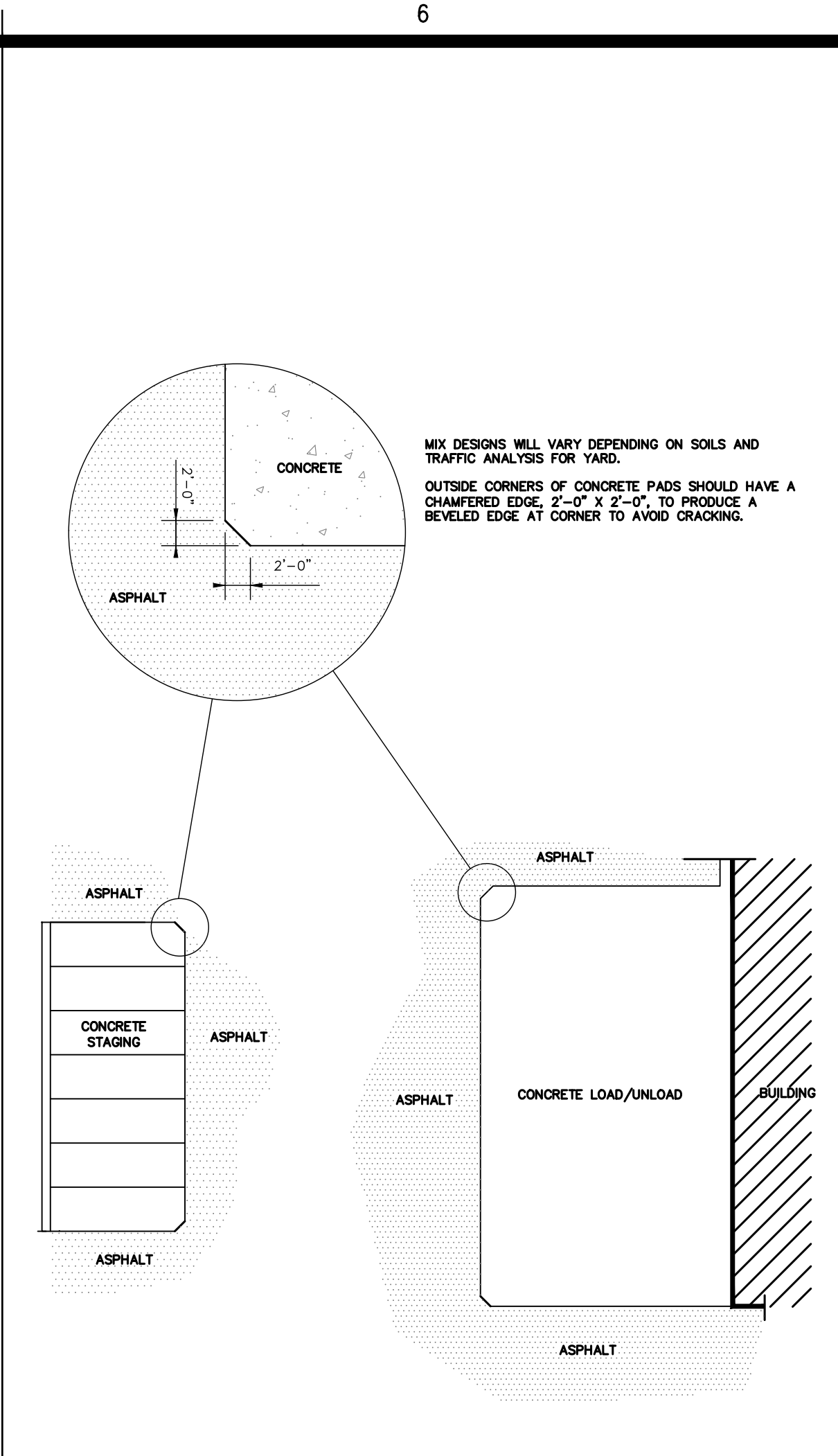
3D PAVE06A - CONCRETE PAVEMENT CONTROL JOINT DETAIL  
N.T.S.



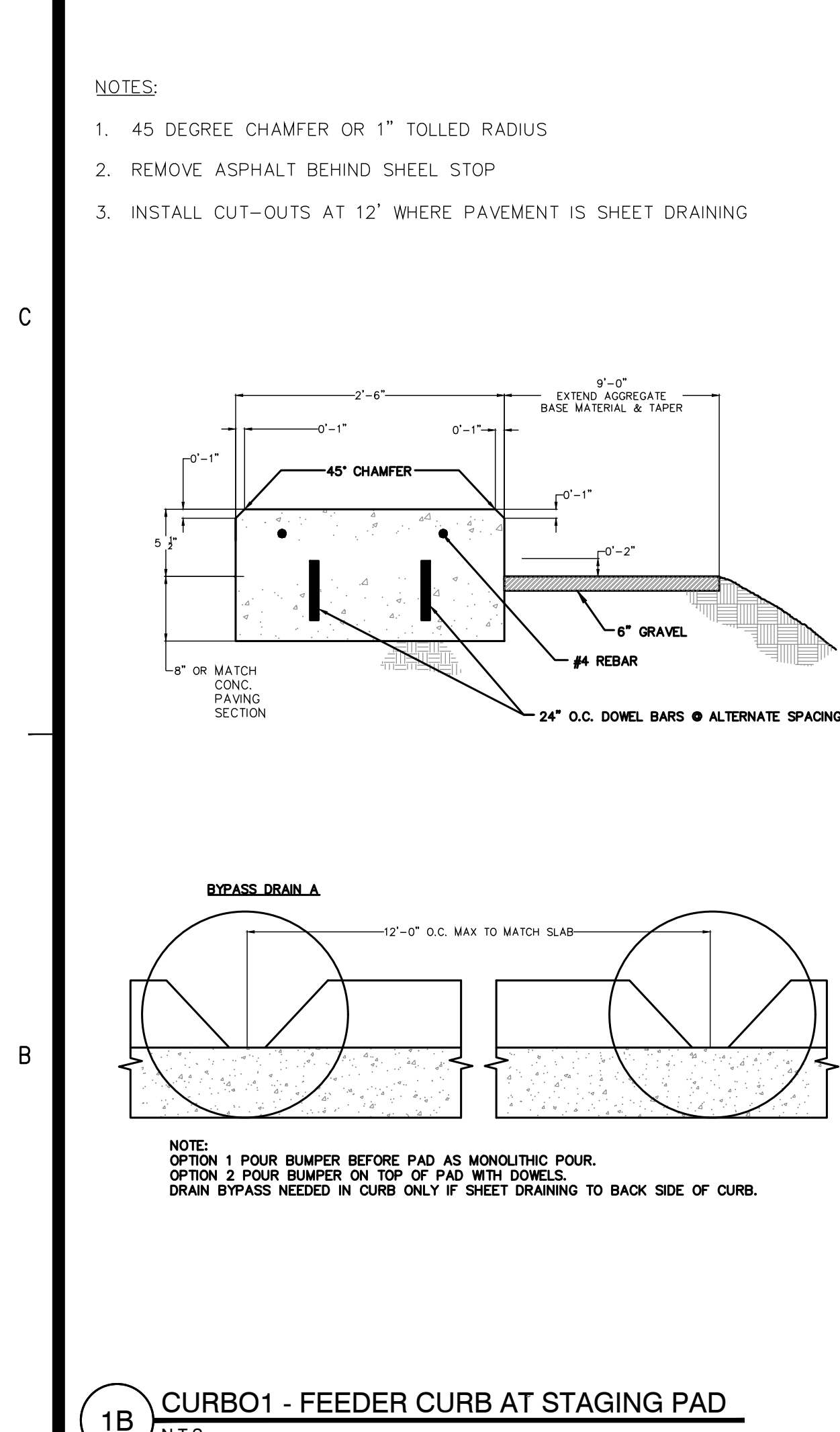
4D PAVE08 - EXTERIOR PAVEMENT @ METAL BUILDING  
N.T.S.



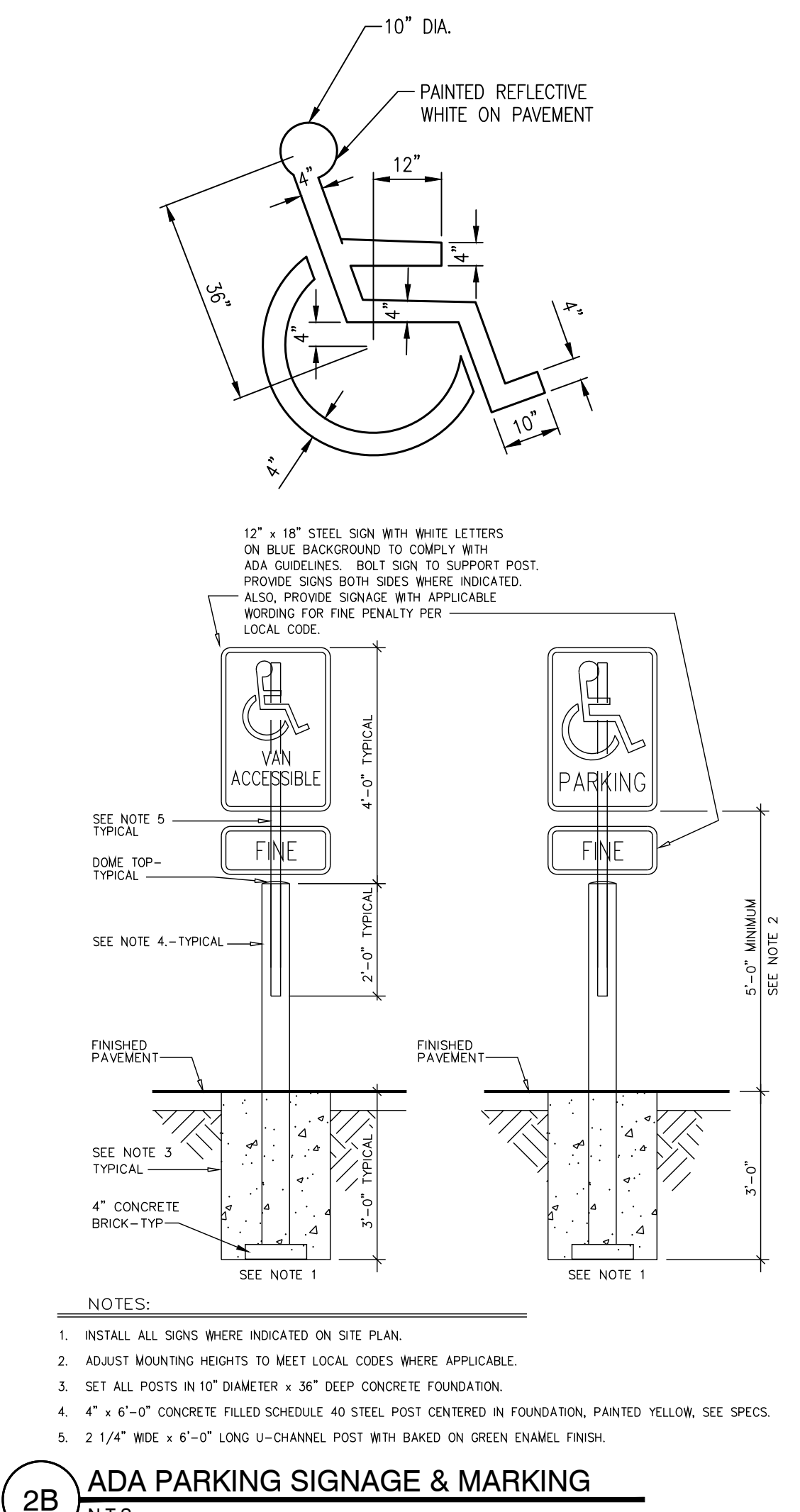
5D CATCHBASIN01 - CATCH BASIN  
N.T.S.



