

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

831.78
#1513

For Office Use Only (Revised 7-1-15)		Zoning Official <u>JMA</u>	Building Official <u>JMA</u>
AP# <u>43945</u>	Date Received <u>10/13/19</u>	By <u>MG</u>	Permit # <u>38919</u>
Flood Zone _____	Development Permit _____	Zoning _____	Land Use Plan Map Category _____
Comments <u>See Computer for info.</u>			
FEMA Map# _____	Elevation _____	Finished Floor _____	River _____ In Floodway _____
<input checked="" type="checkbox"/> Recorded Deed or <input checked="" type="checkbox"/> Property Appraiser PO	<input checked="" type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> EH # <u>19-0802</u>	<input checked="" type="checkbox"/> Well letter OR
<input checked="" type="checkbox"/> Existing well	<input type="checkbox"/> Land Owner Affidavit	<input checked="" type="checkbox"/> Installer Authorization <u>on file</u>	<input type="checkbox"/> FW Comp. letter <input checked="" type="checkbox"/> App Fee Paid
<input type="checkbox"/> DOT Approval	<input type="checkbox"/> Parent Parcel # _____	<input type="checkbox"/> STUP-MH _____	<input checked="" type="checkbox"/> 911 App
<input type="checkbox"/> Ellisville Water Sys	<input checked="" type="checkbox"/> Assessment <u>owed</u>	<input type="checkbox"/> Out County <input type="checkbox"/> In County	<input checked="" type="checkbox"/> Sub VF Form

Property ID # 25-55-16-03716-121 Subdivision Buckhead Woods Lot# 21

- New Mobile Home X Used Mobile Home _____ MH Size 32x60 Year 2020
- Applicant William "Bo" Royals Phone # 754-6737
- Address 4048 K.S. Hwy 90 West Lake City, FL 32055
- Name of Property Owner Michael Desjardins or Regina Helmer Phone# (772) 528-4984
- 911 Address 116 SW Simgerna Pl A White, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home Same as property owner Phone # (772) 528-4984
Address 768 SW Old Wire Rd. Lake City, FL 32024
- Relationship to Property Owner _____
- Current Number of Dwellings on Property 0
- Lot Size _____ Total Acreage 10.010
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home No
- Driving Directions to the Property 4705 TL on 240 TR on Old Wire
go approx. 4 miles to Landrum TL to Buckhead TR
property at end of road.
- Name of Licensed Dealer/Installer Robert Sheppard Phone # 386-623-2203
- Installers Address 6355 SE CR 245 Lake City FL 32025
- License Number 1H1025386 Installation Decal # 48972

Bo 11.7.19

B.Royals1@gmail.com

Mobile Home Permit Worksheet

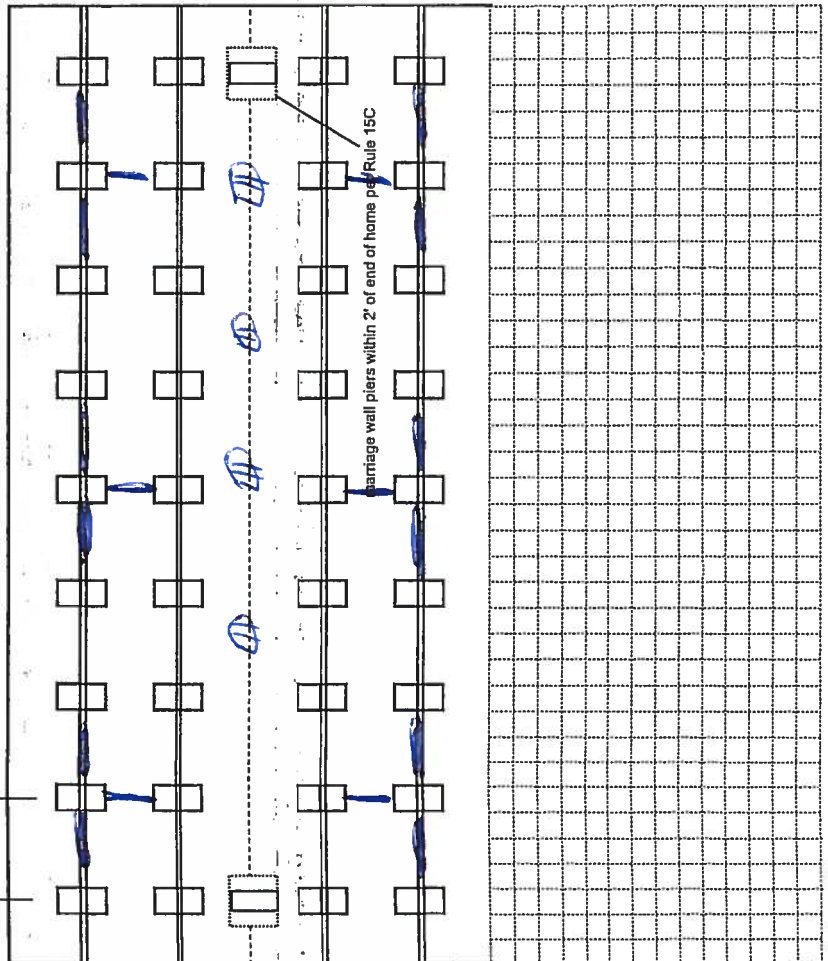
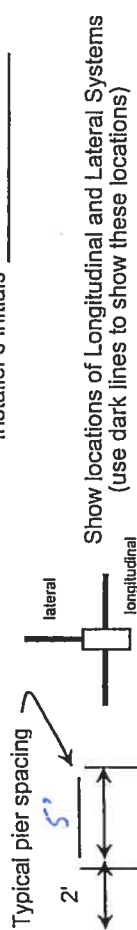
Installer: Robert Sheppard License # TH1025386

