

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION LETTER MESSAGE 3/23/06

For Office Use Only (Revised 6-23-05) Zoning Official BLK 22.03.06 Building Official OK JH 3-22-06

AP# 0603-65 Date Received 3/17 By JW Permit # 24306

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments _____

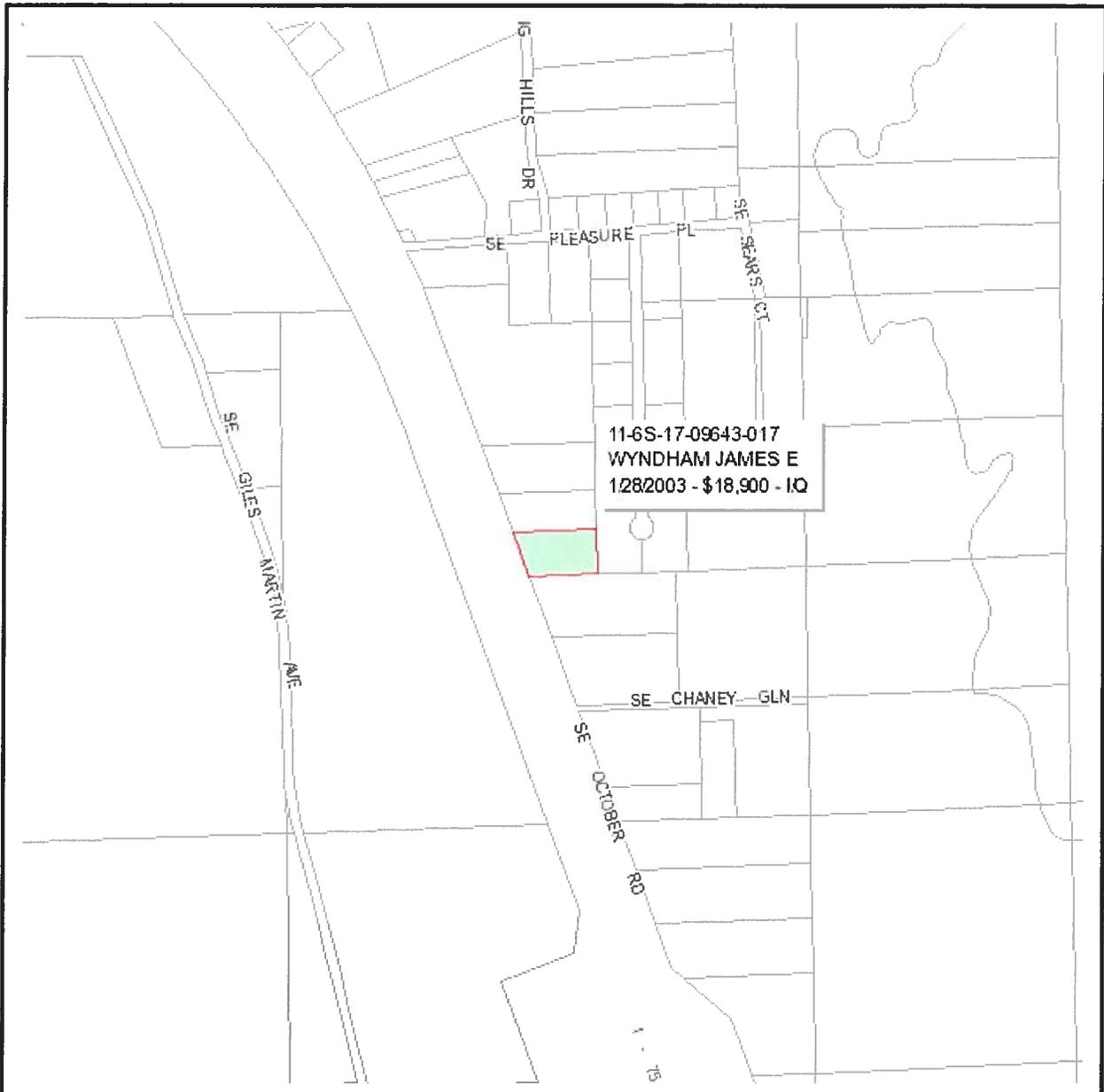
_____ 02-068-E

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

Site Plan with Setbacks Shown EH Signed Site Plan EH Release Well letter Existing well

