DATE 04/25/2006

Columbia County Building Permit

This Permit Expires One Year From the Date of Issue

PERMIT
000024427

APPLICANT DAVID MCINTYRE PHONE 719-9906

ADDRESS 332 NW CRAWFORD COURT WHITE SPRINGS FL 32096

OWNER DAVID MCINTYRE PHONE 719-9906

ADDRESS 332 NW CRAWFORD COURT WHITE SPRINGS FL 32096

CONTRACTOR OWNER BUILDER PHONE

LOCATION OF PROPERTY 41 NORTH, TR ON FALLING CREEK RD, TL ON LASSIE BLACK RD, TR ON CRAWFORD COURT, 2ND ON LEFT

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION 83200.00

HEATED FLOOR AREA 1664.00 TOTAL AREA 2704.00 HEIGHT STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 8/12 FLOOR SLAB

LAND USE & ZONING A-3 MAX. HEIGHT 21

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 14-2S-16-01608-116 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
EXISTING	06-0049-E	BK	JH	N
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE, EXISTING MH MUST BE REMOVED BEFORE CO IS ISSUED

Check # or Cash 1505

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power date/app. by Foundation date/app. by Monolithic (footer/Slab) date/app. by

Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by

Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by

Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by

Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by

M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by

Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by

M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE $ 420.00 CERTIFICATION FEE $ 13.52 SURCHARGE FEE $ 13.52

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 522.04

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0603-27 Date Received 3/9/06 By G Permit # 24427

Application Approved by - Zoning Official BLK Date 09.03.06 Plans Examiner OK JTH Date 4-25-06

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments per site plan Existing MH to be removed before CO is Issued (MH on property) Existing well

Steve - 755-6667 when ready

Applicants Name David McIntyre Phone (386) 719-9906

Address 332 NW Crawford ct White Springs FL 32096 FAX# 755-6932

Owners Name David McIntyre Phone (386) 719-9906

911 Address 332 NW Crawford Ct. White Springs 32096

Contractors Name David McIntyre Phone (386) 719-9906

Address

Fee Simple Owner Name & Address

Bonding Co. Name & Address

Architect/Engineer Name & Address Forest Junck,

Mortgage Lenders Name & Address None

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 14-25-16-01608-116 Estimated Cost of Construction 70,000

Subdivision Name Lot ____ Block ____ Unit ____ Phase ____

Driving Directions North on 41 to I-10 turn right on Falling Creek road, approx 6 miles to Jessie Black rd Turn left approx. 1 mile to Crawford ct. Turn R 2nd MH on Left

Type of Construction Wood frame House Number of Existing Dwellings on Property 0

Total Acreage 10.02 Lot Size ____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 180 Side 100ft Side 380 ft Rear 588

Total Building Height 21.22 ft Number of Stories 1 Heated Floor Area 1664 Roof Pitch 8/12

Porches 1040 TOTAL 2704

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

David McIntyre
Owner Builder or Agent (Including Contractor)

Contractor Signature
Contractors License Number
Competency Card Number
NOTARY STAMP/SEAL

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me this 16th day of February 20 06.

Personally known ____ or Produced Identification ✓

Notary Signature

IVY DENISE M. BOSE
MY COMMISSION # DD 511887
EXPIRES: May 28, 2010
Bonded Thru Notary Public Underwriters

FL # M 253-173-79-091-0

2

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THER OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed $25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F .I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

(✓) Single Family Dwelling — **( ) Two-Family Residence**
( ) Farm Outbuilding — **( ) Other_____**
( ) New Construction — **( ) Addition, Alteration, Modification or other Improvement**

NEW CONSTRUCTION OR IMPROVEMENT

I David McIntyre **, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number_____**

Signature — **Date** 1/19/06

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date_____ Building Official/Representative_____

23

This Instrument Prepared by & return to:
Name: **administrator, an employee of TITLE OFFICES, LLC**
Address: **1089 SW MAIN BLVD. LAKE CITY, FLORIDA 32025**
04Y-04097JK
Parcel I.D. #: **01608-116**

Inst:2004010876 Date:05/12/2004 Time:09:20
Doc Stamp-Deed : 294.00
ZMK DC,P.DeWitt Cason,Columbia County B:1015 P: 5

SPACE ABOVE THIS LINE FOR PROCESSING DATA | SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED *Made the* ***5th*** *day of* ***May****, A.D.* ***2004****, by*

CHARLES MICHAEL THORNTON*, A MARRIED MAN hereinafter called the grantor, to*

DAVID M. MCINTYRE, SINGLE *and* ***ETHEL W. STILES, MARRIED, AS*** *JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP whose post office address is , hereinafter called the grantees:* 384 NW Palm DR LAKE City, FL 32055

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: *That the grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in* ***Columbia County, State of FLORIDA****, viz:*

TOWNSHIP 2 SOUTH, RANGE 16 EAST, SECTION 14:

A PART OF SECTION 14, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHEAST CORNER OF SECTION 14 AND RUN S 00°58'31" W, ALONG THE EAST LINE THEREOF, 1326.93 FEET; THENCE S 89°20'59" W, 28.71 FEET TO THE WEST LINE OF A 60 FOOT COUNTY MAINTAINED ROADWAY FOR A POINT OF BEGINNING; THENCE S 00°15'01" W, ALONG SAID WEST RIGHT-OF-WAY LINE 532.31 FEET; THENCE S 89°20'59" W, 820.00 FEET; THENCE N 00°15'01" E, 532.31 FEET; THENCE N 89°20'59" E, 820.00 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH A 1984 MOBILE HOME, ID #GAFL1AD31074244.

Subject to declaration of covenants, conditions and restrictions as recorded in Official Records Book 728 Page 722, but omitting any covenant or restrictions as to race, color, religion, sex, handicap, familial status or national origin.

Together *with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.*

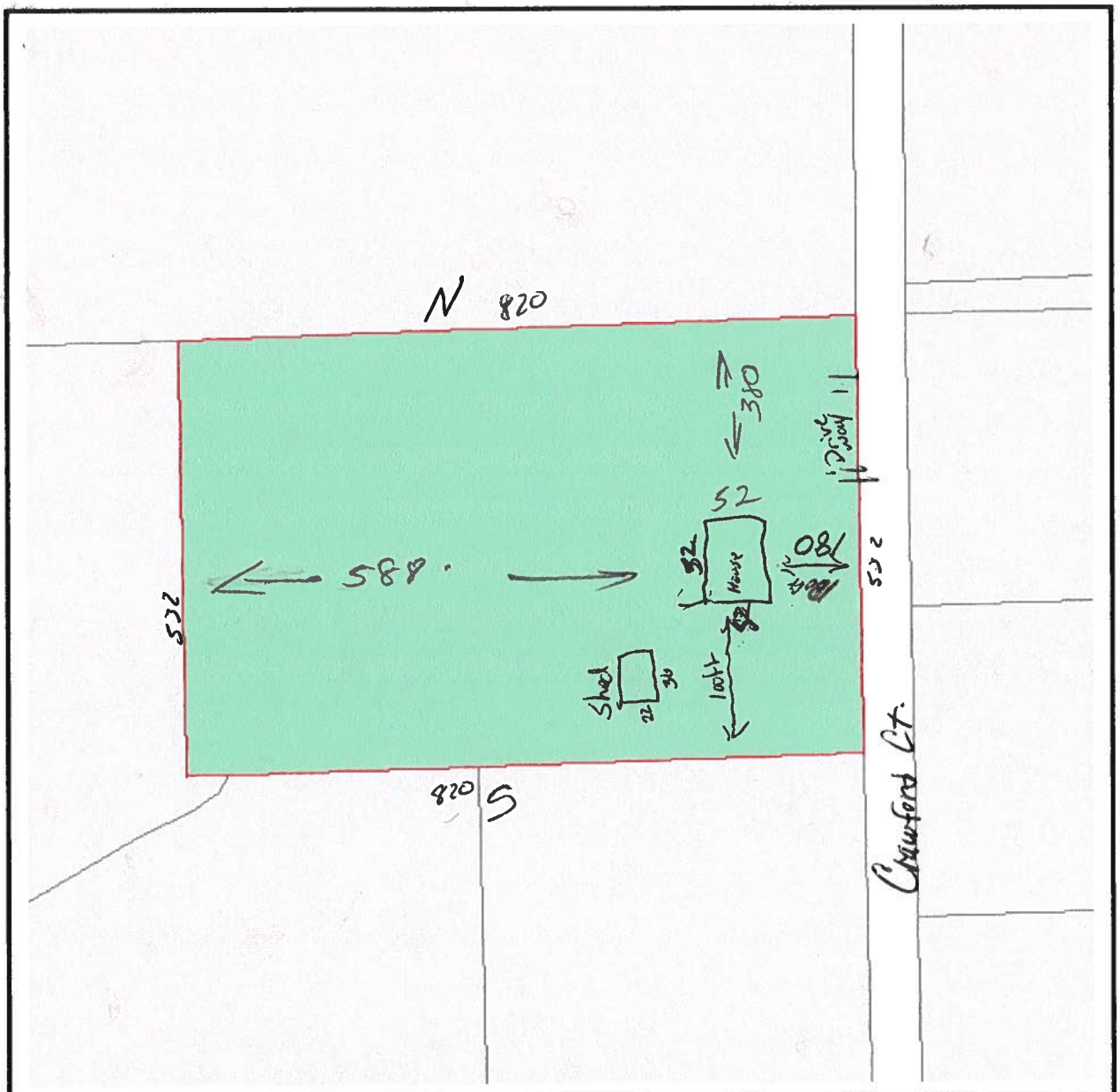
To Have and to Hold *the same in fee simple forever.*

And *the grantor hereby covenants with said grantees that he is lawfully seized of said land in fee simple; that he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.*

In Witness Whereof, *the said grantor has signed and sealed these presents, the day and year first above written.*

Signed, sealed and delivered in the presence of:

5



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 14-2S-16-01608-116 HX - MOBILE HOM (000200)

