

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

LETTER MESSAGE 3/23/06

For Office Use Only (Revised 6-23-05) Zoning Official BLK 22.03.06 Building Official OK JH 3-20-08

AP# 0603-65 Date Received 3/17 By JW Permit # 24306

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments _____

_____ 02-068-E

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☒ EH Release ☒ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer

- Property ID # 11-65-17-09643-017 Must have a copy of the property deed
- New Mobile Home ☒ Used Mobile Home _____ Year 2006
- Applicant Gayle G. Eddy Phone # 386 496 3687
- Address 7356 SW 126th Ave Lake Butler FL 32054
- Name of Property Owner Rebecca Montgomery Phone# _____
- 911 Address 1589 SE October Rd Lake City 32025
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Rebecca R. Montgomery Phone # 386 497 1883
Address 1184 SW Sassafras St. Ft White, 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 1
- Lot Size 240' x 424' Total Acreage 2 Ac
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (ASSESSMENT PAID)
- Driving Directions to the Property 441 S. on 238, 1st Right before
Hobo Tractor (October Rd) go approx 1.5 miles to prop. on
Left 1589 on Mailbox
- Name of Licensed Dealer/Installer Gayle G. Eddy Phone # 386 496 3687
- Installers Address 7356 SW 126th Ave Lake Butler FL 32054
- License Number TH0000714 Installation Decal # 266220



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 11-6S-17-09643-017 - MOBILE HOM (000200)

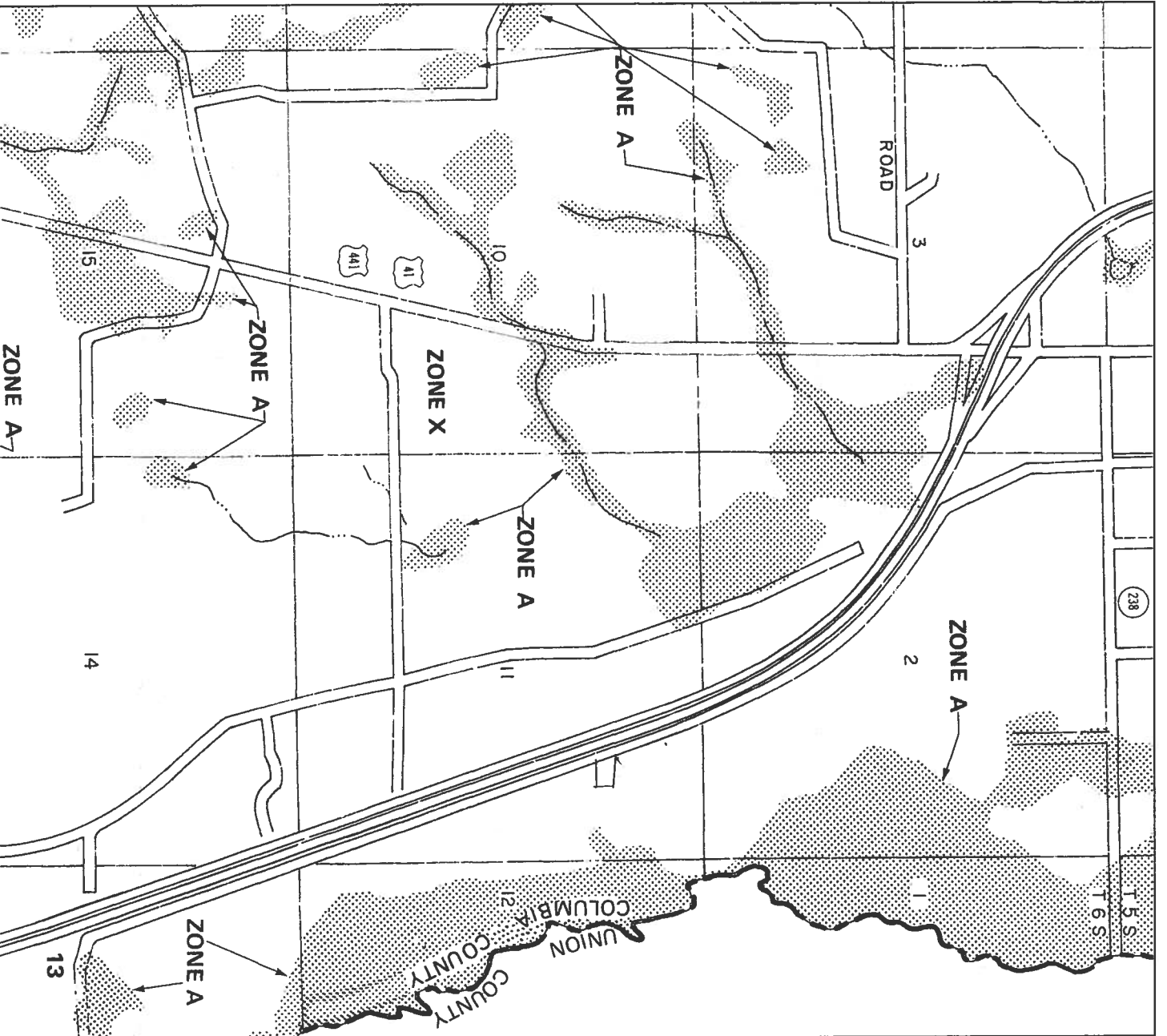
COMM NE COR, RUN W 612.26 FT, S 1378.69 FT, W 460 FT FOR POB, CONT W 348.48 FT TO E R/W