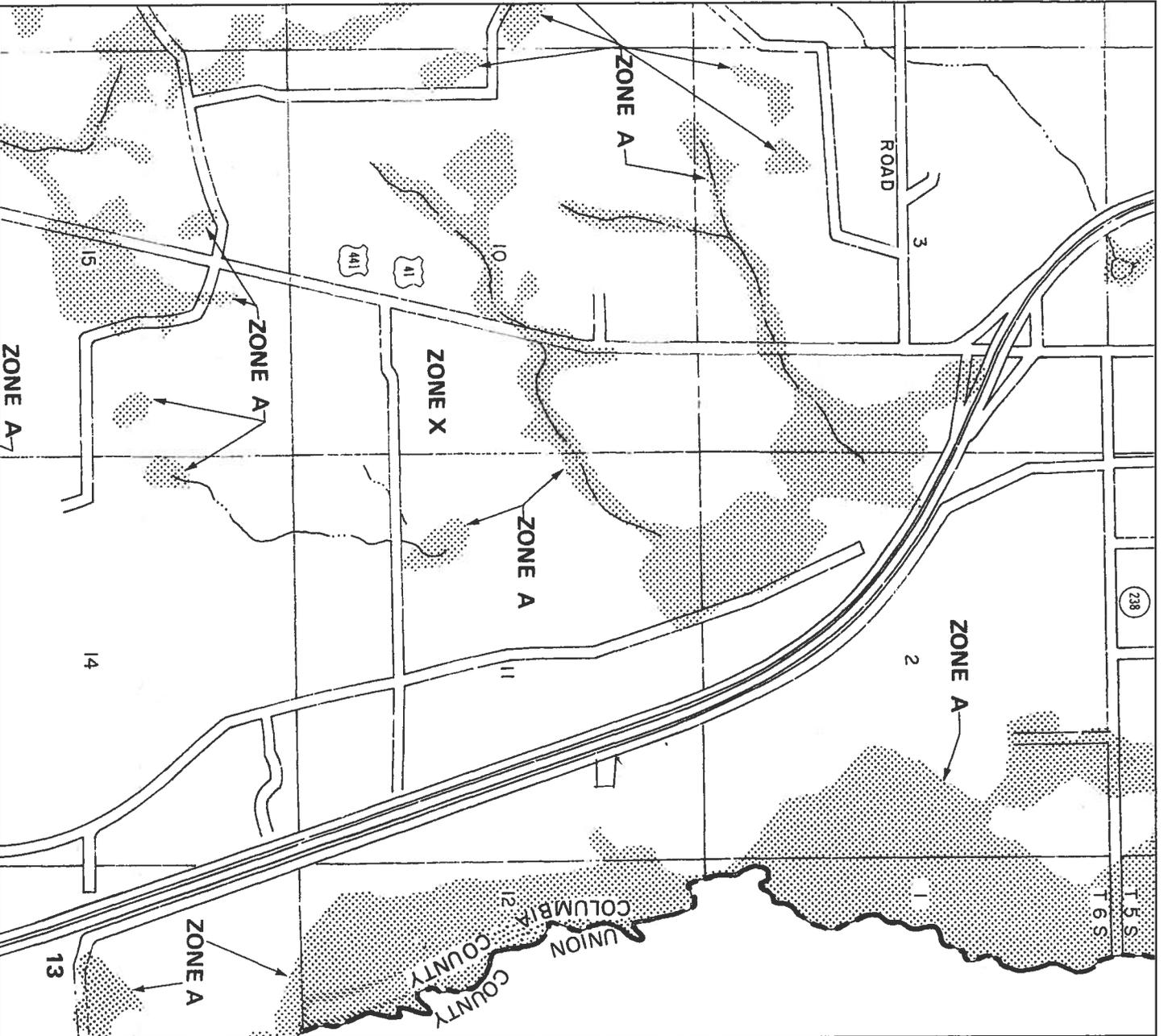
Copy of Recorded Deed or Affidavit from land owner Letter of Authorization from Installer

- Property ID # 11-65-17-09643-017 Must have a copy of the property deed
- New Mobile Home Used Mobile Home _____ Year 2006
- Applicant Gayle G. Eddy Phone # 386 496 3687
- Address 7356 SW 126th Ave Lake Butler FL 32054
- Name of Property Owner Rebecca Montgomery Phone# _____
- 911 Address 1589 SE October Rd Lake City 32025
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Rebecca R. Montgomery Phone # 386 497 1883
Address 1184 SW Sassafras St. Ft White, 32038
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 1
- Lot Size 240' x 424' Total Acreage 2 Ac.
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (ASSESSMENT FIRM)
- Driving Directions to the Property 441 S. Lon 238, 1st Right before Hobo Tractor (October Rd) go approx 1.5 miles to prop. on left 1589 on mailbox
- Name of Licensed Dealer/Installer Gayle G. Eddy Phone # 386 496 3687
- Installers Address 7356 SW 126th Ave Lake Butler FL 32054
- License Number IH0000714 Installation Decal # 266220