Address of home being installed: _____

Manufacturer: Cavalier Length x width: 32 x 60

NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials: RS



Application Number: _____

Date: _____

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C ☒

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 48972

Triple/Quad ☐ Serial # CCV079846 LAB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25
 Perimeter pier pad size 16x16
 Other pier pad sizes (required by the mfg.) 17x25

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening _____ Pier pad size _____

4 ft ☒ 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer Over 1101V

OTHER TIES

Number _____
 Sidewall _____
 Longitudinal _____
 Marriage wall _____
 Shearwall _____

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1700 X 1600 X 1600

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1700 X 1700 X 1600

TORQUE PROBE TEST

The results of the torque probe test is 290 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb. holding capacity.

RS Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Robert Shepard

Date Tested 10-9-19

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 25

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 28

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 28

Application Number: _____

Date: _____

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural Swale Pad ✓ Other

Fastening multi wide units

Floor: Type Fastener: lags Length: 5" Spacing: 16"
Walls: Type Fastener: screws Length: 4" Spacing: 16"
Roof: Type Fastener: lags Length: 6" Spacing: 16"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials RS

Type gasket Foam
Pg. 22

Installed:
Between Floors Yes ✓
Between Walls Yes ✓
Bottom of ridgebeam Yes ✓

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ✓ Pg. ✓
Siding on units is installed to manufacturer's specifications. Yes ✓
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ✓

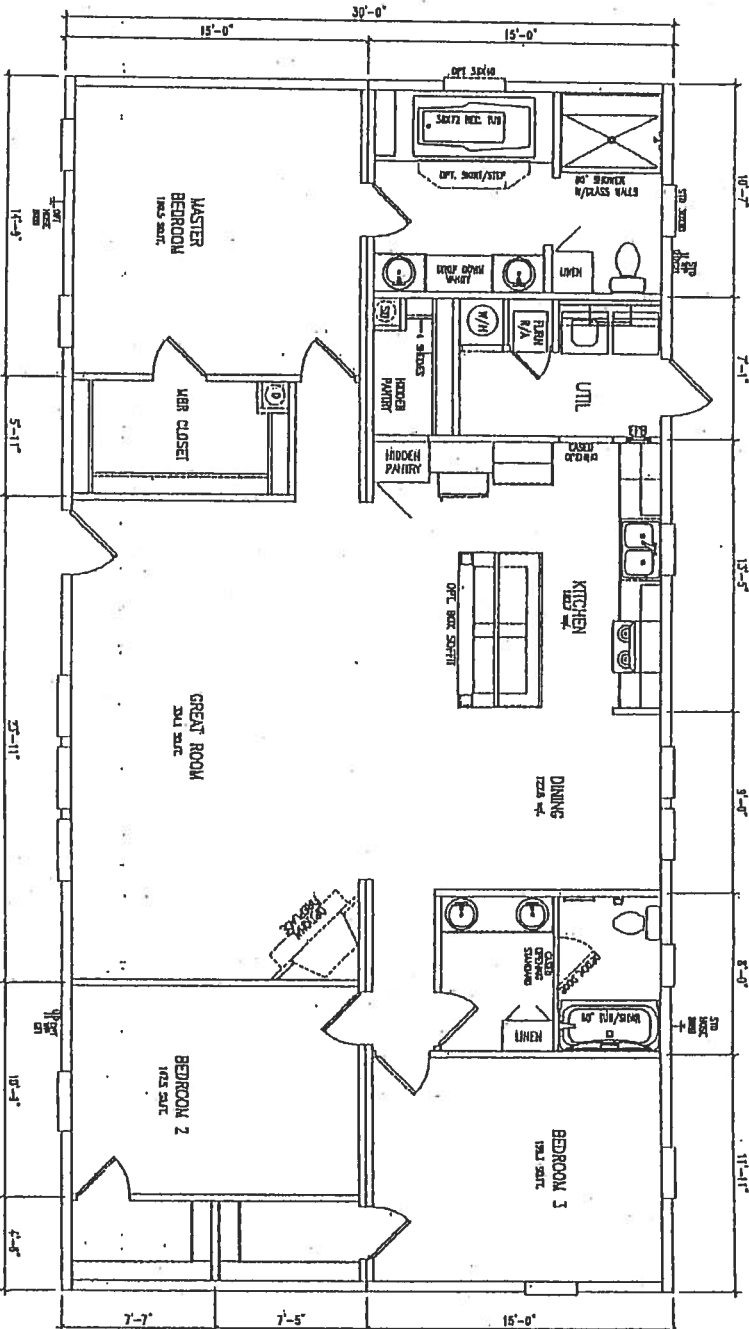
Miscellaneous

Skirting to be installed. Yes ✓ No ✓
Dryer vent installed outside of skirting. Yes ✓ N/A ✓
Range downflow vent installed outside of skirting. Yes ✓
Drain lines supported at 4 foot intervals. Yes ✓
Electrical crossovers protected. Yes ✓
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