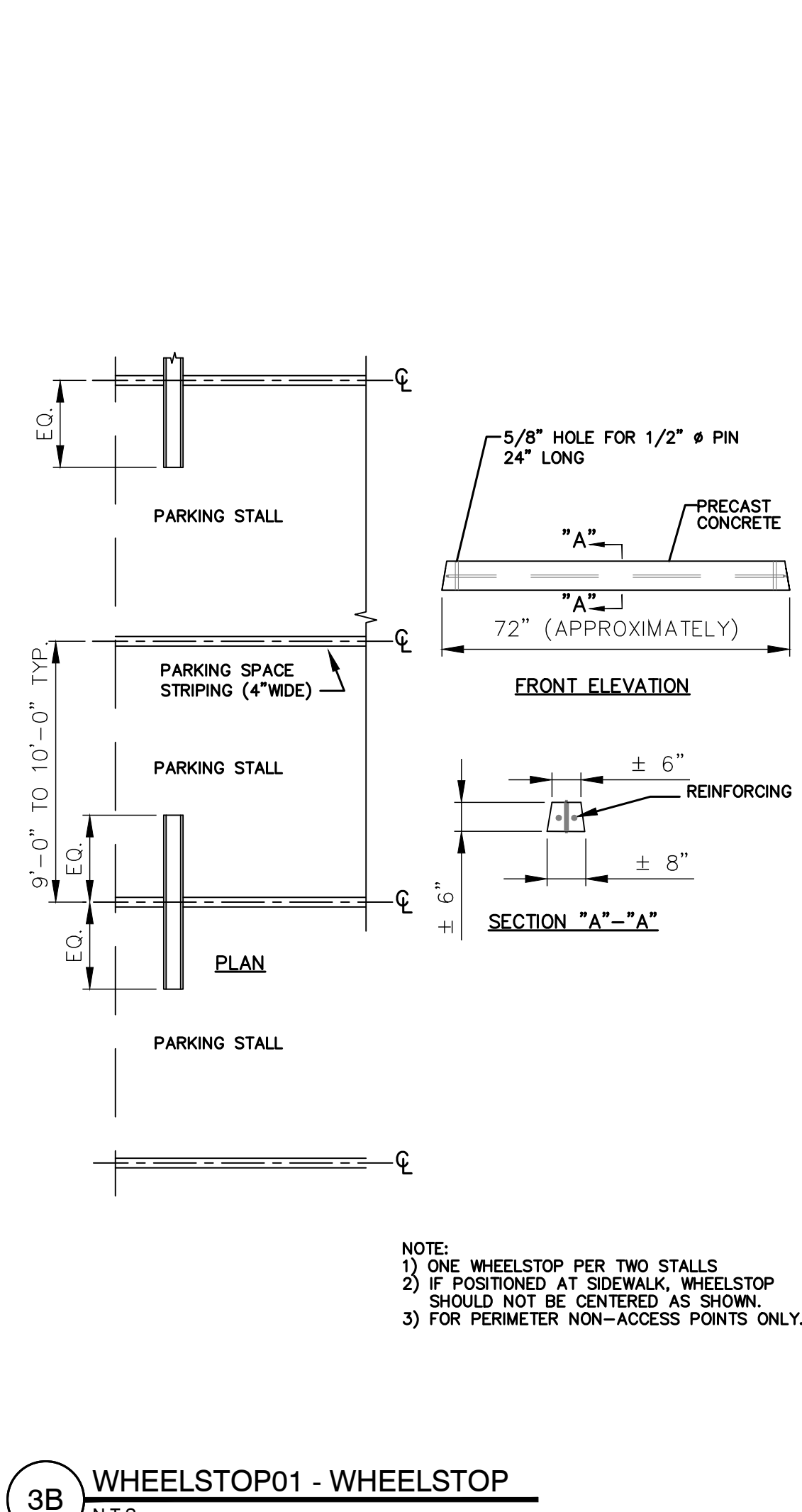
6D PAVE11 - BEVELED EDGE CONCRETE PAVING TO ASPHALT  
N.T.S.



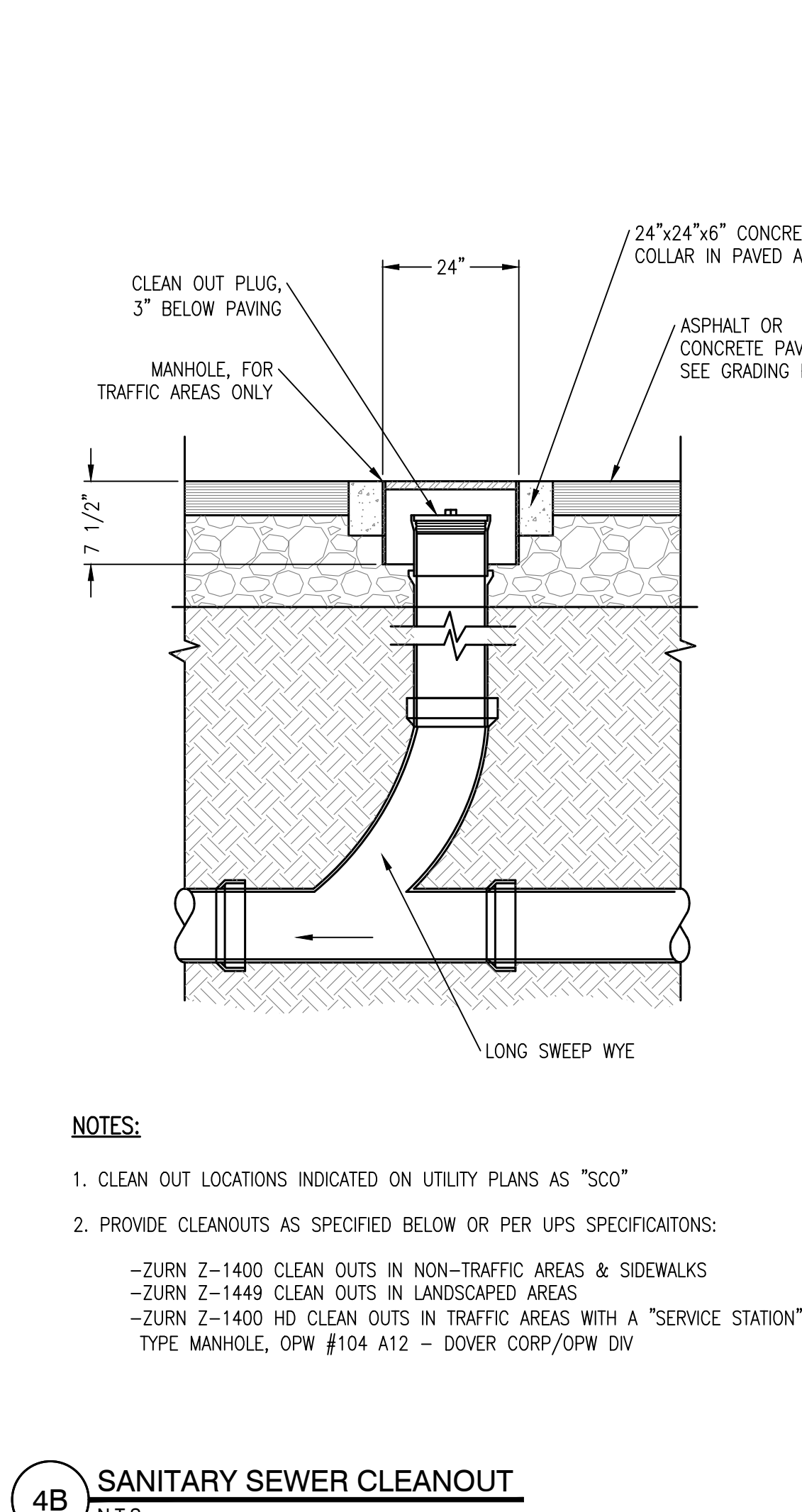
1B CURB01 - FEEDER CURB AT STAGING PAD  
N.T.S.



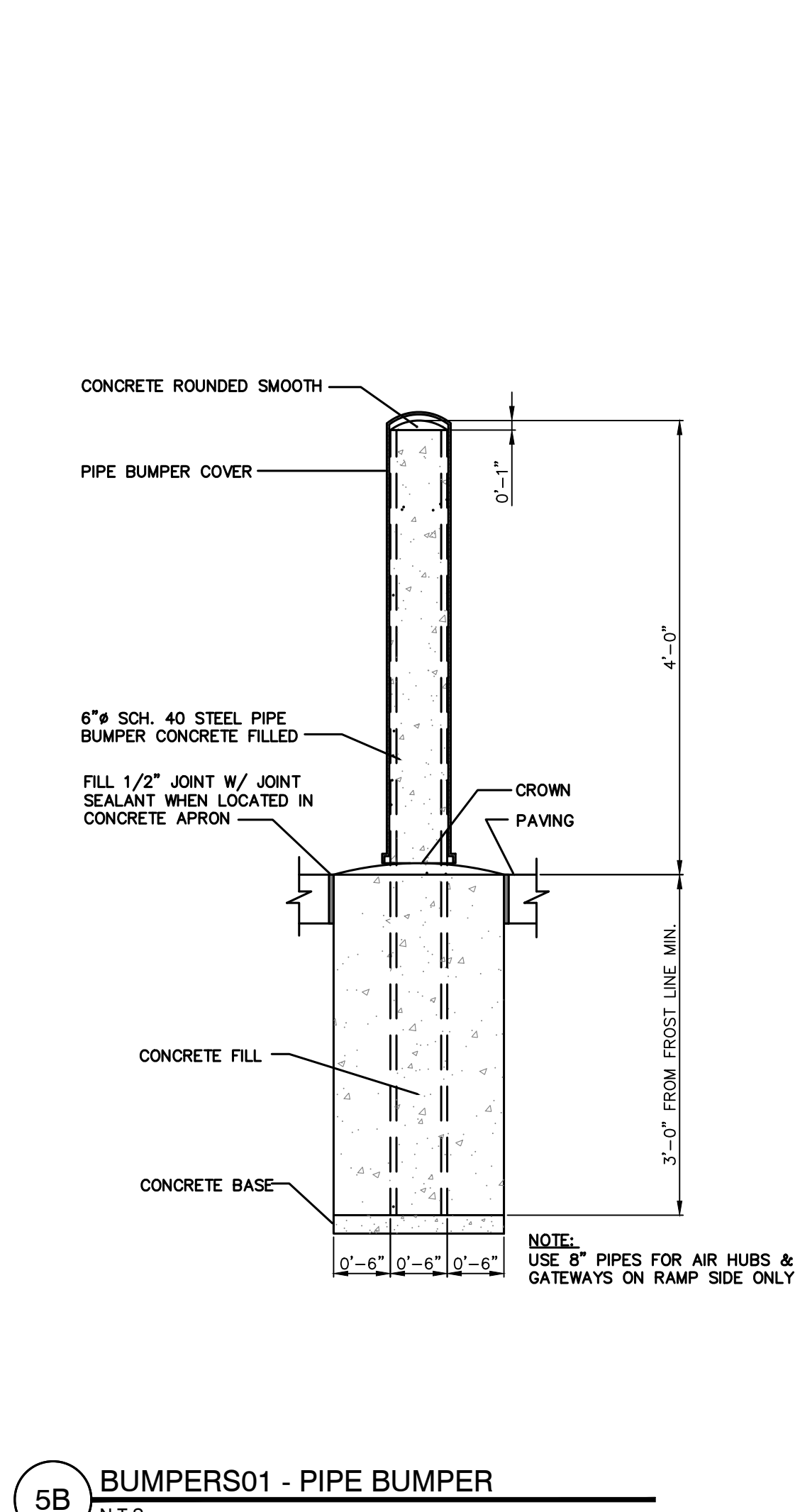
2B ADA PARKING SIGNAGE & MARKING  
N.T.S.



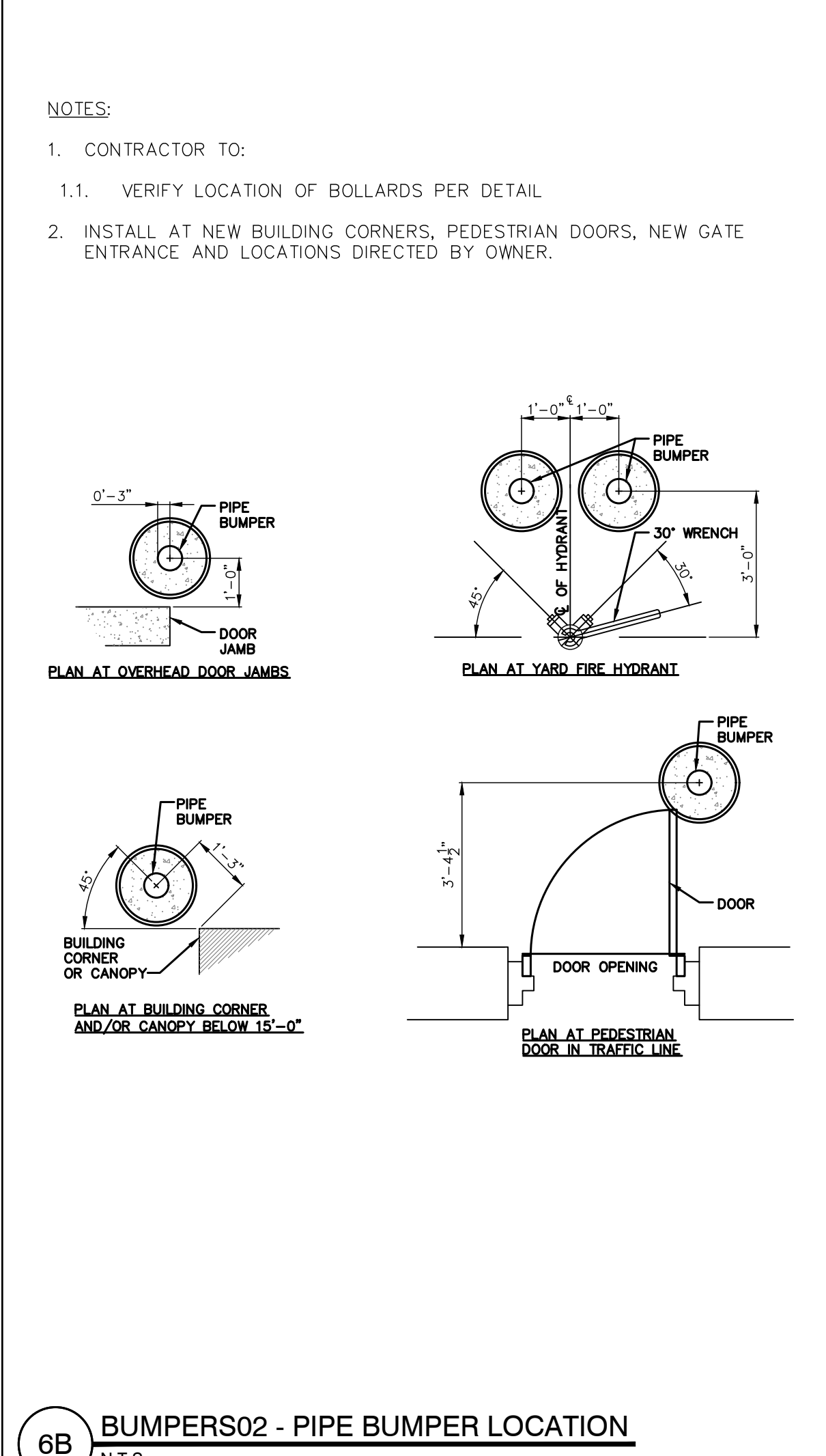
3B WHEELSTOP01 - WHEELSTOP  
N.T.S.



