

GLOBAL INNOVATION WAREHOUSE

WINDSWEEP SUBDIVISION, LOT 11

WAREHOUSE EXPANSION

WINSBERG, INC.

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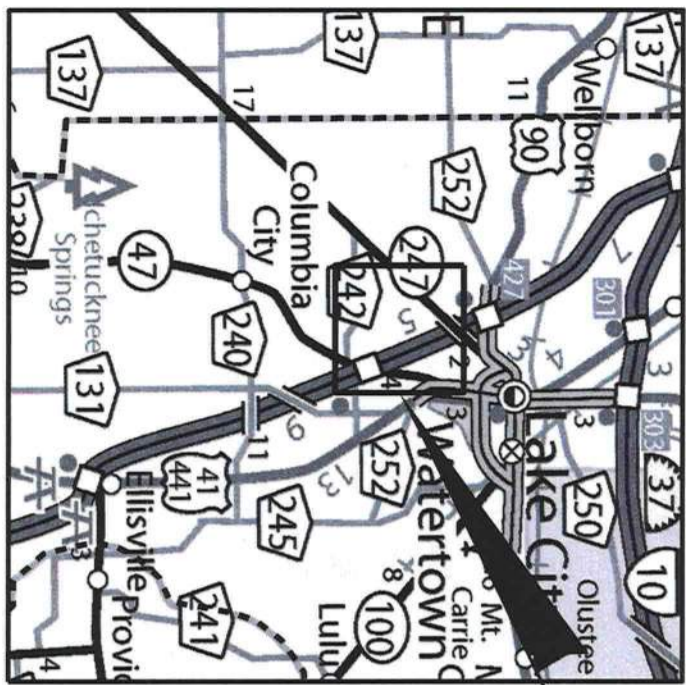
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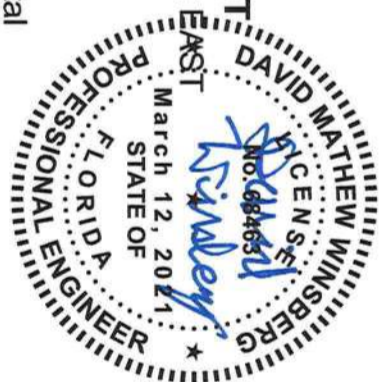
DEVELOPER
Abram Huber
Global Innovation LLC
PO Box 932
Lake City, FL 32056
Phone: (386)-867-1463

LOCATION MAP



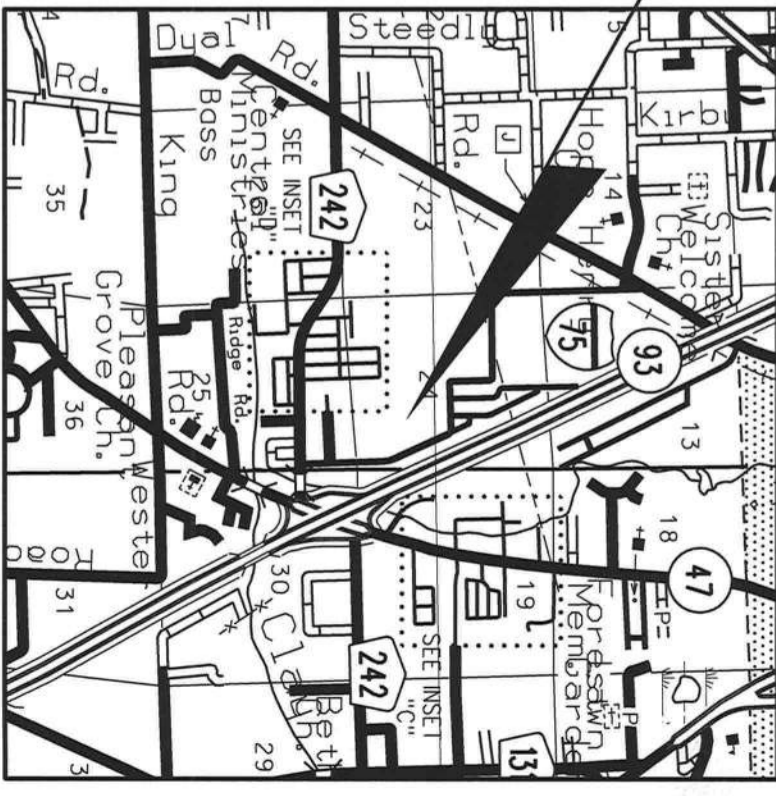
PROJECT LOCATION

SUBJECT PROPERTY IS LOCATED AT
SECTION 24, TOWNSHIP 4 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA



For Permitting - Columbia County 2nd Submittal
WINSBERG, INC. PROJECT NUMBER: 1516B

