

\$172.75

1600110779

#43678

Columbia County New Building Permit Application

For Office Use Only Application # 1908-116 Date Received 8/30 By [Signature] Permit # 38681
Zoning Official 7.C. / LH Date 9-10-19 Flood Zone X Land Use Ag Zoning A-3
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 7.C. Date 9-10-19
Comments Non Habitable Storage Bldg. F. 30' Sides 25' Rear 25'
☒ NOC ☒ DEH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 1906-71 OR City Water ☐ Fax _____
Applicant (Who will sign/pickup the permit, Rami Al-Chacar Phone 336-756-1567
Address 820 Reeves Drive, Mt Airy, NC 27030
Owners Name Ryan and Jennifer Robinson Phone 386-292-3645
911 Address 434 NW Noegel Rd, Lake City, FL 32055
Contractors Name Javier Lara Phone 877-272-8276
Address 820. Reeves Drive, Mount Airy, NC 27030
Contractor Email Sbspermitting@sbsing.com Include to get updates on this job.
Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address Wayne Moore 7.C. 401 S. Main St, Ste 200, Mt. Airy, NC 27030
Mortgage Lenders Name & Address _____
Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy
Property ID Number 30-35-16-02401-000 Estimated Construction Cost 13,302.00
Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____
Driving Directions from a Major Road 90-121 to C-135, TR AND 16'S 1/2 mile on
L.

Construction of 30x41x12 accessory structure Commercial OR ☒ Residential
Proposed Use/Occupancy Storage Number of Existing Dwellings on Property _____
Is the Building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____
Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive
Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____
Number of Stories _____ Heated Floor Area _____ Total Floor Area 1230 Acreage 5.89

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) 30x41
the sub receipt and Email 8.30.19 & 9.9.19

9/12/19 - let Rami know ready for pickup
Page 1 of 2 (Both Pages must be submitted together.) Revised 7-1-15

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

RYAN ROBINSON

Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

Contractor's License Number CB01260497

✓Columbia County

Competency Card Number 1838

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27th day of June 2019.

Personally known ☒ or Produced Identification _____

Frances Garcia

SEAL:

State of Florida Notary Signature (For the Contractor)

FRANCES GARCIA

NOTARY PUBLIC

SURRY COUNTY

STATE OF NORTH CAROLINA

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

30-35-16-02401-000

Clerk's Office Stamp

Inst: 201912017245 Date: 07/24/2019 Time: 4:48PM
Page 1 of 1 B: 1389 P: 2128, P. DeWitt Cason, Clerk of Court
Columbia County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 30-35-16-02401-000
a) Street (job) Address: 434 NW Noegel Rd, Lake City, FL 32055
2. General description of improvements: 30x41x12 detached accessory structure
3. Owner information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Ryan + Jennifer Robinson
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: Storage
4. Contractor Information
a) Name and address: Javier Lara/Steel Buildings + Structures 820 Reeves Dr, Mt. Airy 27030
b) Telephone No.: 877-272-8276
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond:
c) Telephone No.:
6. Lender
a) Name and address:
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. [Signature]

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

RYAN A. ROBINSON

Printed Name and Signatory's Title/Office

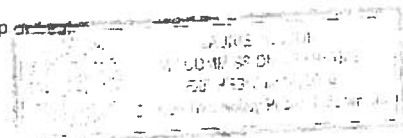
The foregoing instrument was acknowledged before me, a Florida Notary, this 24 day of July, 2019, by:
Ryan A. Robinson as owner for self
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification ☒ Type ADC

Notary Signature

[Signature]

Notary Stamp





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0671
DATE PAID: 9/3/19
FEE PAID: 260.00
RECEIPT #: 1431628

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Steel Buildings and Structures, Inc Ryan Robinson

AGENT: JAVIER LARA

TELEPHONE: 877-272-8276

MAILING ADDRESS: P.O. Box 1287, Mt. Airy, NC 27030

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 30-35-16-02401-000 ZONING: _____ I/M OR EQUIVALENT: ☒ Y / ☐ N

PROPERTY SIZE: 5.89 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ <=2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y / ☐ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 434 Naegel Rd, Lake City, FL 32055

DIRECTIONS TO PROPERTY: Attached

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No. Type of Establishment No. of Bedrooms Building Area Sqft Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC

1

Single Family

3467

2

Steel Bldg

30x41

1430

3

4

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Javier Lara

DATE: 08/29/2019

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26

19-10421

74R77 - 5762-16

[illegible]

294

4. See Attached.

Spontaneous combustion

Printed: 12/2/20

34

Sallee Ford Env Health Director

9-12-19

CONCLUSIONS

Glenhira

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << 30-3S-16-02401-000 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

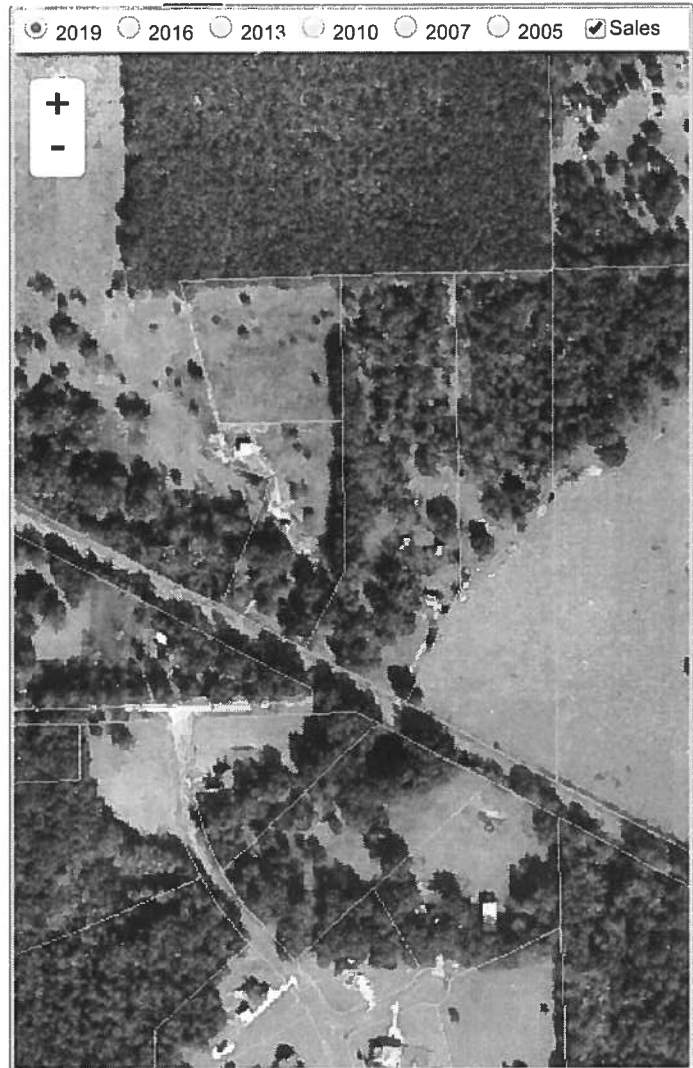
Owner	ROBINSON RYAN A & JENNIFER R 434 NW NOEGEL RD LAKE CITY, FL 320557555		
Site	434 NOEGEL RD, LAKE CITY		
Description*	COMM NE COR OF SW1/4 OF NW1/4, W 169.62 FT TO W R/W OF NW NOEGEL RD, S 401.06 FT FOR POB CONT S 396.56 FT, W 650.32 FT, N 396.40 FT, E 643.39 FT TO POB. ORB 589-739, 590-226, 736-1,2 835-1147, WD 1288-1928.		
Area	5.89 AC	S/T/R	30-3S-16
Use Code**	IMPROVED A (005000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$5,568	Mkt Land (1)	\$5,568
Ag Land (1)	\$1,828	Ag Land (1)	\$1,882
Building (1)	\$168,509	Building (1)	\$183,505
XFOB (1)	\$2,004	XFOB (1)	\$2,004
Just	\$203,309	Just	\$218,305
Class	\$177,909	Class	\$192,959
Appraised	\$177,909	Appraised	\$192,959
SOH Cap [?]	\$1,549	SOH Cap [?]	\$13,292
Assessed	\$174,799	Assessed	\$179,667
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total Taxable	county:\$124,799 city:\$124,799 other:\$124,799 school:\$149,799	Total Taxable	county:\$129,667 city:\$129,667 other:\$129,667 school:\$154,667



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/2/2015	\$100	1288/1928	WD	V	U	11
2/27/1997	\$0	835/1147	WD	V	U	02 (Multi-Parcel Sale) - show

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2015	2439	3467	\$183,505

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2015	\$2,004.00	1002.000	0 x 0 x 0	(000.00)

Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	1.000 AC	1.00/1.00 1.00/1.00	\$5,568	\$5,568
005500	TIMBER 2 (AG)	4.890 AC	1.00/1.00 1.00/1.00	\$385	\$1,882
009910	MKT.VAL.AG (MKT)	4.890 AC	1.00/1.00 1.00/1.00	\$0	\$27,228

Legend

2018Aerials



Roads

Roads

others

Dirt

Interstate

Main

Other

Paved

Private

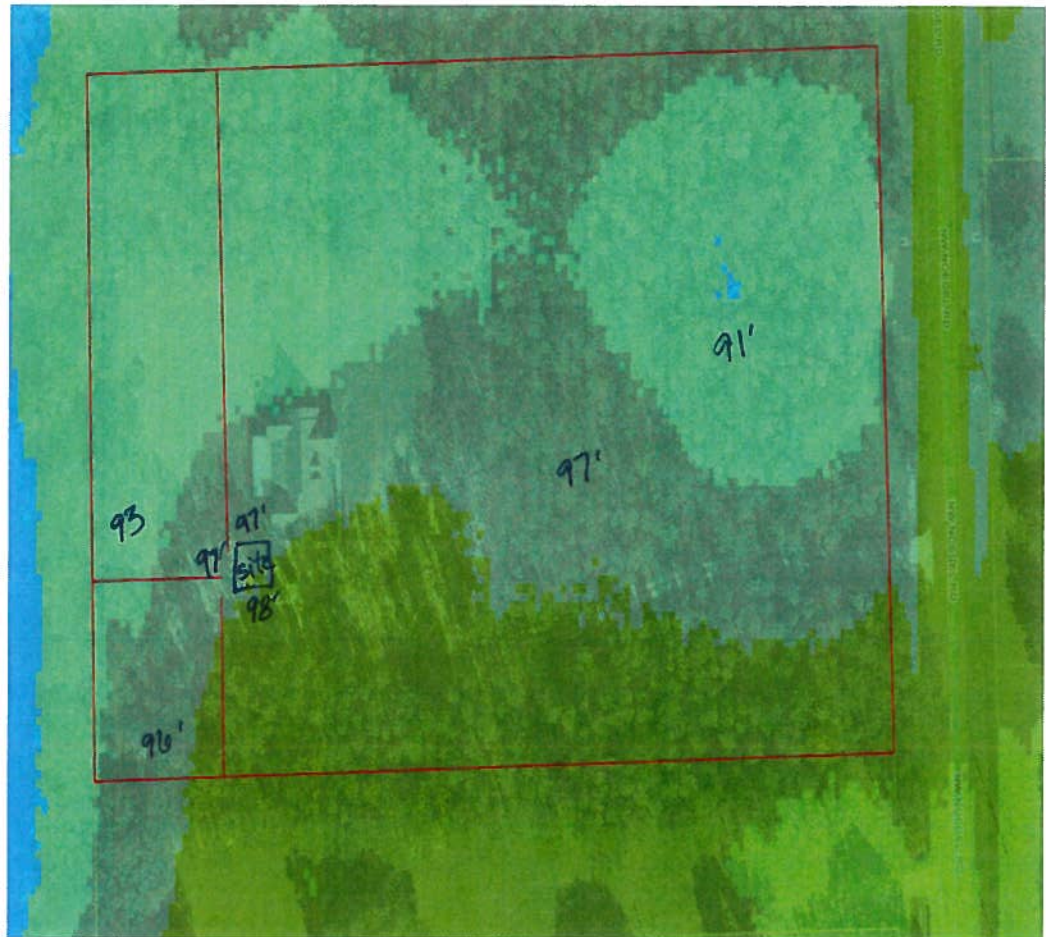
Parcels

LidarElevations



Columbia County, FLA - Building & Zoning Property Map

Printed: Tue Sep 03 2019 16:51:05 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 30-3S-16-02401-000