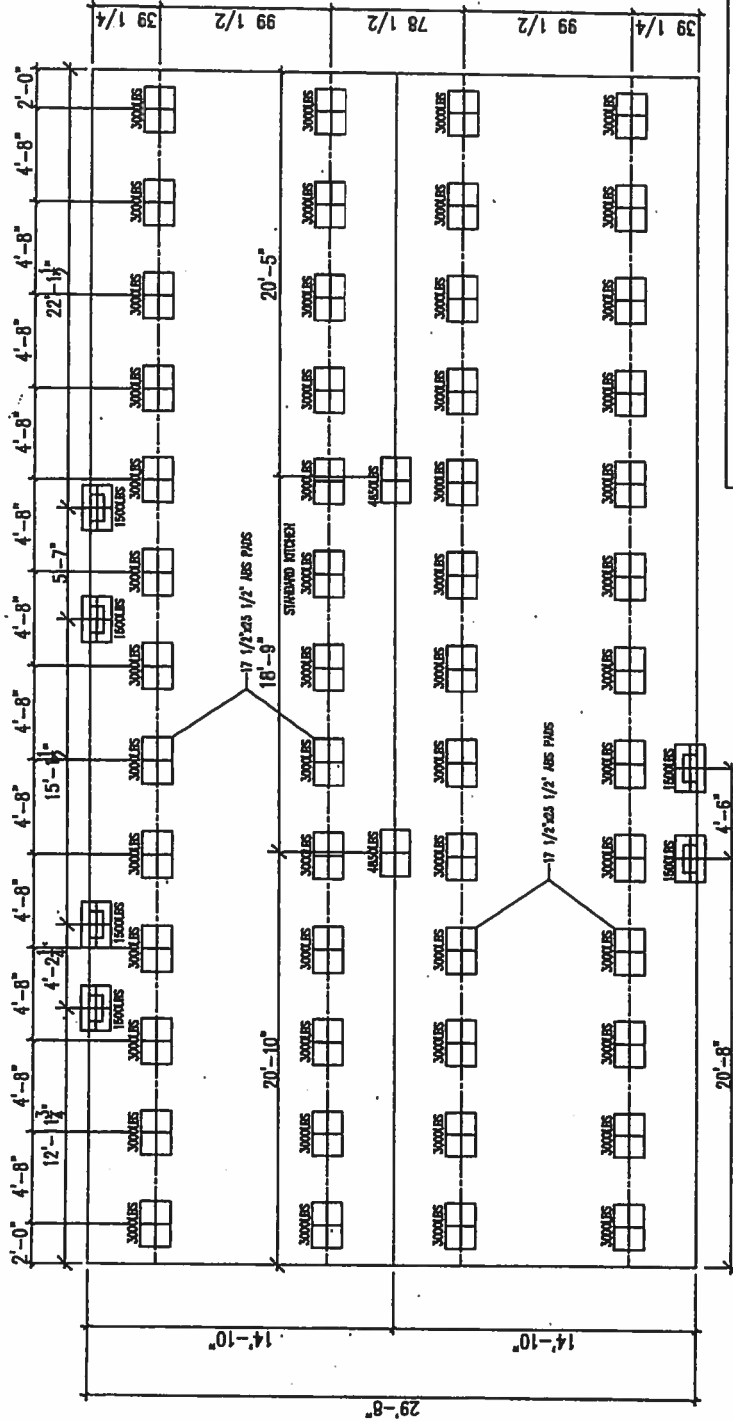
Installer Signature Robert Shepard Date 10-9-19

**4068 US Highway 90 West
Lake City FL 32055
Phone 386-754-6737
Fax 386-758-7764**



Royals Honey

SOIL BEARING LOAD: 1000LBS PSF
 1500LBS=16"x16" OR 16"x18.5" ABS PAD FOOTER
 3000LBS=17.25"x25.5" ABS PAD FOOTER
 4000LBS=21"x29" ABS PAD FOOTER
 4800LBS=23.25"x31.25" ABS PAD FOOTER



THIS LETTER SHALL CERTIFY THAT ABS FOUNDATION PADS MANUFACTURED BY OLIVER TECHNOLOGIES, INC. MAY BE USED IN THE LIEU OF POURED CONCRETE FOOTINGS AS A SUPPORT FOR SINGLE & DOUBLE STACKED FOUNDATION PIERS PROVIDED THE FOLLOWING CRITERIA ARE MET.

1. THE ABS PADS MUST BE INSTALLED PER OLIVER TECHNOLOGIES INSTALLATION INSTRUCTIONS.
2. THE PIER LOADS APPLIED TO THE ABS PADS MAY NOT EXCEED THE VALUES NOTED IN THE CHART BELOW.
3. THE ABS PADS MAY BE USED TO SUPPORT A CONTINUOUS FOUNDATION WALL. THE PADS MAY ONLY BE USED FOR INDIVIDUAL FOUNDATION PIERS.
4. ABS PADS MAY BE COURRED TO COVER A LARGER AREA IN THIS CASE THE MAX. ALLOWABLE LOADS MADE CORROD AS WELL.
5. IF THE REQUIREMENTS OF DESIGN IND. INSTALLATION MANUFACTURE CONFLICT WITH THE REQUIREMENTS OF THE OLIVER TECHNOLOGIES INSTALLATIONS THE MORE STRINGENT REG. SHALL BE USED.