Columbia County Property Appraiser J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083		0 0.06 0.12 0.18 mi													
PARCEL: 11-6S-17-09643-017 - MOBILE HOM (000200) COMM NE COR, RUN W 612.26 FT, S 1378.69 FT, W 460 FT FOR POB, CONT W 348.48 FT TO E R/W															
Name: WYNDHAM JAMES E Site: ROLLING GREEN HILLS Mail: 1201 E WASHINGTON ST ORLANDO, FL 32801 Sales: 1/28/2003 \$18,900.00 I / Q 4/9/1998 \$8,000.00 V / Q Info: 7/18/1997 \$10,000.00 V / U	<table border="0"> <tr><td>LandVal</td><td>\$21,200.00</td></tr> <tr><td>BldgVal</td><td>\$5,276.00</td></tr> <tr><td>ApprVal</td><td>\$26,476.00</td></tr> <tr><td>JustVal</td><td>\$26,476.00</td></tr> <tr><td>Assd</td><td>\$26,476.00</td></tr> <tr><td>Exmpt</td><td>\$0.00</td></tr> <tr><td>Taxable</td><td>\$26,476.00</td></tr> </table>			LandVal	\$21,200.00	BldgVal	\$5,276.00	ApprVal	\$26,476.00	JustVal	\$26,476.00	Assd	\$26,476.00	Exmpt	\$0.00
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Assd	\$26,476.00														
Exmpt	\$0.00														
Taxable	\$26,476.00														

This information, GIS Map Updated: 2/7/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



238



APPROXIMATE SCALE IN FEET



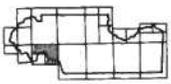
NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 250 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER
120070 0250 B
EFFECTIVE DATE:
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nflisid.

Prepared by:
Robert Cabral Jr
Provident Title & Mortgage, Inc.
206 South Marion Avenue
Lake City, Florida 32025

961-9421

File Number: 06-258

General Warranty Deed

Made this February 17, 2006 A.D. By James E. Wyndham an unmarried man,, whose address is: 1201 E. Washington Street, Orlando, FL 32801, hereinafter called the grantor, to Rebecca R. Montgomery, an unmarried woman, whose post office address is: 1184 SW Sassafrass Street, Fort White, FL. 32038, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

South 2 acres of Parcel "P" of ROLLING GREEN HILLS, Commence at the Northeast corner of Section 11, Township 6 South, Range 17 East, Columbia County, Florida and run South 88 degrees, 11 minutes, 41 seconds West along the North line of said Section 11, 612.26 feet; thence South 01 degrees 38 minutes 45 seconds East, 1378.69 feet; thence South 88 degrees 02 minutes 42 seconds West, 460.00 feet for a Point of Beginning; thence continue South 88 degrees 02 minutes 42 seconds West, 348.28 feet to the Easterly right-of-way line of Old Wire Road; thence North 20 degrees 09 minutes 44 seconds West along said right-of-way line, 239.87 feet, thence North 88 degrees 21 minutes 15 seconds East, 424.65 feet; thence South 01 degrees 38 minutes 45 seconds East, 225.57 feet to the Point of Beginning.

Parcel ID Number: 11-6S-17-09643-017

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2005.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Ramona Molina
Witness Printed Name: Ramona Molina

James E. Wyndham (Seal)
James E. Wyndham
Address: 1201 E. Washington Street, Orlando, FL 32801

Jonathan Gray
Witness Printed Name: Jonathan Gray

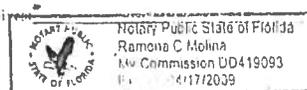
Address: _____ (Seal)

State of Florida
County of Orange

The foregoing instrument was acknowledged before me this 17th day of February, 2006, by James E. Wyndham an unmarried man, who is/are personally known to me or who has produced driver's license as Identification.