Owner: ROBINSON RYAN A & JENNIFER R

Subdivision:

Lot:

Acres: 5.66245461

Deed Acres: 5.89 Ac

District: District 3 Bucky Nash

Future Land Uses: Agriculture - 3

Flood Zones:

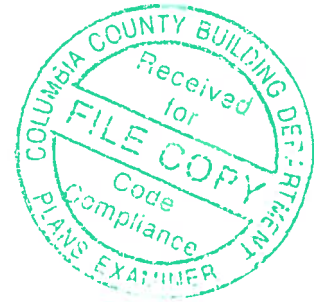
Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

2018 Flood Zones

0.2 PCT ANNUAL CHANCE

A



STRUCTURAL DESIGN **ENCLOSED BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

14 December 2018

Revision 7

M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S

Prepared for:

**Steel Buildings and Structures, Inc.
P.O. Box 1287
Mt. Airy, NC 27030**

Prepared by:

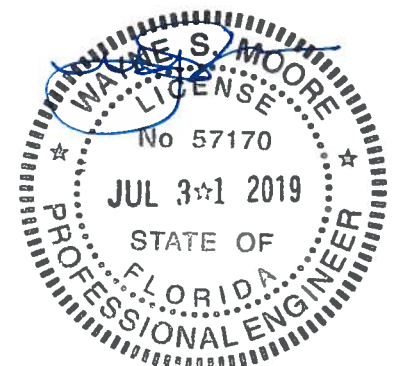
**Moore and Associates Engineering
and Consulting, Inc.**

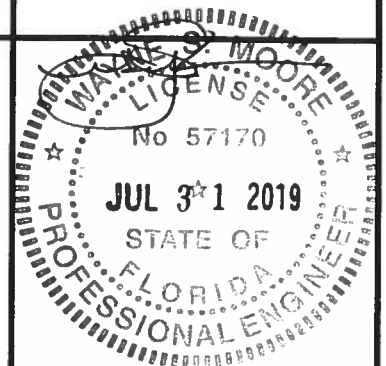
**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main St., Suite 200
Mount Airy, NC 27030**



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING**





MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: AT

CHECKED BY: PDH

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

PROJECT MGR: VSM

DATE: 12-14-18

SCALE: NTS

JOB NO: 18068S/18156S/18290S

CLIENT: SBSI

SHT. 1

DWG. NO: SK-3

REV: 7

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SHEET 3B	TYPICAL SIDE AND END ELEVATIONS
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SHEET 9	CONNECTION DETAILS
SHEET 10	CONNECTION DETAILS
SHEET 11	LEAN-TO OPTIONS
SHEET 11A	LEAN-TO OPTIONS
SHEET 12	VERTICAL ROOF/SIDING OPTION END AND SIDE ELEVATION AND SECTION
SHEET 13	OPTIONAL HEADER
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SHEET 15	OPTIONAL BASE RAIL ON GRADE APPLICATION
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SHEET 18	OPTIONAL CONCRETE STRIP FOOTING



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CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 2

DWG. NO: SK-3

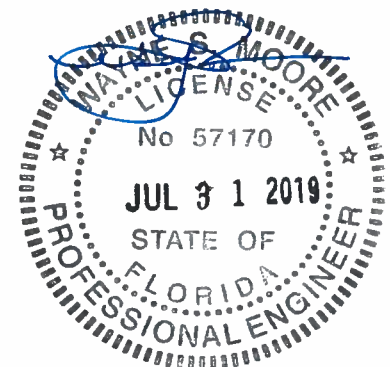
JOB NO: 180693/181565/182905

REV. 7

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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 30 PSF ($\leq 26'-0"$), 35 PSF ($26'-0" < W \leq 30'-0"$)
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED.)
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH); MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 $R = 3.25$ $I_E = 1.0$
 $S_{DS} = 2.039$ $V = C_S W$
 $S_{DI} = 1.258$
14. WINDOW AND DOOR DESIGN PRESSURES ARE APPLICABLE TO THE STATE OF FLORIDA ONLY.



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JOB NO: 18068S/18156S/18290S

SHT. 3

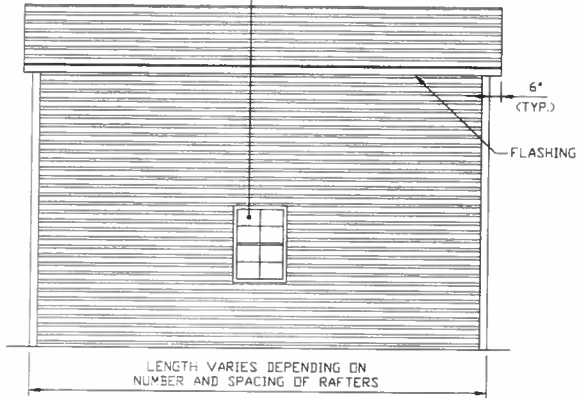
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BOX EAVE FRAME RAFTER STRUCTURE

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
(21.8 PSF, -23.6 PSF)

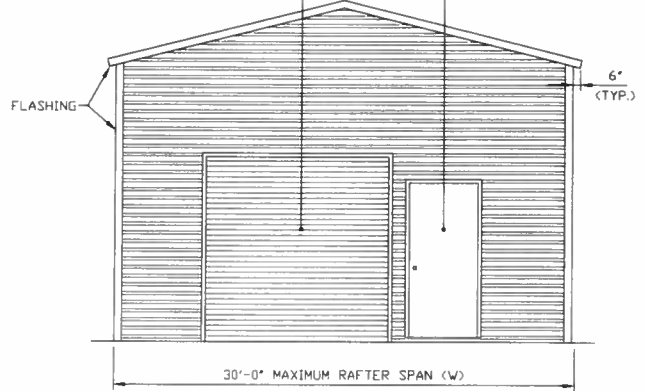


TYPICAL SIDE ELEVATION

SCALE: NTS

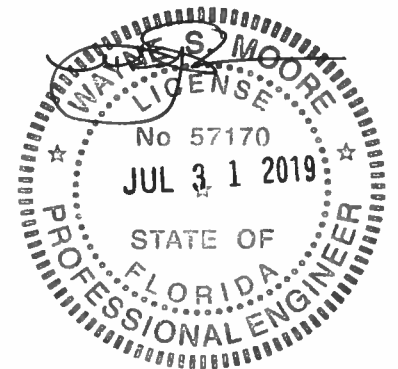
ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
(17.5 PSF, -19.9 PSF)

PERSONNEL DOOR
(AS APPLICABLE)
DESIGN PRESSURE
(20.8 PSF, -22.6 PSF)



TYPICAL END ELEVATION

SCALE: NTS



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**JOB NO: 18069S/
18156S/18290S**

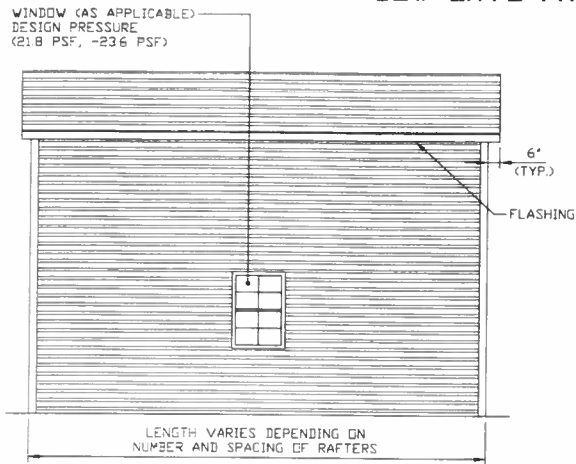
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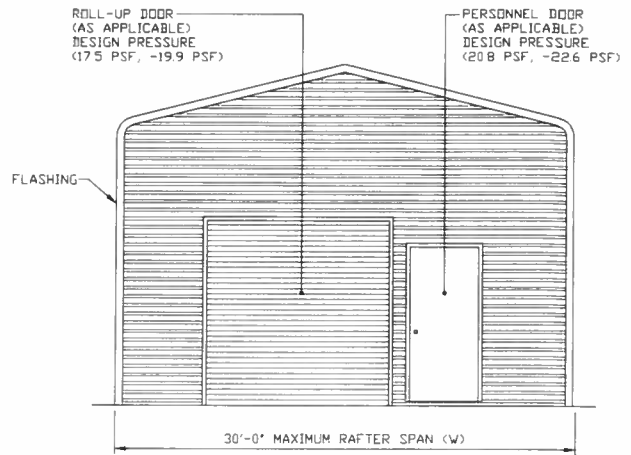
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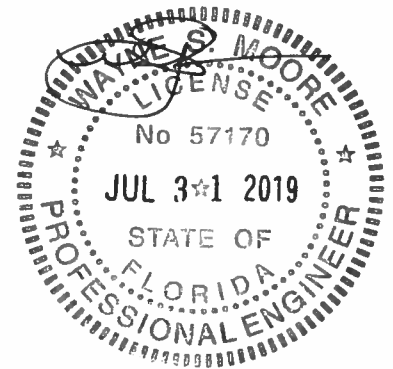
BOW EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS