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MAXIMUM SPAN BETWEEN PIERS UNDER I-BEAMS (FEET)	MAXIMUM CLEAR SPAN FOR WAVING ONE SUPPORTS (FEET)	MAXIMUM SPAN BETWEEN PIERS UNDER I-BEAMS (FEET)	MAXIMUM CLEAR SPAN FOR WAVING ONE SUPPORTS (FEET)	MAXIMUM SPAN BETWEEN PIERS UNDER I-BEAMS (FEET)	MAXIMUM CLEAR SPAN FOR WAVING ONE SUPPORTS (FEET)
PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)
16'x18.5"	2.00	16'x18.5"	2.00	16'x18.5"	2.00
17.25'x25.5"	3.00	17.25'x25.5"	3.00	17.25'x25.5"	3.00
21'x29"	4.00	21'x29"	4.00	21'x29"	4.00
23.25'x31.25"	4.00	23.25'x31.25"	4.00	23.25'x31.25"	4.00
15'x16"	1.75	15'x16"	1.75	15'x16"	1.75
15'x18.5"	2.35	15'x18.5"	2.35	15'x18.5"	2.35
20'x20"	2.75	20'x20"	2.75	20'x20"	2.75
24'x24"	4.00	24'x24"	4.00	24'x24"	4.00