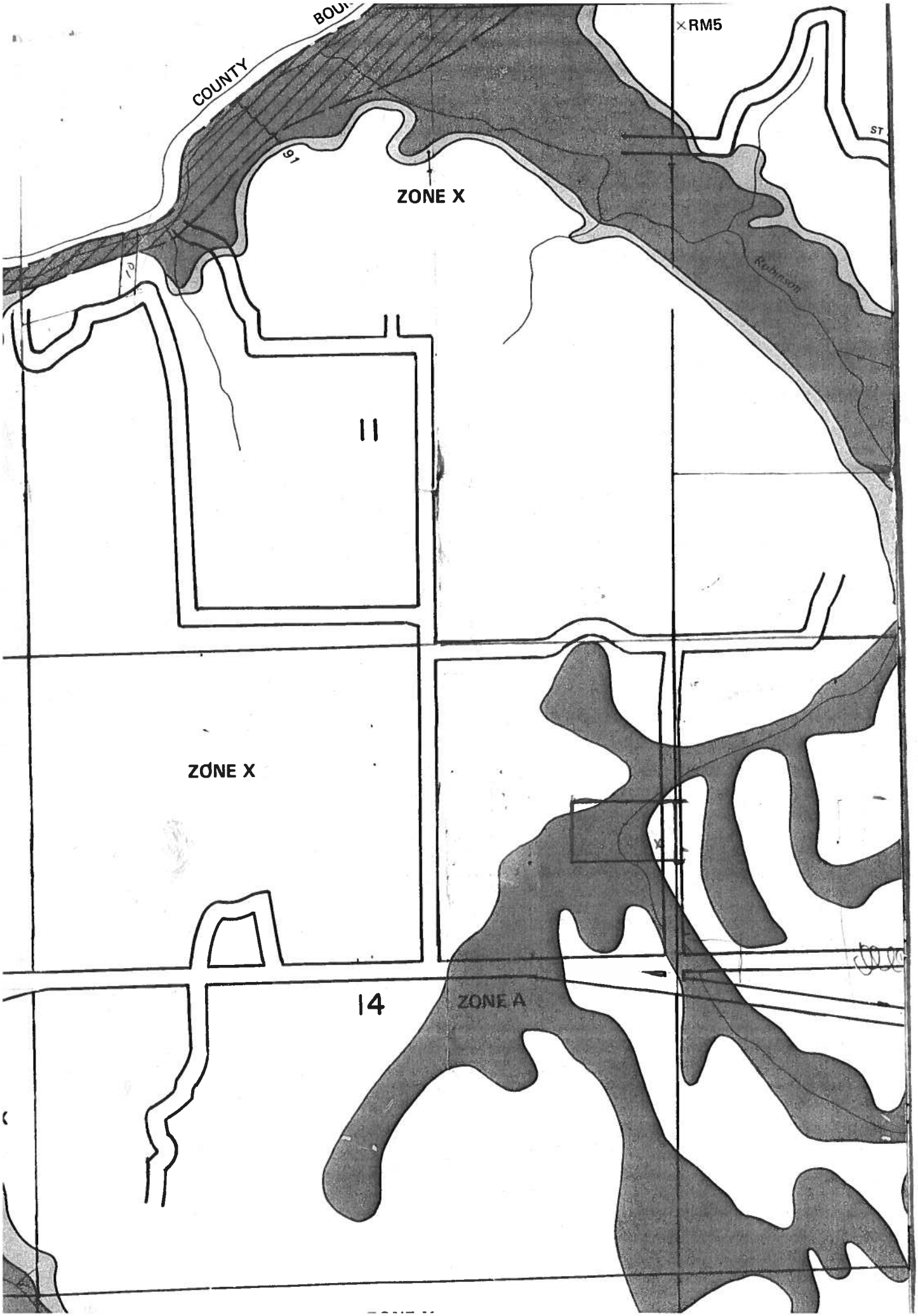
COMM NE COR OF SEC, RUN S 1326.93 FT, W 28.71 FT TO W R/W CRAWFORD LANE FOR POB,

Name:	MCINTYRE DAVID M	LandVal	$34,955.00
Site:	CRAWFORD	BldgVal	$7,390.00
Mail:	332 NW CRAWFORD CT	ApprVal	$42,345.00
	WHITE SPRINGS, FL 32096	JustVal	$42,345.00
Sale Info	11/9/2004 $100.00 I / U	Assd	$36,459.00
	5/5/2004 $42,000.00 I / Q	Exmpt	$25,000.00
	10/29/1999 $37,000.00 I / Q	Taxable	$11,459.00

0 82 164 246 ft

N W E S

This information, GIS Map Updated: 1/9/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.


BOU
COUNTY
RM5
ST
ZONE X
Robinson
11
ZONE X
14
ZONE A

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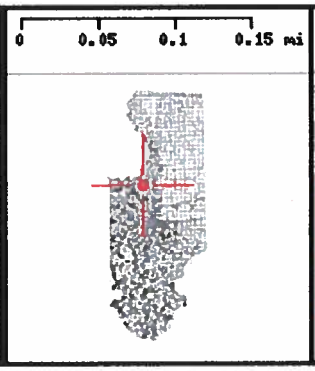

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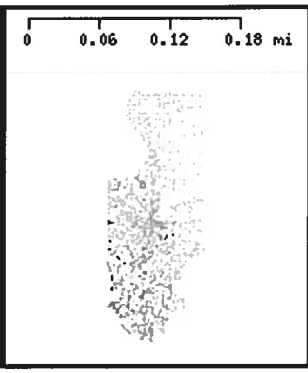


This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

4

06-0049E
1-19-06
HD

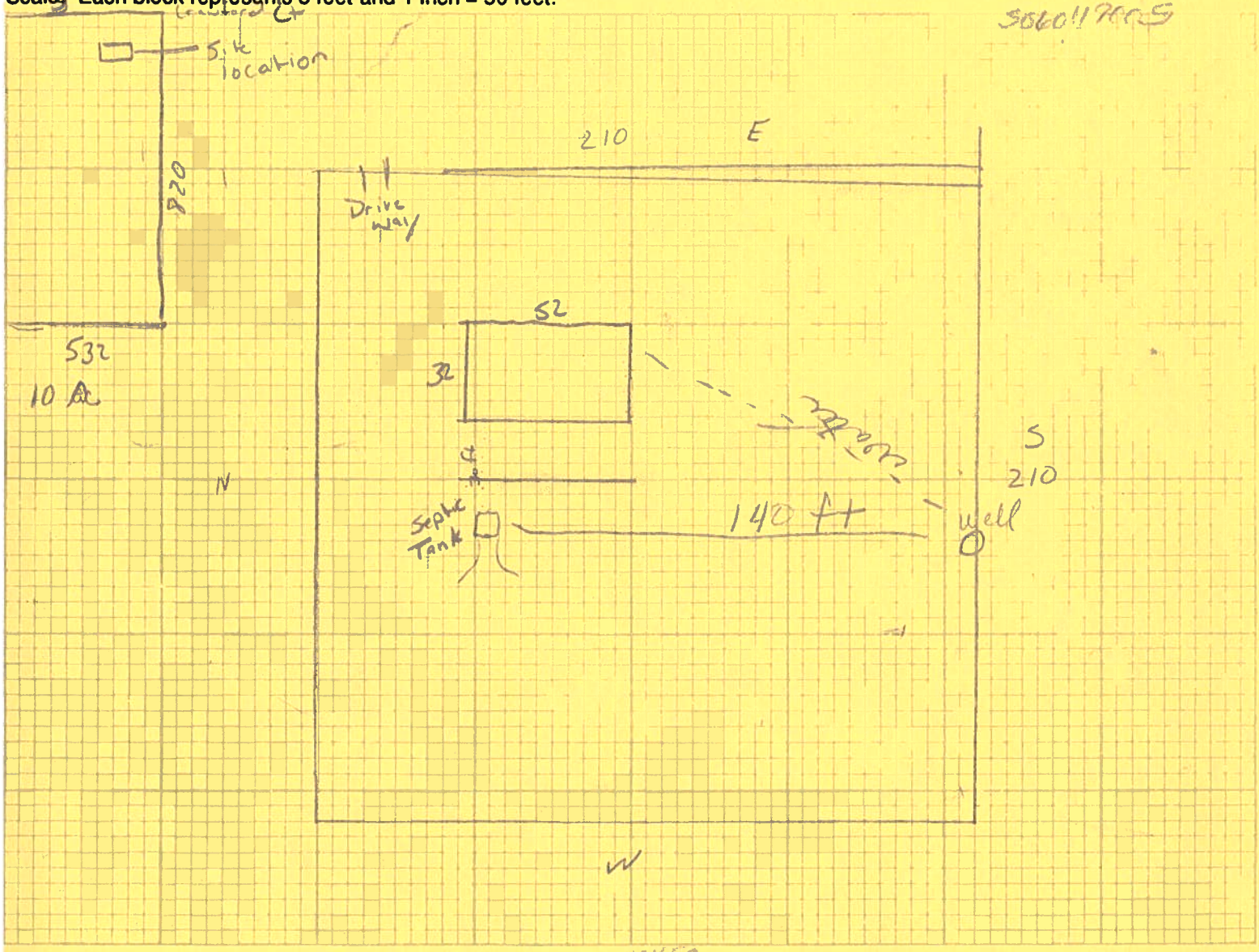
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0049E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1 acre shown above
10 ac. Total

Site Plan submitted by: _____ Signature Owner Title

Plan Approved X Not Approved ____ Date 1-26-06

By Sallie Gaddy · ESI. OCHM B/A County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

24427

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

******THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.******

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 14-2S-16-01608-116

1. **Description of property: (legal description of the property and street address or 911 address)**
A part of Section 14, Commence at the NE of section 14 and run S 00° 58' 31" W, along the east line thereof, 1326.93 ft; thence S 89° 20' 59" W, 28.71 ft to the West line of a sixty ft County maintained Roadway for a point of besining; thence S 00° 15' 01" W, along said W Right of way line 532.31 ft; Thence S 89° 20' 59" W, 820 ft; Thence N 00° 15' 01" E, 532.31 ft; Thence N 89° 20' 59" E 820.00 ft to the Point of besining, Columbia County FL

2. **General description of improvement:** New dwellings

3. **Owner Name & Address** David McIntyre 332 NW Crawford Ct White Springs FL 32096
Interest in Property _____

4. **Name & Address of Fee Simple Owner (if other than owner):** _____

5. **Contractor Name** David McIntyre **Phone Number** (386) 719-9506
Address _____

6. **Surety Holders Name** None **Phone Number** _____
Address _____
Amount of Bond _____

Inst:2006009047 Date:04/13/2006 Time:11:14
DC,P.DeWitt Cason,Columbia County B:1080 P:1322

7. **Lender Name** _____
Address _____

8. **Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:**
Name _____ **Phone Number** _____
Address _____

9. **In addition to himself/herself the owner designates** _____ **of** _____ **to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) – (a) 7. Phone Number of the designee** _____

10. **Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified)** _____

NOTICE AS PER CHAPTER 713, Florida Statutes:
The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Sworn to (or affirmed) and subscribed before day of 1st February, **20** 06

Signature of Owner

NOTARY STAMP/SEAL

DENISE M. BOSE
MY COMMISSION # DD 511387
EXPIRES: May 19, 2010
Bonded Thru Notary Public Underwriters

Signature of Notary

623-5827

From: The Columbia County Building Department
Plans Review
135 NE Hernando Av.
P. O Box 1529
Lake City Florida, 32056-1529

Reference to a building permit application Number: 0603-27

David McIntyre Owner Builder 333 NW Crawford Court

On the date of March 10, 2006 application 0603-27 and plans for construction of a Shingle family Dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0603-27 when making reference to this application.

