

NAME: Law

CABINET & VANITY:
TO BE DETERMINED

MODEL: Custom

TOILETS: Standard white or bone
Master bath: White handicap
Hall bath: White handicap
Other:

List the standard names

Granite to be determined
Meet w/ homeowner
Cabinets 36 high vanities
Meet owner – may stone and
Add something to gable
5 ½ base boards
Homeowner to upgrade
Hinges and door hardware

UPGRADES:

COUNTERTOP:
Kitchen: granite
Bath: to be determined
Bath:

CARPET:
Color: NO CARPET
Allowance is \$18.00 per yard
includes carpet, padding & installation
Color change in rooms \$75 per room.
Master #1
Bedroom #2:
Bedroom #3:
Other:
Other:

PAINT:
Interior: White
Semi gloss
White trim
Exterior walls: dorian gray 7017
Sherwin Williams
Exterior trim: white

ROOF:

Shingles Color: Dual Black KO
Metal Color: n/a
Metal Style: n/a

BATHROOM TILE:
Shower Master Bath: CT75 DT
Shower Hall: Tub MP 12 DT
Tub
Grout M/B: X #165 Delorean Gray
Grout m/b:
Grout Kitchen & Utility:
Grout Other:
Grout Other:
Decos are an upgrade:

TILE (Floor)
Master Bath: Shower
CT75 DT
Other:
Other:
Grout m/b:
Grout Kitchen & Utility:
Grout Other:
Grout Other:

Allowance per sq. yd. \$3.50 per
Sq. ft. includes tile, grout & installation

APPLIANCES:
Standard GE or equivalent
Colors: Black or White
Upgrade to stainless steel S-owner to take credit
Allowance \$850.00 includes d/w, range, hood fan

EXTERIOR:
Front Door Color: 84 Lumber upgrade
w/Genda
Door Type:
Rear Door: Kitchen fully w/blinds
Door: Rear - utility
French Doors: y2 blinds

SIDING:
Hardie Plank: Batzen
Other: Board

WINDOWS:
Bath Window: Master
Clear: yes
Windows: White

SOFFIT:

White

NOTES:
Dormyer call owner door and hardware
Tub/Pan for dogs utility supplied by owner
If tile cut cost
Owner to meet with painter – possible colors
Home to supply fixture for pot filler
Housecraft to run cold water line

Homeowner to meet electrician to locate phone & tv jacks any extra's
X Flooring to be determined & 400.00 toward selection.

1. THIS RESIDENCE SHALL BE CONSTRUCTED
IN ACCORD WITH THE REQUIREMENTS OF THE FLORIDA
BUILDING CODE 2020 7TH EDITION
2. ALL CEILING SHEETROCK SHALL BE MIN 5/8"
- 3- ALL AREAS EXCEPT WHERE GFI RECEPTALS ARE REQUIRED
RECEPTALS SHALL BE ARC FAULT
- 4- ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR
- 5- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR
TO BEGINNING
- 6- SMOKE DETECTORS SHALL BE WIRED TO ALARM SIMULTANIOUS
WITH BATTERY BACKUP.