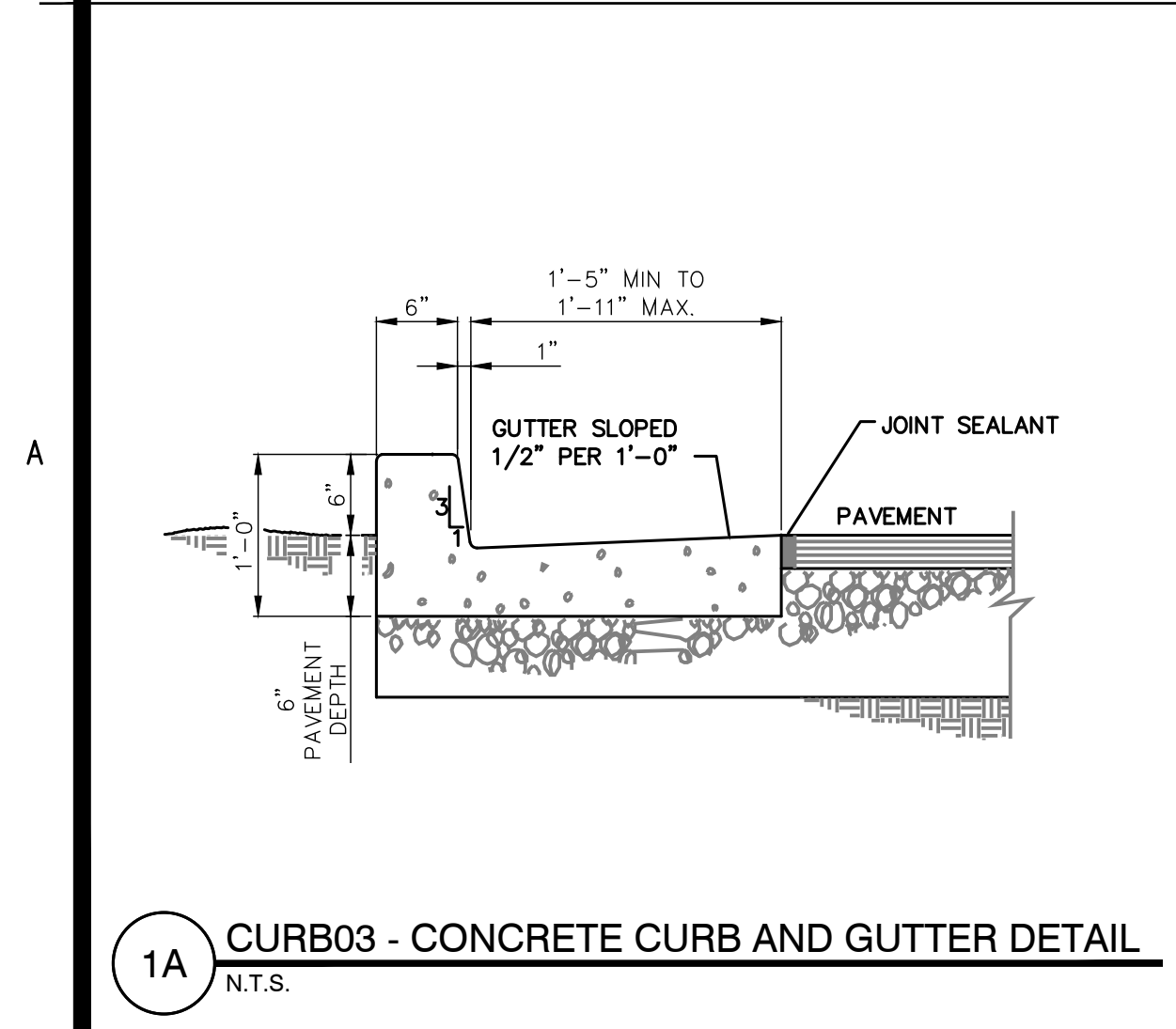
4B SANITARY SEWER CLEANOUT  
N.T.S.



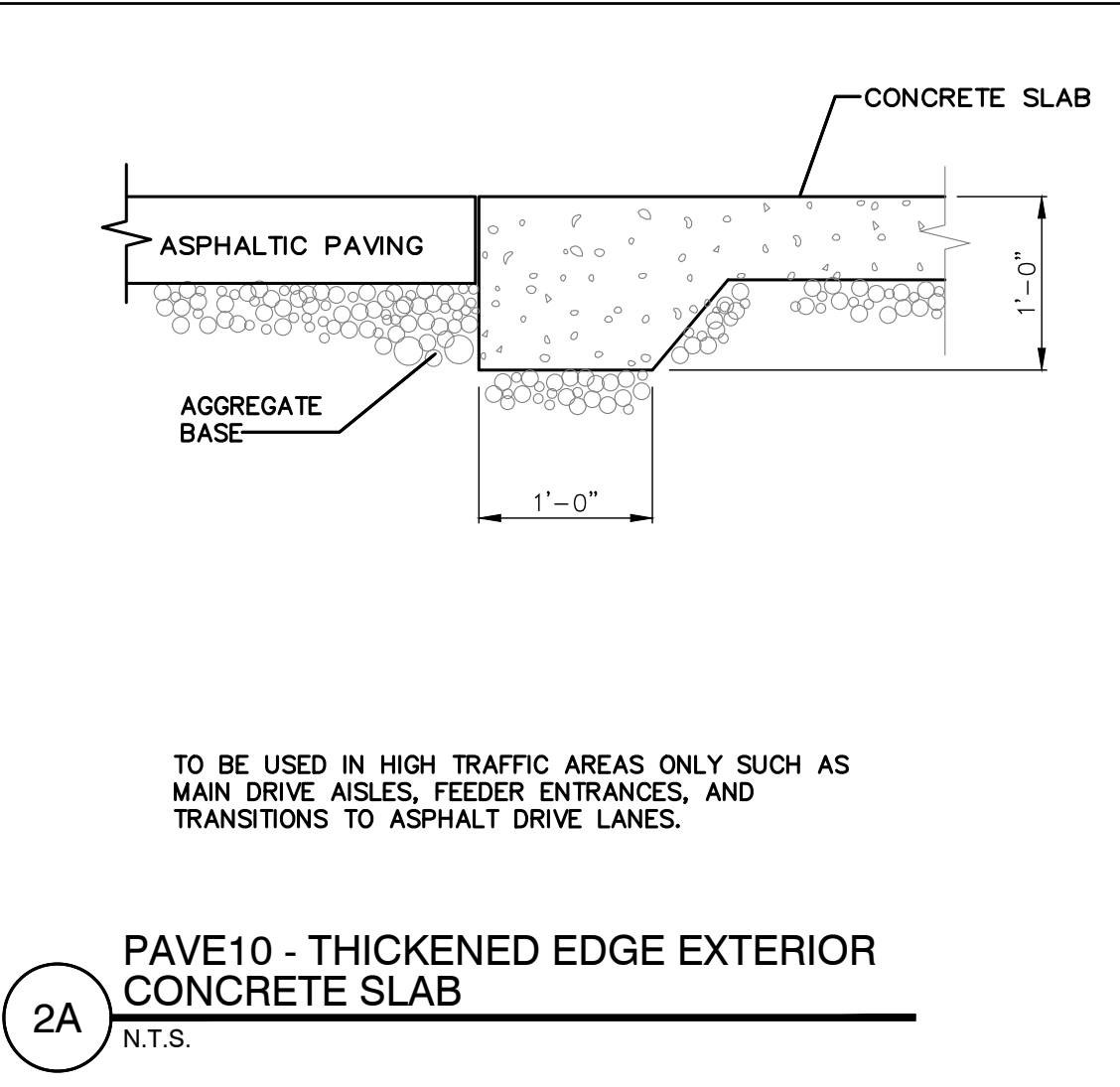
5B BUMPERS01 - PIPE BUMPER  
N.T.S.



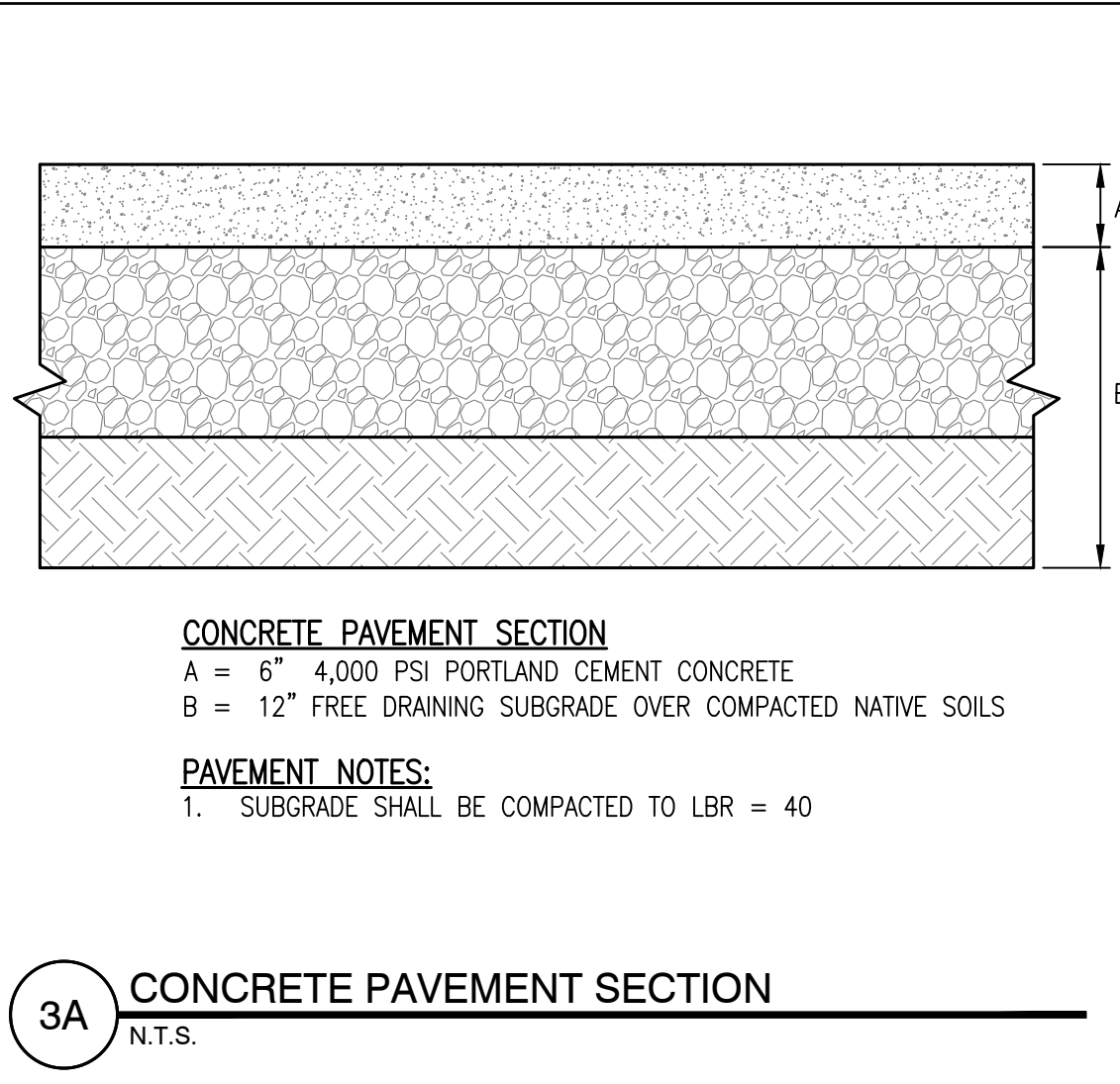
6B BUMPERS02 - PIPE BUMPER LOCATION  
N.T.S.