DESTINY INDUSTRIES, LLC
 250 R.W. BRYANT ROAD
 KENNESAW, GEORGIA 30144
 PHONE: 1-888-782-6600

1000LBS ABS PAD FOUNDATION PLAN

32 X 64 3 BR - 2 BA

Jerry Benton

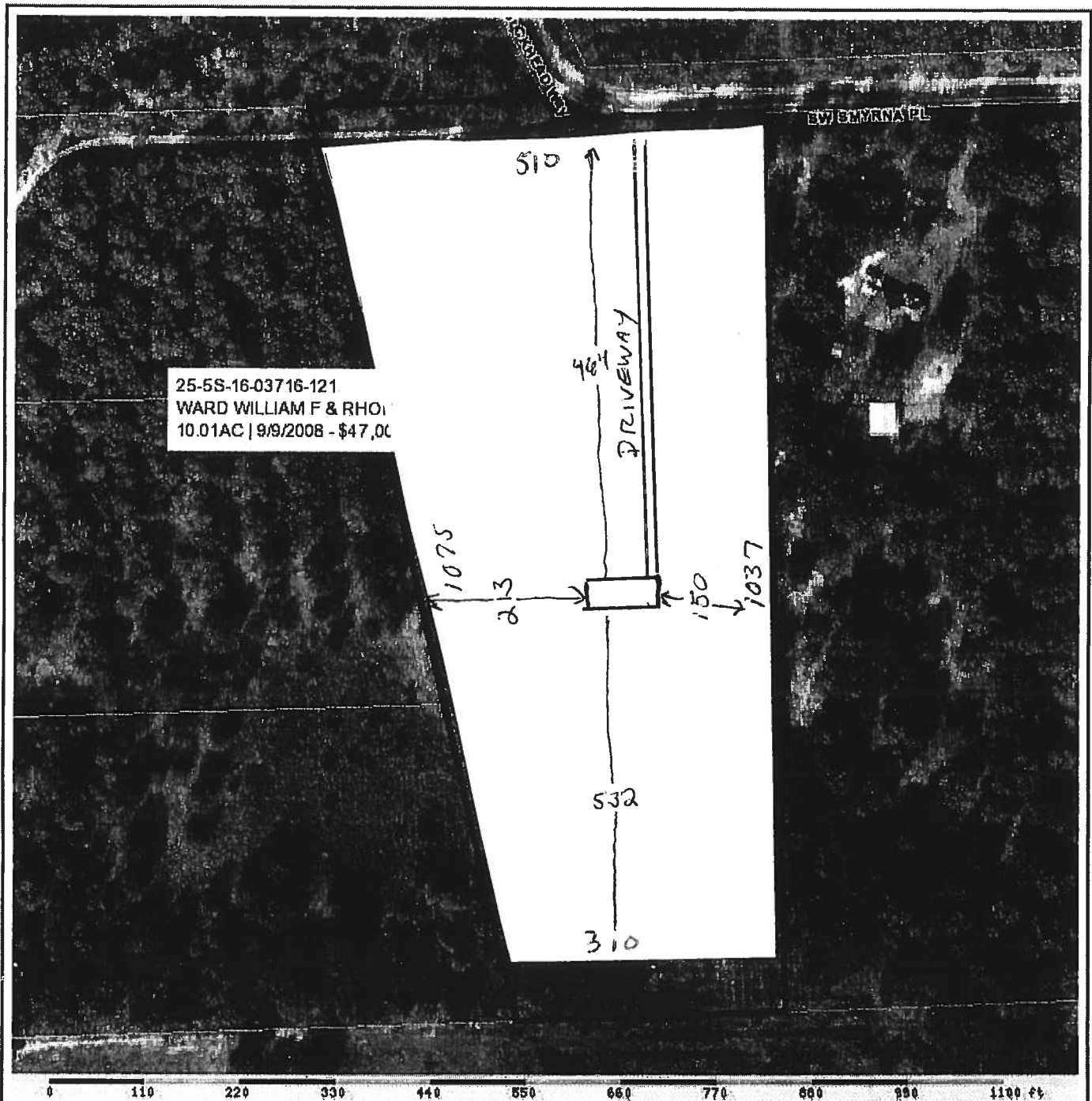
8/14/06

1-C17

EG43-1124-96

1800

REVISED



Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 25-5S-16-03716-121 - VACANT (000000)

AKA LOT 21 BUCKHEAD WOODS UNR: COMM SW COR, RUN E 1171.08 FT FOR POB, NE 10 DEG 1078.93 FT, E 271.99 FT TO S R/W BUCKHEAD WOODS RD, SE 25 DEG 27.84 FT

Name: WARD WILLIAM F & RHONDA D &

2019 Preliminary Certified

Site: 100 SW SMYRNA PL

Land

\$44,585.00

QUENTIN BOYLE TRUSTEE

Bldg

\$0.00

Mail: 748 SW DUCKETT CT

Assd

\$44,585.00

LAKE CITY, FL 32024

Exmpt

\$0.00

Sales 9/9/2008

\$47,000.00 V / U

Taxbl

Cnty: \$44,584

Info 7/30/2004

\$58,000.00 V / Q

Other: \$44,584 | Schl: \$44,585

NOTES:



This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

powered by
GrizzlyLogic.com

Legend

2018Aerials

Parcels

Addresses

2018 Flood Zones

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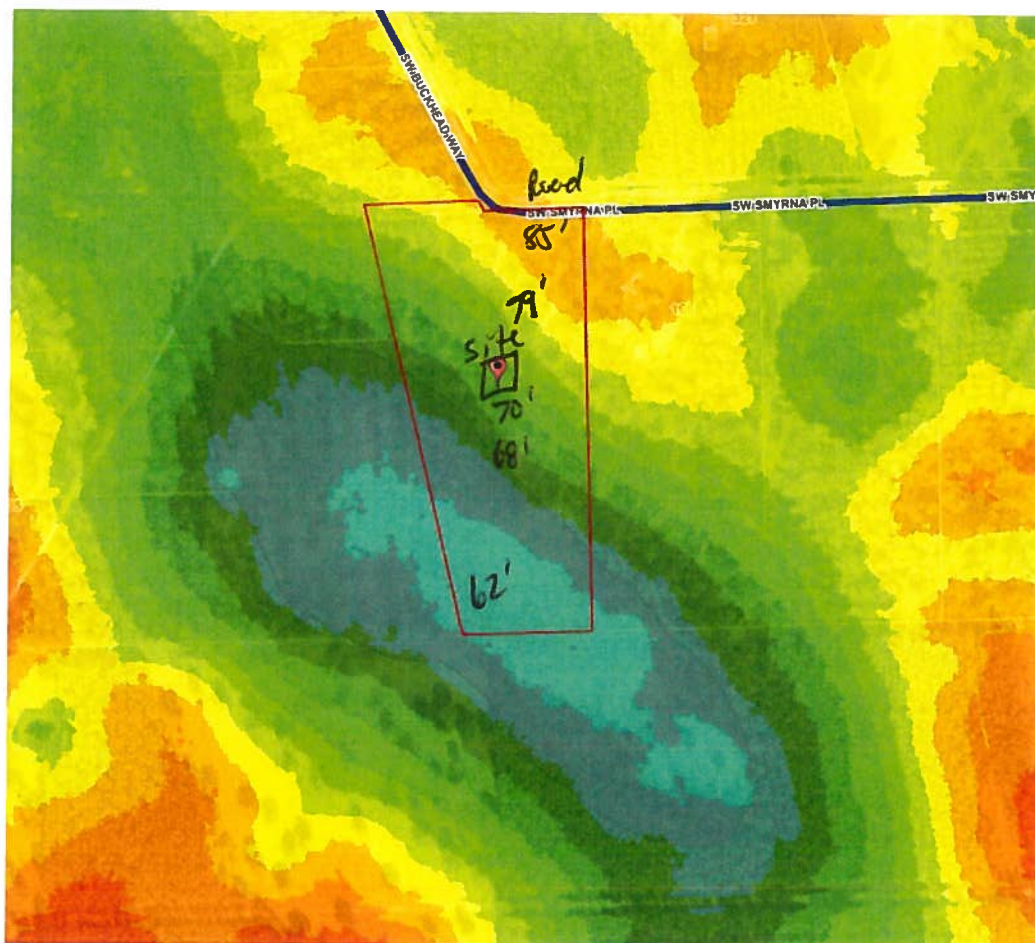
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Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Nov 07 2019 15:44:50 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 25-5S-16-03716-121

Owner: WARD WILLIAM F & RHONDA D &

Subdivision: BUCKHEAD WOODS UNR

Lot: 21

Acres: 10.0156641

Deed Acres: 10.01 Ac

District: District 5 Tim Murphy

Future Land Uses: Agriculture - 3

Flood Zones: A,

Official Zoning Atlas: A-3

Roads

Roads

others

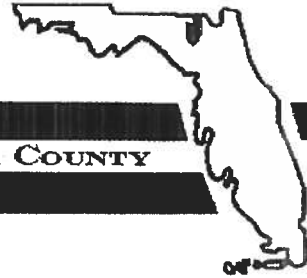
Dirt

Interstate

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witz
District No. 5 - Tim Murphy

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	11/1/2019 2:30:28 PM
Address:	116 SW SMYRNA PL
City:	FORT WHITE
State:	FL
Zip Code	32038
Parcel ID	03716-121
REMARKS: Address for proposed structure on parcel.	