DESIGN CRITERIA

ULTIMATE WIND SPEED: 130

NOMINAL WIND SPEED: 101

WIND EXPOSURE CATEGORY: B

RISK CATEGORY 11

INTERIOR PRESSURE COEFFICIENT OR Gcpi= +/- 0.18

ASSUMED DESIGN LOAD BEARING VALUE OF SOIL
1,500 PSF

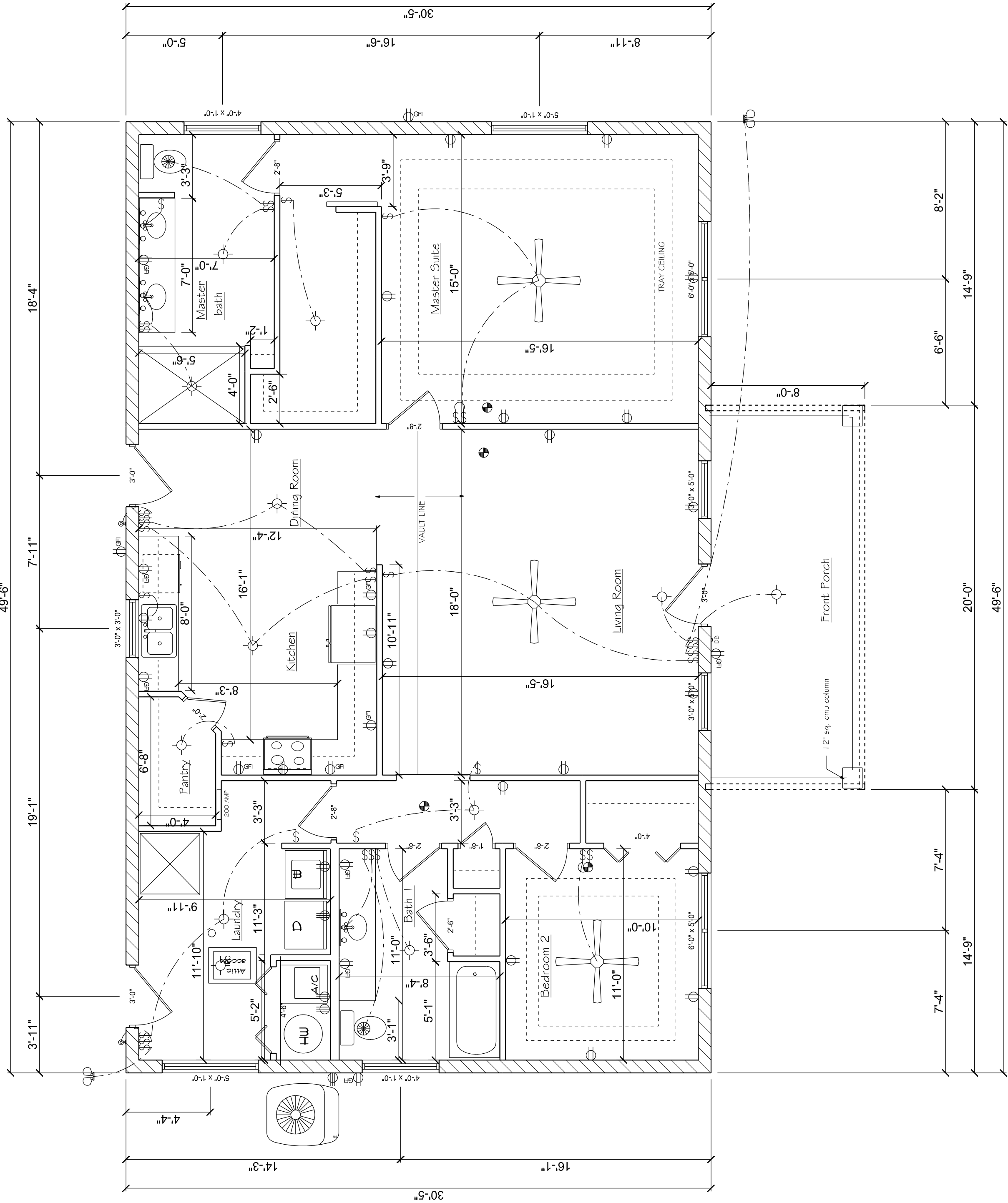
FLOOR LIVE LOAD 40 PSF

ROOF LIVE LOAD 20 PSF

SQUARE FOOTAGE	
LIVING AREA	1,503
FRONT PORCH	160
TOTAL	1663

Electrical symbols	
single pole switch	
dimmer switch	
3 way switch	
110 arc fault tripper resistant	
220 OUTLET	
GFI outlet	
switched outlet	
sid overhead light	
recessed light	
light exhaust fan 60 cfm	
wall mount light fixture	
sid overhead light	
double flood light	
track bar light	
vanity bar light	
fluorescent light	
ceiling fan -light	
smoke/ carbon monoxide detector	
phone outlet	
tv outlet	
THERMOSTAT	