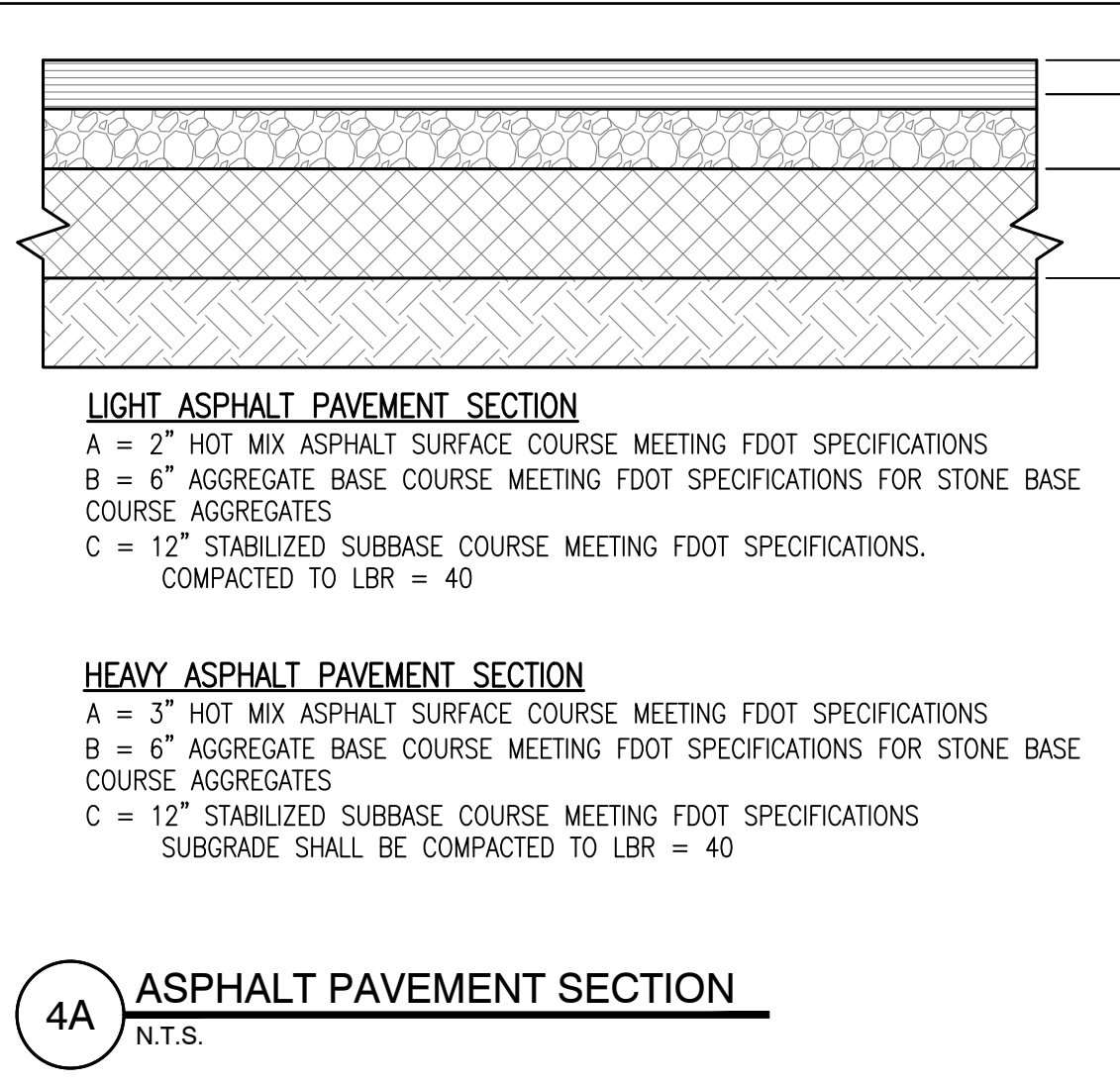
1A CURB03 - CONCRETE CURB AND GUTTER DETAIL  
N.T.S.



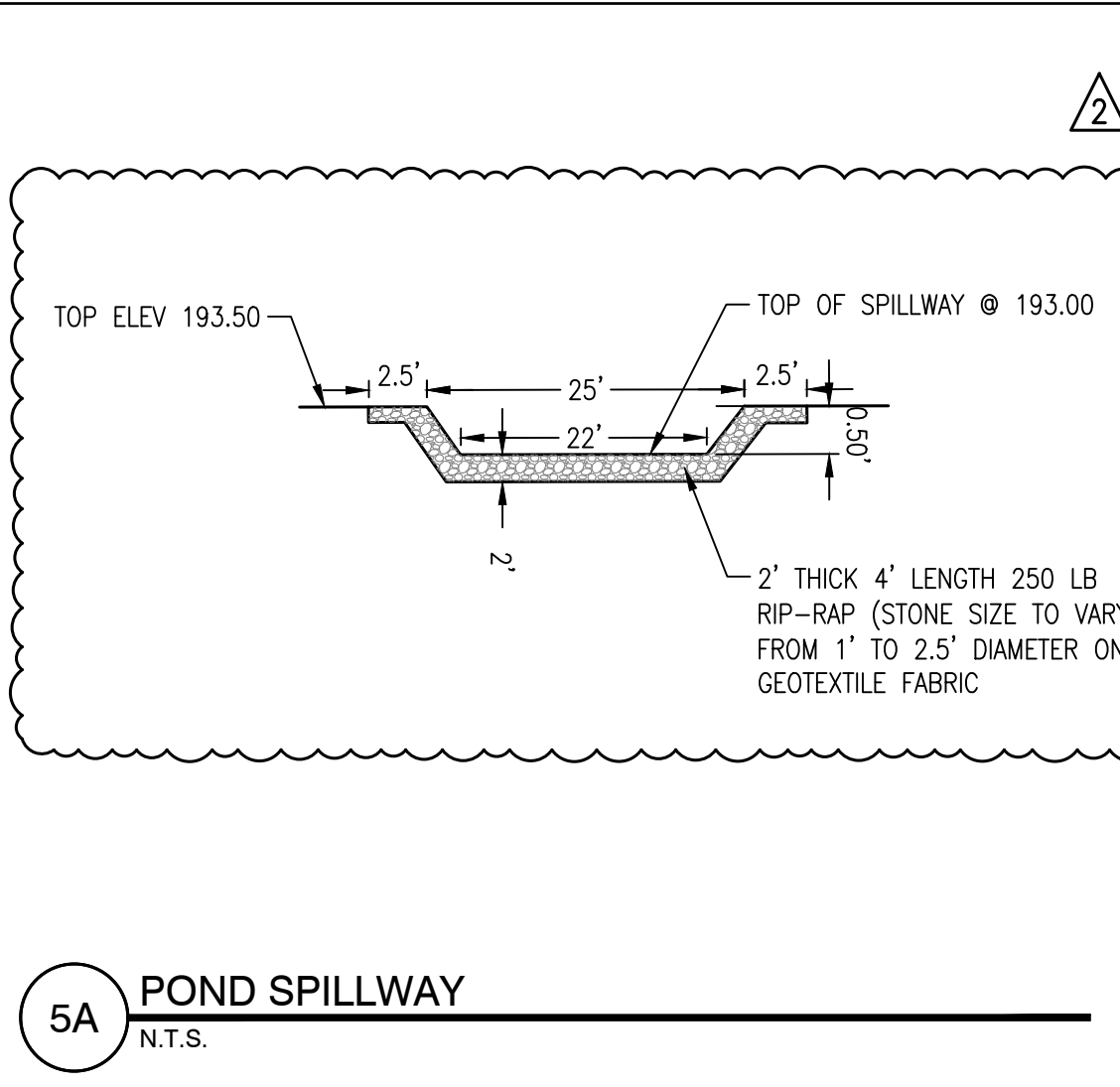
2A PAVE10 - THICKENED EDGE EXTERIOR CONCRETE SLAB  
N.T.S.



3A CONCRETE PAVEMENT SECTION  
N.T.S.



4A ASPHALT PAVEMENT SECTION  
N.T.S.



5A POND SPILLWAY  
N.T.S.

REVISIONS:

1	10/21/21	ADD. #1
2	10/28/21	ADD. #2

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW

Pickering

Pickering Firm, Inc.  
Facility Design • Civil Engineering • Surveying •  
Transportation • Natural / Water Resources  
126 Rue Magnolia  
Bloom, MS 38950  
228.432.3923

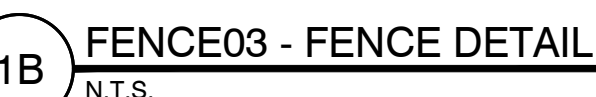
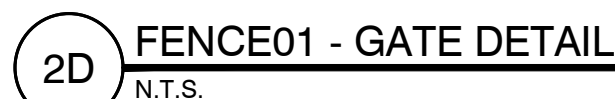
UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

ups

UPS  
UNITED PARCEL SERVICE OF AMERICA, INC.  
12/29/2021  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
No. 88829

