

DATE 01/09/2004

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000021406

APPLICANT JOHN BURKI PHONE 935-4821  
ADDRESS 3368 256TH STREET O'BRIEN FL 32071  
OWNER LISA REYNOLDS PHONE 935-4821  
ADDRESS 497 SW APPLEWOOD GLEN FT. WHITE FL 32038  
CONTRACTOR JOSEPH CHAPMAN PHONE 497-2277  
LOCATION OF PROPERTY 47S, TL 238, TL OLD WIRE RD, TR ON APPLEWOOD GLEN, 3RD LOT  
ON LEFT, DRIVEWAY BEFORE RETENTION POND, TL, CURVE LEFT  
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION .00  
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 14-6S-16-03817-101 SUBDIVISION OLD WIRE RIDGE  
LOT 1 BLOCK PHASE UNIT TOTAL ACRES 11.01

IH0000240  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 03-1126-N BK HD  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 1001

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic  
date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing  
date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor  
date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)  
date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert  
date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool  
date/app. by date/app. by  
Reconnection Pump pole Utility Pole  
date/app. by date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof  
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ .00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 51.03 WASTE FEE \$ 110.25  
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 411.28

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



left message 1/8/04 G

\*\*\* The well affidavit, from the well driller, is required before the permit can be issued.\*\*\*

\*\*\*This application must be ,completely, filled out to be accepted. Incomplete applications will not be accepted.\*\*\*

For Office Use Only	Zoning Official <u>BLK</u>	Building Official <u>ND 1-8-04</u>
AP# <u>0401-01</u>	Date Received <u>1-2-04</u>	By <u>G</u> Permit # <u>21406</u>
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u> Land Use Plan Map Category <u>A-3</u>
Comments _____		

- Property ID # 14-65-16-03817-101 \*(Must have a copy of the property deed
- New Mobile Home \_\_\_\_\_ Used Mobile Home ☒ Year 84
- Applicant John N. BURKI Phone # 386 935-4604
- Address 3368 256<sup>th</sup> St O'Brien, FL 32071
- Name of Property Owner Lisa Reynolds Phone# 386 935 4821
- Address 497 SW Applewood Glen
- Name of Owner of Mobile Home Lisa Reynolds Phone # 386 935 4821
- Address 497 SW Applewood Glen
- Relationship to Property Owner self
- Current Number of Dwellings on Property one
- Lot Size 729.61 x 160.97 x 729.58 x 654.57 Total Acreage ~~11.01~~ 11.01
- Current Driveway connection is Existing
- Is this Mobile Home Replacing an Existing Mobile Home No
- Name of Licensed Dealer/Installer Joseph Chatman Phone # 386 497-2271
- Installers Address 9441 SW US Hwy 27 Fort White 32038
- License Number 1H-0000240 Installation Decal # 216029

\*\*\*The Permit Worksheet (2 pages) must be submitted with this application.\*\*\*

\*\*\*Installers Affidavit and Letter of Authorization must be notarized when submitted.\*\*\*



PERMIT NUMBER

Installer Joseph A. Chatman License # 1H0000240

Address of home being installed 497 SW Applewood Glen

Manufacturer Parkway Length x width 14x70

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in. Installer's initials JAC

New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual ☐

Home is installed in accordance with Rule 15-C ☒

Single wide ☒ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # 216029

Triple/Quad ☐ Serial # 121663

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" X 24" (576)	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4'6"		6'	7'	8'	8'	8'
2000 psf	6'		8'	8'	8'	8'	8'
2500 psf	7'6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

13 piers  
5'0" l-beam pier pad size 17x22  
13 piers  
5'0" Perimeter pier pad size none  
Other pier pad sizes (required by the mfg.)