Name:	WYNDHAM JAMES E	LandVal	\$21,200.00
Site:	ROLLING GREEN HILLS	BldgVal	\$5,276.00
Mail:	1201 E WASHINGTON ST	ApprVal	\$26,476.00
	ORLANDO, FL 32801	JustVal	\$26,476.00
Sales	1/28/2003 \$18,900.00 I / Q	Assd	\$26,476.00
Info	4/9/1998 \$8,000.00 V / Q	Exmpt	\$0.00
	7/18/1997 \$10,000.00 V / U	Taxable	\$26,476.00

0 0.06 0.12 0.18 mi



This information, GIS Map Updated: 2/7/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

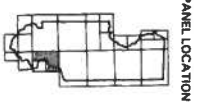


NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 250 OF 290



COMMUNITY-PANEL NUMBER
120070 0250 B
EFFECTIVE DATE:
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifisid.

Prepared by:
Robert Cabral Jr.
Provident Title & Mortgage, Inc.
206 South Marion Avenue
Lake City, Florida 32025

961-9421

File Number: 06-258

General Warranty Deed

Made this February 17, 2006 A.D. By James E. Wyndham an unmarried man,, whose address is: 1201 E. Washington Street, Orlando, FL 32801, hereinafter called the grantor, to Rebecca R. Montgomery, an unmarried woman, whose post office address is: 1184 SW Sassafrass Street, Fort White, FL 32038, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

South 2 acres of Parcel "P" of ROLLING GREEN HILLS, Commence at the Northeast corner of Section 11, Township 6 South, Range 17 East, Columbia County, Florida and run South 88 degrees, 11 minutes, 41 seconds West along the North line of said Section 11, 612.26 feet; thence South 01 degrees 38 minutes 45 seconds East, 1378.69 feet; thence South 88 degrees 02 minutes 42 seconds West, 460.00 feet for a Point of Beginning; thence continue South 88 degrees 02 minutes 42 seconds West, 348.28 feet to the Easterly right-of-way line of Old Wire Road; thence North 20 degrees 09 minutes 44 seconds West along said right-of-way line, 239.87 feet; thence North 88 degrees 21 minutes 15 seconds East, 424.65 feet; thence South 01 degrees 38 minutes 45 seconds East, 225.57 feet to the Point of Beginning.

Parcel ID Number: 11-6S-17-09643-017

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2005.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Ramona Molina
Witness Printed Name: Ramona Molina

Jonathan C. ...
Witness Printed Name: Jonathan C. ...

State of Florida
County of Orange

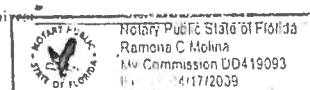
James E. Wyndham (Seal)
James E. Wyndham
Address: 1201 E. Washington Street, Orlando, FL 32801

... (Seal)
Address: ...

The foregoing instrument was acknowledged before me this 17th day of February, 2006, by James E. Wyndham an unmarried man,, who is/are personally known to me or who has produced driver's license as Identification.