SHEET NUMBER:  
**C8**  
DESCRIPTION:  
CONSTRUCTION DETAILS







REVISIONS:		
3	11/16/21	ADD. #3

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW

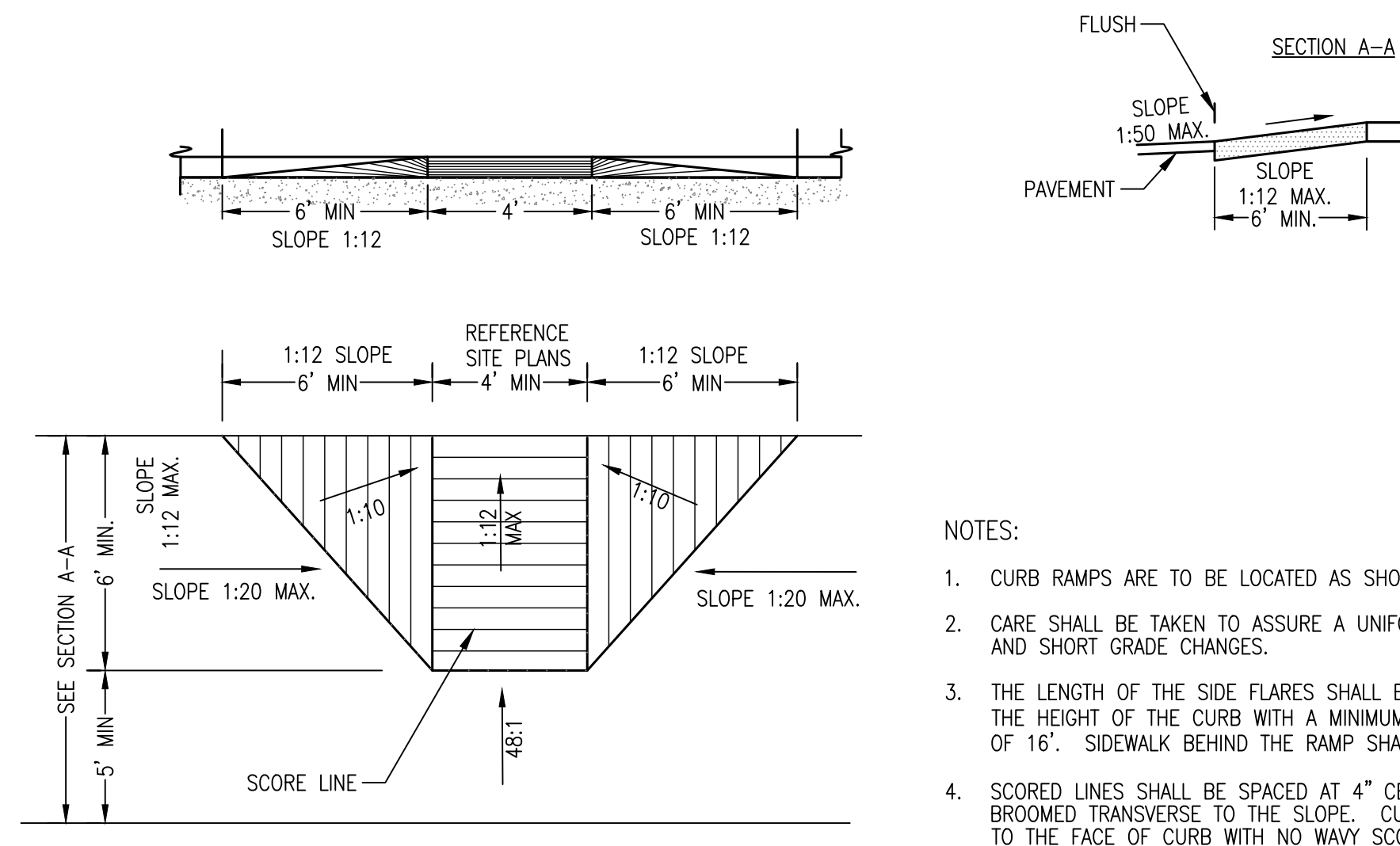


UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL

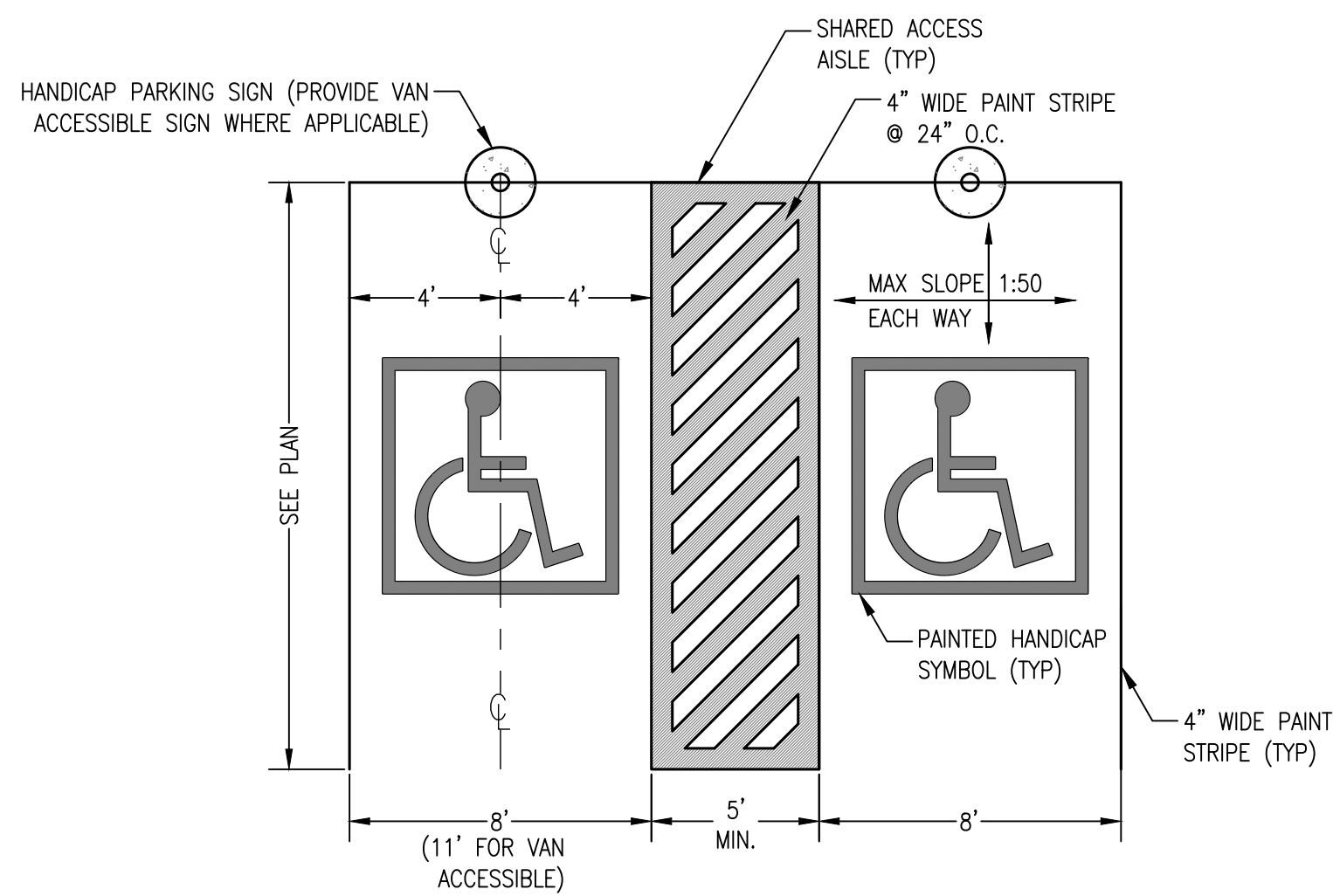


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**C10**

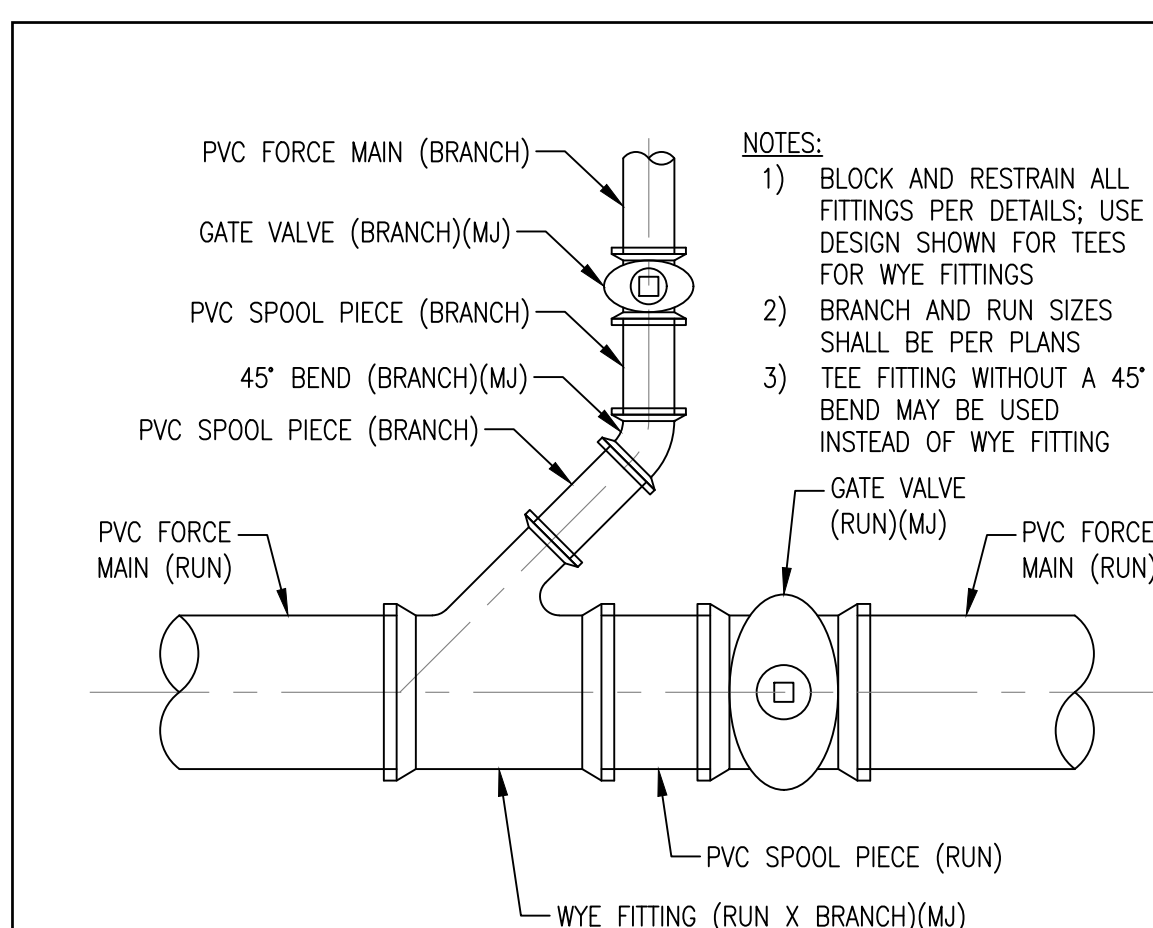
DESCRIPTION:  
CONSTRUCTION DETAILS



5D ACCESSIBLE CURB RAMP  
NOT TO SCALE

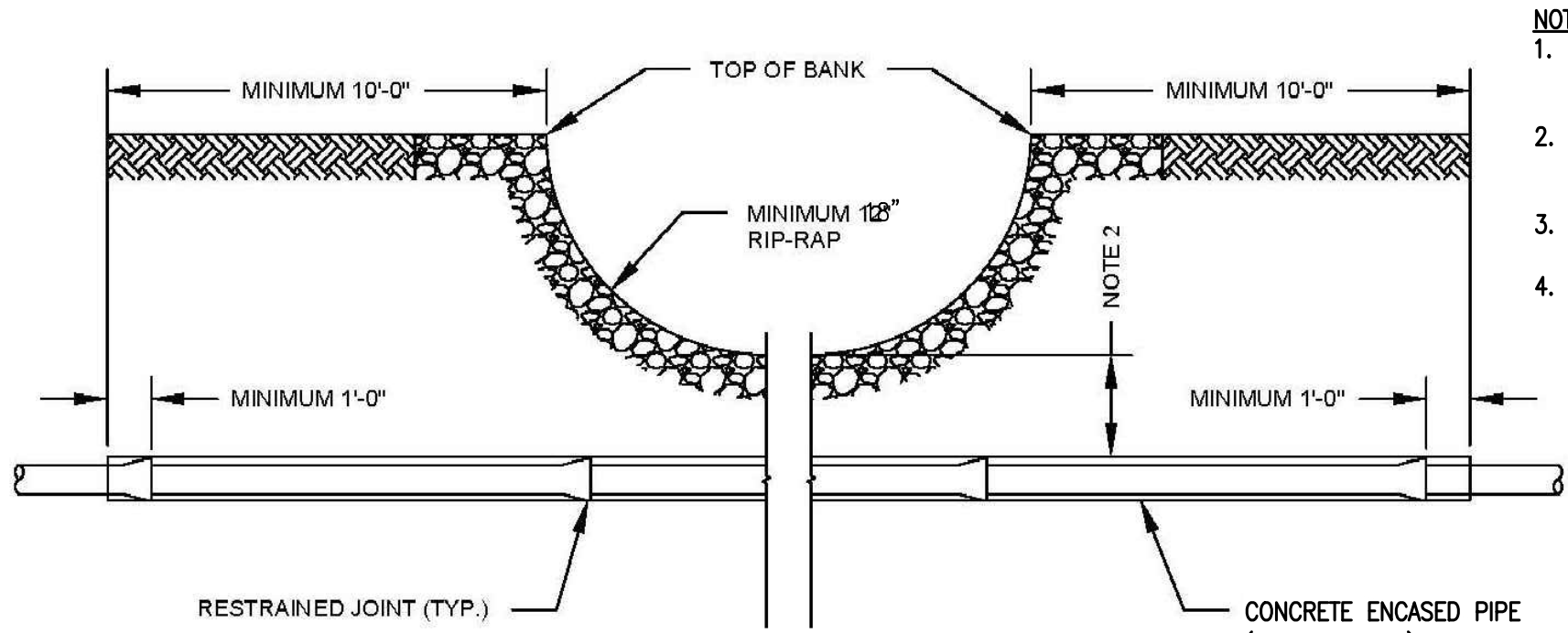


3B TYPICAL ACCESSIBLE PARKING LAYOUT  
NOT TO SCALE

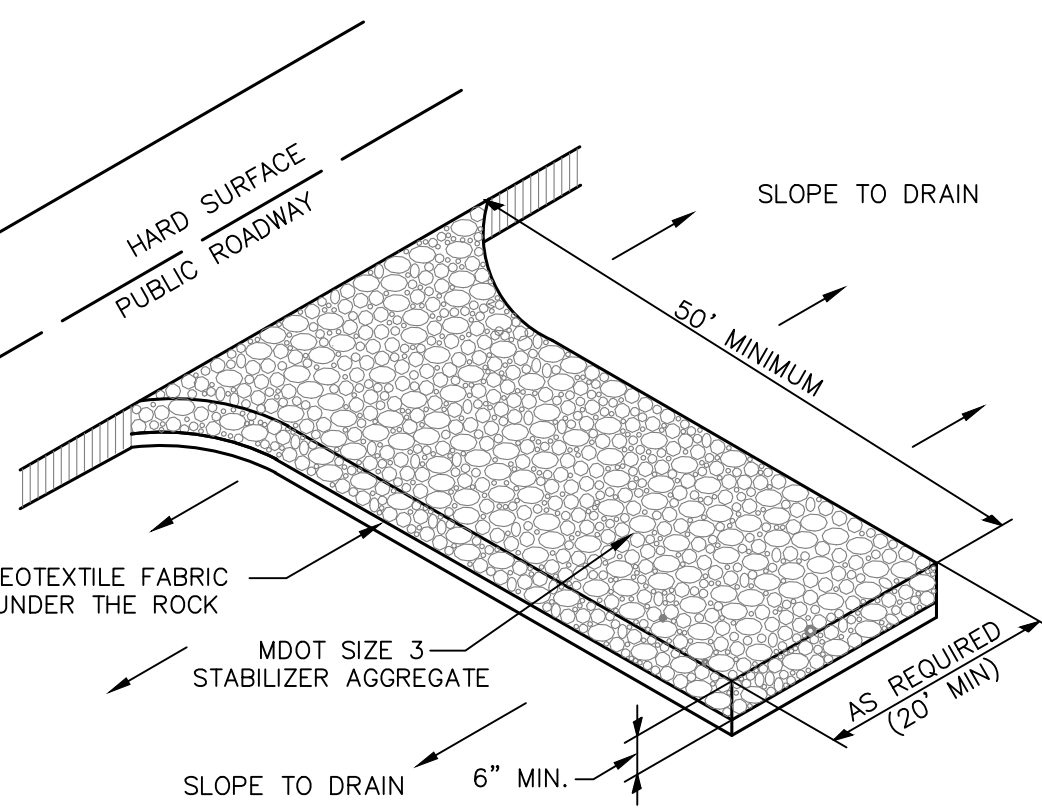


6A TYPICAL MANIFOLD CONNECTION  