Ramona Molina
Notary Public
Print Name: Ramona Molina

My Commission Expires _____



PERMIT NUMBER

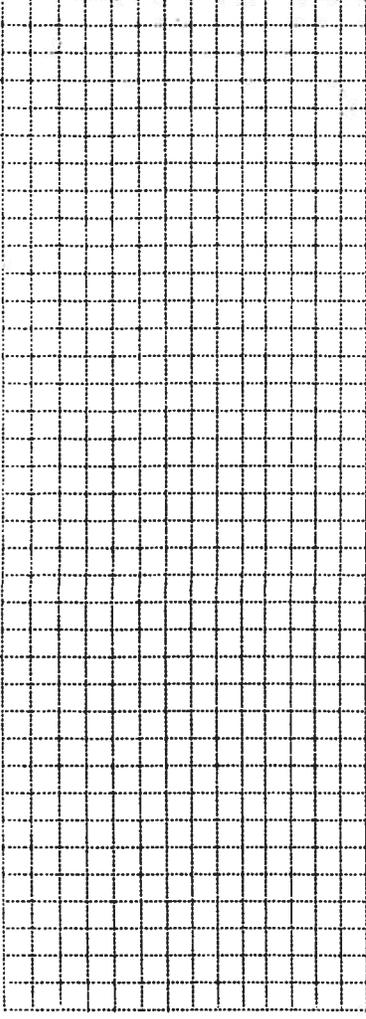
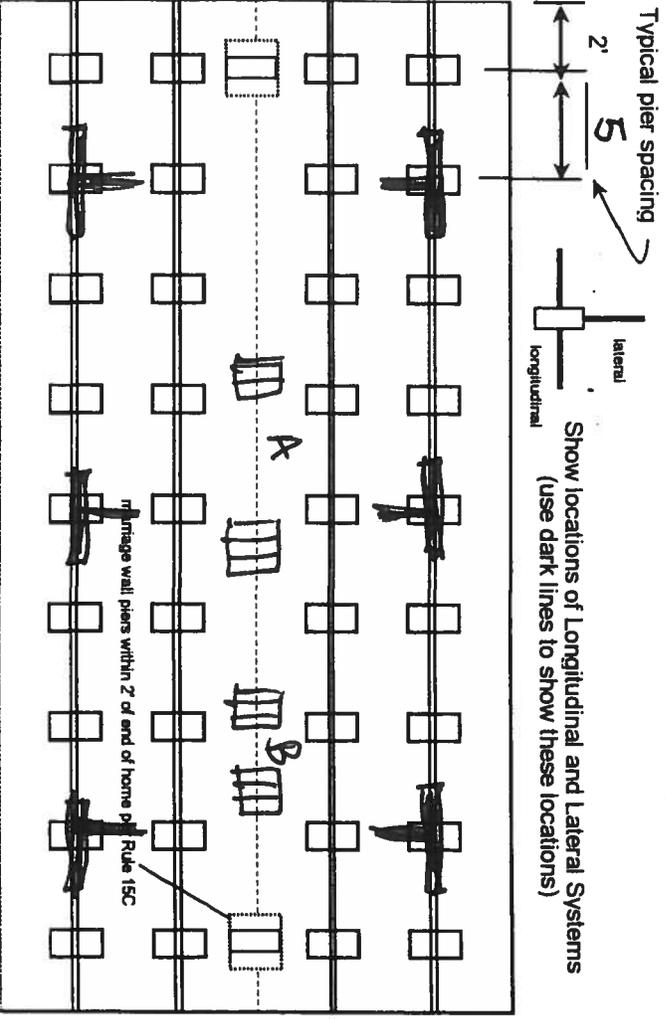
Installer Sayle Eddy License # 1B0000714

Address of home being installed 1589 October Rd. Lake City Fl. 32025

Manufacturer Fleetwood Length x width 28x60 (Box)

NOTE: *if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home*

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in. Installer's initials [Signature]



New Home Used Home

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide Wind Zone II Wind Zone III

Double wide Installation Decal # 266220

Triple/Quad Serial # GAFCL634A/B 79455-03

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size 17x22 Down

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening A Pier pad size 23x31 / 23x31

B 23x31 / 23x31

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
 Manufacturer Oliver Tech
 Longitudinal Stabilizing Device w/ Lateral Arms

POPULAR PAD SIZES

Pad Size	Sq Ft
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22.5	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	447
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft

FRAME TIES

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall
 Number 1

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 2000 x 2000 x 2000

POCKET PENETROMETER TESTING METHOD

- 1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 2000 x 2500

TORQUE PROBE TEST

The results of the torque probe test is 300 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name: [Signature]
Date Tested: 3/17/06

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 55-56

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 57-58

Site Preparation

Debris and organic material removed [checked] Swale [checked] Pad [checked] Other

Fastening multi wide units

Floor: Type Fastener: 6" lag Length: 18" Spacing: 20
Walls: Type Fastener: 4" screw Length: 8" Spacing: 20
Roof: Type Fastener: 3" strap Length: 18" Spacing: 4' o/c
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials: [Signature]

Type gasket rolled from: [Signature]
Pg. 40
Installed: Between Floors [checked]
Between Walls [checked]
Bottom of ridgebeam [checked]

Weatherproofing

The bottomboard will be repaired and/or taped. Yes. Pg.
Siding on units is installed to manufacturer's specifications. Yes.
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