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SCALE: NTS

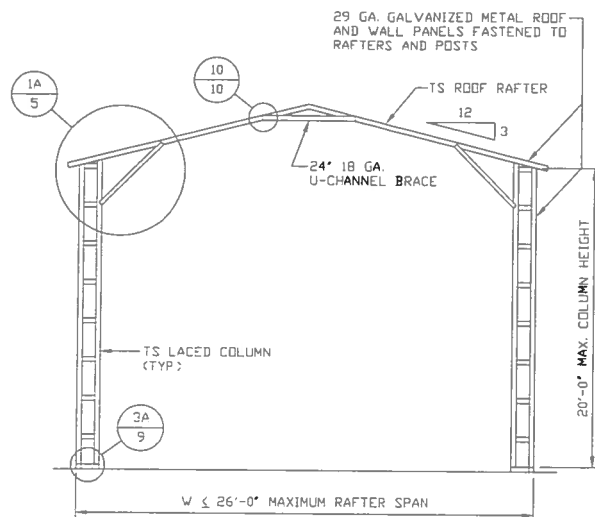
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DWG. NO: SK-3

REV: 7

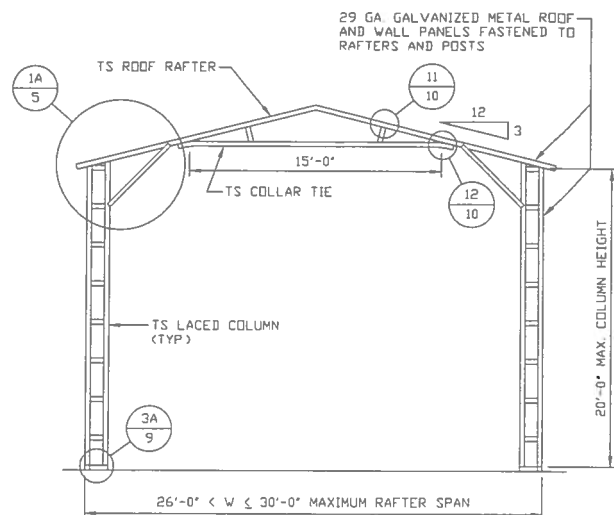
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JOB NO: 18156S/18290S**



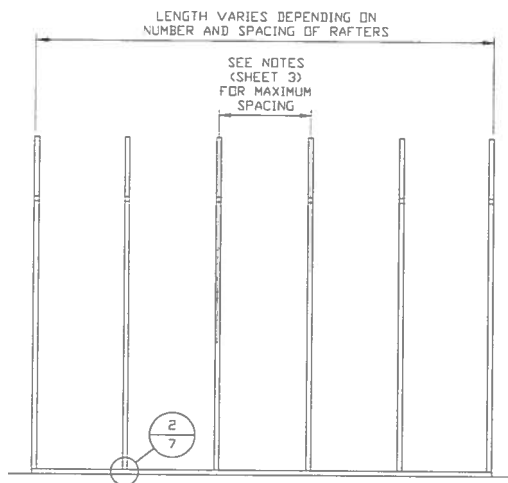
TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS



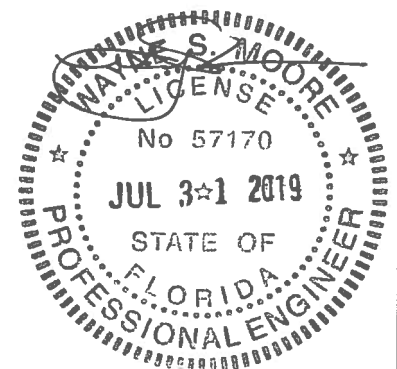
TYPICAL RAFTER/COLUMN FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS



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SHT. 4

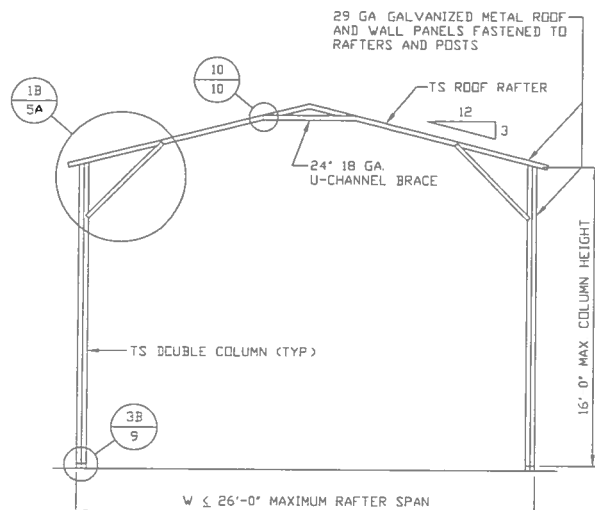
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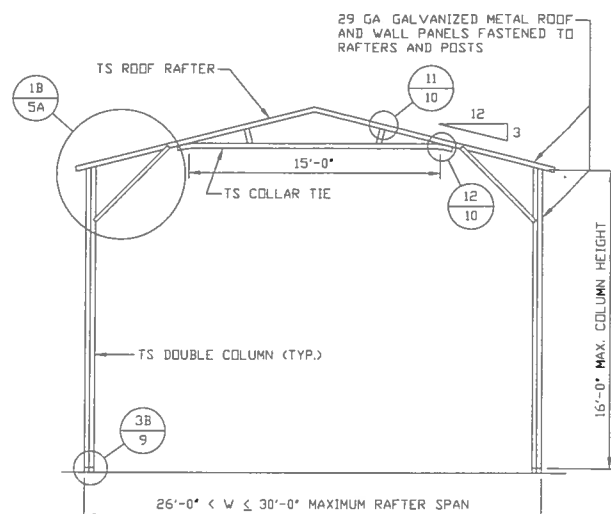
**JOB NO: 18069S/
18156S/18290S**

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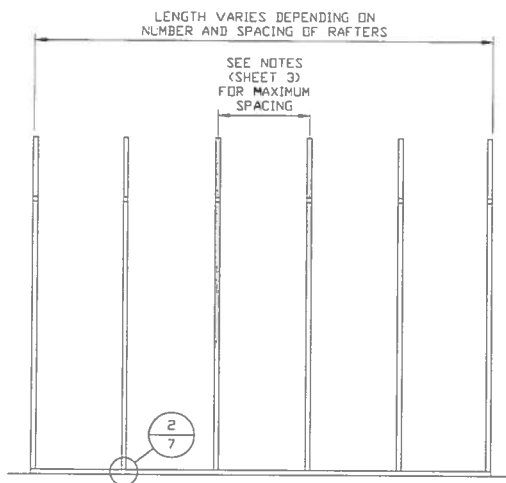
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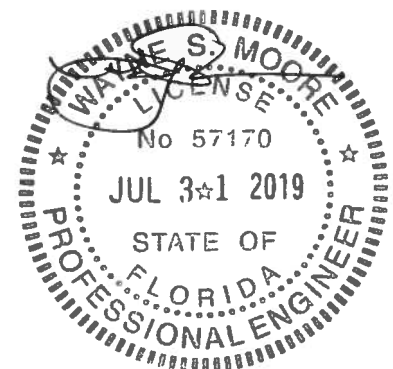
TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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SHT. 4A

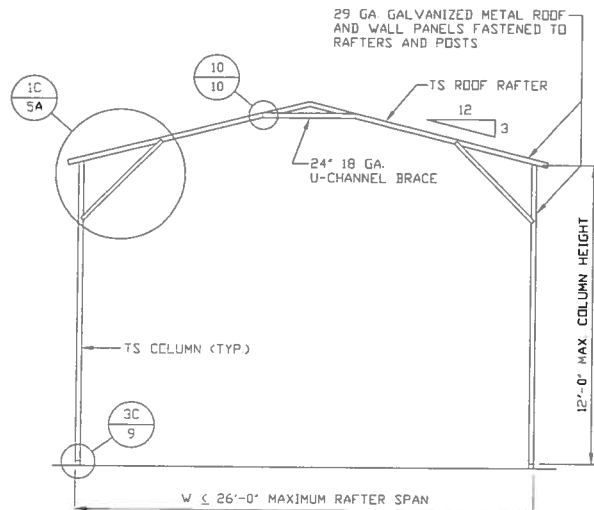
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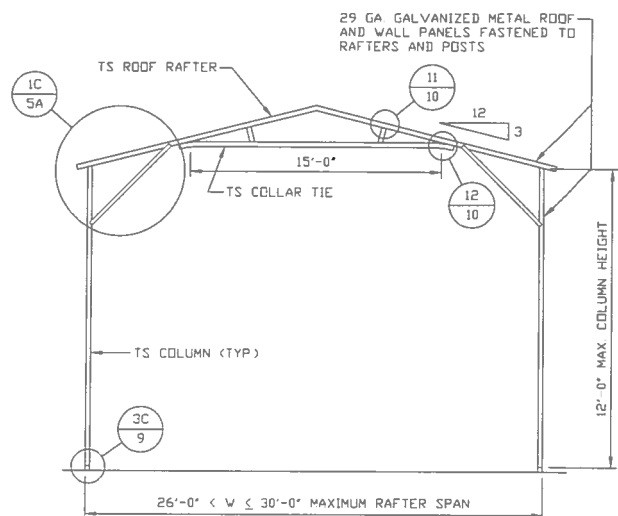
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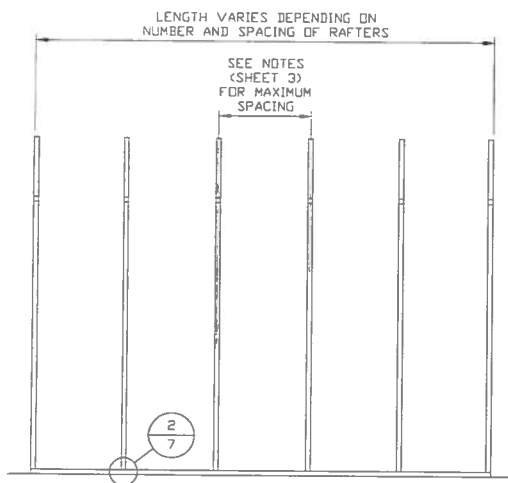
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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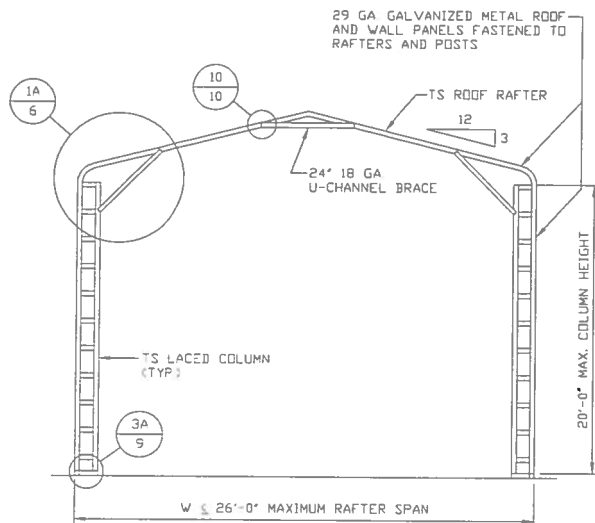
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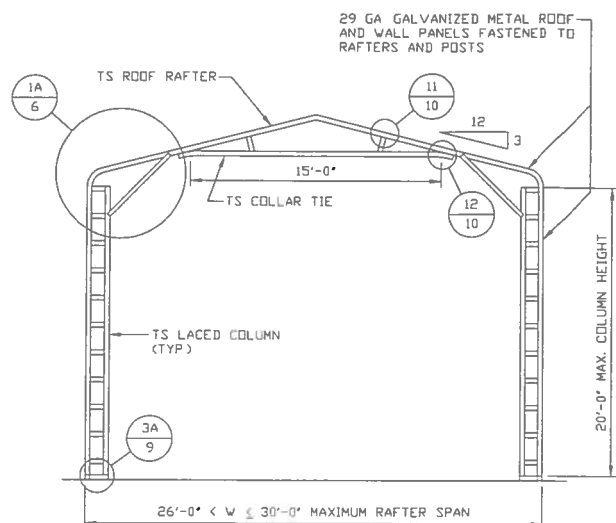
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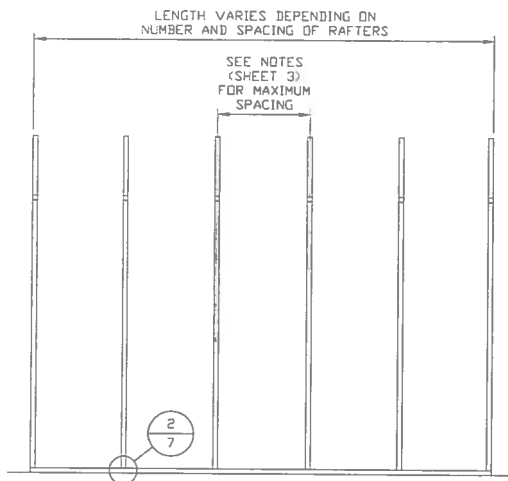
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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SHT. 4C