Ramona Molina
Notary Public
Print Name: Ramona Molina

My Commission Expires





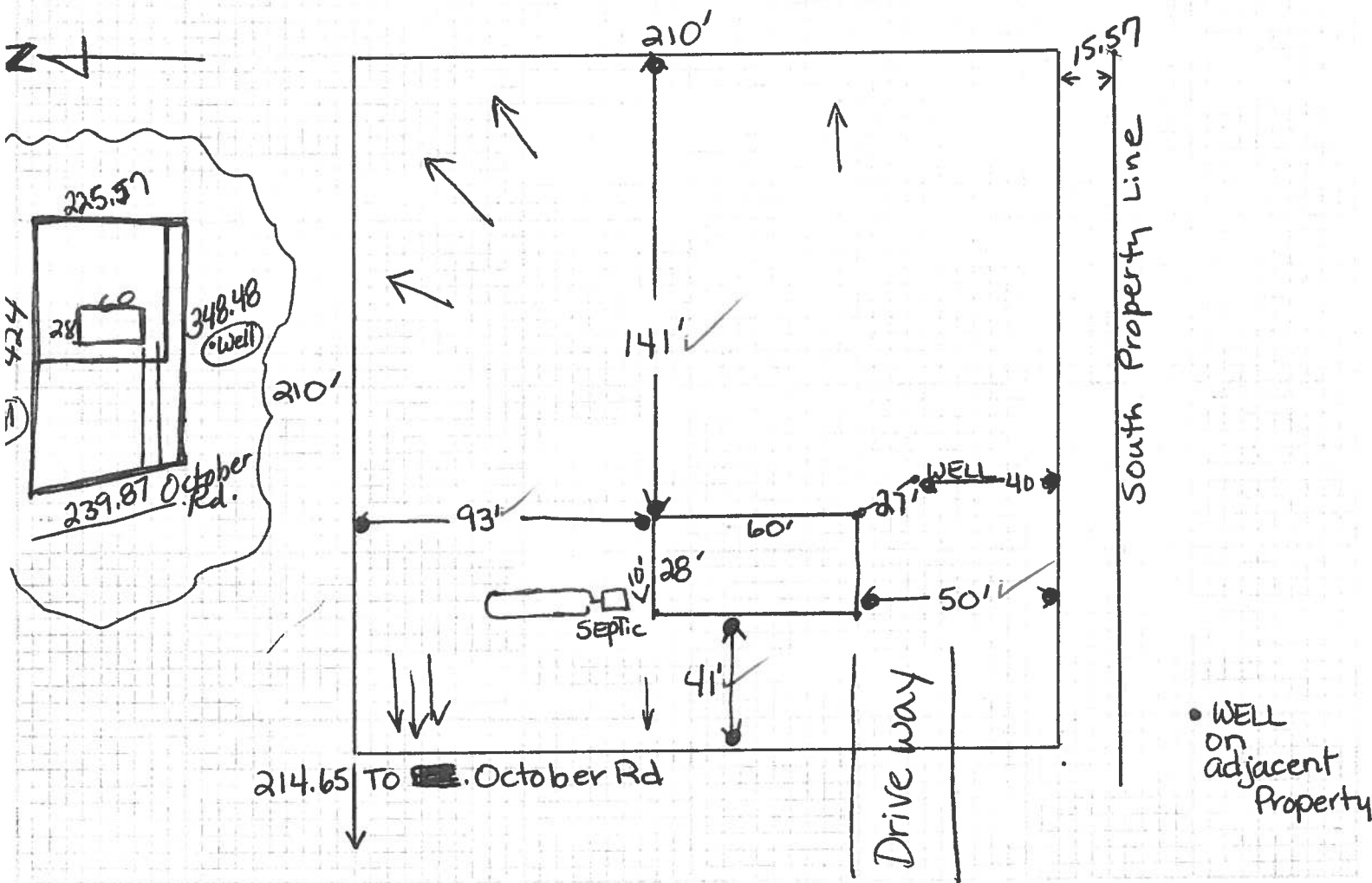
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number _____

PART II - SITE PLAN -

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: Myrtle A Eddy

Signature

Agent
Title

Plan Approved _____

Not Approved _____

Date _____

By _____ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PERMIT NUMBER

Installer

Gary Eddy

License #

140000714

Address of home being installed

1589 October Rd.
Lake City Fl. 32025

Manufacturer

Fleetwood

Length x width

28x60 (Box)

NOTE:

*if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home*

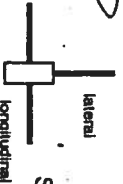
I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