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

ANCHORS

Opening Pier pad size 4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5'4" oc 13

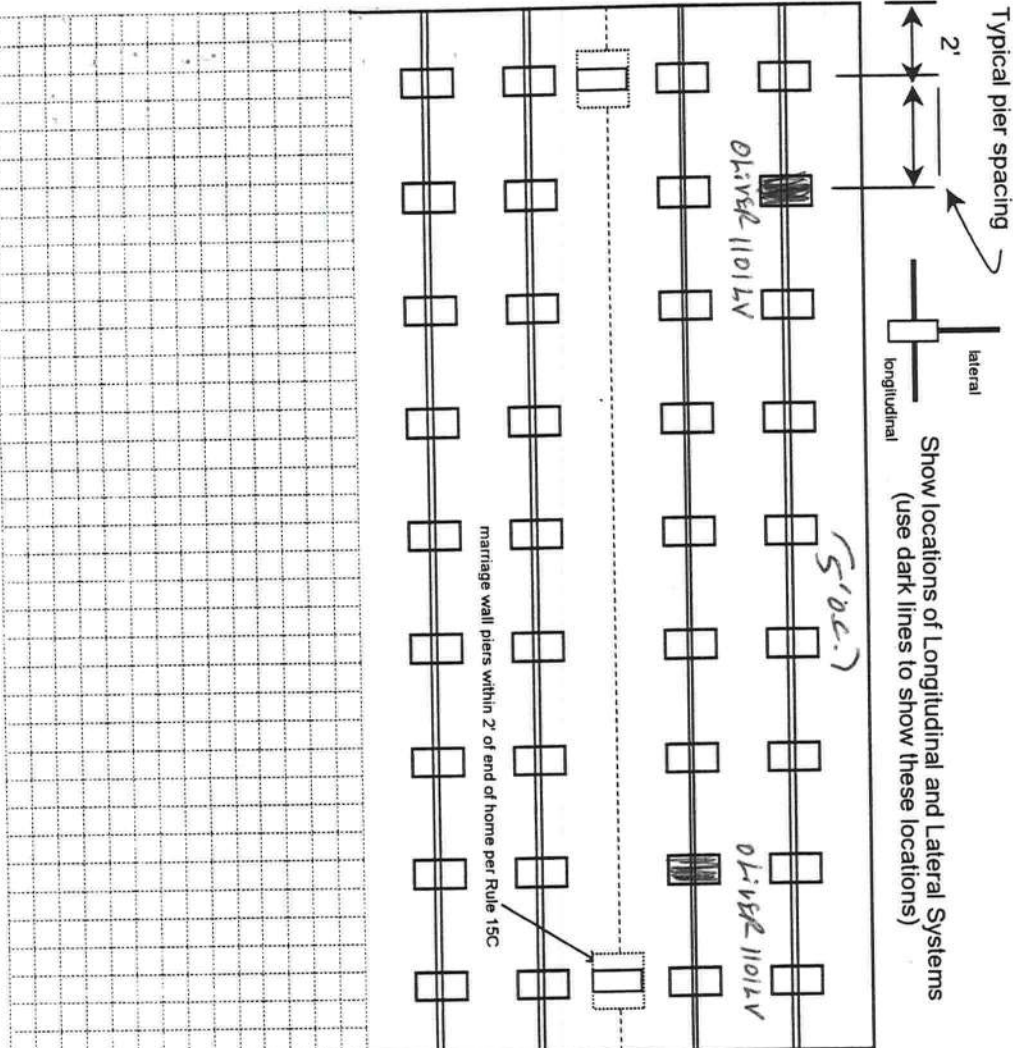
TIEDOWN COMPONENTS

OTHER TIES

Number

Longitudinal Stabilizing Device (LSD) 1101LV  
Manufacturer OLIVER Longitudinal  
Longitudinal Stabilizing Device w/ Lateral Arms  
Manufacturer

Sidewall  
Longitudinal  
Marriage wall  
Shearwall





PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil ☒ without testing.