VICINITY MAP



GENERAL NOTES

- The contractor shall verify all conditions and dimensions at the job site to ensure that all work will fit in the manner intended on the plans. Should any conditions exist that are contrary to those shown on the plans, the contractor shall notify the engineer of difference immediately and prior to proceeding with the work.
- The contractor shall maintain the construction site at all times in a secure manner. All open trenches and excavated areas shall be protected from access by the general public.
- Site contractor shall coordinate all work with other contractors within project limits.
- The contractor shall waste all excess earth on site as directed by the engineer.
- Any public land corner within the limits of construction is to be protected. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the engineer.
- Boundary and topographical information shown was obtained from a survey performed by Donald F. Lee & Associates, Florida Certificate No. 7042
- All existing utilities shall be located (horizontal and vertical) prior to beginning work. Any existing utilities shown in these plans are approximate only and shall be verified in the field by non-destructive methods. The engineer shall be notified immediately of any discrepancies.
- The design of all utility service connections (defined as the conduit connecting the utility from the building to the point it enters/leaves the collection/distribution system) is the responsibility of the contractor and/or his structural engineer or architect. Such utility service connections shall have equivalent or greater capacity than the conduit inside such building(s) serviced, and shall be designed according to all building codes and all other applicable regulations. The site engineer shall be notified immediately if a conflict arises between any proposed service connections and these plans.
- All site construction shall be in accordance with the Columbia County Land Development Regulations.
- Contractor shall contact the Columbia County Building and Zoning department to perform the following site inspections:
A) Erosion and sediment control - prior to beginning construction.
B) Site compliance - once building foundation is poured and improvements are staked out.
C) Final site compliance - once all improvements are finalized.
- All proposed construction shall conform to the latest edition of the Florida Department of Transportation Standard Specifications for Road and Bridge Construction and the Florida Department of Transportation Design Standards.
- All new traffic signage and pavement markings shall conform to the current manual on Uniform Traffic Control Devices and the current FDOT design standards.
- All storm sewer pipes shall have a minimum cover of 6". Limerock backfill shall be used if pipe under pavement has less than 12" cover.
- Existing drainage structures within the construction limits shall be removed, unless otherwise specified in the plans.
- All swales, depression areas and retention ponds shall be inspected monthly for sinkhole occurrence. Should a sinkhole occur, the area should be repaired as soon as possible. If a solution pipe sinkhole forms within the storm water system, the sinkhole shall be repaired by backfilling with a low permeability material. A 2-foot cap that extends 2 feet beyond the perimeter of the sinkhole shall be constructed with clayey soils. The clayey soil should have at least 20% passing the number 200 sieve, compacted to 95% of standard proctor, and compacted in a wet condition with moisture 2%-4% above optimum. The clay soil cap shall be re-graded to prevent ponding and re-vegetated.
- Contractor shall provide an as-built survey meeting the requirements of Chapter 61G17 F.A.C. for the stormwater management systems. Include horizontal and vertical dimensional data so that improvements are located and delineated relative to the boundary. Provide sufficient detailed data to determine whether the improvements were constructed in accordance with the plans.
- Contractor shall contact SRWMD and the engineer of record 48 hours prior to beginning construction.