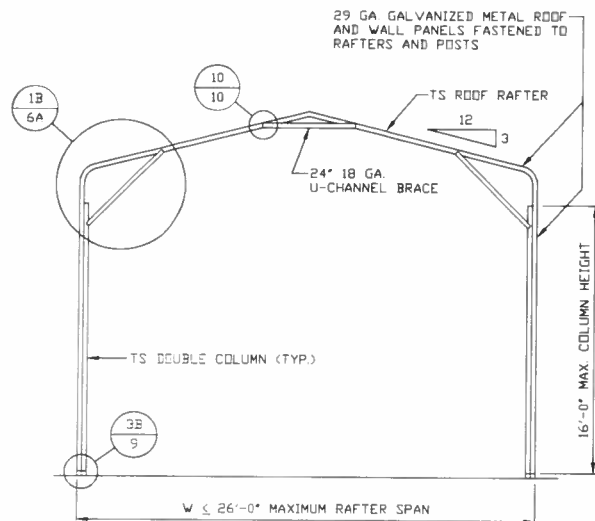
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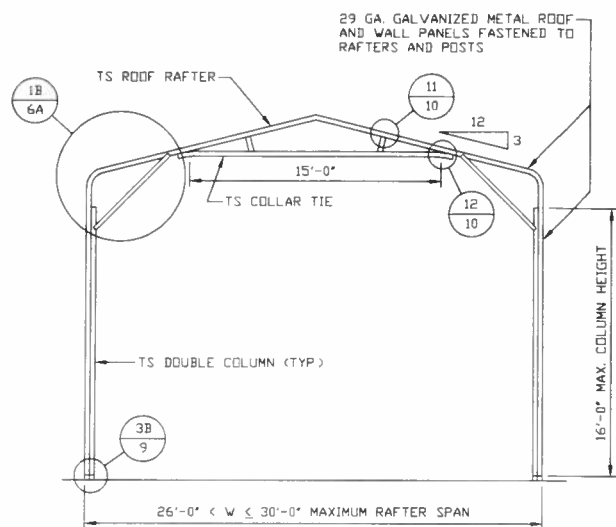
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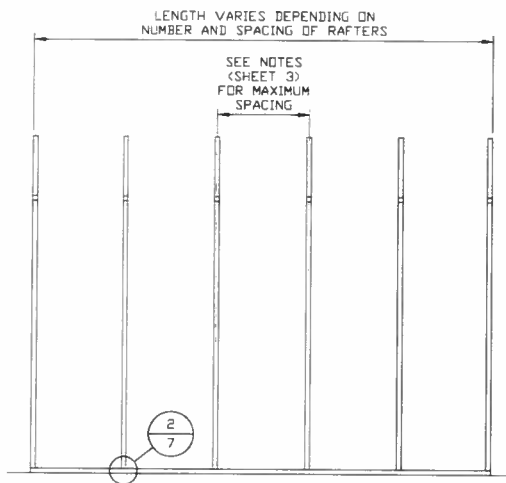
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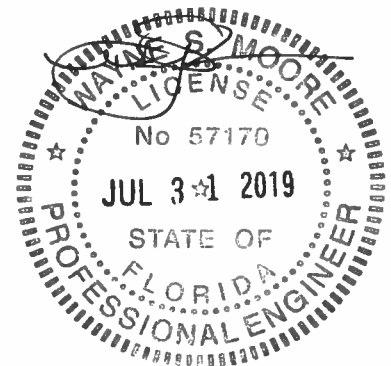
TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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SHT. 4D

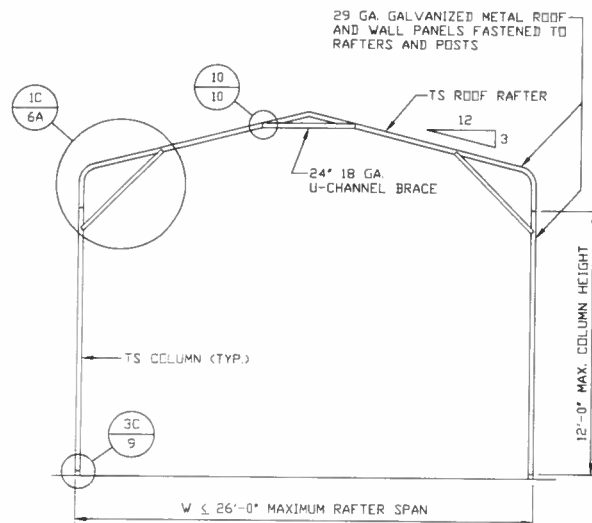
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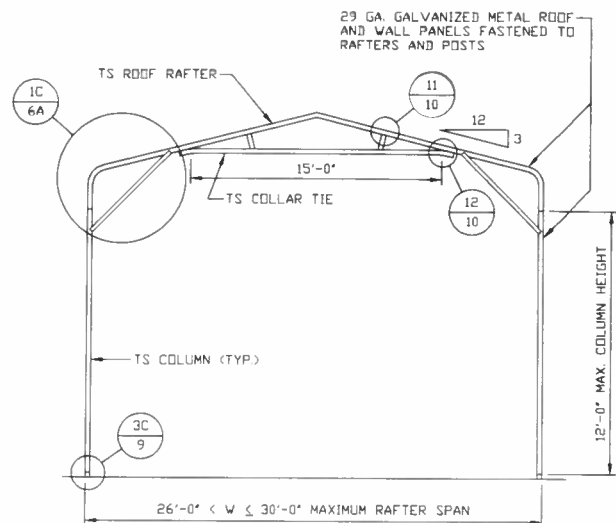
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18156S/18290S**

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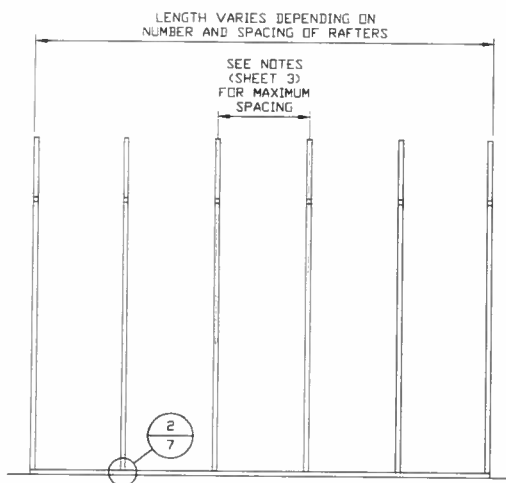
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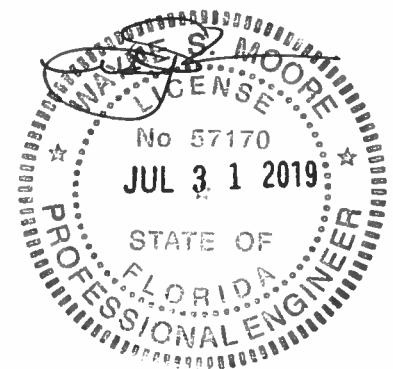
TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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SHT. 4E

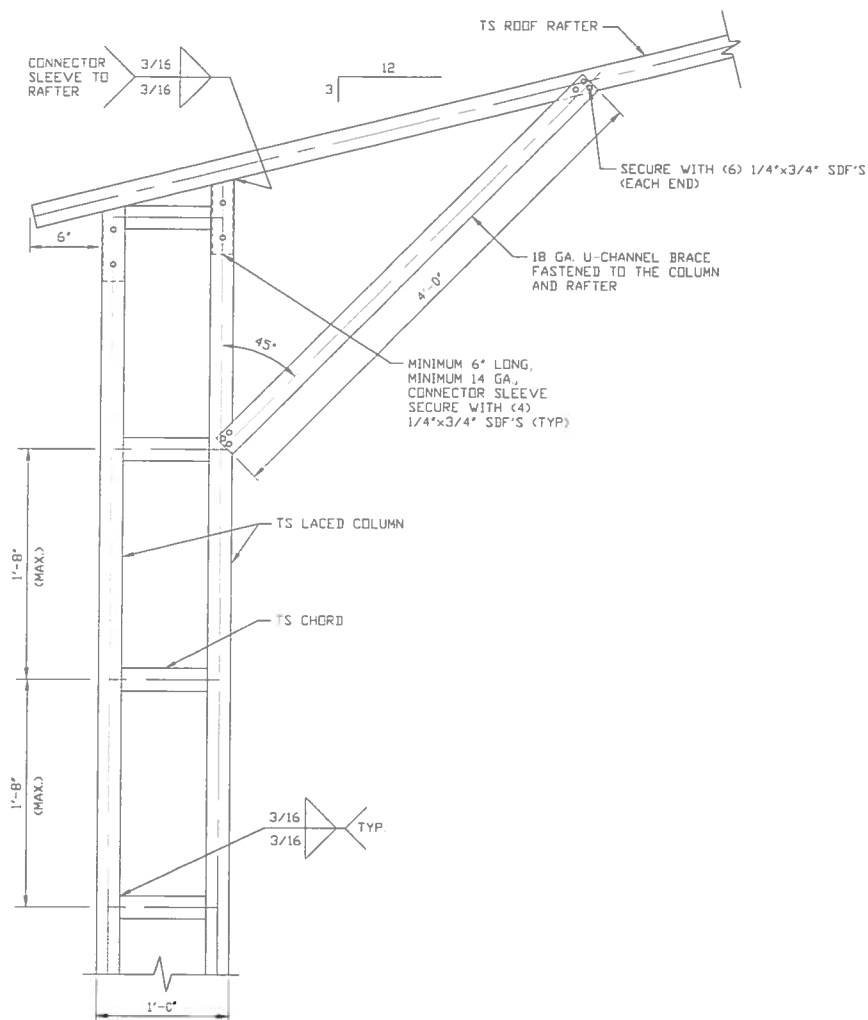
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**JOB NO: 180685/
181565/182905**