X 1000 X 1000 X 1000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1000 X 1000 X 1000

TORQUE PROBE TEST

The results of the torque probe test is 250 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

JPC Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Joseph A. Chalmers

Date Tested 1-2-04

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

Site Preparation

Debris and organic material removed ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: N/A Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
Walls: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
Roof: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials \_\_\_\_\_

Type gasket N/A Installed: \_\_\_\_\_  
Pg. \_\_\_\_\_ Between Floors Yes \_\_\_\_\_  
Between Walls Yes \_\_\_\_\_  
Bottom of ridgebeam Yes \_\_\_\_\_

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes \_\_\_\_\_

Miscellaneous

Skirting to be installed. Yes \_\_\_\_\_ No ☒  
Dryer vent installed outside of skirting. Yes \_\_\_\_\_ N/A ☒  
Range downflow vent installed outside of skirting. Yes \_\_\_\_\_ N/A ☒  
Drain lines supported at 4 foot intervals. Yes \_\_\_\_\_  
Electrical crossovers protected. Yes N/A  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and/or Rule 15C-1 & 2

Installer Signature [Signature] Date 1-2-04

CAM112M01      CamaUSA Appraisal System  
12/31/2003 10:46 Legal Description Maintenance  
Year T Property      Sel  
2004 R 14-6S-16-03817-101

Columbia County  
11015 Land 001  
AG 000  
Bldg 000  
Xfea 000  
11015 TOTAL B\*

OLD WIRE RIDGE UNREC  
DEAS-BULLARD PROPERTIES INC

1	(A/K/A LOT 1 OLD WIRE RIDGE	S/D UNR) BEGIN SE CORN OF SE	2
3	1/4 OF NE 1/4 RUN N 660.97 FT	RUN W 729.58 FT RUN N 654.57	4
5	FT RUN E 729.64 FT TO POB.		6
7			8
9			10
11			12
13			14
15			16
17			18
19			20
21			22
23			24
25			26
27			28

Mnt 10/18/2001 KYLIE

F1=Task F3=Exit F4=Prompt F10=GoTo PGUP/PGDN F24=MoreKeys



SL0026988  
H. RAY WALKER  
COLUMBIA COUNTY TAX COLLECTOR

2003 REAL ESTATE  
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
103817-101		11,015	0	11,015	003

R

0026988 SL

T 0810 32055-12

DEAS-BULLARD PROPERTIES INC  
672 E DUVAL ST  
LAKE CITY FL 32055

14-6S-16 9900/9900 11.01 Acres  
(A/K/A LOT 1 OLD WIRE RIDGE  
S/D UNR) BEGIN SE CORN OF SE  
1/4 OF NE 1/4 RUN N 660.97 FT  
RUN W 729.58 FT RUN N 654.57  
FT RUN E 729.64 FT TO POB.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE (DOLLARS PER \$1,000 OF TAXABLE VALUE)	TAXES LEVIED
C001 BOARD OF COUNTY COMMISSIONERS	8.7260	96.12
S002 COLUMBIA COUNTY SCHOOL BOARD		8.37
DISCRETIONARY	.7600	62.00
LOCAL	5.6290	22.03
CAPITAL OUTLAY	2.0000	5.41
W SR SUWANNEE RIVER WATER MGT DIST	.4914	16.52
HLSH SHANDS AT LAKE SHORE	1.5000	1.52
IIDA INDUSTRIAL DEVELOPEMENT AUTH	.1380	
TOTAL MILLAGE 19.2444		AD VALOREM TAXES \$211.97