EROSION CONTROL NOTES

- Contractor shall adhere to the Erosion Control Plan and all erosion and sediment control regulations as set by SRWMD and other governing authorities, and use (as a minimum) the erosion measures control described and shown in these plans.
- This project shall comply with all applicable water quality standards.
- Sediment and erosion control measures and stormwater management facilities shall be installed prior to any other construction.
- Contractor is responsible for implementing additional measures as required for proper erosion and sediment control. The contractor should use BMP's in the Florida Erosion and Sediment Control Inspector's manual to implement a plan that will work and meet actual field conditions.
- Sediment and erosion control measures shall not be removed until all construction is complete and a permanent ground cover has been established.
- During construction and after construction is complete, all structures shall be cleaned of all debris and excess sediment.
- All waste generated on the project shall be disposed of by the contractor in areas provided by contractor.
- Loaded haul trucks shall be covered with tarps and excess dirt removed daily.
- Silt fences shall be located on site to prevent sediment and erosion from leaving project limits. Silt fence shall be cleaned or replaced when silt builds up to within one foot of top of silt fence.
- The retention basin(s) shall be constructed initially to serve as a sediment trap during construction.
- A pad of rubble riprap shall be placed at the bottom of all collection flumes and collection pipe outlets.
- All open drainage swales shall be grassed immediately and riprap shall be placed as required to control erosion.
- All disturbed areas shall be stabilized immediately to prevent erosion. All slopes greater than 4h:1v shall be stabilized with sod. Staple sod shall be used on slopes greater than 2h:1v.
- All disturbed areas not sodded shall be seeded with a mixture of long-term vegetation and quick-growing short-term vegetation for the following conditions. For the months from September through March, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of winter rye. For the months of April through August, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of millet.
- All stabilization practices shall be initiated as soon as practicable in areas of the job where construction activities have temporarily or permanently stopped, but in no case shall the disturbed area be left unprotected for more than three (3) days.
- Qualified personnel shall inspect the stockpile areas, silt fence, construction entrance, and all disturbed areas that have not been finally stabilized, at least once every seven (7) calendar days and within 24 hours of the end of a storm of 0.5 inches or greater. Corrective actions shall be taken immediately.
- Contractor is responsible for the construction and maintenance of all erosion and sediment controls during proposed construction.

ABBREVIATIONS

OVER HEAD	UNDER GROUND	TYPE OF UTILITY	Ø DIAMETER	INV INVERT
OHC	UC	C	CABLE	EL ELEVATION
OHE	UE	E	ELECTRIC	LF LINEAR FEET
OHT	UT	T	TELEPHONE	NTS NOT TO SCALE
RCP	REINFORCED CONCRETE PIPE	SAN	SANITARY SEWER	ℙ PROPERTY LINE
CMP	CORRUGATED METAL PIPE	SS	STORM SEWER	ℙ CENTER LINE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	W	WATER LINE	ℙ BASE LINE
BCCMP	BITUMINOUS COATED CORRUGATED METAL PIPE	G	GAS	R RADIUS OF CURVE
BCSCP	BITUMINOUS COATED CORRUGATED STEEL PIPE	MES SECTION	MISSED END SECTION	EOP EDGE OF PAVEMENT
		WSWT WET SEASON WATER TABLE		BM BENCH MARK
				IP IRON PIPE

LEGEND

ITEM	SYMBOL	ITEM	SYMBOL
CONCRETE MONUMENT	■	METER OR CONTROLS	
IRON PIPE	●	VALVE	
BENCH MARK	⊠	REDUCER	
SOIL BORING LOCATION	⊕	BACKFLOW PREVENTER	
POWER POLE	◇	FIRE HYDRANT	
TELEPHONE POLE	○	WATER 90° BEND	
SHARED POWER POLE	⊙	WATER TEE	
ANCHOR PIN	→	SINGLE WATER SERVICE	
LIGHT	○	DOUBLE WATER SERVICE	
SIGN & POST	⊢	SANITARY SINGLE WATER SERVICE	
TOWER	⊠	SANITARY DOUBLE WATER SERVICE	
FENCE	—	SANITARY MANHOLE	
SILT FENCE	—	STORMWATER MANHOLE	
VEGETATION OR LANDSCAPING		STORMWATER DRAINAGE INLET	
TREE		STORMWATER PIPE	
GRAVEL OR RIPRAP		MITERED END SECTION	
CONCRETE PAVEMENT		ENERGY DISSIPATION PAD	
HANDICAP PARKING		DITCH BLOCK	
FLOW ARROW (SHEET)		FLOW ARROW (GUTTER)	
GROUND CONTOUR (EXISTING)		GROUND CONTOUR (PROPOSED)	
SPOT ELEVATION (EXISTING)		SPOT ELEVATION (PROPOSED)	



GLOBAL INNOVATION WAREHOUSE
WINDSWEPT SUBDIVISION, LOT 11

REVISION NOTES

DATE	REVISION NOTES

David M. Winsbe Winsberg, Inc. P.O. Box 2815 Lake City FL, 321 PE# 68463 - CA# 29	For Permitting at Review. Not Final
DRAWN BY DW	CHECK DW
PROJECT # 1516B	SHEET 2