REV: 7

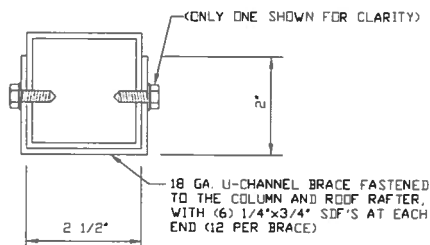
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

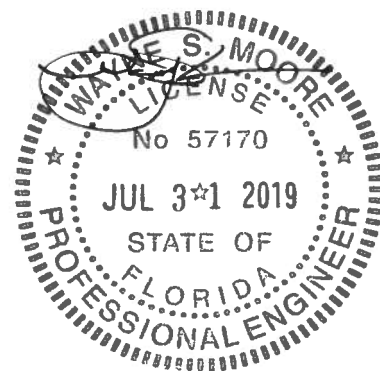
1A

SCALE: NTS



BRACE SECTION

SCALE: NTS



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SHT. 5

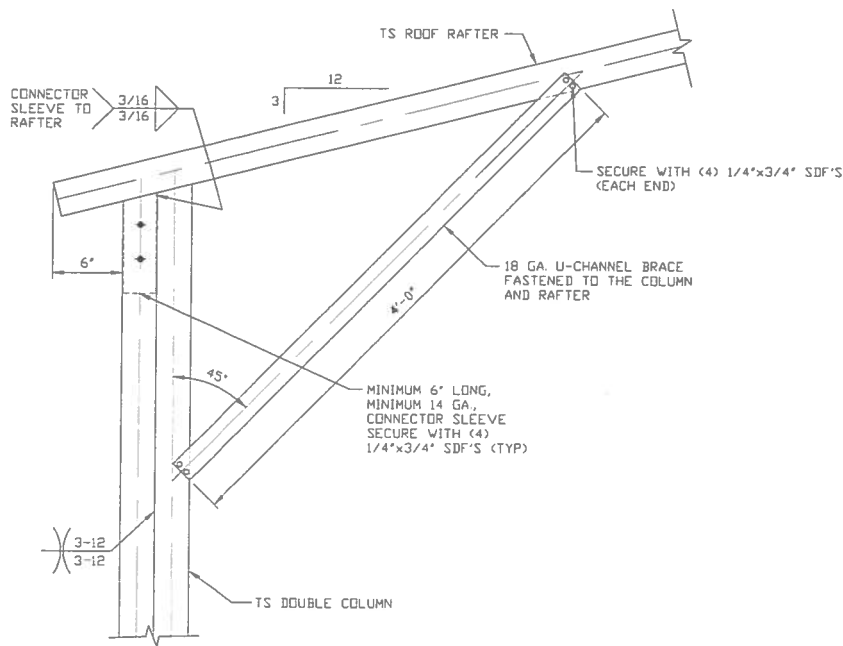
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JOB NO: 18068S/18290S

REV: 7

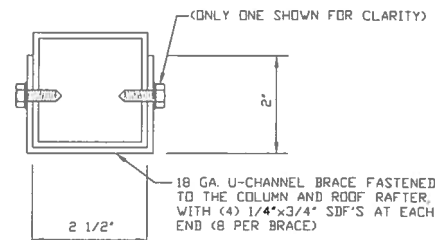
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1B

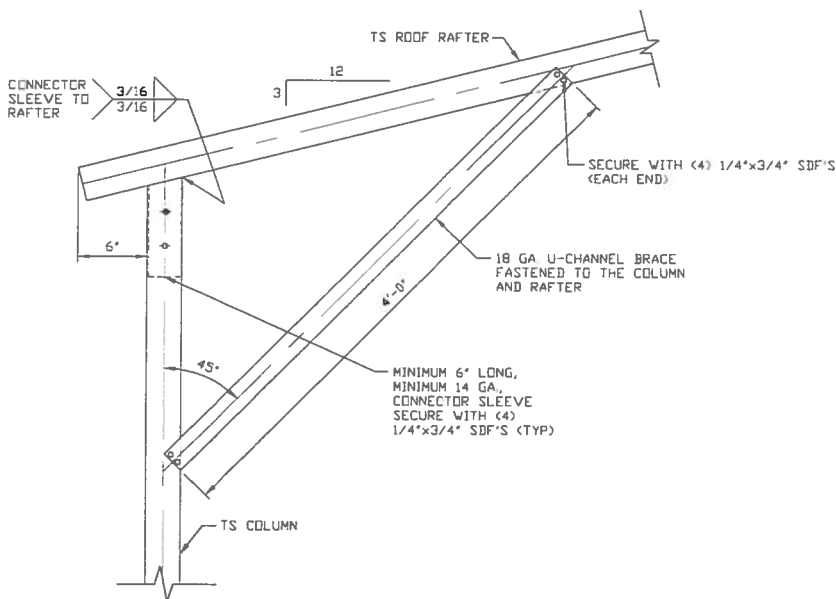
**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"**

SCALE: NTS



BRACE SECTION

SCALE: NTS



1C

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 12'-0"**

SCALE: NTS



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SHT. 5A

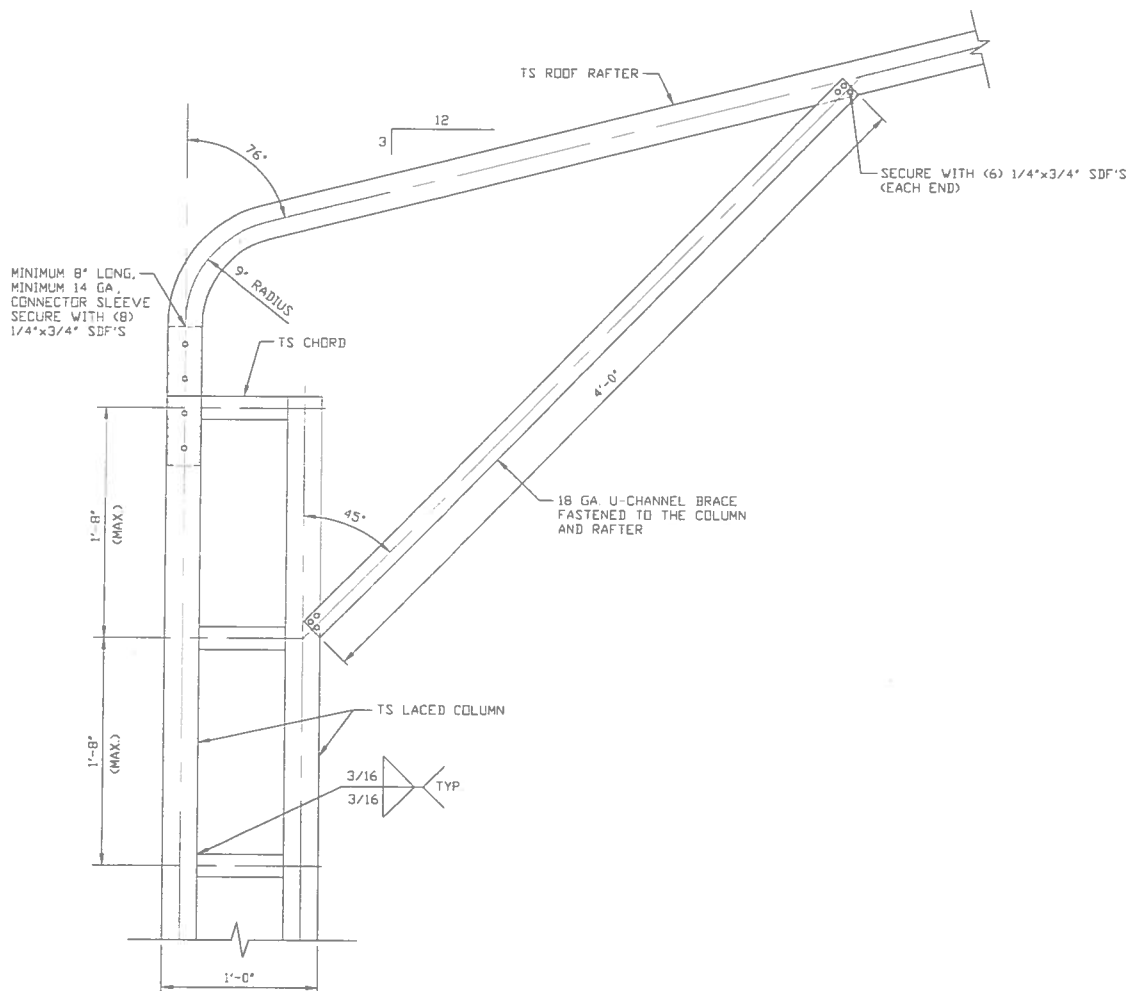
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JOB NO: 18069S/18156S/18290S

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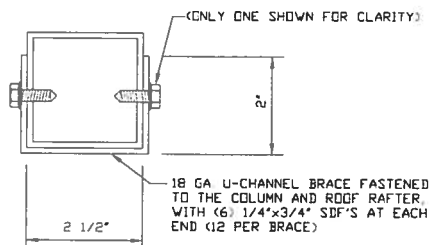
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

1A

SCALE: NTS



BRACE SECTION

SCALE: NTS



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SHT. 6

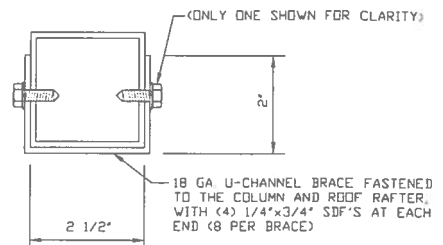
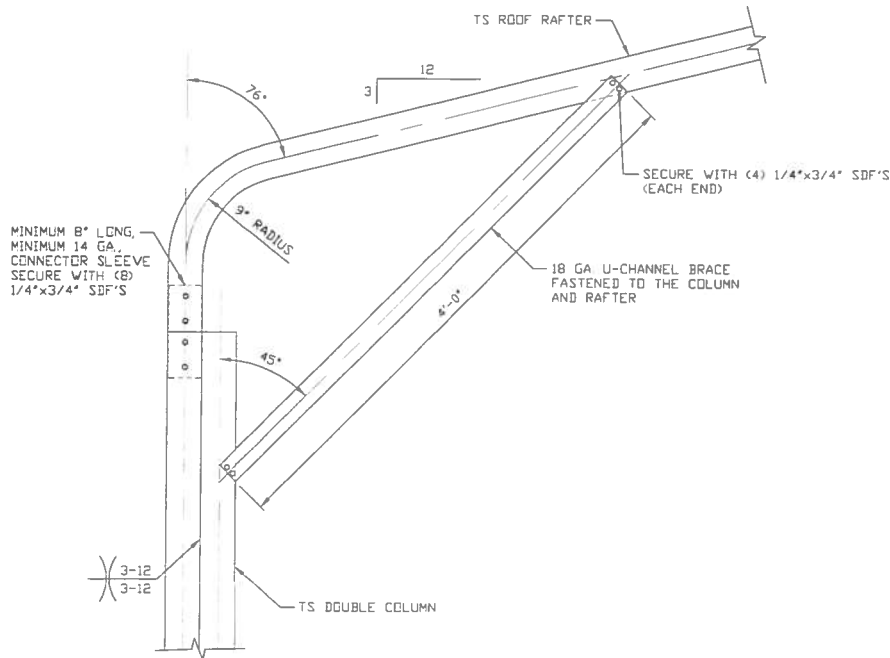
SCALE: NTS