904-744-6617

1. Please have Mr. Forrest Junck provide the following information related to wind loads.

A. Basic wind speed (3-second gust), miles per hour (km/hr).

B. Wind importance factor, IW, and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7.

C. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated.

D. The applicable enclosure classifications and, if designing with ASCE 7, internal pressure coefficient.

E. Components and cladding: The design wind pressures in terms of psf (kN/m2) to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.

2. Show on the elevation drawing the height of the chimney flue above the roof peak and the distance from the nearest roof line intersection.

3. On the elevation plan show the total height in feet, of the structure from the established grade to the highest roof ridge.

4. In the bathroom window please verify compliance with the FRC-2004 section R308.4 Hazardous locations: Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers. Glazing in any part of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface.

5. As a part of the foundation plan show a typical drawing of the piers which will support the girders and joist system for the front and rear porches. Include the depth, size and the amount of reinforcing steel which will be need for each pier. Also state the amount of soil load bearing capacity (psf) which will be required to support all the foundations piers and load bearing shear walls. 2000 soil bearing

6. Show the method to be used to attach the 4"X 4" post to the foundation and the method of attachment of the 4"X 8" beam to the post.

7. Show the method of attaching the porch ledger joist to the exterior stem.

8. Show the method of attachment of the 2"X 6" porch rafter to the 4"X 8" beam and to the shear walls.

9. For construction of the three dormers provide a drawing, which will include design and construction information, including: rafter size, species, spacing, attachment to roof and uplift requirements.

10. Show the method or material to be used to provide a draft stop which will provide a way to restrict the movement of air within open spaces of concealed areas of building components such as crawl spaces, floor/ceiling assemblies, roof/ceiling assemblies and attics.

11. Please indicate if the 2" X 10" headers will be the typical headers to support all load bearing shear wall opening.

12. Overcurrent protection device shall be installed on the exterior of structures to serve as a disconnecting means. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.

Thank you,

Joe Haltiwanger

Joe Haltiwanger
Plan Examiner
Columbia County Building Department

FORREST A. JUNCK
ARCHITECT
6431 SELTON AVENUE
JACKSONVILLE, FLORIDA
32277

(904) 744-6617
Cell (904) 868-1585
Fax (904) 744-6617

April 24,2006

Mr. Joe Haltawanger
Columbia County Building Dept.
P.O. Drawer 1529
Lake City, Florida 32056

RE: Permit No. 060327
David McIntyre House

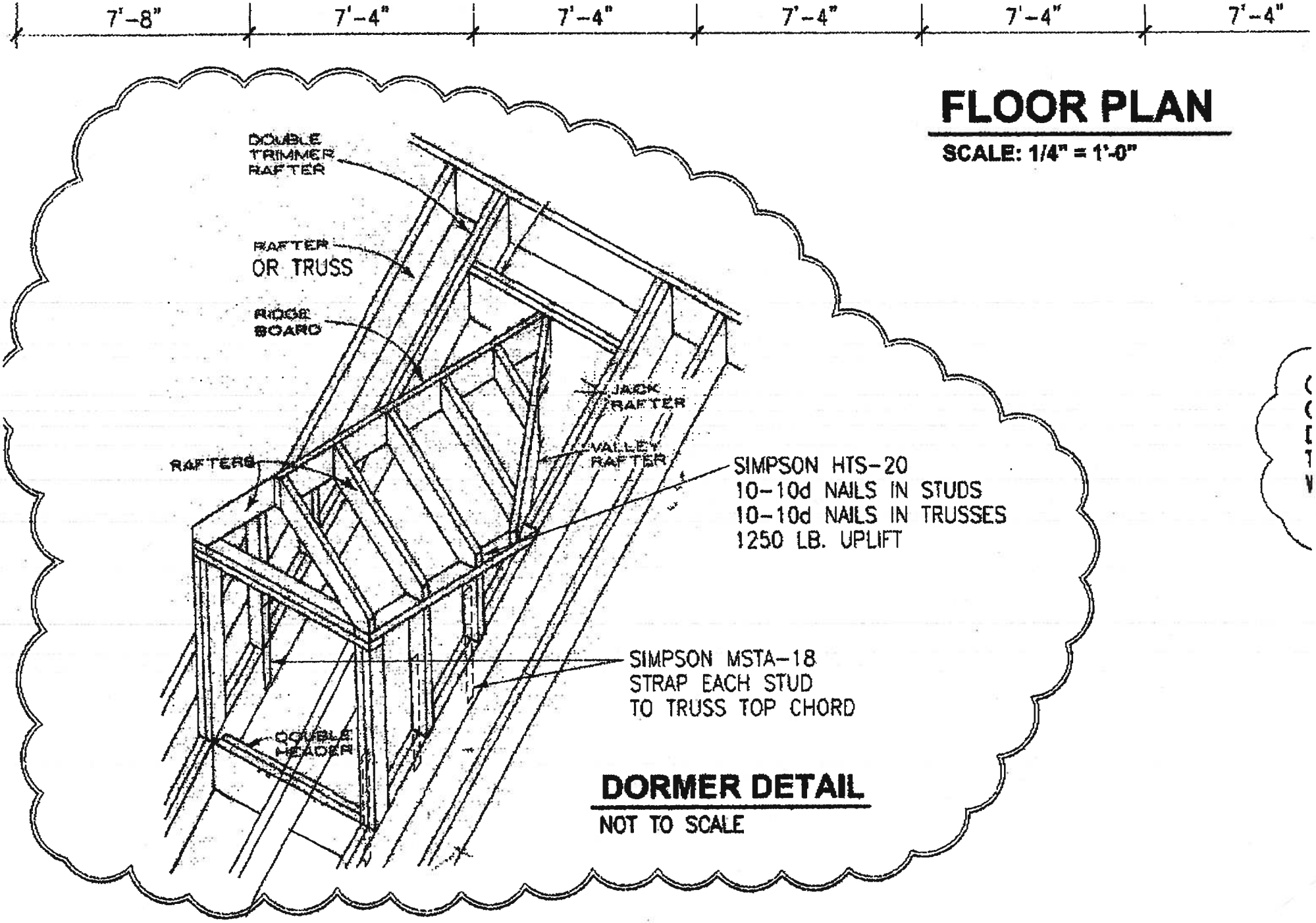
Dear Mr. Haltawanger:

In accordance with our conversation this morning, I offer the following information:

1. Dormer rafters are 2x4 @ 16" o.c.
2. Dormer studs are 2x4 @ 16" o.c.
3. Dormer plates are 2 x4 (single or double as shown)
4. Omit roof sheathing from roof to allow anchoring of dormer.
5. Dormer roof sheathing to be ½ " plywood or equal with nails at 4" o.c. on perimeter and 12" o.c. in field.
6. Provide double trusses at each side of each dormer.
7. Allow truss that occurs in center of dormer to continue through.

Thank You,

Forrest A. Junck
Architect


7'-8"
7'-4"
7'-4"
7'-4"
7'-4"
7'-4"
FLOOR PLAN
SCALE: 1/4" = 1'-0"
DOUBLE TRIMMER RAFTER
RAFTER OR TRUSS
RIDGE BOARD
JACK RAFTER
VALLEY RAFTER
RAFTERS
SIMPSON HTS-20
10-10d NAILS IN STUDS
10-10d NAILS IN TRUSSES
1250 LB. UPLIFT
SIMPSON MSTA-18
STRAP EACH STUD
TO TRUSS TOP CHORD
DOUBLE HEADER
DORMER DETAIL
NOT TO SCALE

Location: 55[illegible] W Crawford [illegible] **Project Name:** David McIntyre

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	Johnson Ent	Steel Exterior Door	3026447A-001
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung	Cap-Insight	Cellular Windows	01.[illegible]01.01
5. Fixed			
6. Awning			
7. Pass -through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other	~~Griffis Lumber~~	~~Rough cut Cypress (N) [illegible]~~	
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other	Griffis Lum.	rough Cypress Board + battingl in	
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama	NA		
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight	NA		
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection

Contractor or Contractor's Authorized Agent Signature

David McIntyre 3-6-06

Print Name Date

Location

Permit # **(FOR STAFF USE ONLY)**

NOTICE:

ADDRESSES BY APPOINTMENT ONLY!

TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:

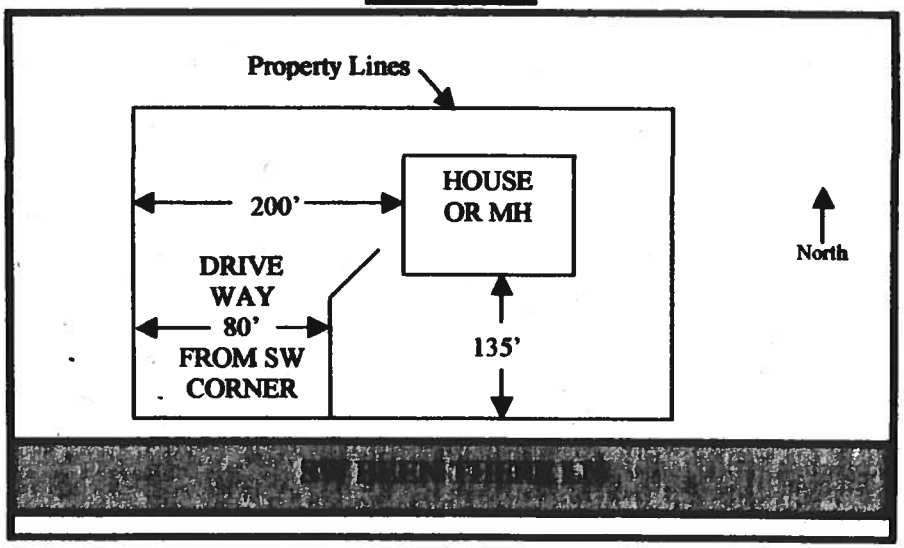
YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!

THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).

THE REQUESTER WILL NEED THE FOLLOWING:

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123) FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
   a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
   b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
   c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.

RIGHT-J LOAD AND EQUIPMENT SUMMARY
Entire House

Touchstone Heating and Air, Inc.

Job: ~~Steele~~ Stiles 03/02/06
McINTYRE

490 SE 3rd Ave., Lake Butler, FL 32054 Phone: 386-496-3467 Fax: 386-496-3147

Project Information

For: ~~Steele~~ Stiles
Lake City, Fl

Notes:

Design Information

Weather: Gainesville, FL , US

Winter Design Conditions

Outside db	33	°F
Inside db	70	°F
Design TD	37	°F

Summer Design Conditions

Outside db	92	°F
Inside db	75	°F
Design TD	17	°F
Daily range	M	
Relative humidity	50	%
Moisture difference	52	gr/lb

Heating Summary

Building heat loss	46468	Btuh
Ventilation air	10	cfm
Ventilation air loss	391	Btuh
Design heat load	46859	Btuh

Infiltration

Method		Simplified
Construction quality		Average
Fireplaces		0
	Heating	**Cooling**
Area (ft²)	***1664***	***1664***
Volume (ft³)	***14144***	***14144***
Air changes/hour	***0.10***	***0.20***
Equiv. AVF (cfm)	24	47

Sensible Cooling Equipment Load Sizing

Structure	24879	Btuh
Ventilation	935	Btuh
Design temperature swing	3.0	°F
Use mfg. data	n	
Rate/swing multiplier	0.97	
Total sens. equip. load	25039	Btuh

Latent Cooling Equipment Load Sizing

Internal gains	230	Btuh
Ventilation	1753	Btuh
Infiltration	1653	Btuh
Total latent equip. load	3636	Btuh
Total equipment load	28675	Btuh
Req. total capacity at 0.70% SHR	3.0	ton

Heating Equipment Summary

Make Trane
Trade G. XE 1000 Weathertron
2TWB0036A1000A

Efficiency	9.1 HSPF	
Heating input		
Heating output	32600	Btuh @ 47°F
Heating temp rise	26	°F
Actual heating fan	1150	cfm
Heating air flow factor	0.025	cfm/Btuh
Space thermostat		

Cooling Equipment Summary

Make Trane
Trade G. XE 1000 Weathertron
2TWB0036A1000A
TWG036A140

Efficiency	13.0 SEER	
Sensible cooling	23800	Btuh
Latent cooling	10200	Btuh
Total cooling	34000	Btuh
Actual cooling fan	1150	cfm
Cooling air flow factor	0.046	cfm/Btuh
Load sensible heat ratio	88	%

Bold/italic values have been manually overridden

Printout certified by ACCA to meet all requirements of Manual J 7th Ed.

7

COLUMBIA COUNTY BUILDING DEPARTMENT

Revised 10-01-05

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ------- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -------110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
☑	☑	All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
☑	☑	Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.
☑	☑	**Site Plan including:** a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property.
☑	☑	**Wind-load Engineering Summary, calculations and any details required** Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, Iw, and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m²) to be used for the design of exterior component and cladding materials not specifally designed by the registered design professional.
		See #1
☑	☑	**Elevations including:** a) All sides
☑	☑	b) Roof pitch
☑	☑	c) Overhang dimensions and detail with attic ventilation

☐	☐ #3	d) Location, size and height above roof of chimneys.
☑	☑	e) Location and size of skylights
☑	☐ #4	f) Building height
☑	☑ #3	e) Number of stories
		Floor Plan including:
☑	☐	a) Rooms labeled and dimensioned.
☑	☐	b) Shear walls identified.
☑	☐	c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 **(see attach forms).**
☑	☐ #5	d) Show safety glazing of glass, where required by code.
☑	☐	e) Identify egress windows in bedrooms, and size.
☑	☐	f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, **(Please circle applicable type).**
☐	☑	g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.
☑	☐	h) Must show and identify accessibility requirements (accessible bathroom)
		Foundation Plan including:
☑	☐	a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.
☑	☑	b) All posts and/or column footing including size and reinforcing
☐	☐	c) Any special support required by soil analysis such as piling
☐	☐ 5	d) Location of any vertical steel.
		Roof System:
☑	☑	a) Truss package including: 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng. 2. Roof assembly (FBC 106.1.1.2)Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
☑	☑	b) Conventional Framing Layout including: 1. Rafter size, species and spacing 2. Attachment to wall and uplift 3. Ridge beam sized and valley framing and support details 4. Roof assembly (FBC 106.1.1.2)Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
		Wall Sections including:
☐	☑	a) Masonry wall 1. All materials making up wall 2. Block size and mortar type with size and spacing of reinforcement 3. Lintel, tie-beam sizes and reinforcement 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation shall be designed by a Windload engineer using the engineered roof truss plans. 6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating) 7. Fire resistant construction (if required) 8. Fireproofing requirements 9. Shoe type of termite treatment (termiticide or alternative method) 10. Slab on grade a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed) b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports 11. Indicate where pressure treated wood will be placed 12. Provide insulation R value for the following:

#9 3 Dormers

a. Attic space
b. Exterior wall cavity
c. Crawl space (if applicable)

☑ ☐ b) Wood frame wall

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termiticide or alternative method)
11. Slab on grade
    a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
    b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
    a. Attic space
    b. Exterior wall cavity
    c. Crawl space (if applicable)

☐ ☐ c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

☐ ☐ a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer

☐ ☐ b) Floor joist size and spacing

☐ ☐ c) Girder size and spacing

☐ ☐ d) Attachment of joist to girder

☐ ☐ e) Wind load requirements where applicable

☑ ☐ **Plumbing Fixture layout**

Electrical layout including:

☑ ☐ a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified

☑ ☐ b) Ceiling fans

☑ ☐ c) Smoke detectors

☑ ☐ d) Service panel and sub-panel size and location(s)

☑ ☐ e) Meter location with type of service entrance (overhead or underground)

☑ ☐ f) Appliances and HVAC equipment

☑ ☐ g) Arc Fault Circuits (AFCI) in bedrooms

☐ ☐ h) Exhaust fans in bathroom

HVAC information

☑ ☐ a) Energy Calculations (dimensions shall match plans)

☐ ☐ b) Manual J sizing equipment or equivalent computation

☐ ☐ c)Gas System Type (LP or Natural) Location and BTU demand of equipment

☑ ☐ **Disclosure Statement for Owner Builders**

☑ ☐ ***Notice Of Commencement Required Before Any Inspections Will Be Done**

☑ ☐ **Private Potable Water**

a) Size of pump motor
b) Size of pressure tank
c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.

2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.

3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 **(Toilet facilities shall be provided for construction workers)**

4. **City Approval: If the project is to be located within the city limits of the Town of Fort White**, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. **(386) 497-2321**

5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is **$50.00**

6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit **($25.00)** must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver **($50.00)**. All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**

7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

Location:_____ **Project Name:**_____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

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2. Underlayments			
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1.			
2.			

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I understand these products may have to be removed if approval cannot be demonstrated during inspection

_____

_____

_____

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

Location

Permit # **(FOR STAFF USE ONLY)**

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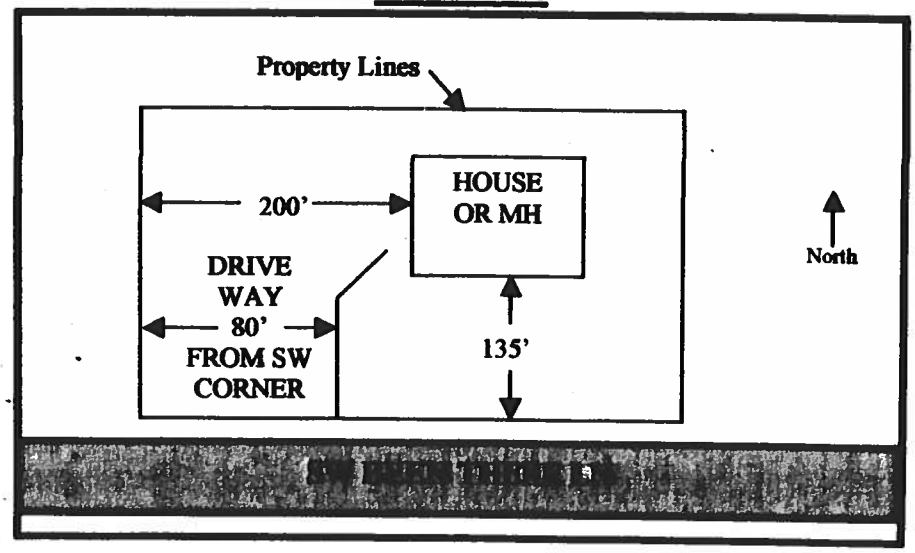
   c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.

24427

FORREST A. JUNCK
ARCHITECT
5431 SELTON AVENUE
JACKSONVILLE, FLORIDA
32277

(904) 744-6617
Cell (904) 868-1585
Fax (904) 744-6617

April 24,2006

Mr. Joe Haltawanger
Columbia County Building Dept.
P.O. Drawer 1529
Lake City, Florida 32056

RE: Permit No. 060327
David McIntyre House

Dear Mr. Haltawanger:

In accordance with our conversation this morning, I offer the following information:

1. Dormer rafters are 2x4 @ 16" o.c.
2. Dormer studs are 2x4 @ 16" o.c.
3. Dormer plates are 2 x4 (single or double as shown)
4. Omit roof sheathing from roof to allow anchoring of dormer.
5. Dormer roof sheathing to be ½ " plywood or equal with nails at 4" o.c. on perimeter and 12" o.c. in field.
6. Provide double trusses at each side of each dormer.
7. Allow truss that occurs in center of dormer to continue through.