NOT TO SCALE





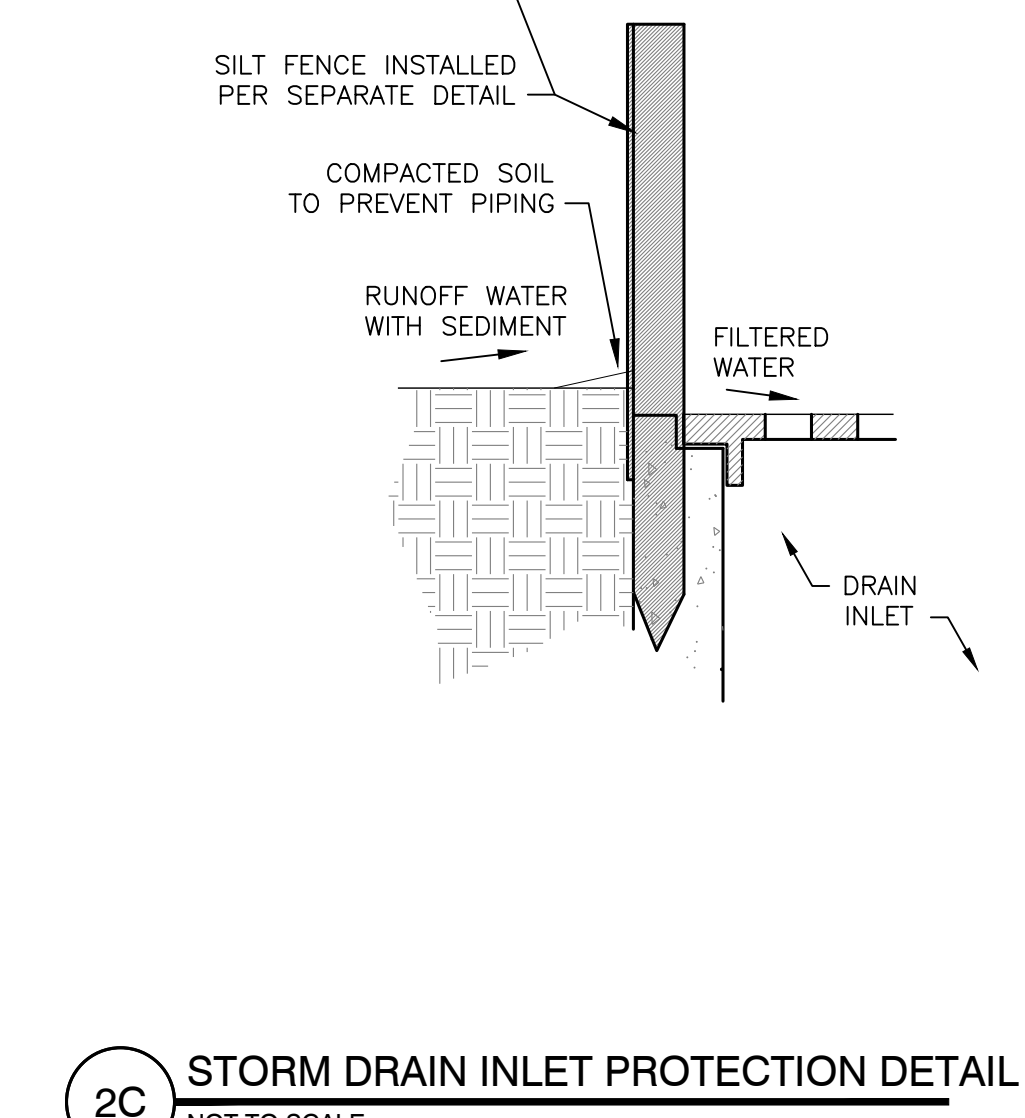
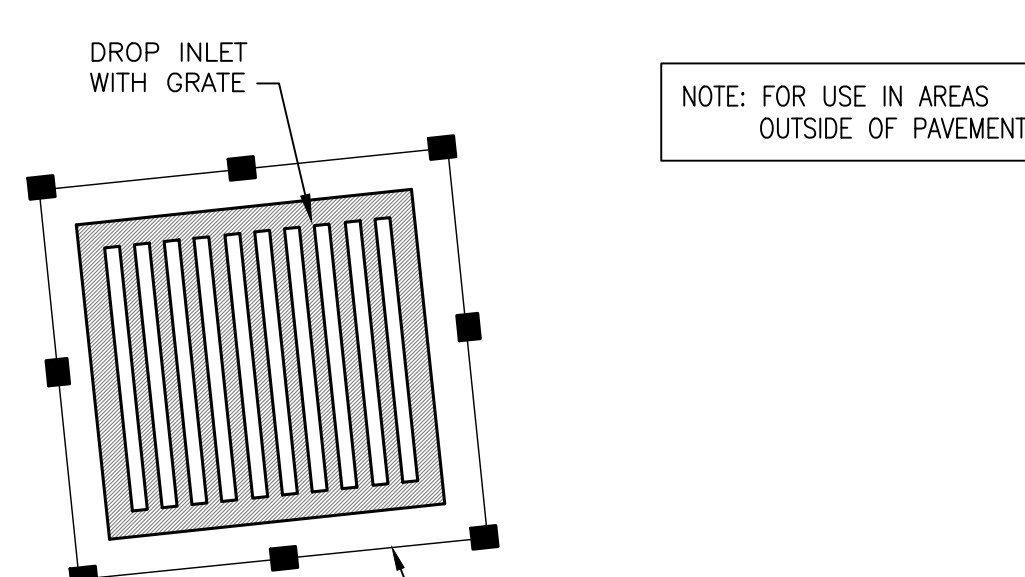
1E CREEK CROSSING  
NOT TO SCALE



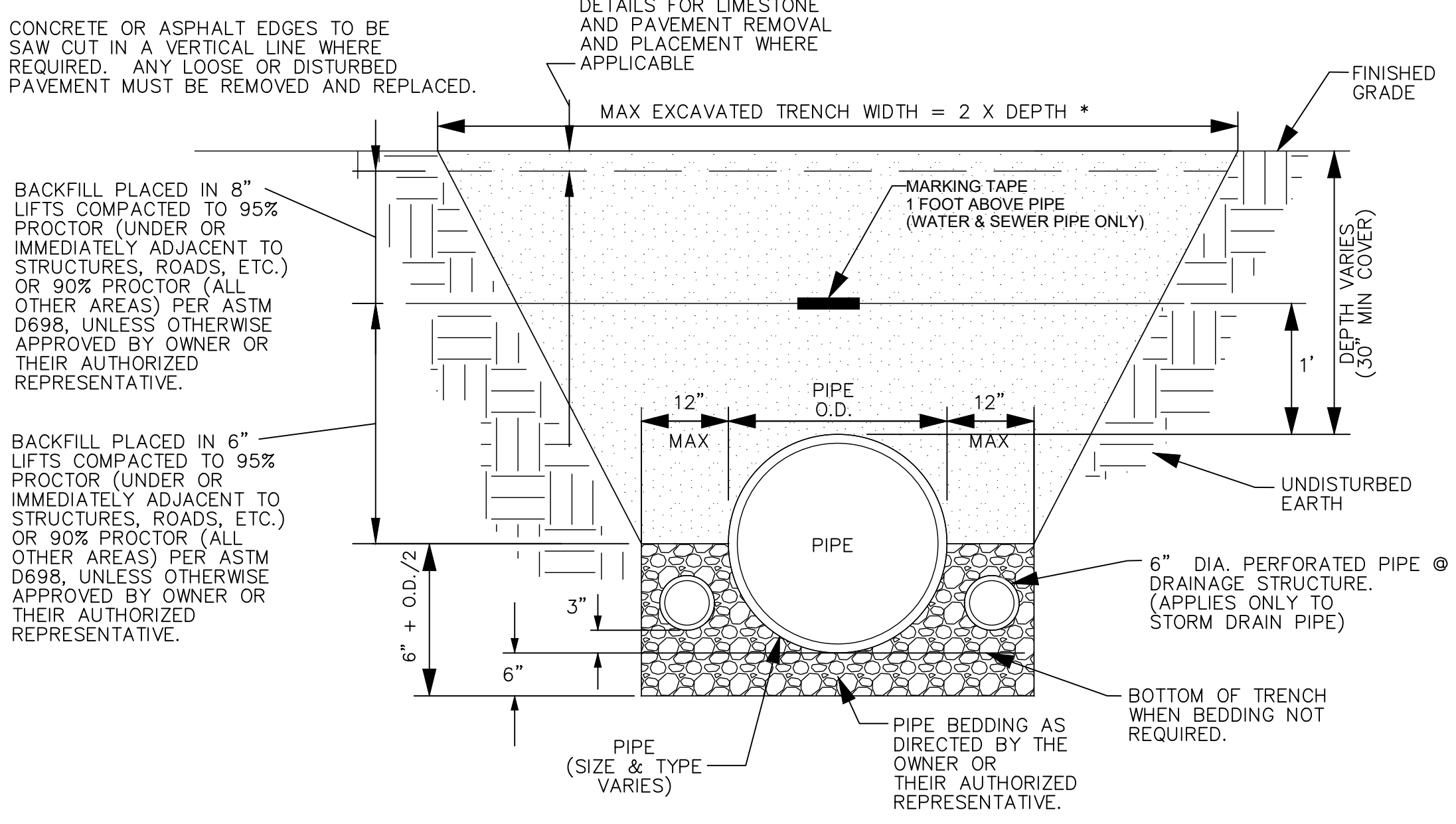
NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE EXCAVATED 6 INCHES DEEP, 50 FEET LONG AND SHALL EXTEND THE FULL WIDTH OF ANY VEHICULAR INGRESS AND EGRESS (MINIMUM 20 FEET) LOCATED ON THE SITE.
2. THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE & AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE TIME END AT NO ADDITIONAL COST TO THE CITY.
4. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
5. MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.