DWG. NO: SK-3

JOB NO: 18068S/18156S/18290S

REV: 7

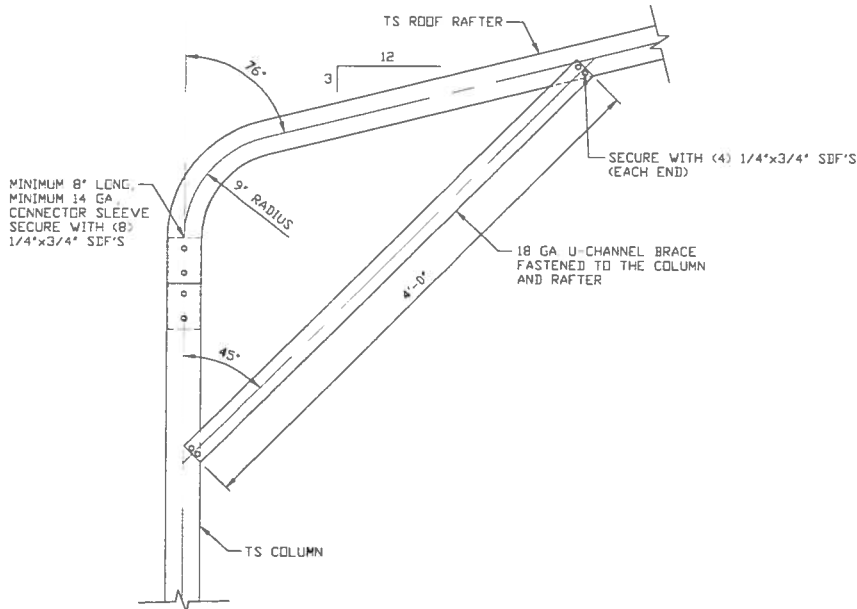
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BRACE SECTION
SCALE: NTS

1B

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO ≤ 16'-0"**
SCALE: NTS



1C

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 12'-0"**
SCALE: NTS



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PROJECT MGR: VSM

CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 6A

SCALE: NTS

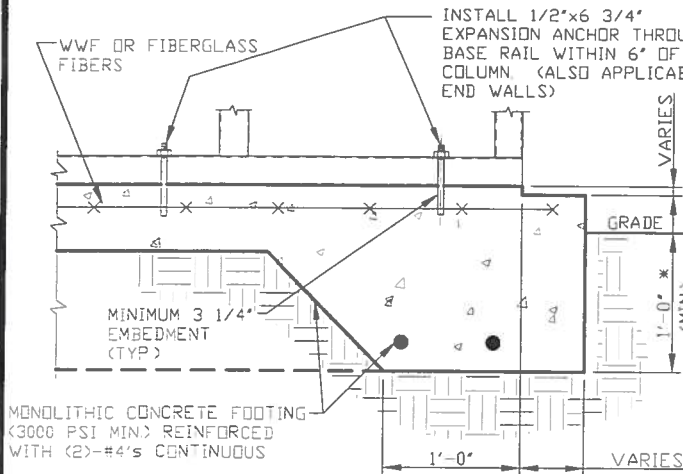
DWG. NO: SK-3

JOB NO: 18069S/18156S/18290S

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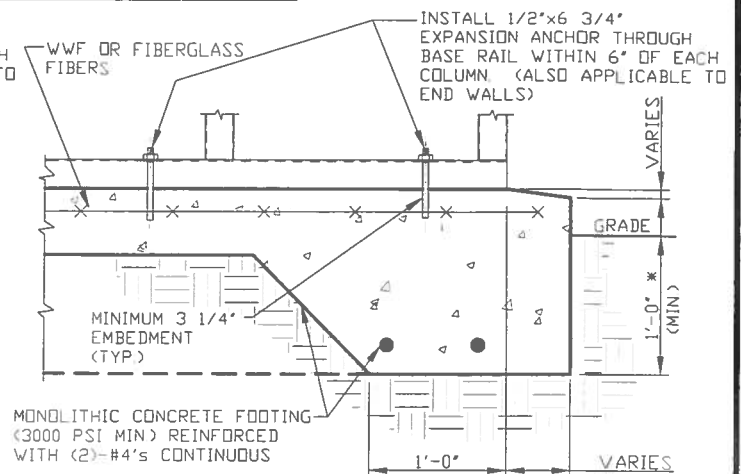
BASE RAIL ANCHORAGE OPTIONS



2A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.



2B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

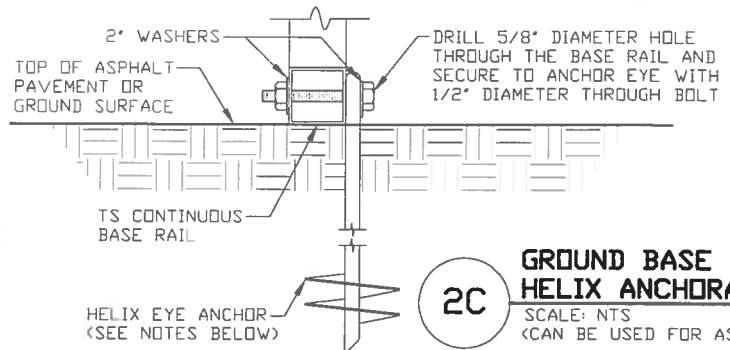
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

GROUND BASE HELIX ANCHORAGE

SCALE: NTS
(CAN BE USED FOR ASPHALT)

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CHECKED BY: PDH

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CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 7

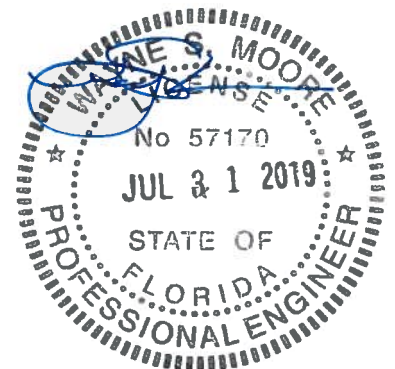
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DWG. NO: SK-3

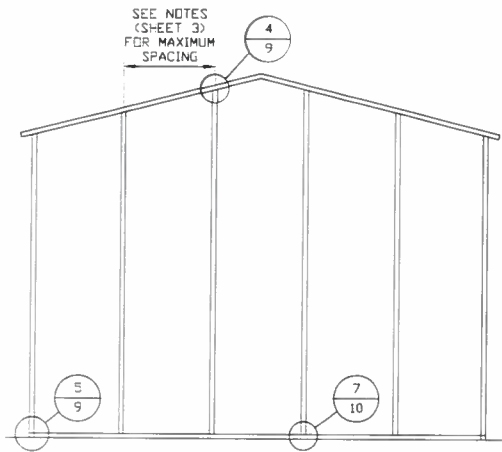
JOB NO: 180685/182905

REV: 7

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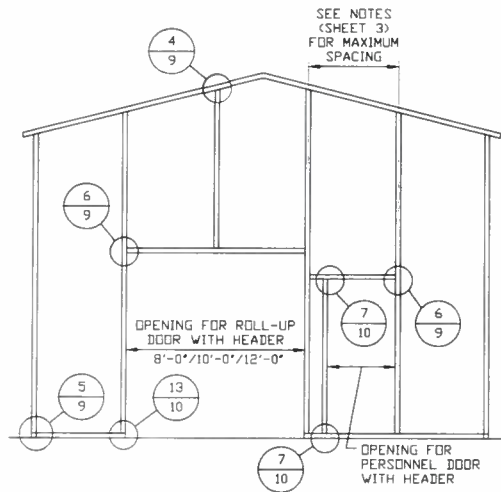


BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



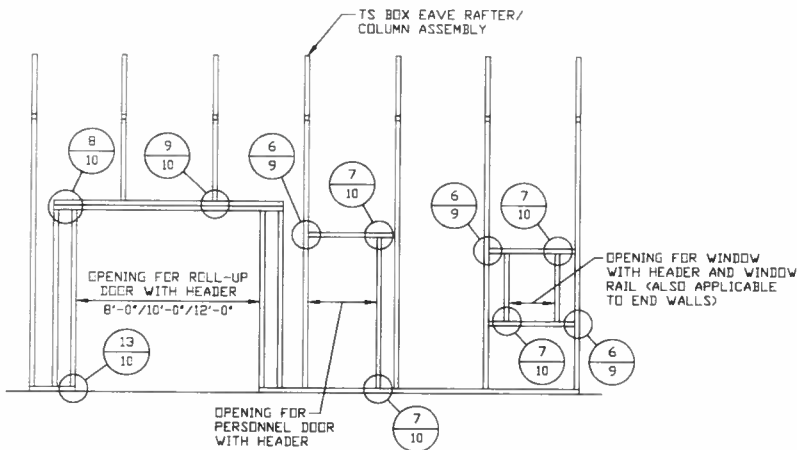
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



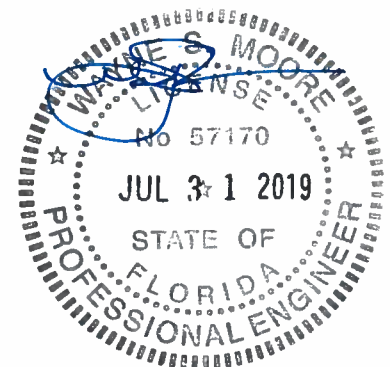
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS



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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 8

SCALE: NTS

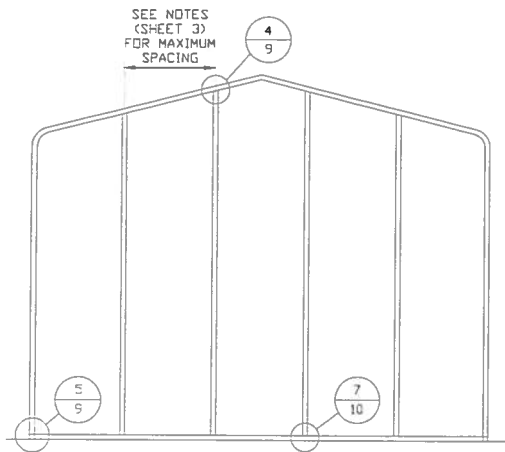
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JOB NO: 18068S/18156S/18290S