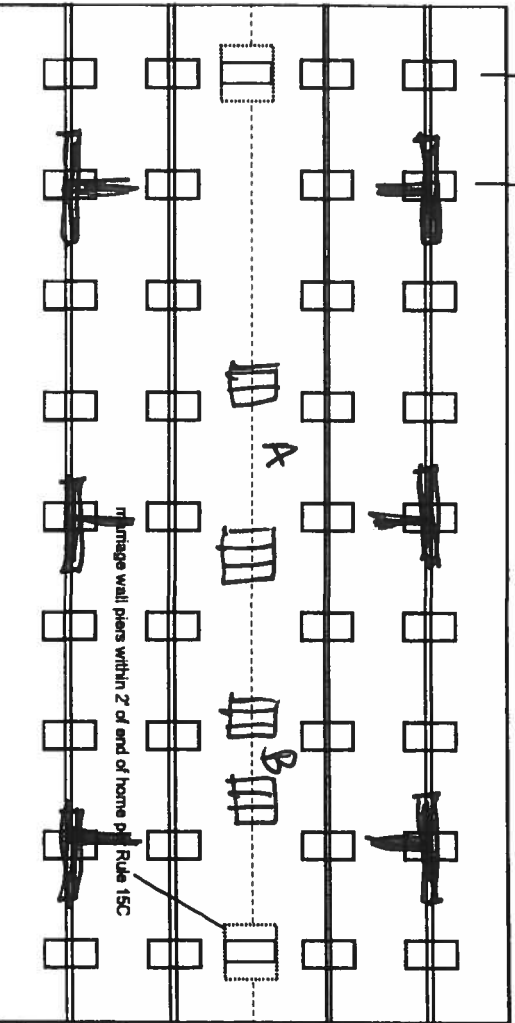
HE

Typical pier spacing

2' 5'



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



New Home



Used Home



Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide



Wind Zone II

Wind Zone III

Double wide



Installation Decal #

246220

Triple/Quad



Serial #

GAFCL34A/B 79455-63

CE 21

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	9'	10'	10'
2000 psf	6'	8'	9'	10'	11'	12'	12'
2500 psf	7' 6"	8'	9'	10'	11'	12'	12'
3000 psf	8'	8'	9'	10'	11'	12'	12'
3500 psf	8'	8'	9'	10'	11'	12'	12'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17x22

Perimeter pier pad size

17x22 Down

Other pier pad sizes (required by the mfg.)



Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

A

23x31/23x31

B

23x31/23x31

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

Oliver Lach

POPULAR PAD SIZES

Pad Size	Sq Ft
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

20

5

1

PERMIT WORKSHEET I

PERMIT NUMBER _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 2000 x 2000 x 2000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 2000 x 2500

TORQUE PROBE TEST

The results of the torque probe test is 300 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Paul H. Edley
3/17/06

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 55-56

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 57-58

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: 6" lag Length: 14" Spacing: 20"
Walls: Type Fastener: 4" screw Length: 8" Spacing: 20"
Roof: Type Fastener: 3" screw Length: 18" Spacing: 4' o/c
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials HE

Type gasket rolled from

Pg. 40

Installed:

Between Floors ☒ Yes
Between Walls ☒ Yes
Bottom of ridgebeam ☒ Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☐ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes ☐
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☐