Thank You,

Forrest A. Junck
Architect:

January, 24, 2008

To: Building and Zoning Board

Columbia County, FL

Re: Permit # 24427

Due to personal and financial reasons construction has been delayed on my new home.

I am now able and ready to complete the project.

I am requesting an extension to my permit issued April 4, 2006.

Thank You,

David McIntyre

May 15, 2008

To: Building and Zoning Board

Columbia County, FL

Re: Permit # 24427

I am requesting an additional extension to my permit issued April 4, 2006.

I will have my house completed in the very near future.

Thank you for your patience.

Sincerely

David McIntyre

Notice of Treatment 11924

Applicator: Florida Pest Control & Chemical Co. (www.flapest .com)
Address: 536 SE BAYA DR
City L.C. Phone 752-1703

Site Location: Subdivision
Lot # Block# Permit # 24427
Address 332 SW Crawford

Product used	Active Ingredient	% Concentration
☒ Premise	Imidacloprid	0.1%
☐ Termidor	Fipronil	0.12%
☐ Bora-Care	Disodium Octaborate Tetrahydrate	23.0%

Type treatment: ☐ Soil ☒ Wood

Area Treated	Square feet	Linear feet	Gallons Applied
DWL	1664	200	145

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

5/25/06	11:20	F 284
Date	Time	Print Technician's Name

Remarks:

Applicator - White Permit File - Canary Permit Holder - Pink

10/05 ©

CERTIFICATE OF

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 14-2S-16-01608-116

Building permit No. 000024427

Use Classification SFD,UTILITY

Fire: 0.00

Permit Holder OWNER BUILDER

Waste: 0.00

Owner of Building DAVID MCINTYRE

Total: 0.00

Location: 332 NW CRAWFORD CT., WHITE SPRINGS, FL

Date: 06/26/2008

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

FORM 600C-01 — **Residential Limited Applications Prescriptive Method C** — **NORTH 1 2 3**

Small Additions, Renovations & Building Systems

Compliance with Method C of Chapter 6 of the Florida Energy Efficiency Code may be demonstrated by the use of Form 600C-01 for additions of 600 square feet or less, site- installed components of manufactured homes, and renovations to single and multifamily residences. Alternative methods are provided for additions by use of Form 600B-01 or 600A-01.

PROJECT NAME: AND ADDRESS:	David McIntyre 332 NW Crawford Cte White Springs Fl 32096	**BUILDER:** David McIntyre	
		PERMITTING OFFICE: Columbia	**CLIMATE ZONE:** 1 ☐ 2 ☐ 3 ☐
OWNER: David McIntyre		**PERMIT NO.:** 24427	**JURISDICTION NO.:** 221000

SMALL ADDITIONS TO EXISTING RESIDENCES (600 Square feet or less of conditioned area). Prescriptive requirements in Tables 6C-1, 6C-2 and 6C-3 apply only to the components of the addition, not to the existing building. Space heating, cooling, and water heating equipment efficiency levels must be met only when equipment is installed specifically to serve the addition or is being installed in conjunction with the addition construction. Components separating unconditioned spaces from conditioned spaces must meet the prescribed minimum insulation levels. RENOVATIONS (Residential buildings undergoing renovations costing more than 30% of the assessed value of the building). Prescriptive requirements in Tables 6C-1 and 6C-2 apply only to the components and equipment being renovated or replaced. MANUFACTURED HOMES AND BUILDINGS. Only site-installed components and features are covered by this form. BUILDING SYSTEMS Comply when complete new system is installed.

	Please Print		CK
1. Renovation, Addition, New System or Manufactured Home	1. New System		
2. Single family detached or Multifamily attached	2. Single Family		
3. If Multifamily—No. of units covered by this submission	3.		
4. Conditioned floor area (sq. ft.)	4. 1664		
5. Predominant eave overhang (ft.)	5. 1½ ft		
6. Glass area and type:	Single Pane	Double Pane	
a. Clear glass	6a. ____ sq. ft.	137 sq. ft.	
b. Tint, film or solar screen	6b. ____ sq. ft.	____ sq. ft.	
7. Percentage of glass to floor area	7. 1 %		
8. Floor type and insulation:			
a. Slab-on-grade (R-value)	8a. R= ____	____ lin. ft.	
b. Wood, raised (R-value)	8b. R= ____	____ sq. ft.	
c. Wood, common (R-value)	8c. R= ____	____ sq. ft.	
d. Concrete, raised (R-value)	8d. R= ____	____ sq. ft.	
e. Concrete, common (R-value)	8e. R= ____	____ sq. ft.	
9. Wall type and insulation:			
a. Exterior:			
1. Masonry (Insulation R-value)	9a-1 R= ____	____ sq. ft.	
2. Wood frame (Insulation R-value)	9a-2 R= 13	1250 sq. ft.	
b. Adjacent:			
1. Masonry (Insulation R-value)	9b-1 R= ____	____ sq. ft.	
2. Wood frame (Insulation R-value)	9b-2 R= ____	____ sq. ft.	
c. Marriage Walls of Multiple Units* (Yes/No)	9c ____	____	
10. Ceiling type and insulation:			
a. Under attic (Insulation R-value)	10a. R= 30	1664 sq. ft.	
b. Single assembly (Insulation R-value)	10b. R= ____	____ sq. ft.	
11. Cooling system* (Types: central, room unit, package terminal A.C., gas, existing, none)	11. Type: Central		
	SEER/EER: 13		
12. Heating system*: (Types: heat pump, elec. strip, natural gas, L.P. gas, gas h.p., room or PTAC, existing, none)	12. Type: Heat pump		
	HSPF/COP/AFUE: ____		
13. Air Distribution System*:			
a. Backflow damper or single package systems* (Yes/No)	13a. ____		
b. Ducts on marriage walls adequately sealed* (Yes/No)	13b. ____		
14. Hot water system: (Types: elec., natural gas, other, existing, none)	14. Type: Electric		
	EF: .92 energy factor; 25.3 gph recovery rate		

* Pertains to manufactured homes with site installed components.

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.
PREPARED BY: David McIntyre **DATE:** 3-6-06
I hereby certify that this building is in compliance with the Florida Energy Code.
OWNER AGENT: David McIntyre **DATE** 3-6-06

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.
BUILDING OFFICIAL: ____
DATE: ____

Alpine Engineered Products, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 567
Florida Certificate of Product Approval # FL1999
 Document ID:1SUJ487-Z0208134941

Truss Fabricator: Anderson Truss Company
Job Identification: 6-052-DAVID MCINTIRE
Truss Count: 3
Model Code: Florida Building Code 2004
Truss Criteria: ANSI/TPI-2002(STD)/FBC
Engineering Software: Alpine Software,Version 7.22.
Structural Engineer of Record:
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-02 -Closed

Seal Date: 02/08/2006

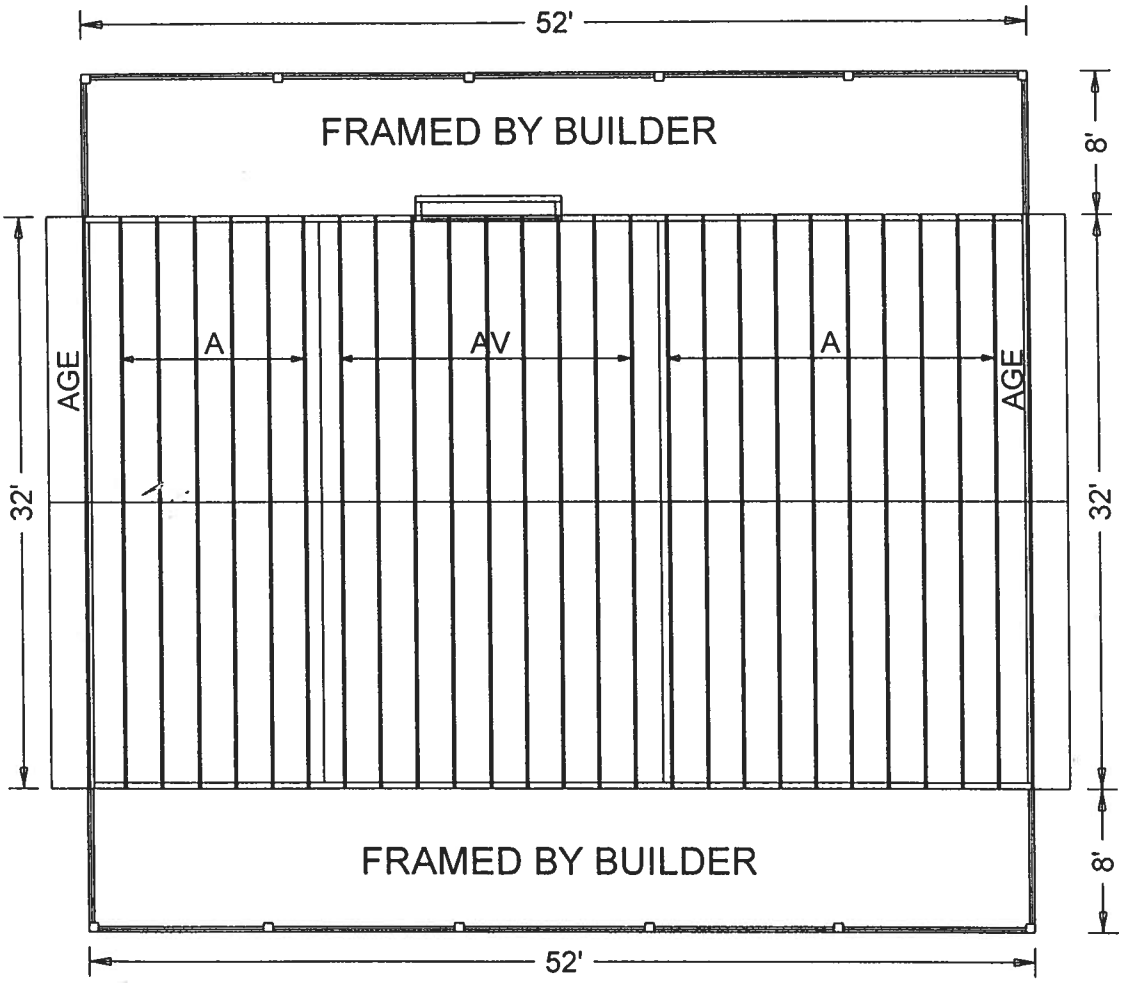
-Truss Design Engineer-
Arthur R. Fisher
Florida License Number: 59687
1950 Marley Drive
Haines City, FL 33844