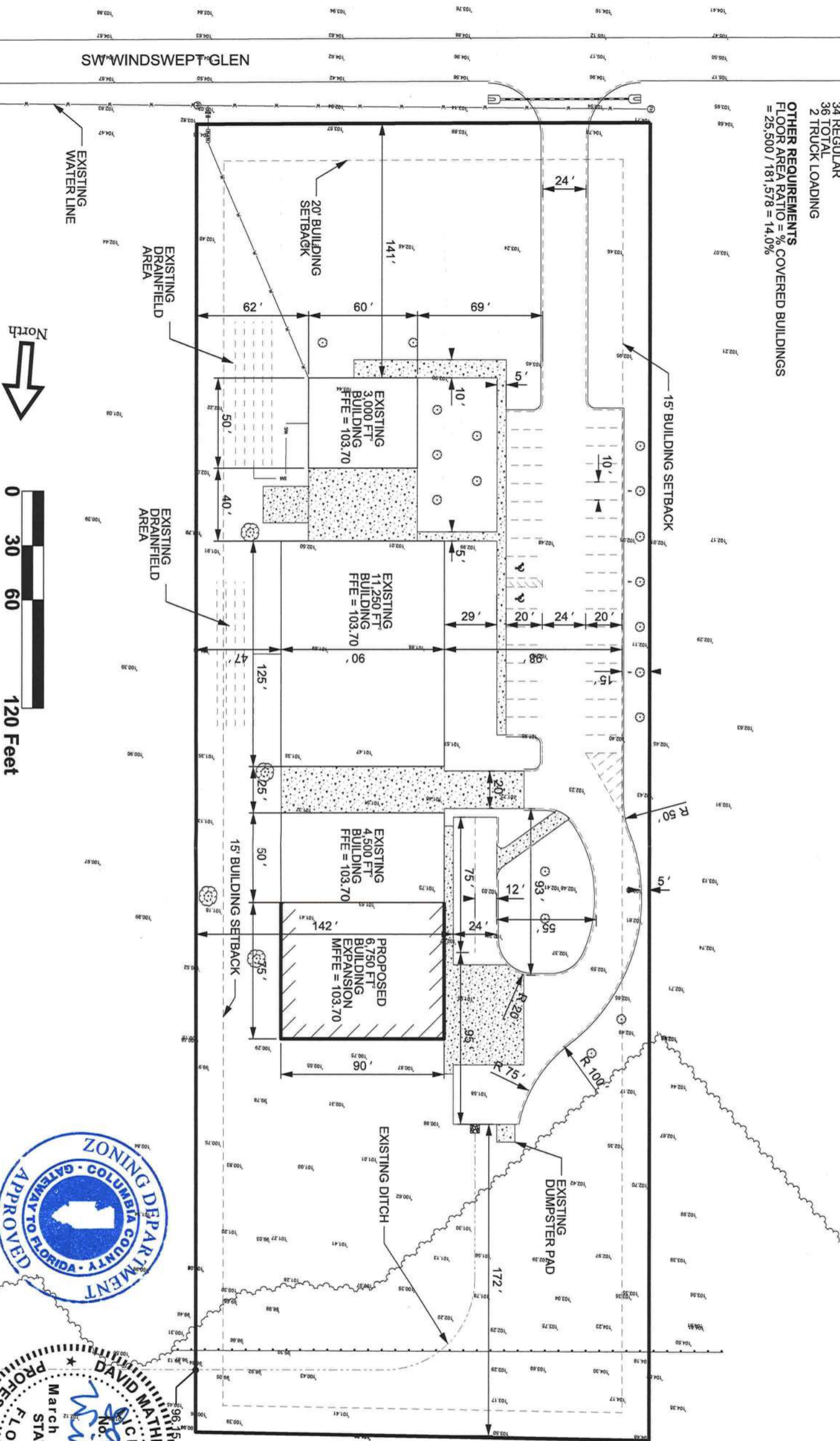
ZONING
INDUSTRIAL LIGHT WAREHOUSE

IMPERVIOUS AREA
27,967+ SF ASPHALT PAVEMENT
7,578 SF CONCRETE & SIDEWALK AREAS
18,750 SF EXISTING BUILDINGS
6,750 SF PROPOSED BUILDING EXPANSION
108,947 SF PERMITTED IMPERVIOUS (60% PER LOT)