*Paid in full*

NON-AD VALOREM ASSESSMENTS

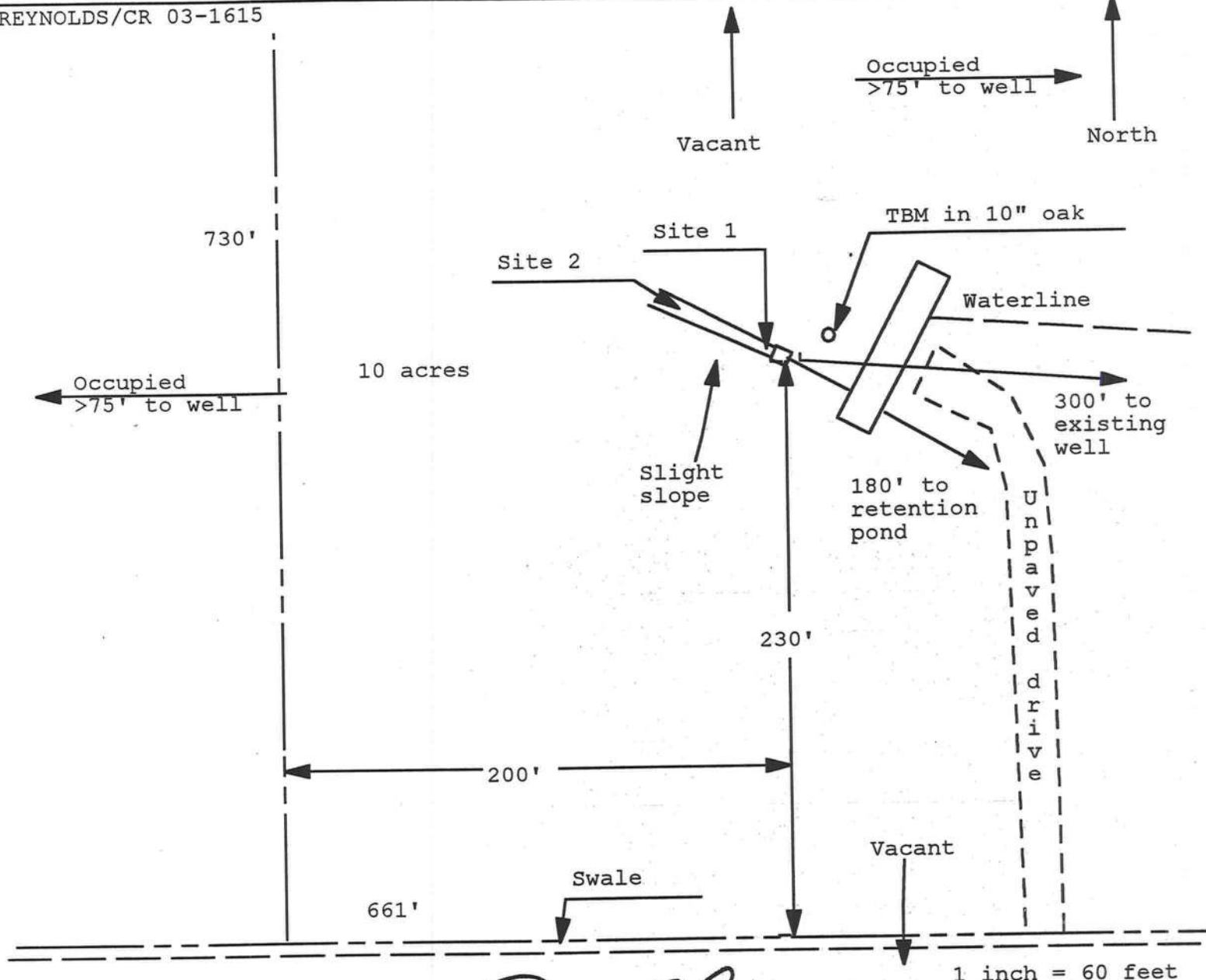
LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS		5.22
NON-AD VALOREM ASSESSMENTS		\$5.22

RETAIN  
THIS  
PORTION  
FOR  
YOUR  
RECORDS

PAY ONLY

See reverse side for

Application for Onsite Sewage Disposal System  
Construction Permit. Part II Site Plan  
Permit Application Number: 03-1126N  
ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By Paul Lloyd Date 12/16/03  
Plan Approved ✓ Not Approved \_\_\_\_\_ Date 12/16/03  
By Paul Lloyd mm d n CPHU  
Notes: 12-18-03

**DEAS-BULLARD PROPERTIES**

672 East Duval Street  
Lake City, Florida 32055  
Telephone 386-752-4339  
Fax 386-752-1171

December 31, 2003

To Whom It May Concern:

RE: Lisa Reynolds, Lot #1 Old Wire Ridge

Lisa is buying the above noted property from Deas Bullard Properties and has our permission to place a mobile home on said property for her residence.