UNDERGROUND POWER



FLOOR PLAN VIEW

PROFESSIONAL SERVICES BY
DRISCOLL ENGINEERING, INC.
PO BOX 357577
GAINESVILLE, FL 32609
PH (352)-331-1513
CA 8690

PLANS AND SPECIFICATIONS

The plans and specifications presented herein are applicable only for the anticipated construction at the locations shown. If construction plans change, the Design Professional should be notified so the plans and specifications can be re-evaluated. The Design Professional should be given the opportunity to review final plans and specifications to see if the intent of the plans and specifications has been followed and/or if supplemental details and recommendations are needed. The Design Professional warrants that the plans and specifications contained herein, have been prepared in accordance with generally accepted professional engineering practice. No other warranties are implied or expressed.

CORPORATE PROTECTION

It is understood and agreed that the Design Professional's Basic Services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that such services will be provided by the Client. The Client assumes all responsibility for interpretation of the contractor Documents and for construction observation and supervision and waives any claims against the Design Professional that may be in any way connected thereto.

In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any loss, claim or cost, including reasonable attorney's fees and costs of defense, arising or resulting from the performance of such services by other person or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to Contract Documents to reflect changed field or other conditions, except for claims arising from the sole negligence or willful misconduct to the Design Professional.

OWNERSHIP OF INSTRUMENTS OF SERVICE

All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by the Design Professional as instruments of service shall remain the property of the Design Professional. The Design Professional shall retain all common law, statutory and other reserved rights, including the copyright thereto.

DEFECTS IN SERVICE

The Client shall promptly report to the Design Professional any defects or suspected defects in the Design Professional's work or services of which the Client becomes aware, so that the Design Professional may take measures to minimize the consequences of such a defect. The Client warrants that he or she will impose a similar notification requirement on all contractors in his or her Client/Contractor contract and shall require all subcontractors at any level to contain a like requirement. Failure by the Client, and the Client's contractors or subcontractors to notify the Design Professional, shall relieve the Design Professional of the costs of remedying the defects above the sum such remedy would have cost had prompt notification been given.

VERIFICATION OF EXISTING CONDITIONS

Inasmuch as the remodeling and/or rehabilitation of an existing building requires that certain assumptions be made regarding existing conditions, and because some of these assumptions may not be verifiable without expending additional sums of money or destroying otherwise adequate or serviceable portions of the building, the Client agrees, to the fullest extent permitted by law, to indemnify and hold the Design Professional harmless from any claim, liability or cost (including reasonable attorney's fees and costs of defense) for injury or economic loss arising or allegedly arising out of the professional services provided under this Agreement, excepting only those damages, liabilities, or costs attributable to the sole negligence or willful misconduct of the Design Professional.