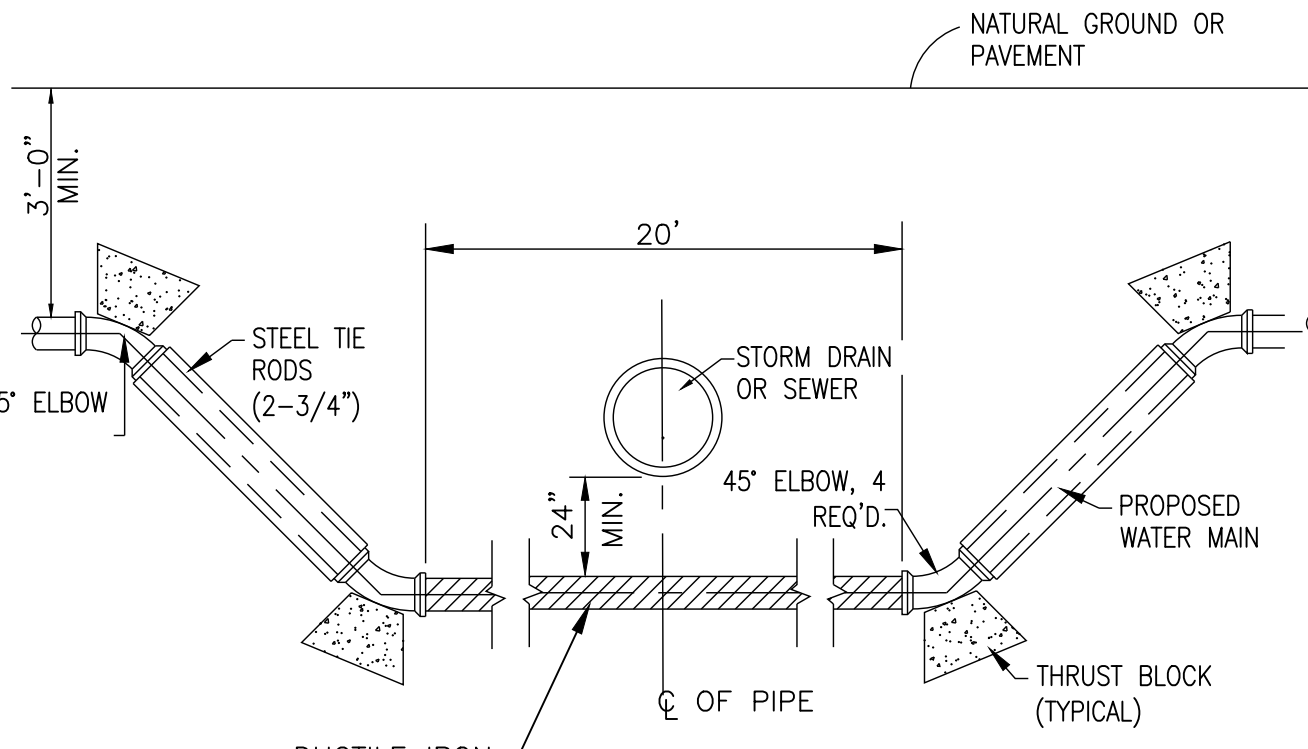
1C LIMESTONE CONSTRUCTION ENTRANCE  
NOT TO SCALE



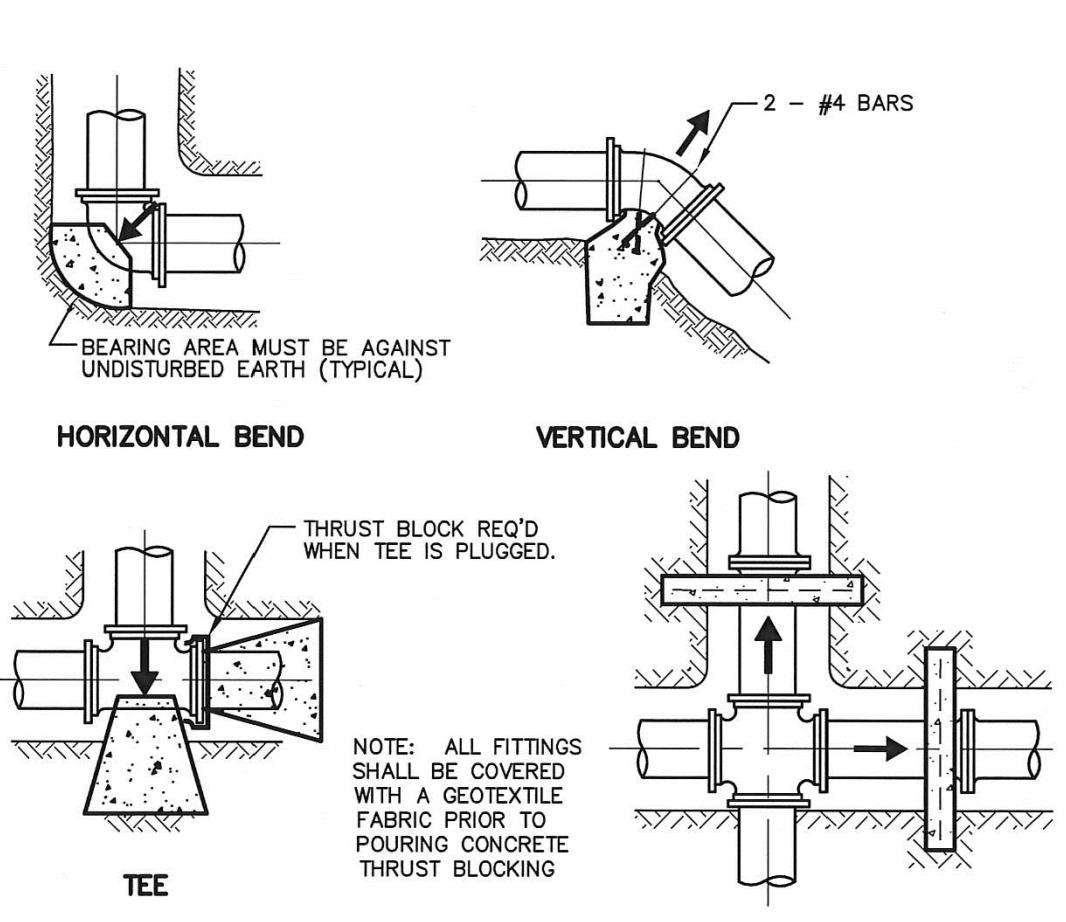
2C STORM DRAIN INLET PROTECTION DETAIL  
NOT TO SCALE



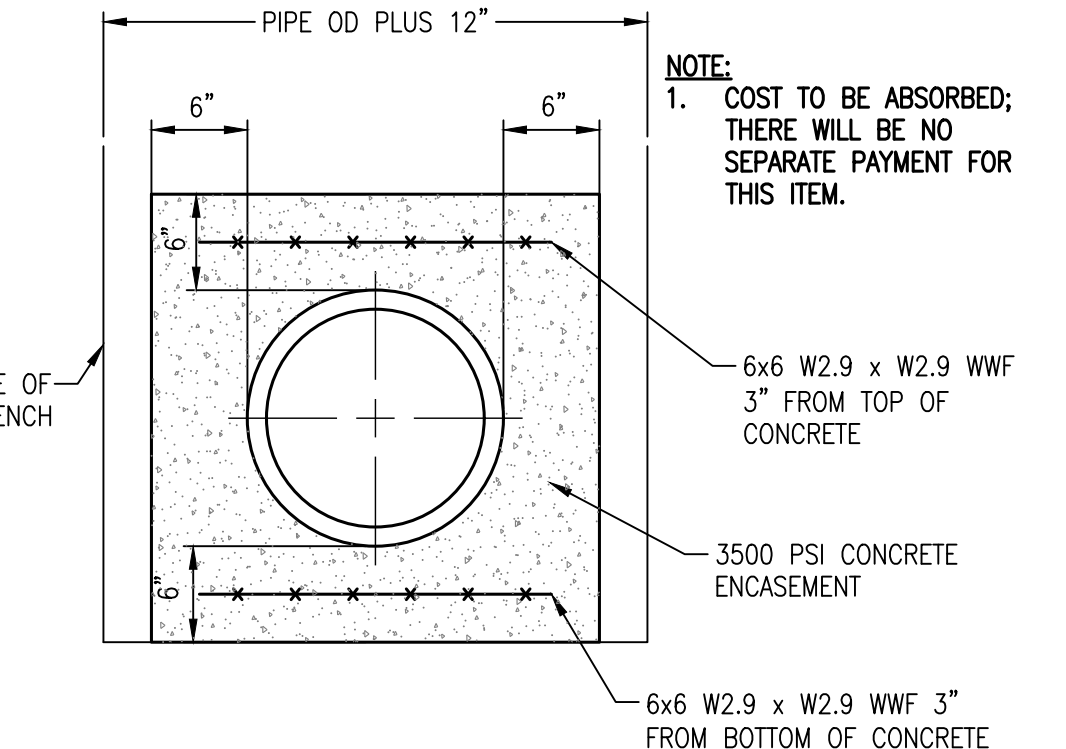
3D PIPE EMBEDMENT  
NOT TO SCALE



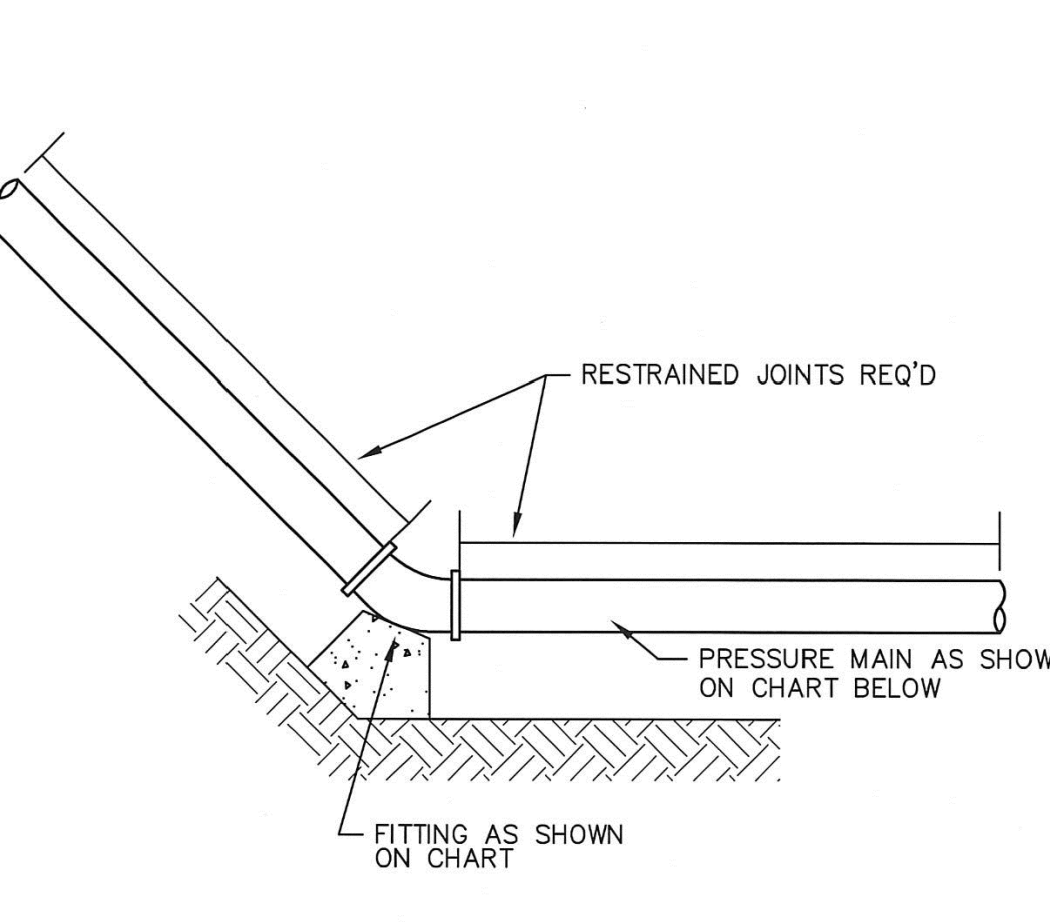
3C CONFLICTING UTILITY CROSSING  
NOT TO SCALE



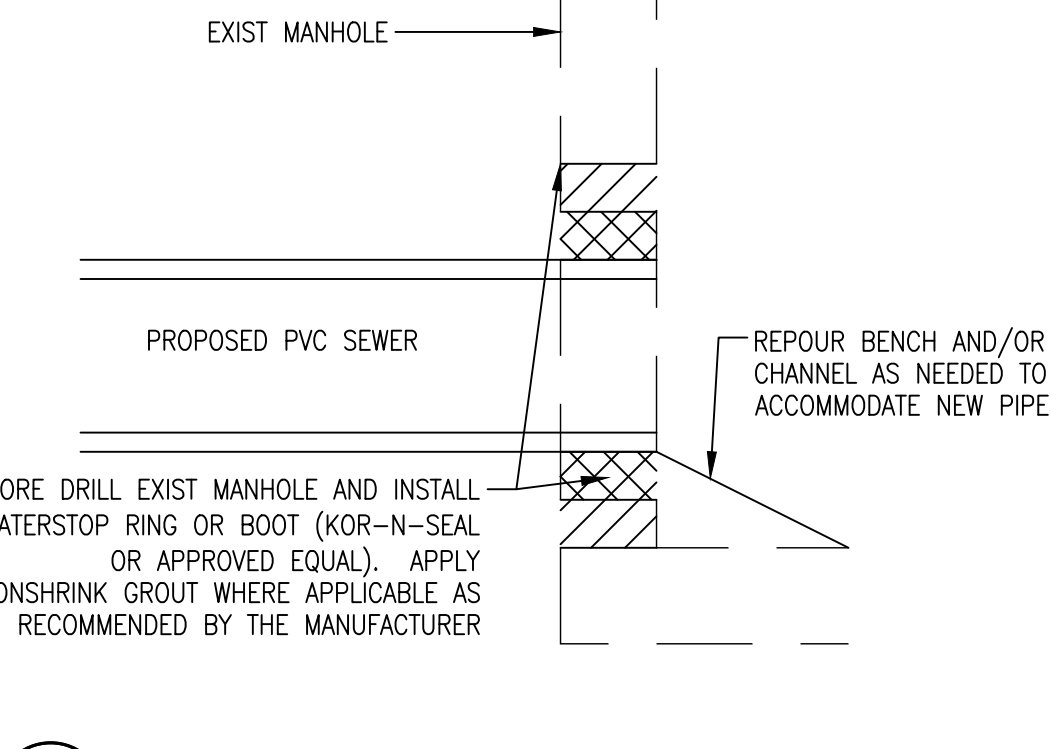
5D FORCE MAIN THRUST BLOCKING  
NOT TO SCALE