Sincerely,

*Sue Lane*

Sue Lane  
Office Manager

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing paper was acknowledged before me this 31<sup>st</sup> day of December 2003 by Sue Lane who is personally known to me.



Ethel M. Rasor  
MY COMMISSION # DD016147 EXPIRES  
April 8, 2005  
BONDED THRU TROY FAIR INSURANCE, INC.

*Ethel M. Rasor*

Ethel M. Rasor  
Notary Public, State of Florida



## MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

I, JOSEPH A. CHATMAN, license number IH 0000240  
Please Print  
do hereby state that the installation of the manufactured home for Lisa Reynolds  
Applicant  
at 497 SW Applewood Glen  
911 Address

will be done under my supervision.

  
Signature

Sworn to and subscribed before me this 2nd day of January,  
2004.

Notary Public:   
Signature

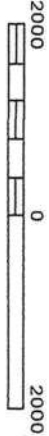
My Commission Expires: \_\_\_\_\_  
Date



0401-01



APPROXIMATE SCALE IN FEET



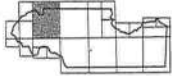
NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 225 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0225 B

EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/nfliscd](http://www.fema.gov/nfliscd).



## COLUMBIA COUNTY INSPECTION SHEET

DATE 12/29/03 INSPECTION TAKEN BY GT

BUILDING PERMIT # \_\_\_\_\_ CULVERT / WAIVER PERMIT # \_\_\_\_\_

WAIVER APPROVED \_\_\_\_\_ WAIVER NOT APPROVED \_\_\_\_\_

PARCEL ID # \_\_\_\_\_ ZONING \_\_\_\_\_

SETBACKS: FRONT \_\_\_\_\_ REAR \_\_\_\_\_ SIDE \_\_\_\_\_ HEIGHT \_\_\_\_\_

FLOOD ZONE \_\_\_\_\_ SEPTIC \_\_\_\_\_ NO. EXISTING D.U. \_\_\_\_\_

TYPE OF DEVELOPMENT Pre-Inspection

SUBDIVISION (Lot/Block/Unit/Phase) \_\_\_\_\_

OWNER Lisa Reynolds PHONE 935-4821

ADDRESS \_\_\_\_\_ (cell 904) 422-6443

CONTRACTOR \_\_\_\_\_ PHONE \_\_\_\_\_

LOCATION 475, TL 238, TL Old Wire, TR ApplewoodGlen, 3rd lot on left, driveway before retentionpond, turn left & curve left.

COMMENTS: \_\_\_\_\_

(All before goingINSPECTION(S) REQUESTED: \_\_\_\_\_ INSPECTION DATE: Thurs 12/30/03

\_\_\_\_\_ Temp Power \_\_\_\_\_ Foundation \_\_\_\_\_ Set backs \_\_\_\_\_ Monolithic Slab

\_\_\_\_\_ Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Framing

\_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Other \_\_\_\_\_

\_\_\_\_\_ Electrical Rough-in \_\_\_\_\_ Heat and Air duct \_\_\_\_\_ Perimeter Beam (Lintel)

\_\_\_\_\_ Permanent Power \_\_\_\_\_ CO Final \_\_\_\_\_ Culvert \_\_\_\_\_ Pool \_\_\_\_\_ Reconnection

\_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Utility pole

\_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_ Service Change \_\_\_\_\_ Spot check/Re-check

INSPECTORS:

APPROVED ✓ NOT APPROVED \_\_\_\_\_ BY FOP POWER CO. \_\_\_\_\_INSPECTORS COMMENTS: Back door frame to be fixed beforefinal