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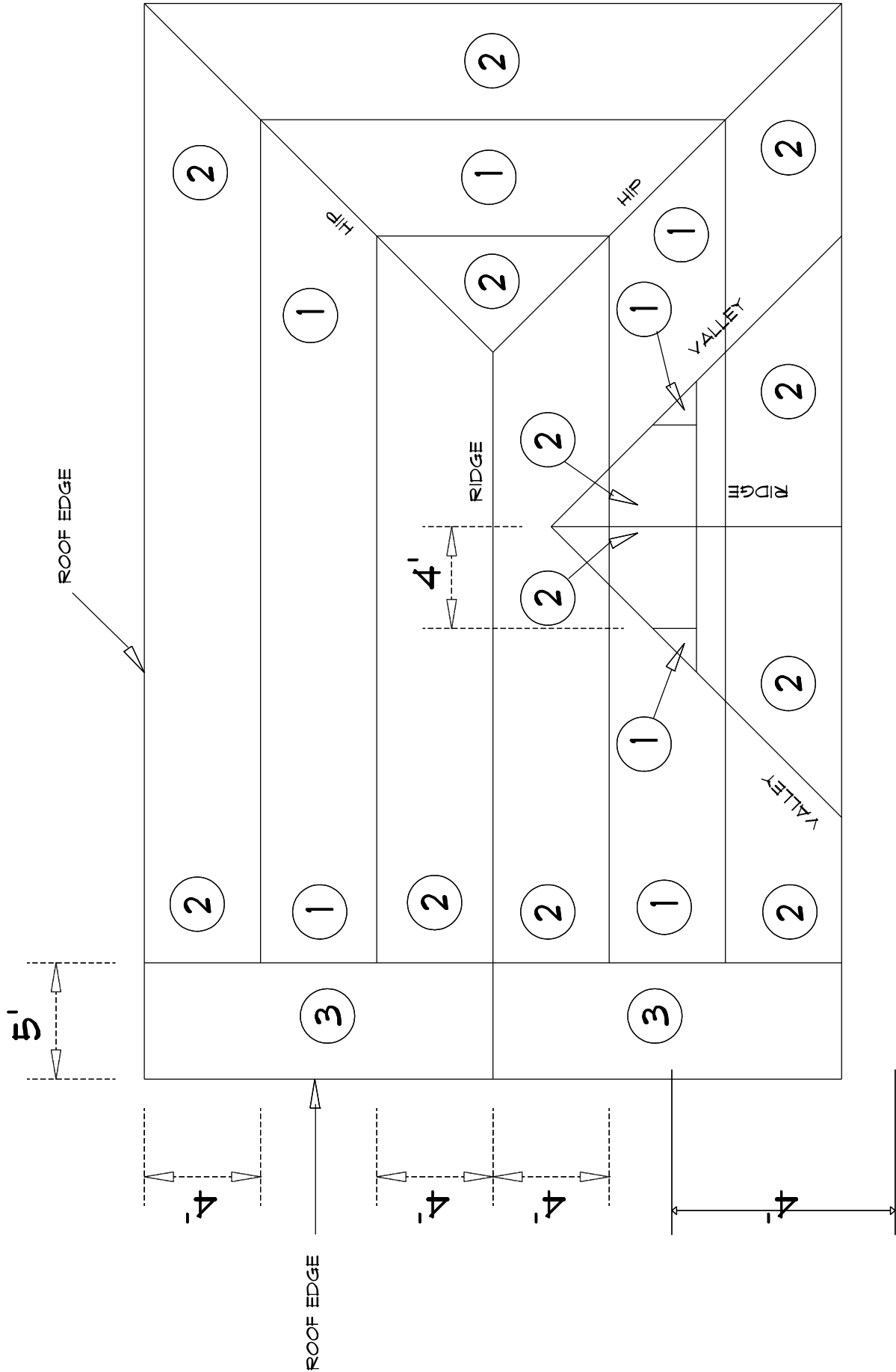
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NOTES: ALL EDGES AT TRUSSES 6" O.C. ON THE EDGE AND INTERMEDIATE TRUSSES 12" O.C.
1. ALL NAILS TO BE #8 RING SHANK NAILS MIN.

ROOF ATTACHMENT PLAN

(NTE)

Certification
I hereby certify that the accompanying wind load analysis for the New Residence as described above demonstrates compliance with the FBC 2020 7th Edition Section 1609, to the best of my knowledge.

- Project Wind load Information
1. Ultimate wind speed = 130 MPH
 2. Nominal wind speed = 101 MPH
 3. Risk Category = II
 4. Wind exposure for this design is Exposure B
 5. Interior Pressure Coefficient or Gcpi = +/- 0.18
 6. For design of MWFRS: see attached MECAWind Version 2.1.0.6 per ASCE 7-10
 7. Roof Design live load 20 psf.
 8. Floor Design load 40 psf.

Drawings
See drawings for additional details. In case of conflict, the more restrictive requirements of the drawings or these calculations govern.

Roof Structure

1. Trusses: Pre-engineered wood trusses at 24" o.c. The Truss engineering for this project was provided bt Builders FirstSource job# 2623364 Signed & Sealed engineering shall be provided to Driscoll Engineering Inc for review before beginning construction.
2. Roof Sheathing: Sheathing to be or 7/16" Structural Sheathing min. to adequately resist exterior shear and uplift forces due to nailing. Panels to be facenailed w/ #8 ring shank (0.113 Dia.) @ 4" oc along edges and @ 8" oc along interior supports. Galv. metal edging to be nailed @ 4" oc.
3. Roofing : Asphalt Shingles shall be installed per mfg. specifications to meet 130 m.p.h. windloading & in accord with the Florida Building Code 2017.