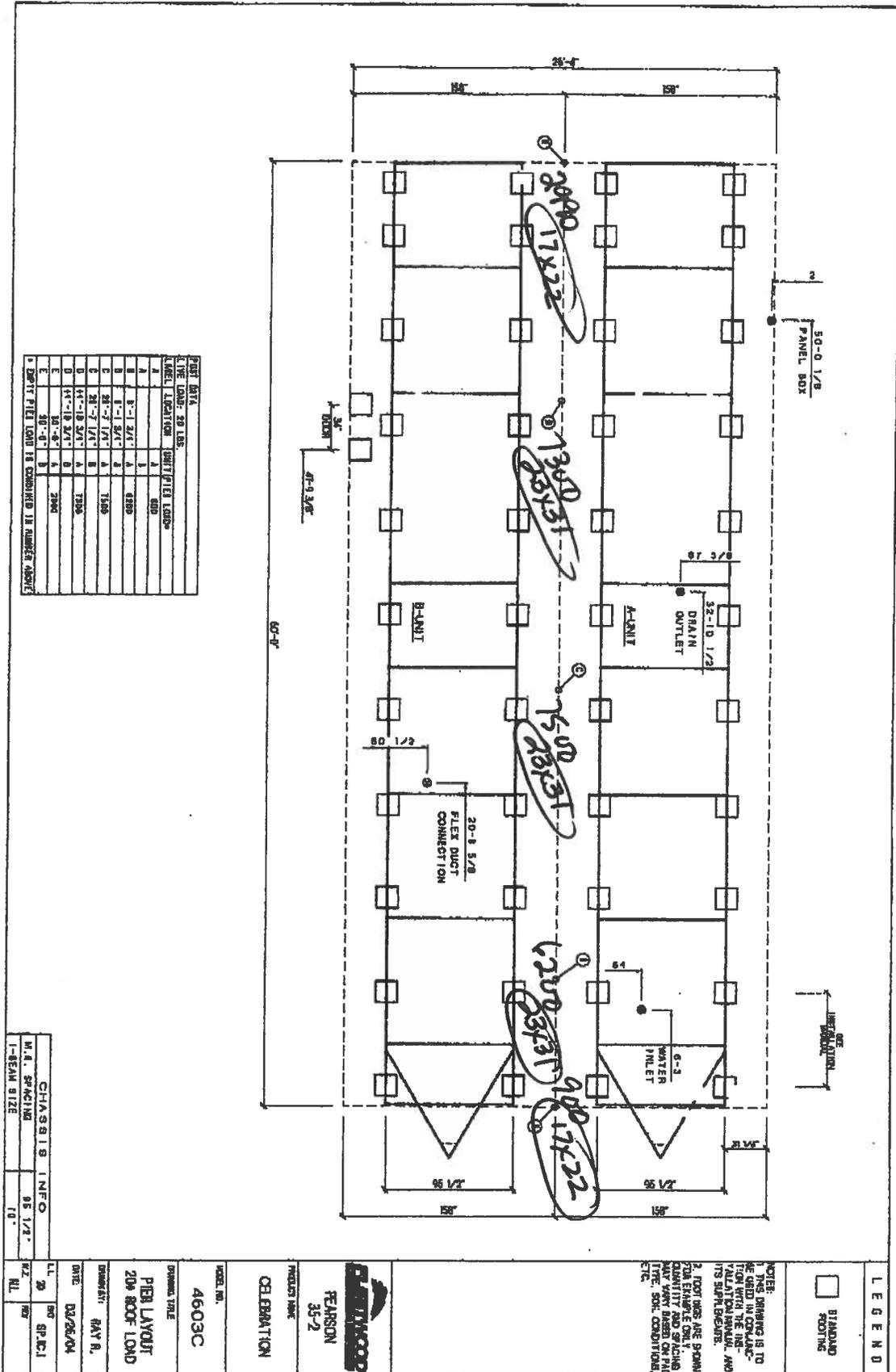
Miscellaneous

Skirting to be installed: Yes [checked] No [checked]
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other: [checked]

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature: [Signature] Date: 3/17/06