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Details: BRCLBSUB-A11015EE-GBLLETIN-

#	Ref	Description	Drawing#	Date
1	59772--AV		06039042	02/08/06
2	59773--A		06039043	02/08/06
3	59774--AGE		06039044	02/08/06



DAVID MCINTIRE

Roof Plane Sheathing Area = 2154 sq. ft
Gable Sheathing Area = 0 sq. ft
Total Sheathing Area = 2154 sq. ft
Fascia Material = 77 linear ft
Ridge Cap Material = 56 linear ft

Scale: 3/32" = 1'

755-6567 - Steve

JOB LOCATION:

JOB DESCRIPTION: DAVID MCINTIRE

DESIGNED BY: SHAWN ANDERSON

JOB NO: 6-052

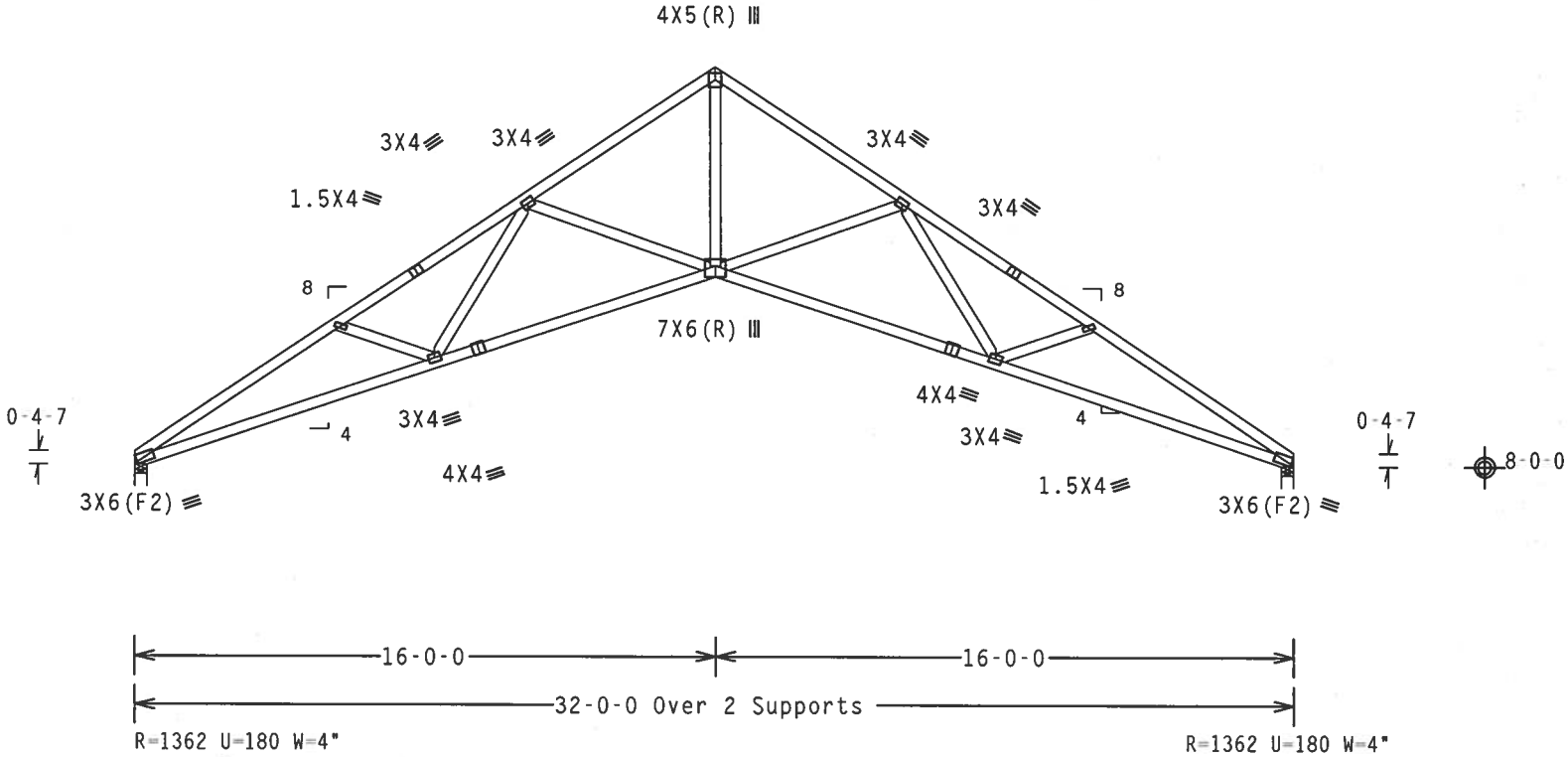
PAGE NO: 1 OF 1

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Calculated horizontal deflection is 0.23" due to live load and 0.39" due to dead load.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/360 live and L/240 total load. Creep increase factor for dead load is 1.50.



Design Crit: TPI-2002(STD)/FBC

PLT TYP. Wave

Cq/RT=1.25(1.25)/0(0) 7.22.1 TY:9 FL/-/3/-/-/R/- Scale =.1875"/Ft.

ALPINE
Alpine Engineered Products, Inc.
1950 Marley Drive
Haines City, FL 33844
FL Certificate of Authorization # 567

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

IMPORTANTFURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W, K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER LICENSE No. 59687 STATE OF FLORIDA PROFESSIONAL ENGINEER

Feb 08 '06

TC LL	20.0 PSF	REF	R487-- 59772
TC DL	10.0 PSF	DATE	02/08/06
BC DL	10.0 PSF	DRW	HCUSR487 06039042
BC LL	0.0 PSF	HC-ENG	JB/AF *
TOT.LD.	40.0 PSF	SEQN-	22204
DUR.FAC.	1.25		
SPACING	24.0"	JREF-	1SUJ487_Z02

(6-052-DAVID MCINTIRE - A)

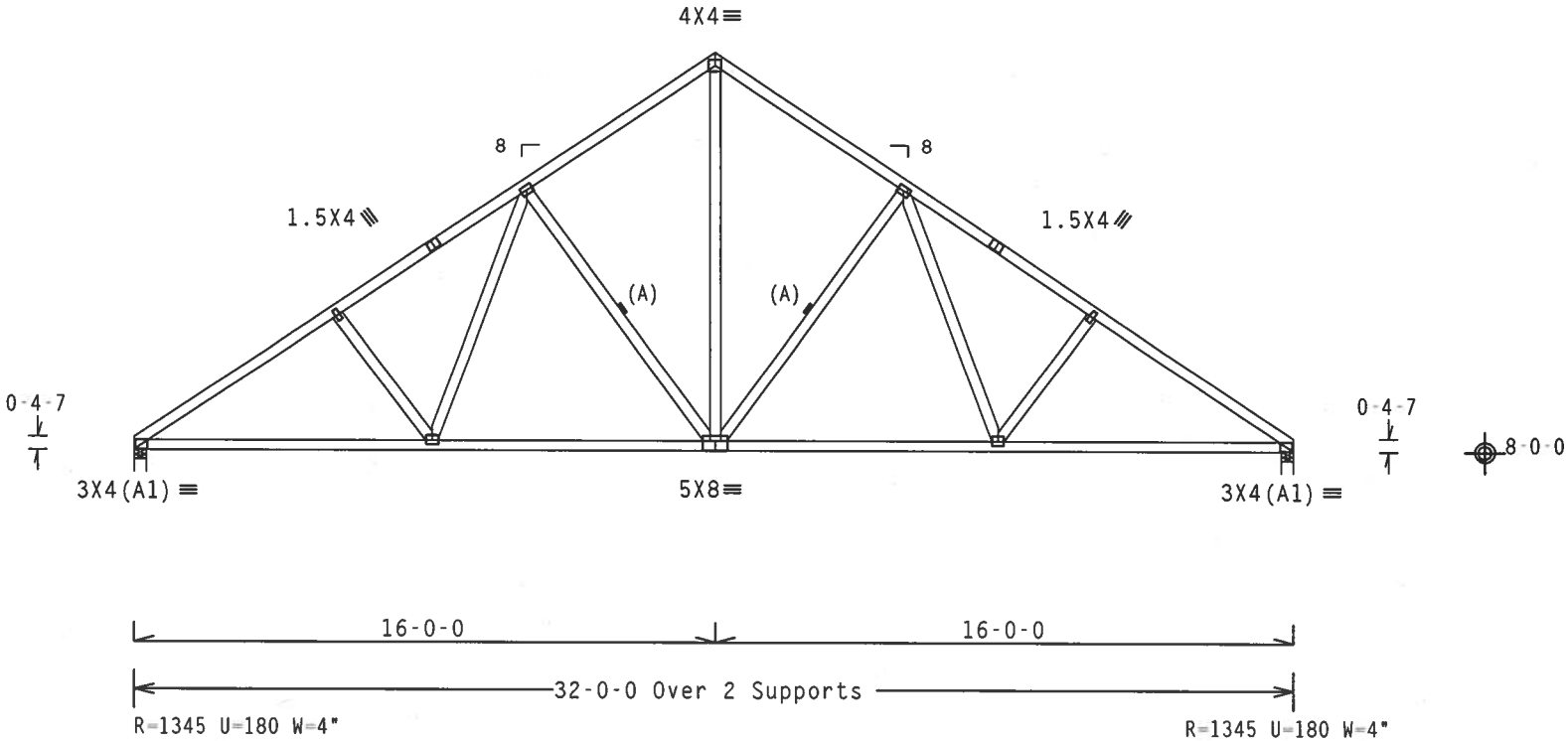
THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

(A) Continuous lateral bracing equally spaced on member.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

Deflection meets L/360 live and L/240 total load. Creep increase factor for dead load is 1.50.



Note: All Plates Are 3X4 Except As Shown.