Exterior Walls

- 1.Exterior Wall: 8" Concrete Masonry Units (ASTM C90 or C145, 1500 psi min) will adequately resist exterior shear forces. Mortar type M.

2. Bond Beam to be (1) 8" min. Masonry with (1) #5 reinforcement with grout continuous. Note bond beam to remain continuous without breaks or interruptions to maintain shear transfer capacity. Minimum splice lap of #5 rebar is 25" at all locations. Install plated steel bearing plate at truss/masonry bearing points. Vertical spacing of grouted reinforced cells w/ (1) #5 rebar is to be 4'-0" o.c. typical. Install a minimum of 1 each vertical #5 bar in each cell on either side of each corner and on each side of any openings. Minimum splice lap of #5 rebar is 25".

Foundations (sizes based on wind load requirements only :

- Footing (1) 20" wide x 10" deep w/ 2 #5 bars cont. 25"min bar lap.
Footing (2) 18" deep x 12" wide w/ 2 #5 bars cont.

CONNECTOR SCHEDULE FOR LOAD BEARING & SHEAR WALLS

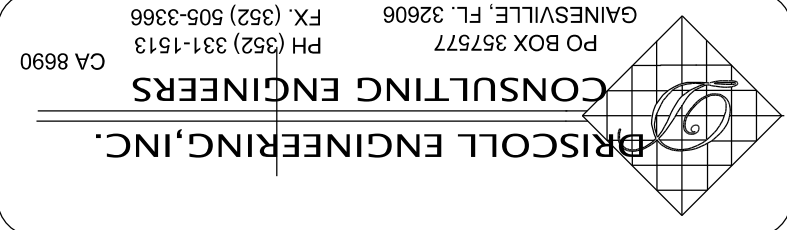
TO CONNECT	TO	NO.	PRODUCT CODE	FASTENER	UPLIFT CAPACITY LBS
TRUSS	LINTEL	1	HETA 20	9- 10dX 1-1/2"	1810
GIRDER TRUSS	LINTEL	1	HETA 20	9- 10dX 1-1/2"	1810

CAST CRETE LINTEL SCHEDULE	
LENGTH	TYPE
3'-0" TO 7'-0"	8F80B
7'-0" TO 10'-0"	8F81B
CARPORT	8F161B

SHEAR WALLS QUANTITY _____
TRANSVERSAL SHEARWALLS = 54'-0"
LONGITUDINAL SHEARWALLS = 58'-0"