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 10/30/2019

Parcel: << 25-5S-16-03716-121 >>

Aerial Viewer Pictometry Google Maps

2019 2016 2013 2010 2007 2005 ✓ Sales

Owner & Property Info

Result: 1 of 1

Owner	DESJARDINS MICHAEL A & REGINA M HEIMER (JTWRS) 768 SW OLD WIRE RD LAKE CITY, FL 32024		
Site	100 SMYRNA PL, FORT WHITE		
Description*	AKA LOT 21 BUCKHEAD WOODS UNR: COMM SW COR, RUN E 1171.08 FT FOR POB, NE 10 DEG 1078.93 FT, E 271.99 FT TO S R/W BUCKHEAD WOODS RD, SE 25 DEG 27.84 FT, E ALONG R/W 238.93 FT, S 1037.05 FT, W 309.99 FT TO POB 811- 1231, 824-1871, 859-53, DC 1023-1187, WD 102 ...more>>>		
Area	10.01 AC	S/T/R	25-5S-16E
Use Code**	VACANT (000000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$44,585	Mkt Land (1)	\$44,585
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$44,585	Just	\$44,585
Class	\$0	Class	\$0
Appraised	\$44,585	Appraised	\$44,585
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$44,585	Assessed	\$44,585
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$44,585 city:\$44,585 other:\$44,585 school:\$44,585	Total Taxable	county:\$44,585 city:\$44,585 other:\$44,585 school:\$44,585

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
10/1/2019	\$53,000	1395/1732	WD	V	Q	01
9/9/2008	\$47,000	1158/0927	WD	V	U	03
7/30/2004	\$58,000	1023/1188	WD	V	Q	
5/11/1998	\$25,000	859/0053	WD	V	Q	
6/19/1996	\$24,500	824/1871	WD	V	U	09

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Prepared by:
Michael H. Harrell
Abstract Trust Title, LLC
283 NW Cole Ter
Lake City, FL 32055

4-9068

Warranty Deed

Individual/Trust to Individual

THIS WARRANTY DEED made the 1 day of October, 2019, By William F. Ward and His Wife Rhonda D. Ward, as to an undivided one-half (1/2) interest, and Quentin Boyle, Individually and as Trustee of the Quentin Boyle Living Trust dated 2/28/90, as to the remaining one-half (1/2) interest, hereinafter called the grantor, to Michael A. Desjardins and Regina M. Heimer, as Joint Tenants With Right of Survivorship whose address is: 768 SW Old Wire Rd, Lake City, FL 32024 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida:

See Exhibit "A" Attached Hereto And By This Reference Made A Part Thereof.

The Lands Described in Exhibit "A" is not the Homestead, nor has it ever been the Homestead of Quentin Boyle, who in fact resides at: 264 NW Cutler Glen, Lake City, FL 32055.

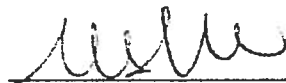
TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to the prior year.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day
and year first above written.

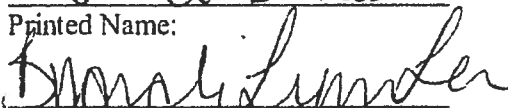
Signed, sealed and delivered in our presence:



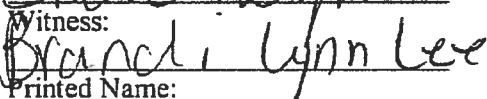
Witness:



Printed Name:



Witness:



Printed Name:

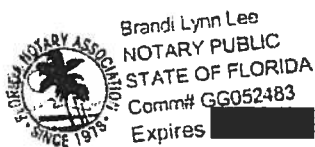
William F. Ward

Rhonda D. Ward

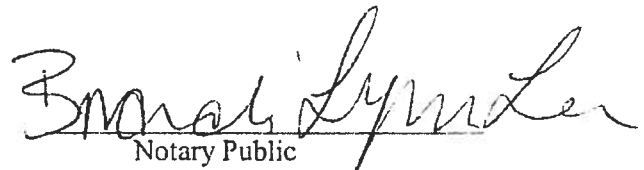
STATE OF FLORIDA

COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 1 day of October, 2019
by WILLIAM F. WARD AND HIS WIFE, RHONDA D. WARD, personally known to
me or, if not personally known to me, who produced DL for
identification and who did not take an oath.



(Notary Seal)


Notary Public

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day
and year first above written.