REV: 7

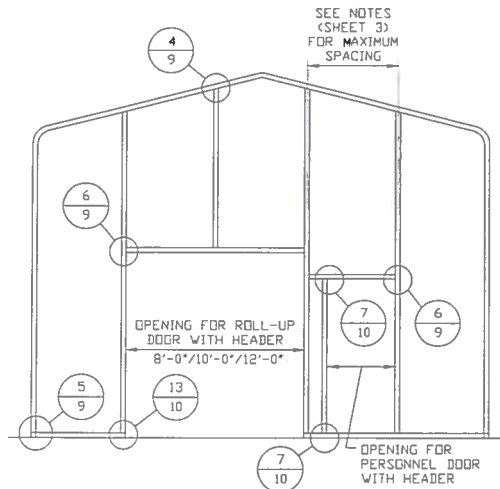
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



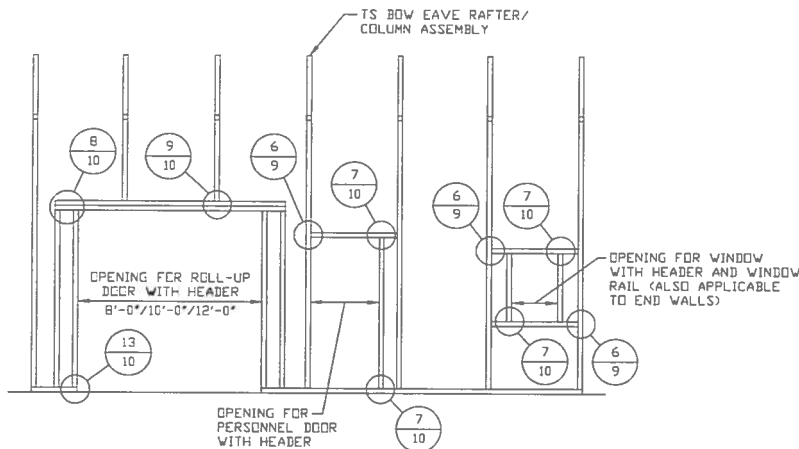
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS



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SHT. 8A

SCALE: NTS

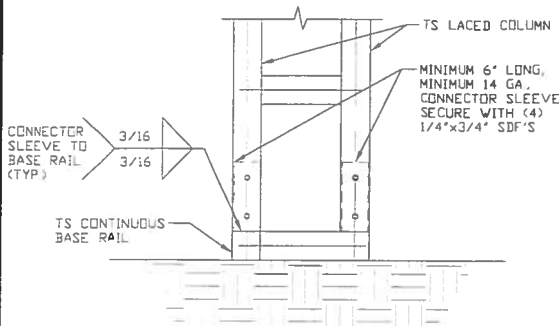
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JOB NO: 18068S/18156S/18290S

REV: 7

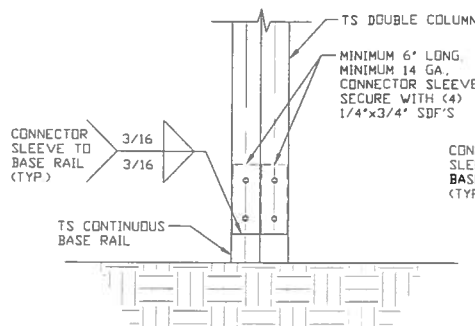
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CONNECTION DETAILS



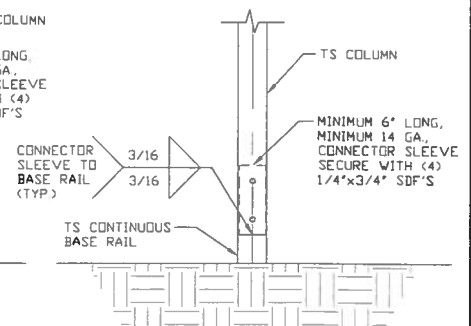
3A

**POST/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



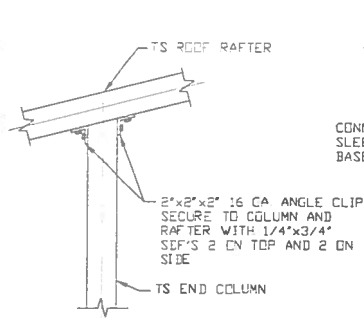
3B

**POST/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



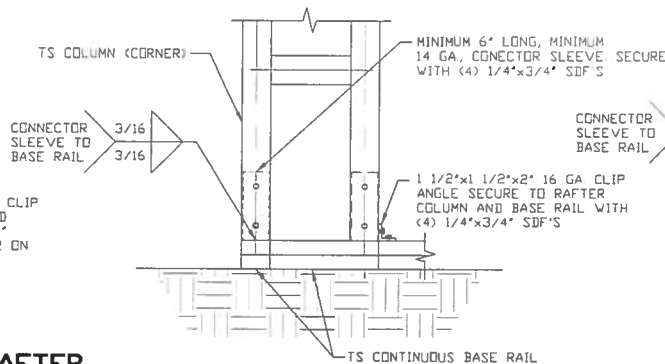
3C

**POST/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



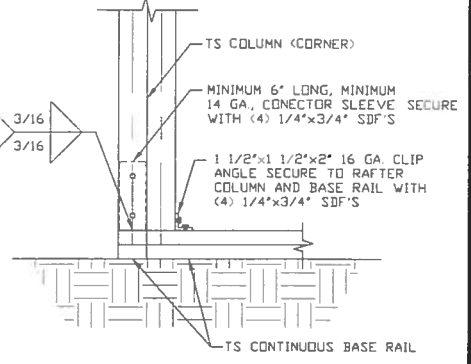
4

**END COLUMN/RAFTER
CONNECTION DETAIL**
SCALE: NTS



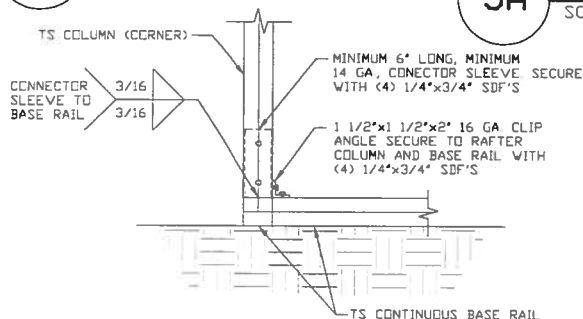
5A

**END COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



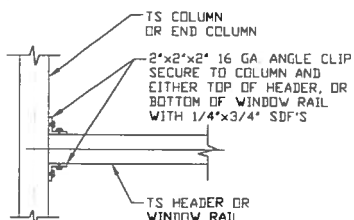
5B

**END COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



5B

**END COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



6

**COLUMN OR WINDOW RAIL
TO POST CONNECTION DETAIL**
SCALE: NTS



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SHT. 9

SCALE: NTS

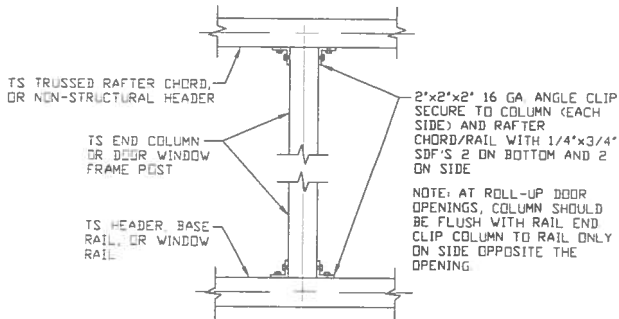
DWG. NO: SK-3

JOB NO: 18068S/18156S/18290S

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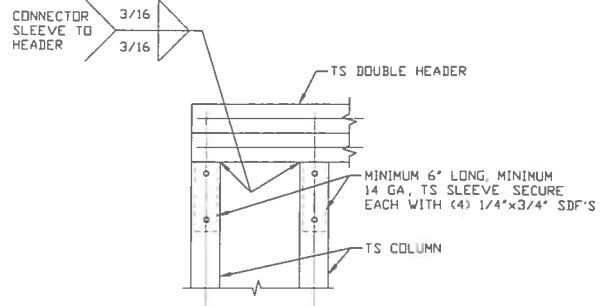
CONNECTION DETAILS