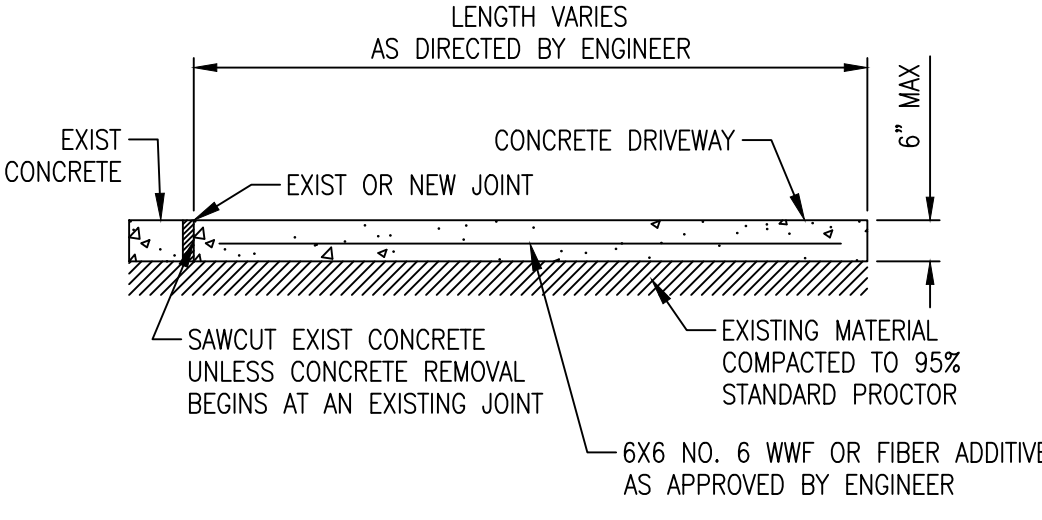
5C CONCRETE ENCASEMENT  
NOT TO SCALE



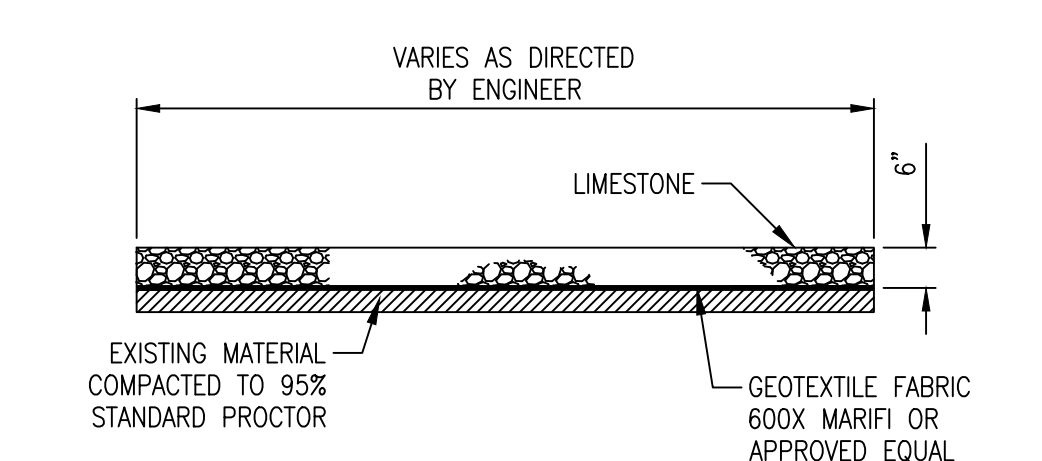
6D RESTRAINED JOINTS  
NOT TO SCALE



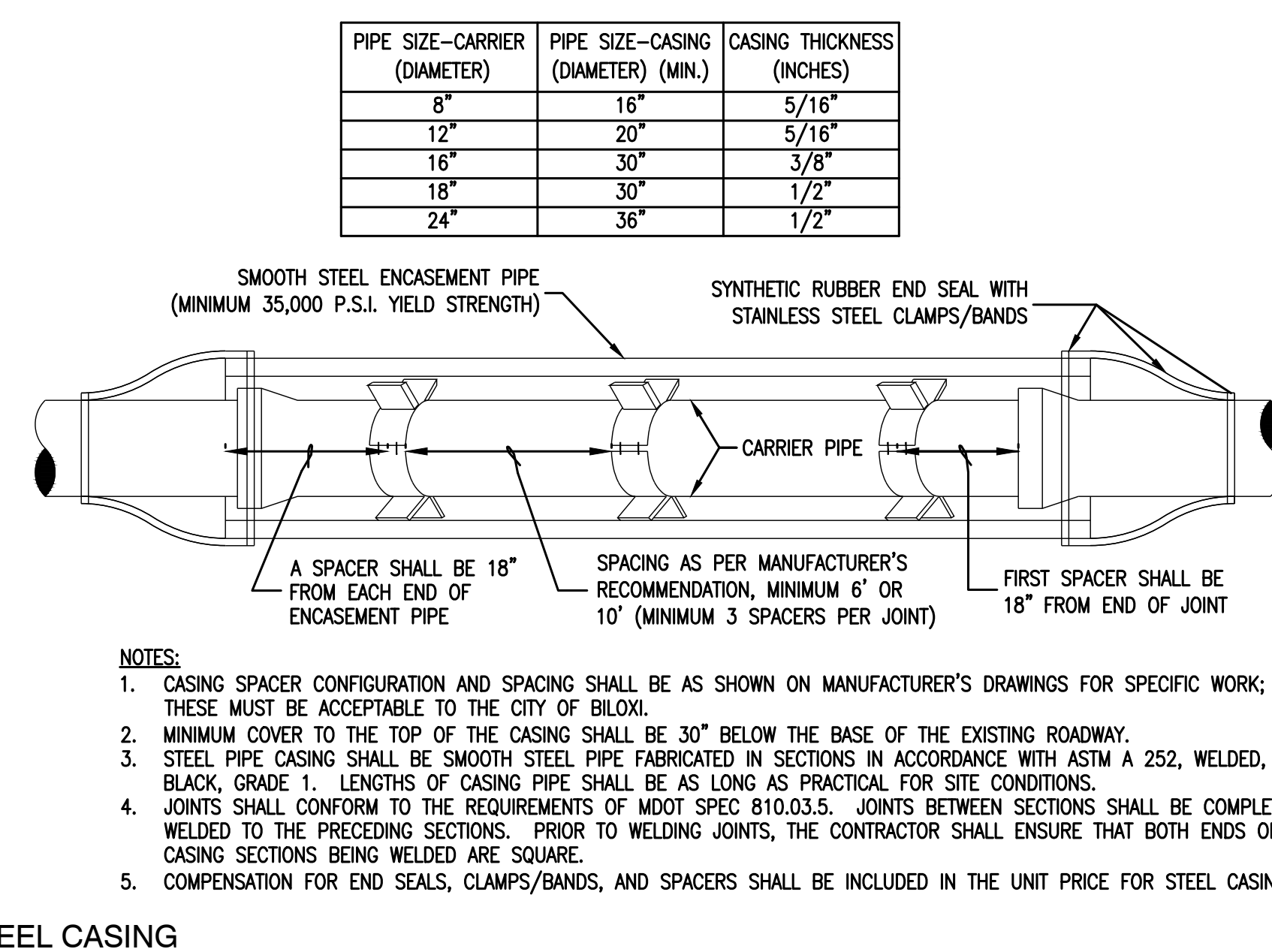
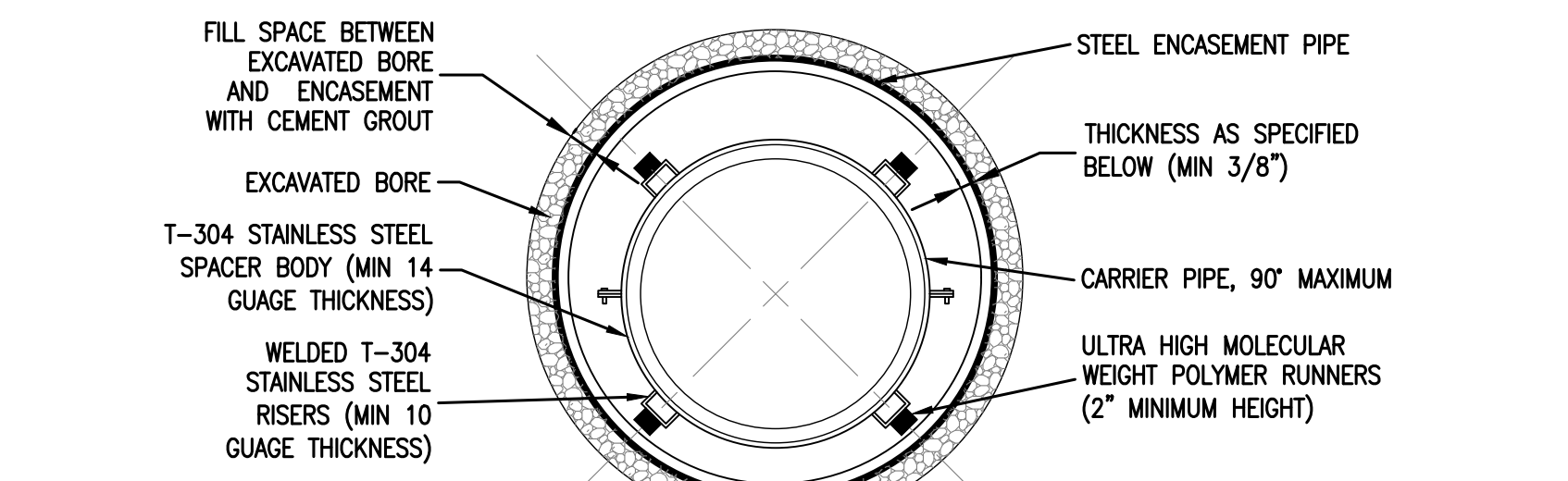
6C CONNECT TO EXIST MANHOLE / WETWELL  
NOT TO SCALE



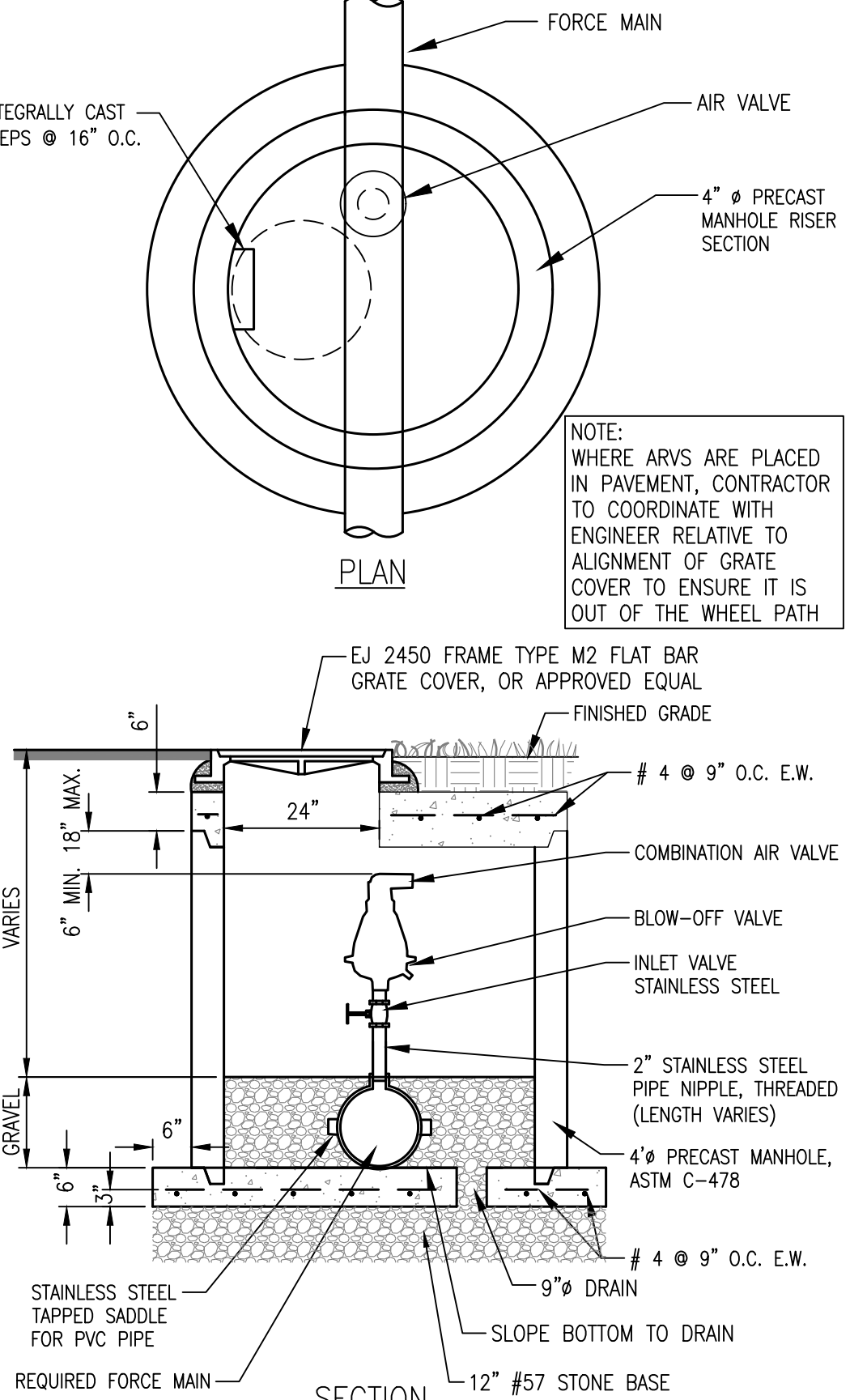
1B CONCRETE DRIVEWAY REPAIR  
NOT TO SCALE



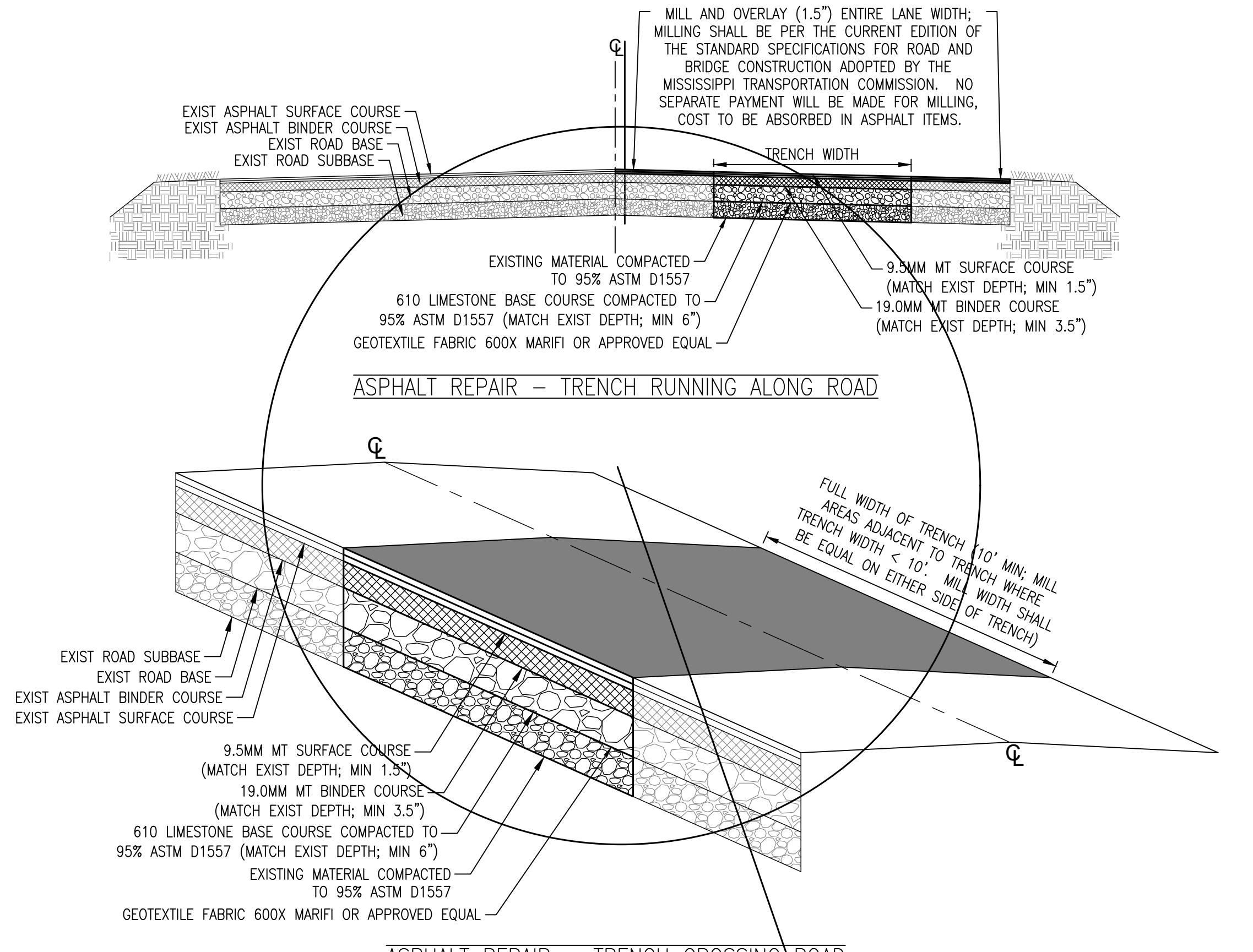
1A GRAVEL ACCESS ROAD AND GRAVEL DRIVEWAY REPAIR  
NOT TO SCALE



2A STEEL CASING  
NOT TO SCALE



4A AIR RELEASE VALVE & MANHOLE  
NOT TO SCALE



5A ASPHALT ROAD TRENCH REPAIR  
NOT TO SCALE

REVISIONS:		
3	11/16/21	ADD. #3

PROJECT #: 26197.00  
DATE: August 09, 2021  
DRAWN BY: MLS  
DESIGNER: KJC  
CHECKED BY: CBW



UNITED PARCEL SERVICE  
LAKE CITY FACILITIES RENOVATION  
143 N.E. ARMOR GLEN  
LAKE CITY, FL



SHEET NUMBER:  
**C11**  
DESCRIPTION:  
CONSTRUCTION DETAILS