Design Crit: TPI-2002(STD)/FBC

PLT TYP. Wave Cq/RT=1.25(1.25)/0(0) 7.22.11 QTY:16 FL/-/3/-/-/R/- Scale =.1875"/Ft.

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Feb 8 '06

TC LL	20.0 PSF	REF R487-- 59773
TC DL	10.0 PSF	DATE 02/08/06
BC DL	10.0 PSF	DRW HCUSR487 06039043
BC LL	0.0 PSF	HC-ENG JB/AF *
TOT.LD.	40.0 PSF	SEQN- 22209
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SUJ487_Z02

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

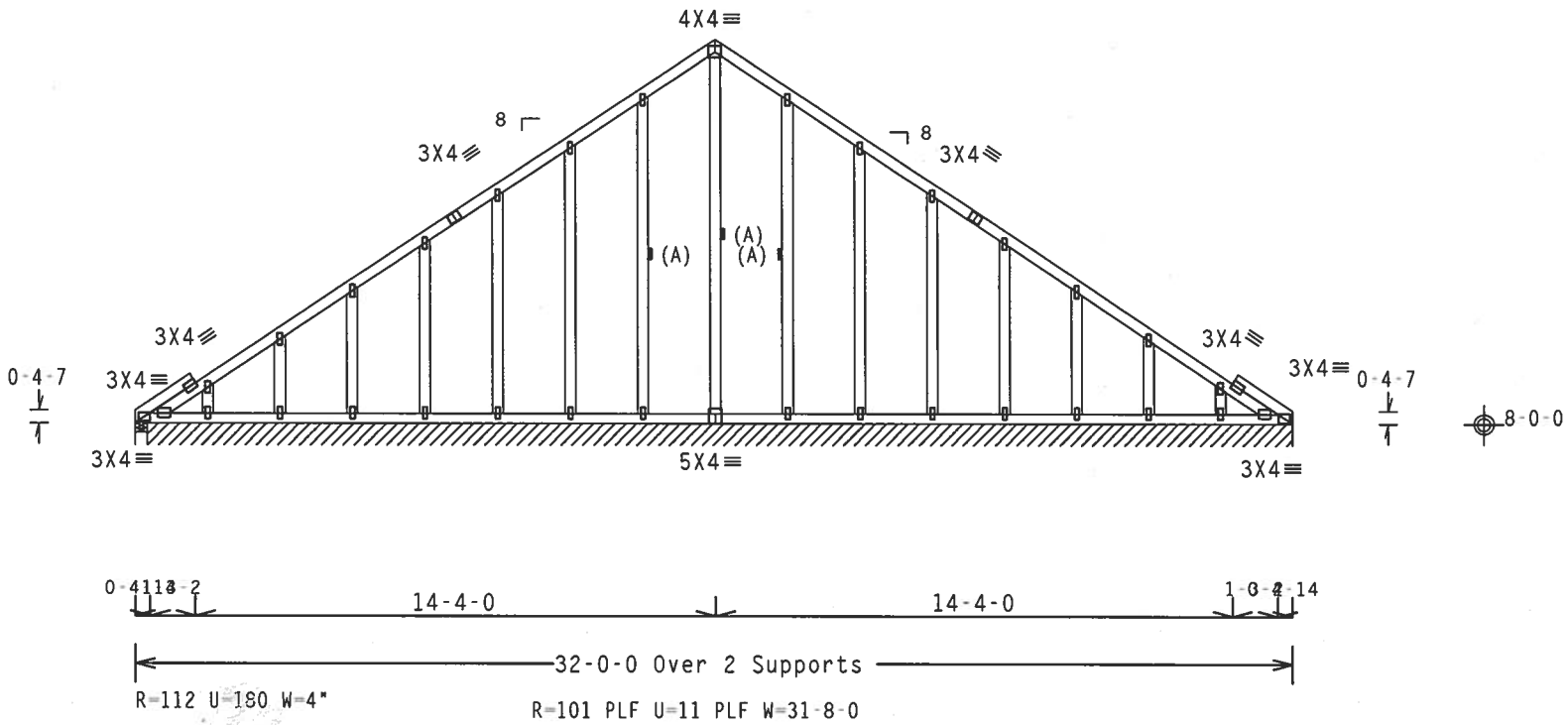
SPECIAL LOADS
------(LUMBER DUR.FAC.=1.25 / PLATE DUR.FAC.=1.25)
TC - From 86 PLF at 0.00 to 86 PLF at 32.00
BC - From 20 PLF at 0.00 to 20 PLF at 32.00

Deflection meets L/360 live and L/240 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.

See DWGS A11015EE0405 & GBLLETIN0405 for more requirements.

(A) Continuous lateral bracing equally spaced on member.



Note: All Plates Are 1.5X4 Except As Shown.
Design Crit: TPI-2002(STD)/FBC
PLT TYP. Wave Cq/RT=1.25(1.25)/0(0) 7.22.11 QTY:2 FL/-/3/-/-/R/- Scale =.1875"/Ft.

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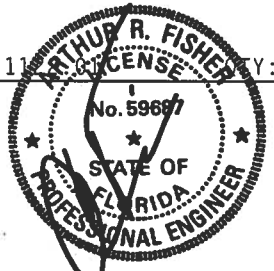

Feb 08 '06

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TOT.LD.	40.0 PSF	SEQN- 22217 REV
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1SUJ487_Z02

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON AN ALPINE TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE. FOR MINIMUM ALTERNATIVE BRACING, RE-RUN DESIGN WITH APPROPRIATE BRACING.

WEB MEMBER SIZE	SPECIFIED CLB BRACING	ALTERNATIVE BRACING T OR L-BRACE	ALTERNATIVE BRACING SCAB BRACE
2X3 OR 2X4	1 ROW	2X4	1-2X4
2X3 OR 2X4	2 ROWS	2X6	2-2X4
2X6	1 ROW	2X4	1-2X6
2X6	2 ROWS	2X6	2-2X4(*)
2X8	1 ROW	2X6	1-2X8
2X8	2 ROWS	2X6	2-2X6(*)

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

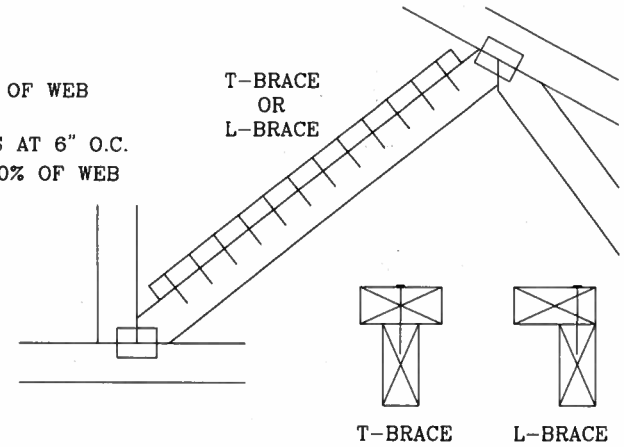
(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.

T-BRACING OR L-BRACING:

APPLY TO EITHER SIDE OF WEB NARROW FACE

ATTACH WITH 16d NAILS AT 6" O.C.

BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH

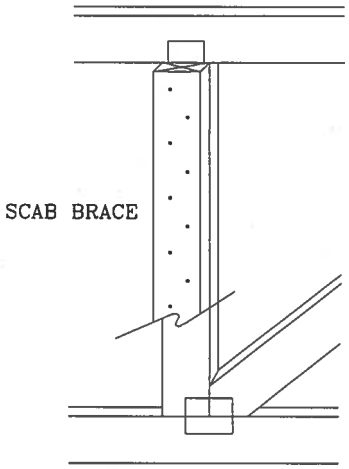


SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB.

NO MORE THAN (1) SCAB PER FACE.

ATTACH WITH 10d OR .128"x3" GUN NAILS AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



THIS DRAWING REPLACES DRAWING 579,640

ALPINE

ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

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ARTHUR R. FISHER
LICENSE
No. 59687
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Feb

TC LL		PSF
TC DL		PSF
BC DL		PSF
BC LL		PSF
TOT. LD.		PSF
DUR. FAC.		
SPACING		

REF	CLB SUBST.
DATE	11/26/03
DRWG	BRCLBSUB1103
-ENG	MLH/KAR

ASCE 7-02: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C

MAX GABLE VERTICAL LENGTH

2X4 GABLE VERTICAL SPACING	SPECIES	BRACE GRADE	NO BRACES	(1) 1X4 "L" BRACE * GROUP A	(1) 1X4 "L" BRACE * GROUP B	(1) 2X4 "L" BRACE * GROUP A	(1) 2X4 "L" BRACE * GROUP B	(2) 2X4 "L" BRACE ** GROUP A	(2) 2X4 "L" BRACE ** GROUP B	(1) 2X6 "L" BRACE * GROUP A	(1) 2X6 "L" BRACE * GROUP B	(2) 2X6 "L" BRACE ** GROUP A	(2) 2X6 "L" BRACE ** GROUP B
24" O.C.	SPF HF	#1 / #2	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"
		#3	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"
		STUD	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"
		STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"
	SP DFL	#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"
		STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"
16" O.C.	SPF HF	#1 / #2	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"
	SP DFL	#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"
12" O.C.	SPF HF	#1 / #2	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 9"	7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"
	SP DFL	#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STUD	5' 0"	8' 5"	8' 7"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:

SPRUCE-PINE-FIR

#1 / #2	STANDARD
#3	STUD

HEM-FIR

#2	STUD
#3	STANDARD

DOUGLAS FIR-LARCH

#3
STUD
STANDARD

SOUTHERN PINE

#3
STUD
STANDARD

GROUP B:

HEM-FIR

#1 & BTR
#1

SOUTHERN PINE

#1
#2

DOUGLAS FIR-LARCH

#1
#2

GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.

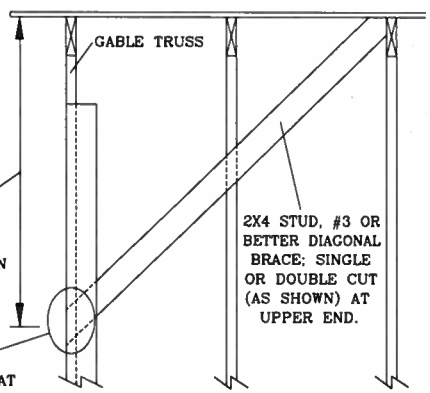
ATTACH EACH "L" BRACE WITH 10d NAILS.