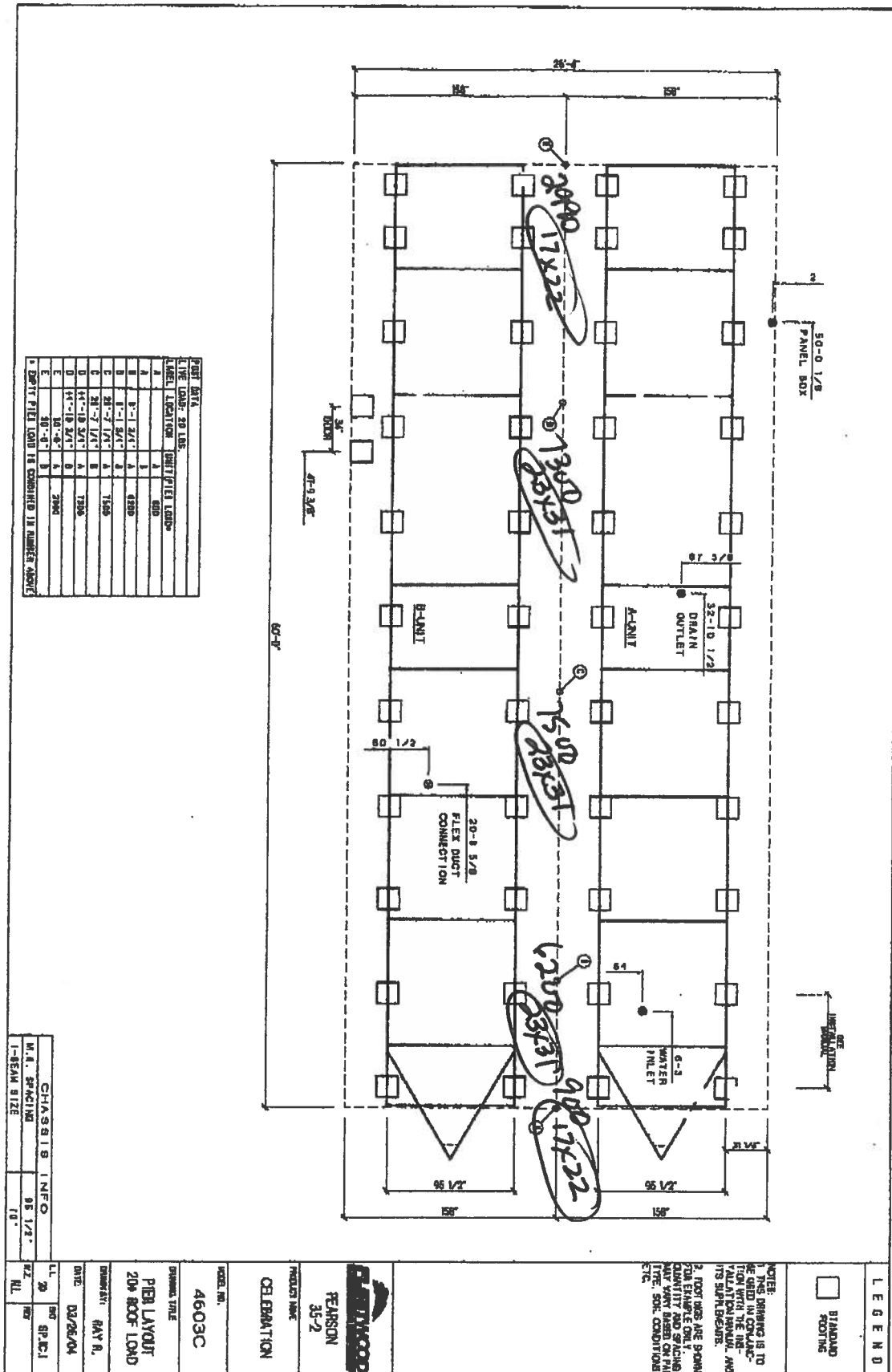
Miscellaneous

Skirting to be installed ☒ Yes ☐ No ☐ N/A
Dryer vent installed outside of skirting. Yes ☐ No ☐ N/A
Range downflow vent installed outside of skirting. Yes ☐ No ☐ N/A
Drain lines supported at 4 foot intervals. ☒ Yes ☐ No ☐ N/A
Electrical crossovers protected. ☒ Yes ☐ No ☐ N/A
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Paul H. Edley Date 3/17/06