REQUIRED PARKING
WAREHOUSE: 1 SPACE PER 1,500 SF
OFFICE: 1 SPACE PER 200 SF
22,500 SF WAREHOUSE & 3,000 SF OFFICE
REQUIRED SPACES = 22,500 / 1,500 + 3,000 / 200
= 30 SPACES

AVAILABLE PARKING
2 HANDICAP
34 REGULAR
36 TOTAL
2 TRUCK LOADING

OTHER REQUIREMENTS
FLOOR AREA RATIO = % COVERED BUILDINGS
= 25,500 / 181,578 = 14.0%



**GLOBAL INNOVATION WAREHOUSE
WINDSWEPT SUBDIVISION, LOT 11**

David M. Winsberg, Inc.
P.O. Box 2815
Lake City FL, 320
PE# 68463 - CA# 295

For Permitting and Review. Not Final

DRAWN BY: DW
CHECKED: DV
PROJECT #: 1516B
SHEET: 4

DATE	REVISION NOTES
05-13-2016	MOVED DITCH LOCATION
08-16-2016	MOVED DUMPSTER PAD

LANDSCAPING REQUIREMENTS
10% OF PARKING AREA MUST BE LANDSCAPED.
ONE TREE REQUIRED PER 200 SF
OF REQUIRED LANDSCAPED AREA.

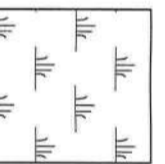
27,967 SF TOTAL PARKING AREA
2,797 SF REQUIRED LANDSCAPED AREA
14 REQUIRED TREES WERE PLANTED

12,800 SF LANDSCAPED AREA PROVIDED
THAT IS INSIDE PARKING AREA
±120,000 SF TOTAL LANDSCAPED AREA PROVIDED

LANDSCAPING REQUIREMENTS
ALL TREES REQUIRED TO BE PLANTED
AS PER THESE PLANS SHALL BE A
MINIMUM OF FOUR FEET OVERALL
HEIGHT IMMEDIATELY AFTER PLANTING,
AS PER LDR SECTION 4.2.17.10.

REQUIRED FIRE FLOW
BASED ON TABLE 18.4.5.1.2 OF THE NFPA FIRE CODE,
2012 EDITION, THE FIRE FLOW FOR EACH OF THE
3 SEPARATE BUILDINGS IS THE MINIMUM (1,500 GPM)
BECAUSE ALL BUILDINGS ARE LESS THAN
12,700 SQUARE FEET. FIRE FLOW DURATION IS 2 HOURS.

ACCORDING TO THE CLIENT, FIRE SPRINKLERS
ARE NOT NEEDED DUE TO THE SIZE OF THE BUILDING.



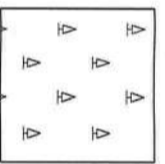
EXISTING/PROPOSED
LANDSCAPED
AREA



EXISTING TREE



RECENTLY PLANTED TREE



EXISTING
NON-DEVELOPED
FORESTED AREA

EXISTING FENCE
30' REQUIRED OPAQUE
LANDSCAPE BUFFER

10' REQUIRED
LANDSCAPE BUFFER.
NO TREES, SHRUBS, ETC...
SHALL BE OVER 30" IN
HEIGHT.

EXISTING
FIRE HYDRANT

EXISTING 8" Ø
WATER LINE

PROPOSED
BUILDING
EXPANSION

EXISTING TREES WITHIN 30' LANDSCAPE BUFFER AREA
TO REMAIN, AND PROPERTY OWNER SHALL MAINTAIN
THIS AREA TO ENSURE THE REQUIREMENT OF 80%
MINIMUM OPACITY IS MET.

EXISTING 2" Ø
WATER LINE

EXISTING
DRAINFIELD
AREA

EXISTING
DRAINFIELD
AREA

EXISTING
BACKFLOW
PREVENTER
EXISTING
WATER METER
EXISTING
FIRE HYDRANT

EXISTING 8" Ø
WATER LINE



0 25 50 100 Feet



GLOBAL INNOVATION WAREHOUSE WINDSWEPT SUBDIVISION, LOT 11

DATE	REVISION NOTES
02-11-2016	ADDED UTILITIES TO LANDSCAPING PLAN

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