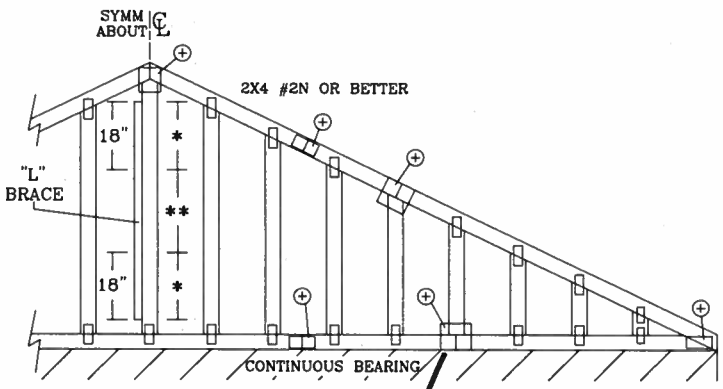
* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.

** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.

"L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

DIAGONAL BRACE OPTION: VERTICAL LENGTH MAY BE DOUBLED WHEN DIAGONAL BRACE IS USED. CONNECT DIAGONAL BRACE FOR 600# AT EACH END. MAX WEB TOTAL LENGTH IS 14'.





REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4
GREATER THAN 11' 6"	2.5X4

\+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

ALPINE

ALPINE ENGINEERED PRODUCTS, INC.
POMPANO BEACH, FLORIDA

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IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC., SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W,H/S/K) ASTM A653 GRADE 40/60 (W,K/H,S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-Z. ANY INSPECTION OF PLATES FOLLOWED BY (I) SHALL BE PER ANNEX A3 OF TPI 1-2002 SEC. 3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER, PER ANSI/TPI 1 SEC. 2.

ARTHUR R. FISHER
LICENSE
No. 59687
STATE OF FLORIDA
PROFESSIONAL ENGINEER

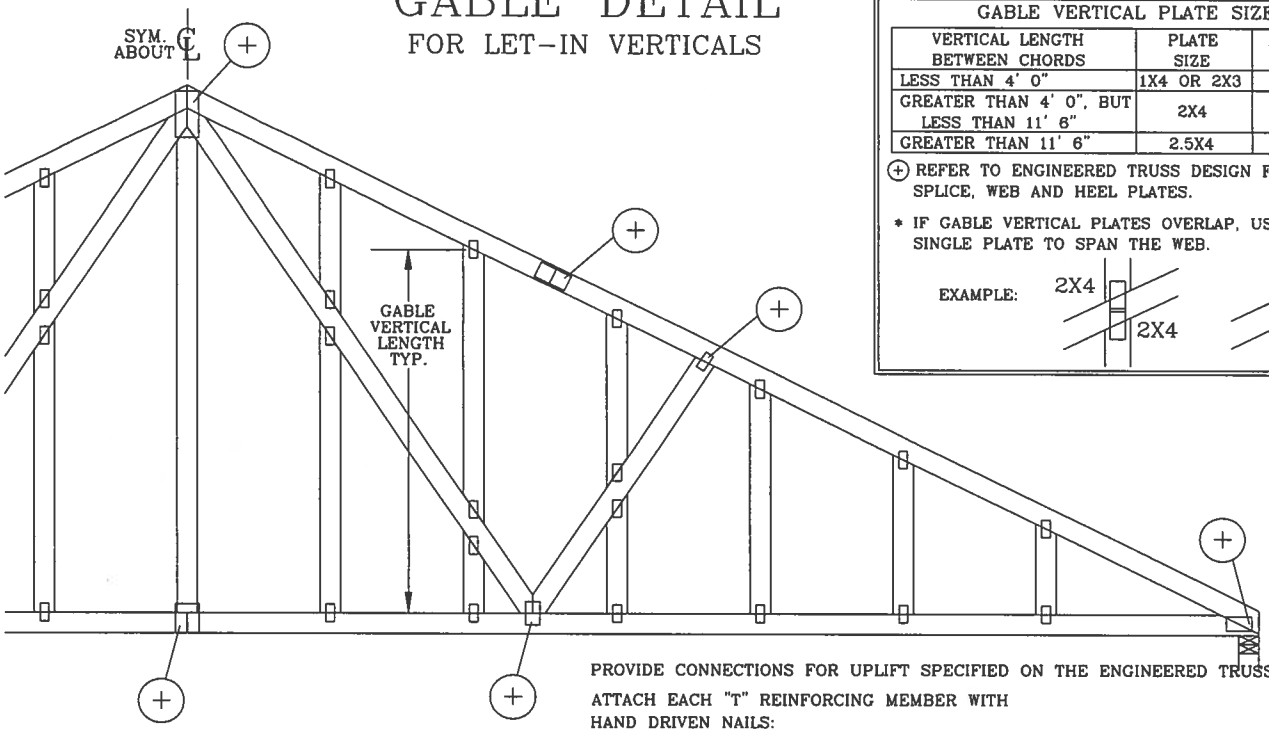
Feb 08

MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

REF	ASCE7-02-GAB11015
DATE	04/15/05
DRWG	A11015EE0405
-ENG	

GABLE DETAIL
FOR LET-IN VERTICALS



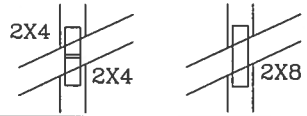
GABLE VERTICAL PLATE SIZES

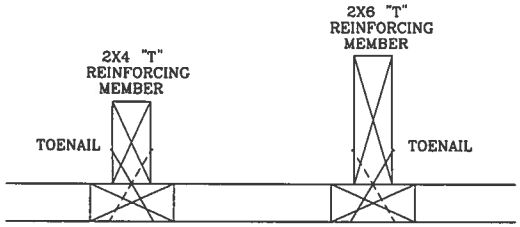
VERTICAL LENGTH BETWEEN CHORDS	PLATE SIZE	IF PLATES OVERLAP*
LESS THAN 4' 0"	1X4 OR 2X3	2X8
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2X4	2X8
GREATER THAN 11' 6"	2.5X4	2.5X8

(+) REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

* IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE TO SPAN THE WEB.

EXAMPLE:





TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" FACTOR BY LENGTH (BASED ON GABLE VERTICAL SPECIES, GRADE AND SPACING) FOR (1) 2X4 "L" BRACE, GROUP A, OBTAINED FROM THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	SBCCI	ASCE
110 MPH	2x4	10 %	10 %
15 FT	2x6	40 %	50 %
110 MPH	2x4	10 %	10 %
30 FT	2x6	50 %	50 %
100 MPH	2x4	10 %	10 %
15 FT	2x6	30 %	50 %
100 MPH	2x4	10 %	10 %
30 FT	2x6	40 %	40 %
90 MPH	2x4	20 %	10 %
15 FT	2x6	20 %	40 %
90 MPH	2x4	10 %	10 %
30 FT	2x6	30 %	50 %
80 MPH	2x4	10 %	20 %
15 FT	2x6	10 %	30 %
80 MPH	2x4	20 %	10 %
30 FT	2x6	20 %	40 %
70 MPH	2x4	0 %	20 %
15 FT	2x6	0 %	20 %
70 MPH	2x4	10 %	20 %
30 FT	2x6	10 %	30 %

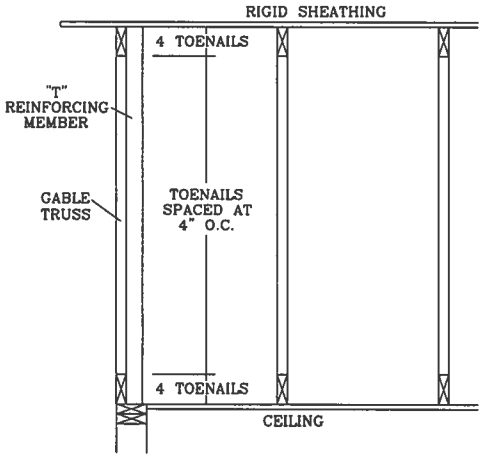
EXAMPLE:
ASCE WIND SPEED = 100 MPH
MEAN ROOF HEIGHT = 30 FT
GABLE VERTICAL = 24" O.C. SP #3
"T" REINFORCING MEMBER SIZE = 2X4
"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10
(1) 2X4 "L" BRACE LENGTH = 6' 7"
MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH
1.10 x 6' 7" = 7' 3"

PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH
HAND DRIVEN NAILS:
10d COMMON (0.148"X 3.",MIN) TOENAILS AT 4" O.C. PLUS
(4) 16d COMMON (0.162" X 3.5",MIN) TOENAILS IN TOP AND BOTTOM CHORD.
GUN DRIVEN NAILS:
8d COMMON (0.131"X 2.5",MIN) TOENAILS AT 4" O.C. PLUS
(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ALPINE GABLE DETAIL FOR ASCE OR SBCCI WIND LOAD.
ASCE 7-93 GABLE DETAIL DRAWINGS
A11015EN1103, A10015EN1103, A09015EN1103, A08015EN1103, A07015EN1103
A11030EN1103, A10030EN1103, A09030EN1103, A08030EN1103, A07030EN1103
ASCE 7-98 GABLE DETAIL DRAWINGS
A13015EC1103, A12015EC1103, A11015EC1103, A10015EC1103, A08515EC1103
A13030EC1103, A12030EC1103, A11030EC1103, A10030EC1103, A08530EC1103
ASCE 7-02 GABLE DETAIL DRAWINGS
A13015EE0405, A12015EE0405, A11015EE0405, A10015EE0405, A08515EE0405,
A13030EE0405, A12030EE0405, A11030EE0405, A10030EE0405, A08530EE0405

SEE APPROPRIATE ALPINE GABLE DETAIL (ASCE OR SBCCI WIND LOAD) FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.



THIS DRAWING REPLACES DRAWINGS GAB98117 876,719 & HC26294035

ALPINE
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ARTHUR R. FISHER
LICENSED
No. 59687
STATE OF FLORIDA
PROFESSIONAL ENGINEER
Feb 08

MAX TOT. LD.	60 PSF
DUR. FAC.	ANY
MAX SPACING	24.0"

REF	LET-IN VERT
DATE	04/14/05
DRWG	GBLLETIN0405
-ENG	DLJ/KAR