MONTGOMERY

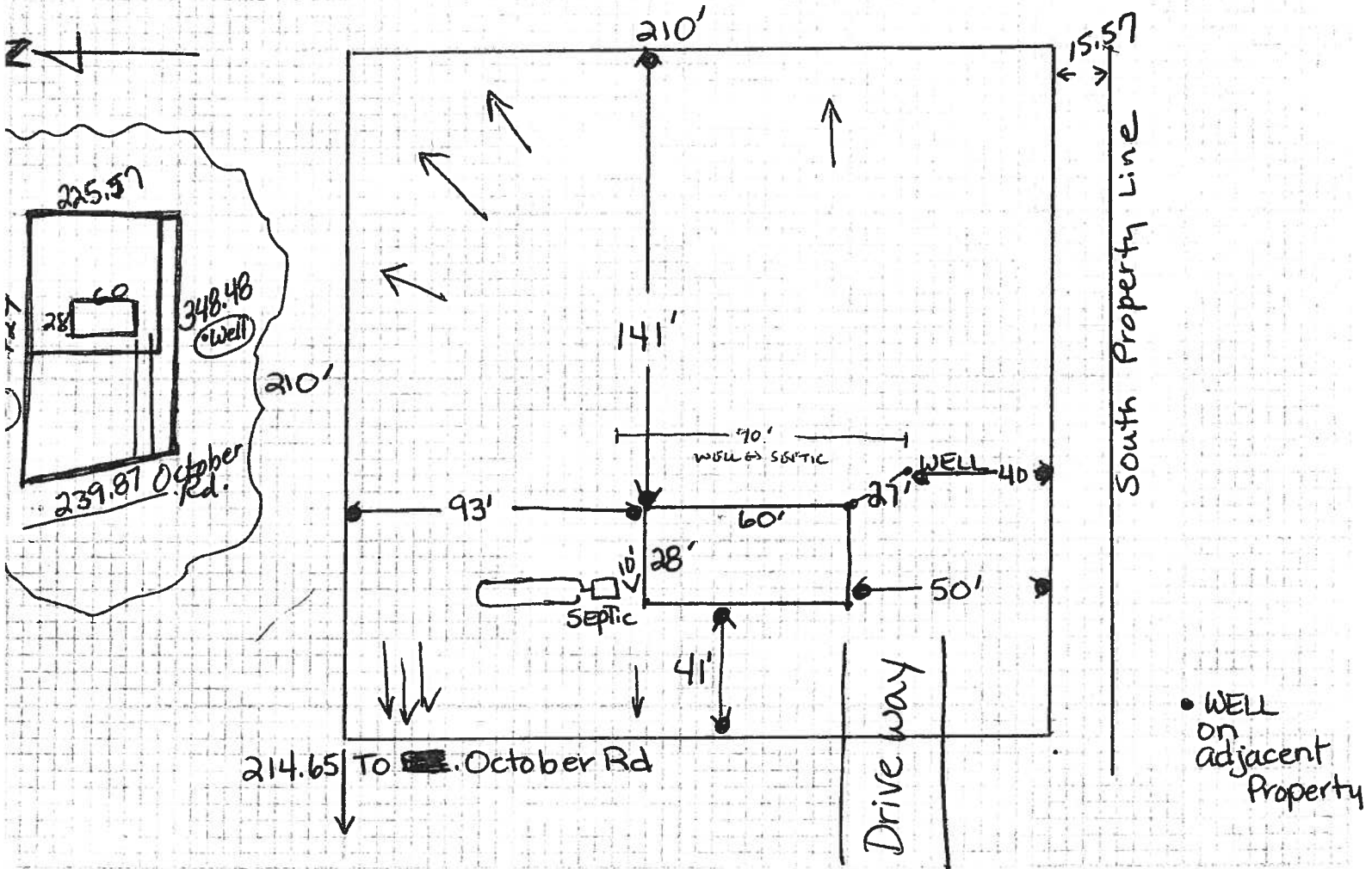
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0268E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: _____
revised 3/22/6

Site Plan submitted by: Gayle A Eddy Signature _____ Title agent
Plan Approved X Not Approved _____ Date 3/22/6
By [Signature] COLUMBIA County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PERMIT NUMBER 14306