MONTGOMERY

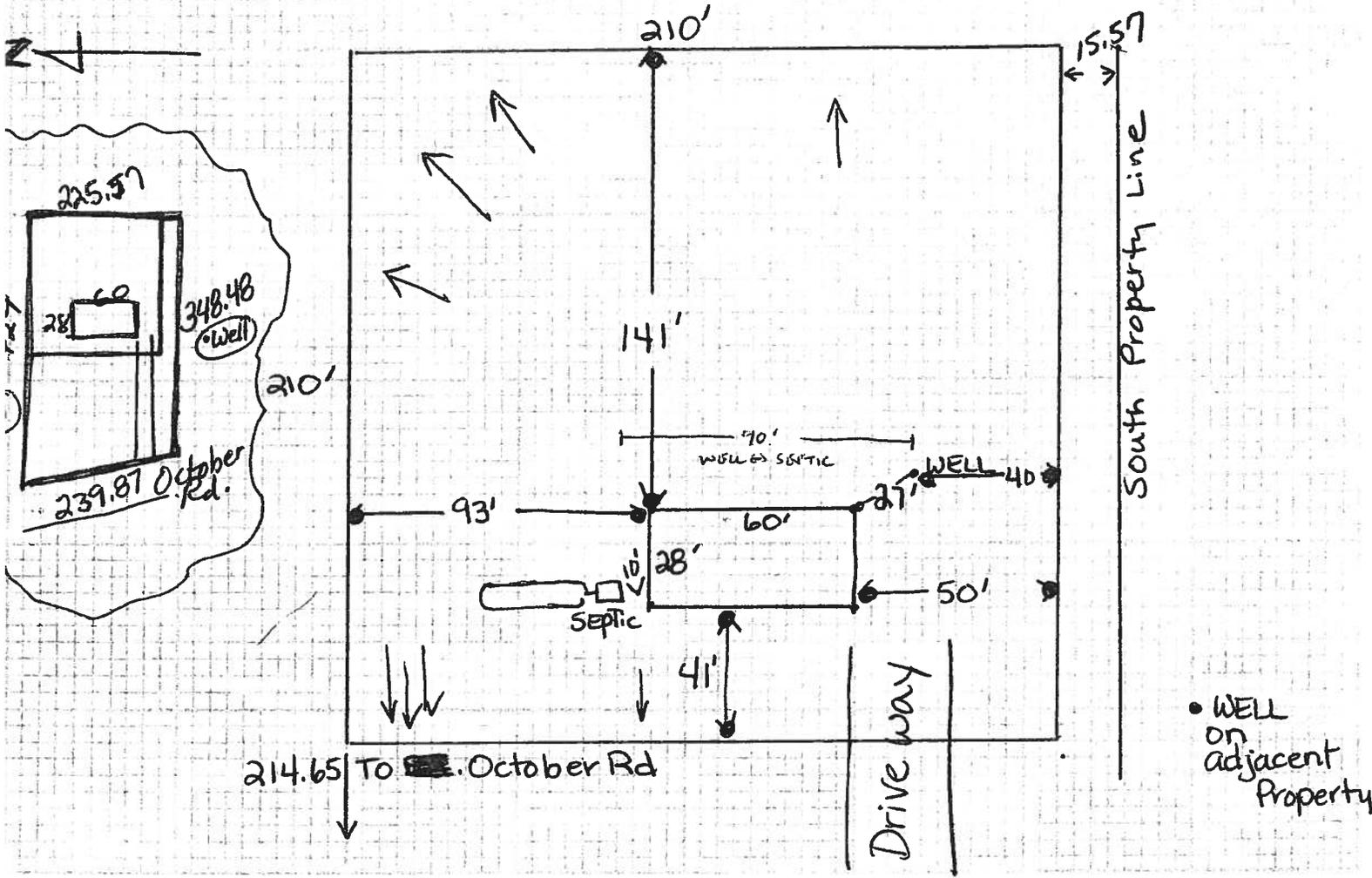
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 06-0268E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



• WELL on adjacent Property

Notes: _____

revised 3/22/6

Site Plan submitted by: Gayle A Eddy Signature

Agent Title

Plan Approved Not Approved _____

Date 3/22/6

By [Signature] COLUMBIA County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PERMIT NUMBER 14306