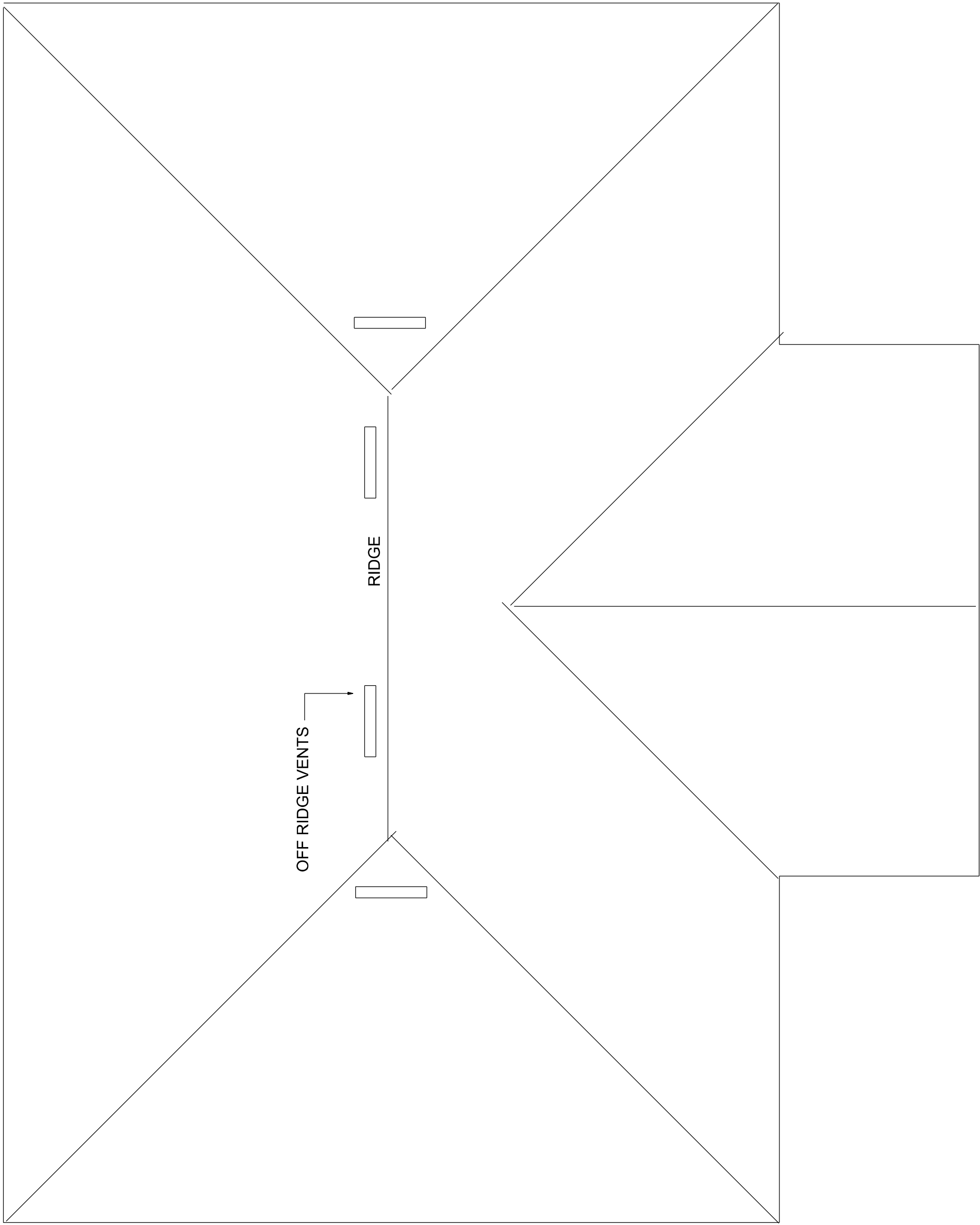
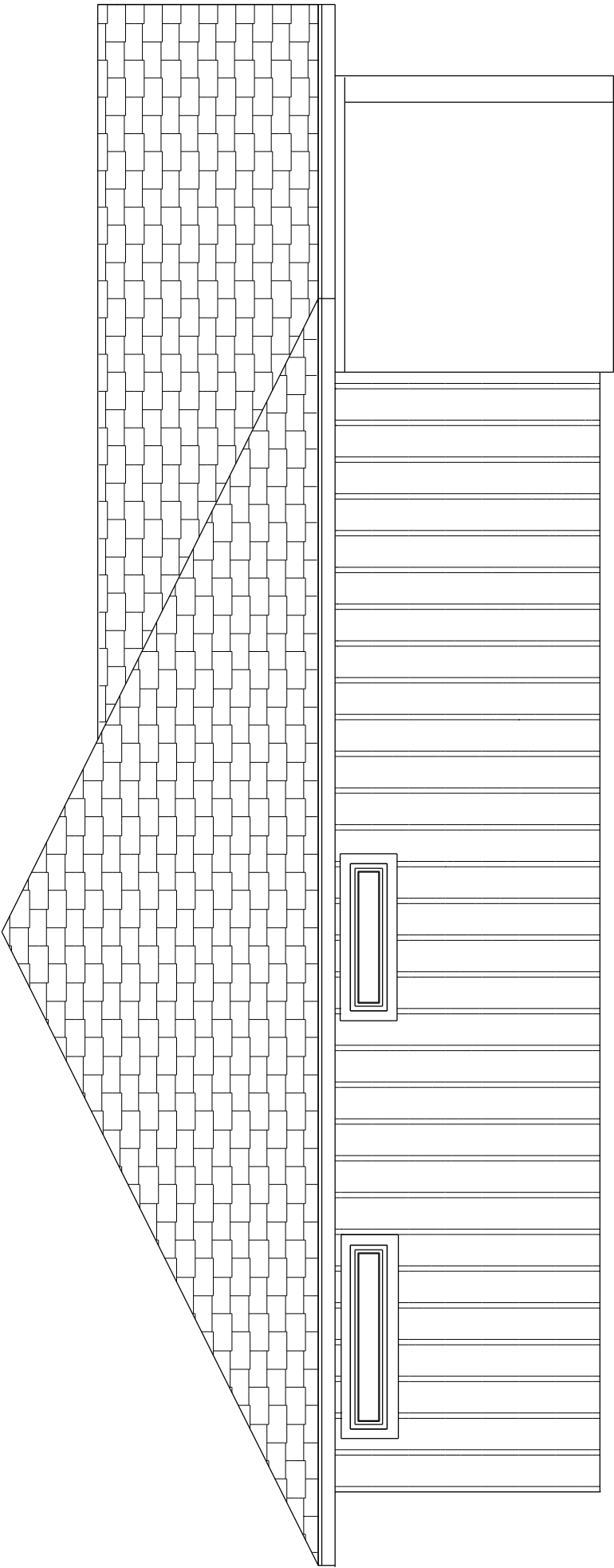
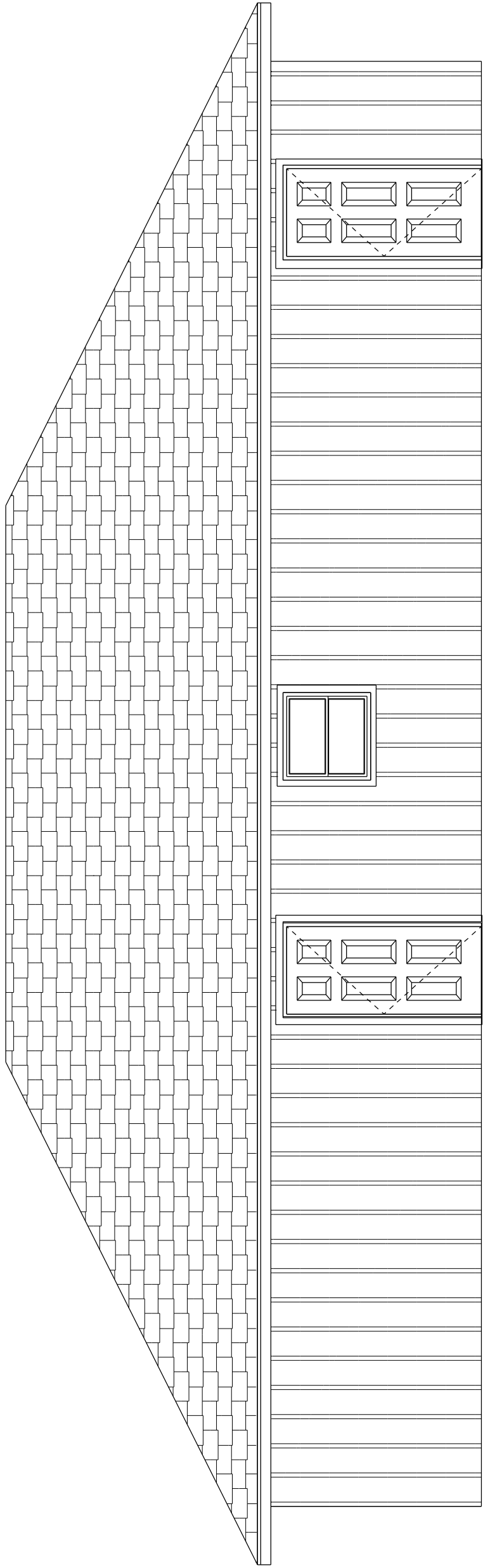
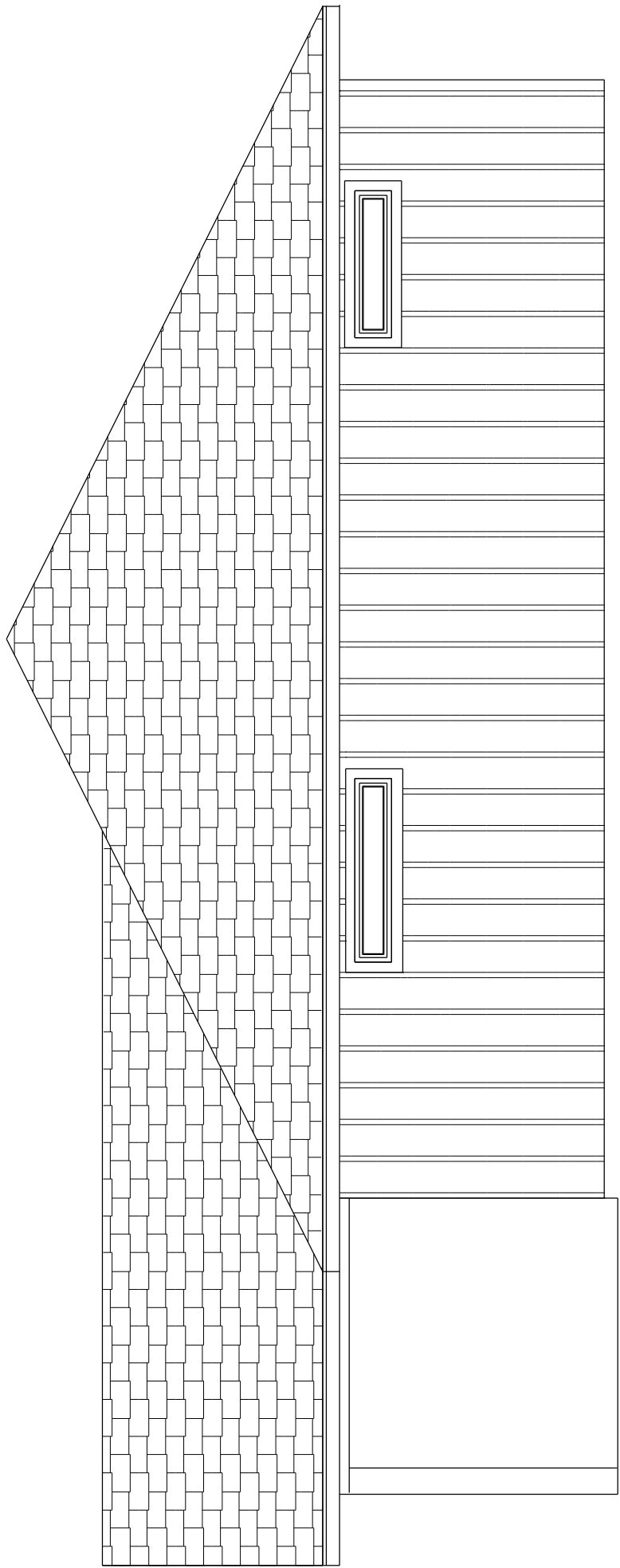
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Michael E. Driscoll PE
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PARCEL RO 4572-001
COLUMBIA CO, FL DS20-136

6-1-21
WL 1
Sheet

MICHAEL E DRISCOLL PE
FL REG # 43922



ROOF PLAN

VENTILATION	
SQ. FT. OF NEW CEILING 1663/300 = 5.54 SQ. FT.	
NET FREE AREA / 2 = 2.77 SQ. FT. VENT SYSTEM REQUIRED	
EQUALS	398 SQ. IN.
4 OFF RIDGE VENTS = 420 SQ. IN.	
TOTAL TO BE INSTALLED = 420 SQ. IN.	
SOFFIT VENT SYSTEM = 2.77 SQ. FT.	
DIVIDED BY 0.03226 S.F. PER SQ. FT. OF SOFFIT	
EQUALS S.F. OF SOFFIT PANEL PER SYSTEM 86 SQ. FT.	
DIVIDED BY 1.5 = 58 L.F. OF VENTED SOFFIT	
BUILDING HAS 100+ OF SOFFIT AVAILABLE	