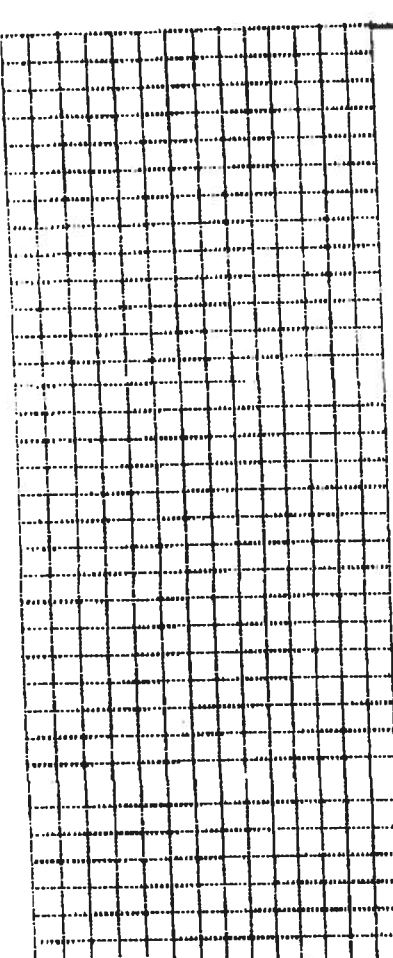
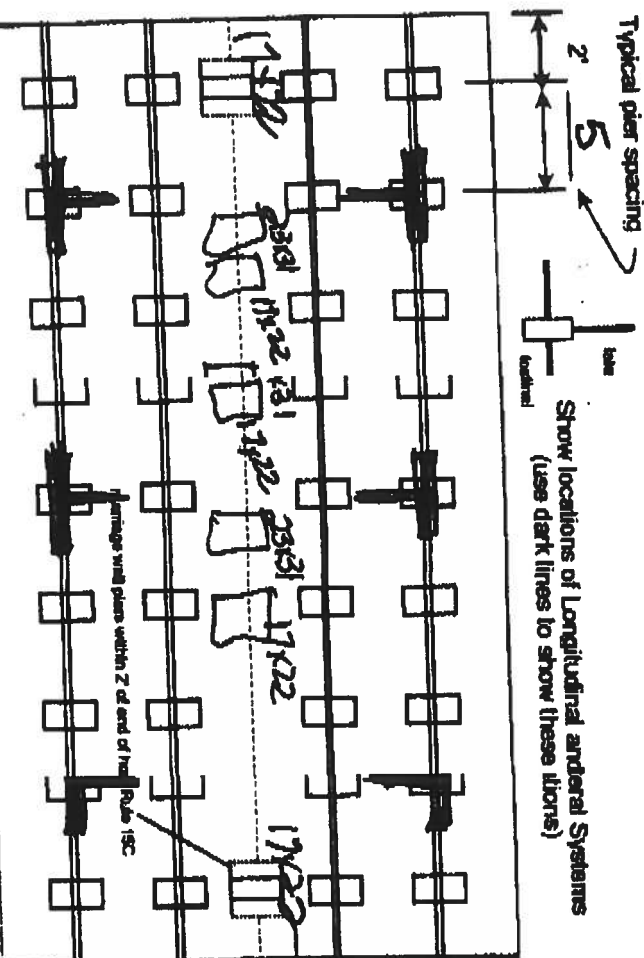
Installer Gale S. Day License # IT000714

Address of home being installed 1589 S. October Rd.

Manufacturer Lakeithy, FL 32025 Length x width 26'0" x 26'0"

NOTE: If home is a single to fill out one half of the blocking at if home is a triple quad wide sketch in remainder of ho

I understand Lateral Arm Sys. cannot be used on any home (new ced) where the sidewall ties exceed 14 in. Installer's initials EC



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 260219

Triple Quad ☐ Serial # GAR 03418 79455- CE21

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	Footer size (256)	18 1/2" x 18 1/2"	20" x 20"	22" x 22"	24" x 24"	26" x 26"
1000 psi	3'	4'	5'	6'	7'	8'
1500 psi	4'	5'	6'	7'	8'	9'
2000 psi	5'	6'	7'	8'	9'	10'
2500 psi	6'	7'	8'	9'	10'	11'
3000 psi	7'	8'	9'	10'	11'	12'
3500 psi	8'	9'	10'	11'	12'	13'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

SEE ATTACHED

ANCHORS

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

1101V Oliver

Sidewall

Longitudinal

Marriage wall

Shearwall

Number

1

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 pcf or check here to declare 1000 lb. soil without testing.

x 2000 x 2000 x 2500

POCKET PENETROMETER TESTING METHOD

- 1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 2000 x 2500 x 2500

TORQUE PROBE TEST

The results of the torque probe test is 300 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Date Tested

Electrical

connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 55-56

Plumbing

connect all sewer drains to an existing sewer tap or septic tank. Pg. 51-52
Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 51-52

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi wide units

Floor: Type Fastener: 1 inch Length: 6 inch Spacing: 20
Walls: Type Fastener: 3/8 inch Length: 18 inch Spacing: 20
Roof: Type Fastener: 3/8 inch Length: 18 inch Spacing: 20
For used homes a min. 30 gauge, 8 inch wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket rolled on
Pg. 40
Installed: Between Floors
Between Walls
Bottom of ridgebeam

Weatherproofing

The bottomboard will be repaired and/or taped. Yes
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Date 3/16

COLUMBIA COUNTY
DEPT
OF
ALTIMA

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 11-GS-17-09643-017

Building permit No. 000024306

Permit Holder GAYLE EDDY

Owner of Building REBECCA MONTGOMERY

Location: 1589 SE OCTOBER ROAD, LAKE CIT, FL 32025

Date: 05/22/2006



Theresa L. Davis
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)