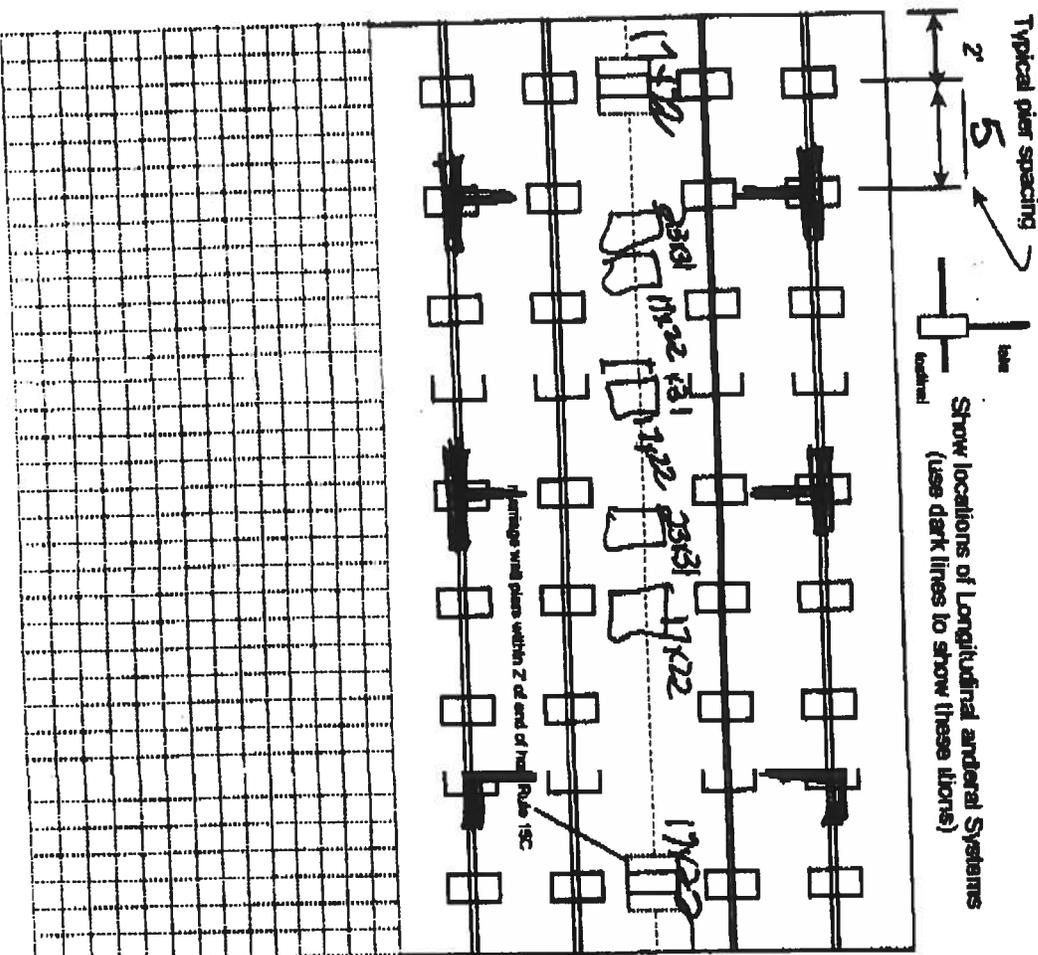
Installer Gale Stry License # IT000714

Address of home being installed 1589 S. OCTOBER RD

Manufacturer Plewood Length x width 2610

NOTE: If home is a single to fill out one half of the blocking at if home is a triple quad wide sketch in remainder of ho

I understand Lateral Arm Systems cannot be used on any home (new ced) where the sidewall ties exceed 14 in. Installer's initials LE



New Home Used Home

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide Wind Zone II Wind Zone III

Double wide Installation Decal # 2610219

TripleQuad Serial # GAR 034AB 79455- CE21

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq ft)	Footer size (sq ft)	18' x 18'	18' 1/2" x 18' 1/2"	20' x 20'	22' x 22'	24' x 24'	26' x 26'
1000 psi	3'						
1500 psi	4' 6"						
2000 psi	6'						
2500 psi	7' 6"						
3000 psi	8'						
3500 psi	8'						

* Interpolated from Rule 15C-1 pier spacing table

PIER PAD SIZES

I-beam pier pad size 17x22

Perimeter pier pad size _____

Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

SEE ATTACHED

FRAME TIES
4 ft _____ 5 ft _____

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer B 1101V Oliver

OTHER TIES

Sidewall _____

Longitudinal _____

Marriage wall _____

Shearwall _____



PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 pcf or check here to declare 1000 lb. soil without testing.

x 2000 x 2000 x 2500

POCKET PENETROMETER TESTING METHOD

- 1. Test the perimeter of the home at 6 locations.
- 2. Take the reading at the depth of the footer.
- 3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 2000 x 2500 x 2500

TORQUE PROBE TEST

The results of the torque probe test is 300 inch pounds or check here if you are declaring 5 anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name: George Eddy
Date Tested: 5/16/06

Electrical

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 55-56

Plumbing

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 51-52

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi-wide units

Floor: Type Fastener: 1 inch Length: 6 1/2" Spacing: 20"
Walls: Type Fastener: Scrub Length: 18 1/2" Spacing: 20"
Roof: Type Fastener: Strip Length: 10 1/2" Spacing: 20"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials: BE

Type gasket: rolled down
Pg. 40
Installed:
Between Floors
Between Walls
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes
Siding on units is installed to manufacturer's specifications. Yes Pg. 59
Fireplace chimney installed so as not to allow intrusion of rain-water. Yes