Signed, sealed and delivered in our presence:

[Signature]

Witness:

Wendy E Shaw

Printed Name:

Brandi Lynn Lee

Witness:

Brandi Lynn Lee

Printed Name:

Quentin Boyle

Quentin Boyle, Individually and as
Trustee of the Quentin Boyle Living Trust
dated 2/28/90

STATE OF FLORIDA

COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 1 day of October, 2019
by QUENTIN BOYLE, INDIVIDUALLY AND AS TRUSTEE OF THE QUENTIN
BOYLE LIVING TRUST DATED 2/28/90 personally known to me or, if not personally
known to me, who produced DL for identification and who did not take
an oath.



Brandi Lynn Lee
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG052483
Expires 12/5/2020

(Notary Seal)

Brandi Lynn Lee
Notary Public

Exhibit "A"

ATT # 9068

EXHIBIT "A"

LOT 21 OF BUCKHEAD WOODS (UNRECORDED)

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN SOUTH 89°36'44" EAST, ALONG THE SOUTH LINE OF SAID SECTION 25, A DISTANCE OF 1171.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 10°31'13" WEST, 1078.93 FEET; THENCE SOUTH 89°54'17" EAST, 271.99 FEET TO A POINT ON THE SOUTHERLY LINE OF BUCKHEAD WOODS ROAD (A PRIVATE ROAD); THENCE SOUTH 25°58'24" EAST, ALONG SAID SOUTHERLY LINE 27.84 FEET; THENCE SOUTH 89°54'17" EAST, STILL ALONG SAID SOUTHERLY LINE, 238.93 FEET; THENCE SOUTH 00°53'29" WEST, PARALLEL TO THE EAST LINE OF THE WEST ½ OF THE SOUTHEAST ¼, A DISTANCE OF 1037.05 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 25; THENCE NORTH 89°36'44" WEST, ALONG SAID SOUTH LINE, 309.99 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A POWERLINE EASEMENT ACROSS THE NORTHERLY 25.00 FEET OF THE EASTERLY 238.93 FEET AND THE NORTHERLY 50.00 FEET OF THE WESTERLY 271.99 FEET THEREOF.

ALSO:

TOGETHER WITH AND SUBJECT TO EASEMENTS AS DESCRIBED IN OR BOOK 801, PAGE 68, OR BOOK 805, PAGE 225, OR BOOK 817, PAGE 996 AND OR BOOK 821, PAGE 494.

ALSO:

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE PRIVATE ROADS GIVEN THROUGH THE DECLARATION FOR BUCKHEAD WOODS AS RECORDED IN OFFICIAL RECORDS BOOK 805, PAGE 225 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0802
DATE PAID: 10/29/19
FEE PAID: 310.00
RECEIPT #: 1450556

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: William Ward

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: 546 SW Dortch Street, FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(a) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 21 BLOCK: NA SUB: Buckhead Woods PLATTED:

PROPERTY ID #: 25-5S-16-03716-121 ZONING: I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 10.01 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 100 Smyrna Pl Fort White FL

DIRECTIONS TO PROPERTY: 47 South Left on CR 240 Right on Old Wire Rd Left on Land

Run Terr Right on SW Buckhead Way continue onto Smyrna Pl to address on Right

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	3	1800	
2				
3				

☐ Floor/Equipment Drains ☐ Other (Specify)

SIGNATURE: [Signature]

DATE: 10/21/2019

Permit Application Number 19-0802

Scale: 1 inch = 40 feet.

Notes: _____

Site Plan submitted by: _____ MASTER CONTRACTOR
Plan Approved X Not Approved _____ Date 10/21/19
By [Signature] Columbian County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

5/1/2019

To: Columbia County Building Department

A&B Well Drilling, Inc.

5673 NW Lake Jeffery Road
Lake City, FL 32055
Telephone: (386) 758-3409
Cell: (386) 623-3151
Fax: (386) 758-3410
Owner: Bruce Park

Description of Well to be installed for Customer _____

Located @ Address: 100 SW Smyrna pl.

1 HP 15 GPM submersible pump, 1" drop pipe, 35 gallon captive tank, and backflow prevention. With SRWMD permit.

Bruce Park

Sincerely,
Bruce N. Park
President

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR Robert Sheppard PHONE 386-623-2203

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<p>ELECTRICAL</p> <p align="center">✓</p>	<p>Print Name <u>Whittington Electric</u></p> <p>License #: <u>13002957</u></p> <p align="center">Qualifier Form Attached <input type="checkbox"/></p>	<p>Signature <u>[Signature]</u></p> <p>Phone #: <u>386-684-4601</u></p>
<p>MECHANICAL</p> <p>A/C ✓</p>	<p>Print Name <u>Shatto Heating & Air</u></p> <p>License #: <u>CAC057875</u></p> <p align="center">Qualifier Form Attached <input type="checkbox"/></p>	<p>Signature <u>[Signature]</u></p> <p>Phone #: <u>496-8224</u></p>

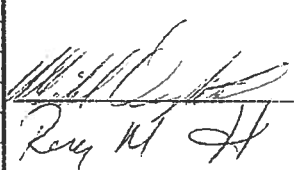
F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

43945

Royals Mobile Home Sales & Service, Inc.

4068 West U.S. Highway 90
LAKE CITY, FLORIDA 32055
(386) 754-6737 • Fax: (386) 758-7764

CLEAR FORM

BUYER(S) Michael Anthony Desjardins OR Regina Marie Heimer				PHONE (772) 528-4984		DATE	
ADDRESS 768 SW Old Wire Road. Lake City, FL. 32024						SALESPERSON Paula DuPree	
DELIVERY ADDRESS 100 Smyrna Place SW. Fort White, FL. 32038							
MAKE & MODEL Cavalier Sumner Model				YEAR 2020	BEDROOMS 3	FLOOR SIZE L 60 W 30	HITCH SIZE L 64 W 32
SERIAL NUMBER TBD				<input checked="" type="checkbox"/> NEW <input type="checkbox"/> USED	COLOR	PROPOSED DELIVERY DATE	KEY NUMBERS
DATE OF BIRTH		DRIVER'S LICENSE		BASE PRICE OF UNIT \$			
BUYER 10/29/60		BUYER		OPTIONAL EQUIPMENT			
CO-BUYER 07/17/68		CO-BUYER		PROCESSING FEE			
LOCATION	R-VALUE	THICKNESS	TYPE OF INSULATION	SUB-TOTAL \$			
CEILING	33		Blown	Improvements Allowance			
EXTERIOR	19		Batten	SALES TAX			
FLOORS	11		Blanket	COLUMBIA COUNTY SURTAX			
THIS INSULATION INFORMATION WAS FURNISHED BY THE MANUFACTURER AND IS DISCLOSED IN COMPLIANCE WITH THE FEDERAL TRADE COMMISSION RULE 16CRF, SECTION 460.16.				NON-TAXABLE ITEMS			
				VARIOUS FEES AND INSURANCE			
				FHA & Processing			
Delivery & Setup standard 3 blocks high. (1 pad and 2 solid blocks). Anything over standard is customer's responsibility. Unfurnished XXXXXXXXXXXX Furnished _____ Water & Sewer is run under home. Customer responsible for any gas, electrical, water & sewer hook-up. <i>R</i> Wheels and axles deleted from sale price of home. Customer responsible for permits. <i>R</i> Homeowner's manual located in Manufactured Home.				CASH PURCHASE PRICE \$			
				TRADE-IN ALLOWANCE \$			
				LESS BAL. DUE on above \$			
				NET ALLOWANCE \$ 0.00			
				CASH DOWN PAYMENT \$			
				CASH AS AGREED SEER/ARS \$			
				LESS TOTAL CREDITS \$ 0.00		SUB-TOTAL \$	
OPTIONAL EQUIPMENT, LABOR AND ACCESSORIES				Unpaid Balance of Cash Sale Price \$			
Standard Skirting \$				REMARKS: CUSTOMER IS RESPONSIBLE FOR ALLOWANCE OVERAGES. <div style="text-align: right; margin-top: 20px;">  _____ Regina Marie Heimer Sign </div>			
Two Sets of Steps							
14 Seer AC/Heatpump							
Improvements							
Well, Septic, Meter Power Pole, Permits, Hook-ups							
Nothing Else Follows							
BALANCE CARRIED TO OPTIONAL EQUIPMENT \$ 0.00				Liquidated Damages are agreed to be \$ _____ or 10% of the cash price, whichever is greater.			
REFER TO PARAGRAPH #6 ON THE REVERSE SIDE OF THIS AGREEMENT.							
DESCRIPTION OF TRADE-IN N/A		MAKE		MODEL N/A		YEAR	
COLOR	BEDROOMS	SIZE X	TITLE NO.	SERIAL NO.			
AMOUNT OWING \$ TO WHOM				ANY DEBT BUYER OWES ON TRADE-IN IS TO BE PAID BY <input type="checkbox"/> DEALER <input type="checkbox"/> BUYER			

Buyer is purchasing the above described manufactured home, the optional equipment and accessories, the insurance has been voluntary; the Buyer's trade-in is free from all claims whatsoever, except as noted.

THE REVERSE SIDE of this agreement contains **ADDITIONAL TERMS AND CONDITIONS**, including, but not limited to, provisions regarding **WARRANTY, EXCLUSIONS AND LIMITATION OF DAMAGES**.

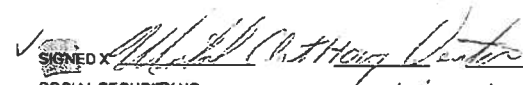
Dealer and Buyer acknowledge and certify that such additional terms and conditions printed on the other side of this agreement are agreed to as part of this agreement, the same as if printed above the signatures.

The agreement contains the entire agreement between the Dealer and Buyer and no other representation or inducement, verbal or written, has been made which is not contained in this agreement. Buyer(s) acknowledge receipt of a copy of this agreement and that Buyer(s) have read and understand the back of this agreement.

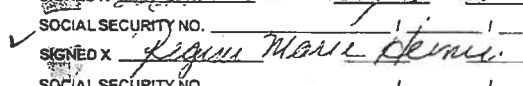
Royals Mobile Home Sales & Service, Inc. DEALER

Not Valid Unless Signed and Accepted by an Officer of the Company or an Authorized Agent

By _____

SIGNED X  _____ BUYER

SOCIAL SECURITY NO. _____

SIGNED X  _____ BUYER

SOCIAL SECURITY NO. _____