Miscellaneous

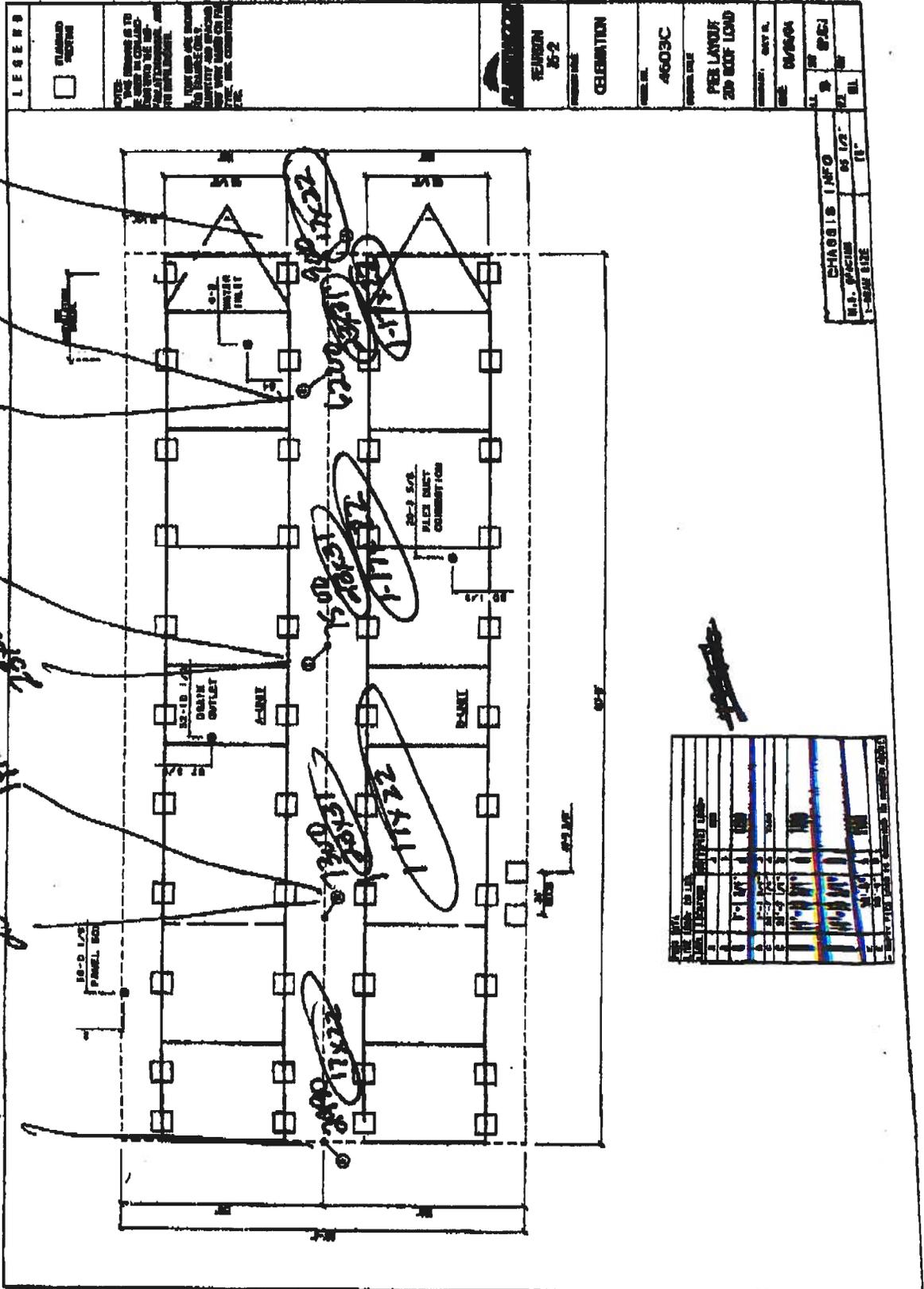
Skirting to be installed. Yes No N/A
Dryer vent installed outside of skirting. Yes No N/A
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature: George Eddy Date: 3/16

TO JR Mobile Home Svc 3/14/2006 12:17 PM Page 4

FROM



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LEGEND
 STANDARD NOTING

NOTES:
 THE NUMBER IS TO BE USED IN THE FIELD TO IDENTIFY THE LOCATION OF THE UNIT. THE NUMBER IS TO BE USED IN THE FIELD TO IDENTIFY THE LOCATION OF THE UNIT. THE NUMBER IS TO BE USED IN THE FIELD TO IDENTIFY THE LOCATION OF THE UNIT.

REGION 5-2
 CELEBRATION
 4603C
 PER LANDLORD
 20' ROOF LOAD
 DATE 06/04/04

CHARACTERISTICS INFO		
M.P. SQUARES	S.F.	S.F./M.P.
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LINE NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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CHERRYBROOK AVENUE
OPEN

M/H O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 11-6S-17-09643-017

Building permit No. 000024306

Permit Holder GAYLE EDDY

Owner of Building REBECCA MONTGOMERY

Location: 1589 SE OCTOBER ROAD, LAKE CIT, FL 32025



Date: 05/22/2006

Therese Davis
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)