7

COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

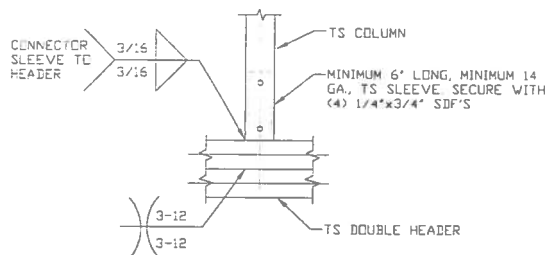
SCALE: NTS



8

DOUBLE HEADER/COLUMN CONNECTION DETAIL

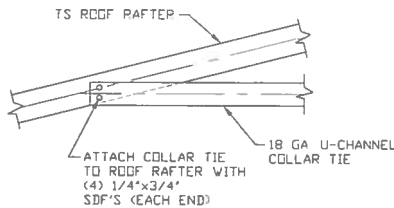
SCALE: NTS



9

COLUMN/DOUBLE HEADER CONNECTION DETAIL

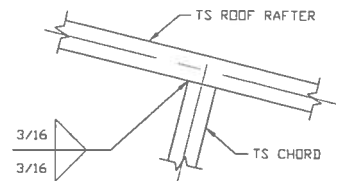
SCALE: NTS



10

COLLAR TIE CONNECTION DETAIL

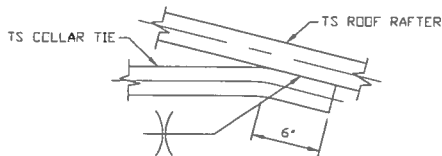
SCALE: NTS



11

RAFTER TO CHORD CONNECTION DETAIL

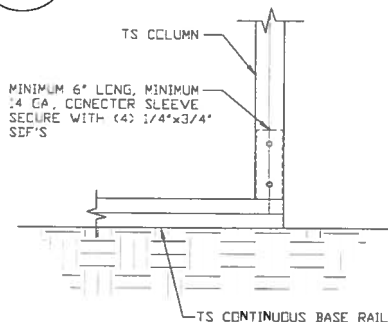
SCALE: NTS



12

COLLAR TIE CONNECTION DETAIL

SCALE: NTS



13

COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



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DATE: 12-14-18

SHT. 10

SCALE: NTS

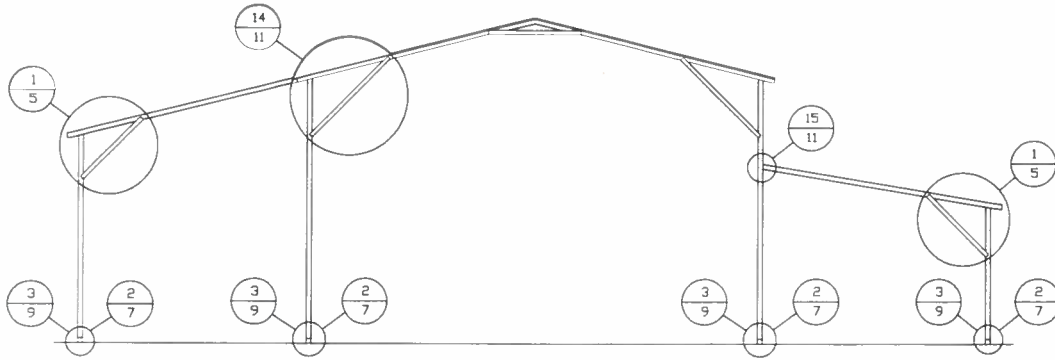
DWG. NO: SK-3

JOB NO: 18068S/18156S/18290S

REV: 7

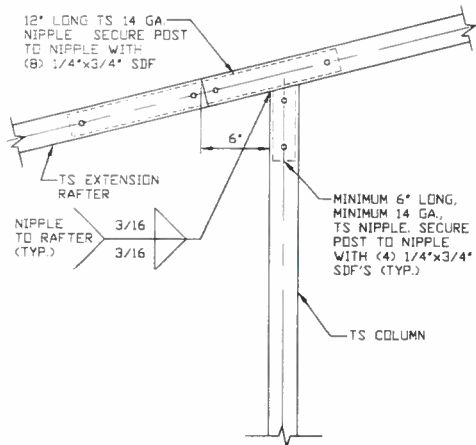
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BOX EAVE RAFTER LEAN-TO OPTIONS



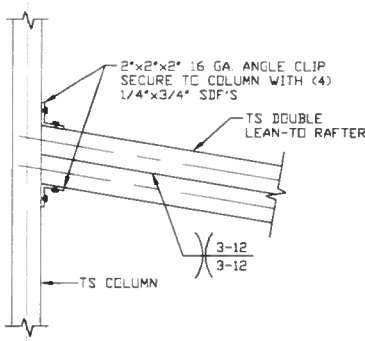
TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS



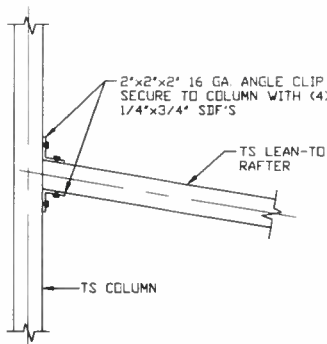
**14 SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE: NTS



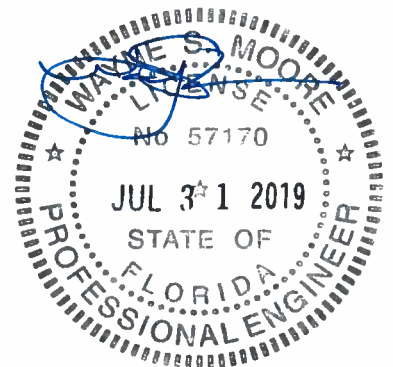
**15A LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

SCALE: NTS



**15B LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

SCALE: NTS



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DATE: 12-14-18

SCALE: NTS

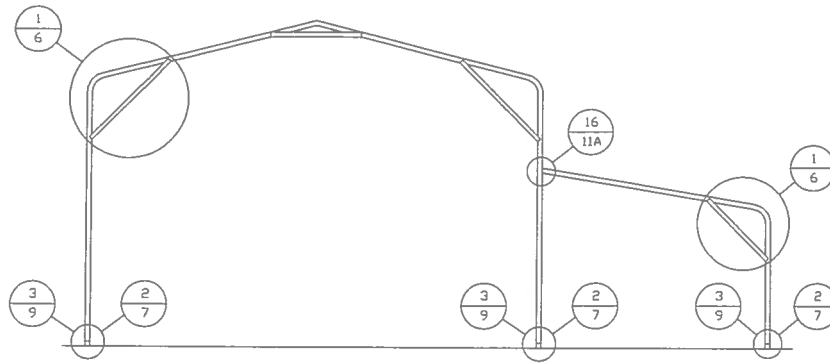
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**JOB NO: 18068S/
18156S/18290S**

REV: 7

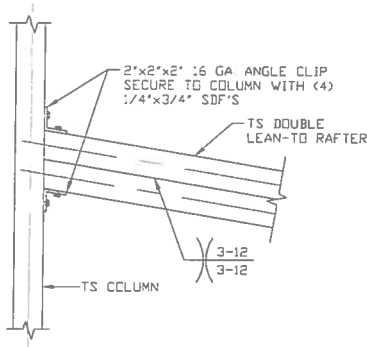
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BOW EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION

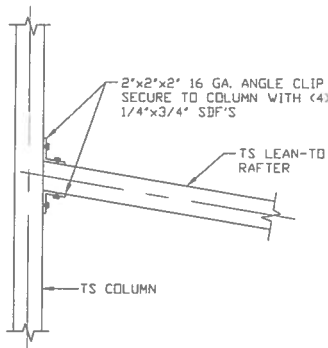
SCALE: NTS



**LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

16A

SCALE: NTS



**LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

16B

SCALE: NTS



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30'-0"x20'-0" ENCLOSED STRUCTURE

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SHT. 11A

SCALE: NTS

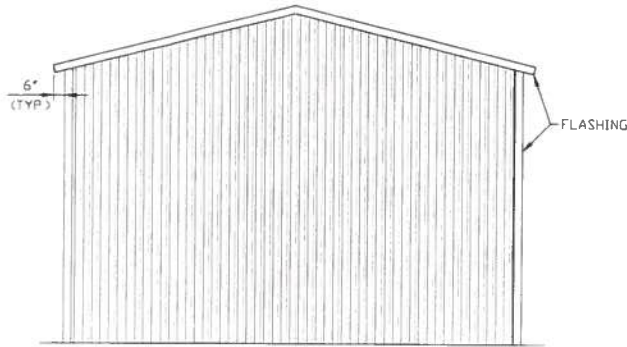
DWG. NO: SK-3

JOB NO: 18069S/18136S/18230S

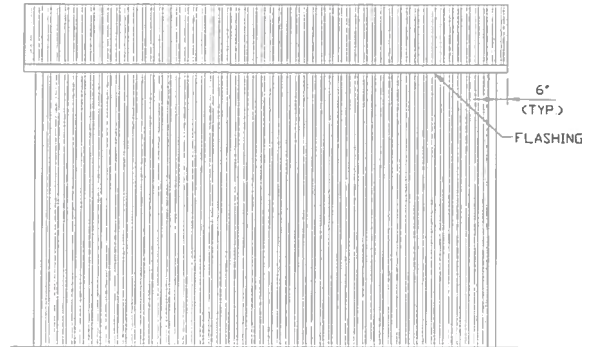
REV: 7

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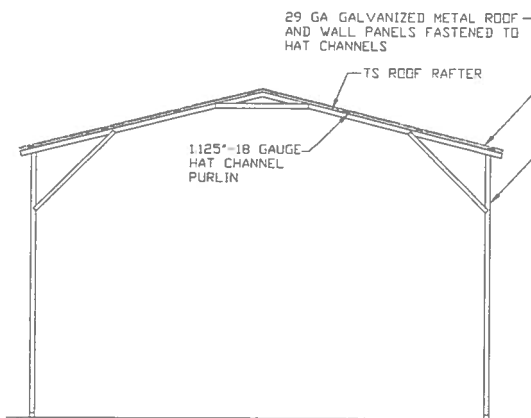
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



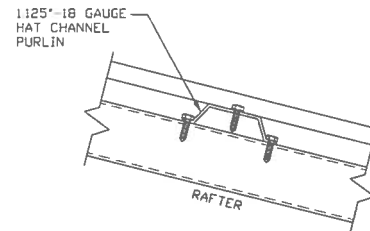
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



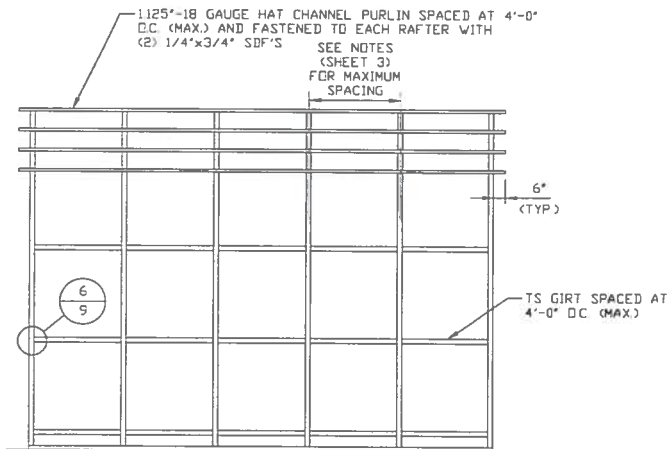
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



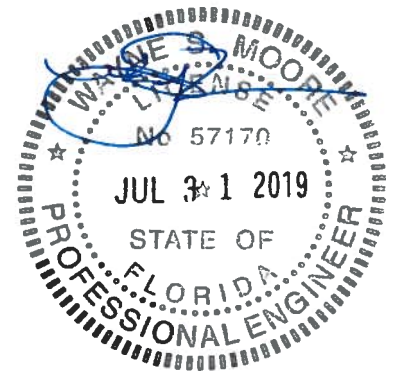
**TYPICAL SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



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P.O. BOX 1287,
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30'-0" X 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 12

SCALE: NTS

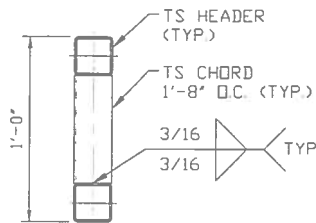
DWG. NO: SK-3

JOB NO: 18068S/18156S/18290S

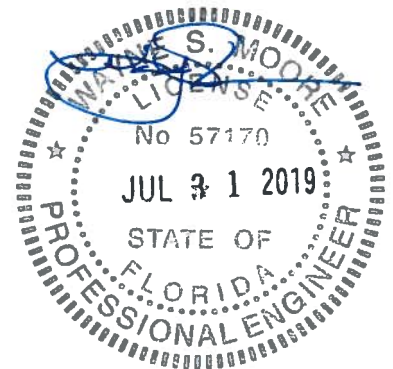
REV: 6A

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OPTIONAL HEADER



HEADER DETAIL FOR DOOR
OPENINGS 12'-0" < LENGTH < 20'-0"
 SCALE: NTS



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PROJECT MGR: VSM

CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
 P.O. BOX 1287,
 MOUNT AIRY, NC 27030
 30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 13

SCALE: NTS

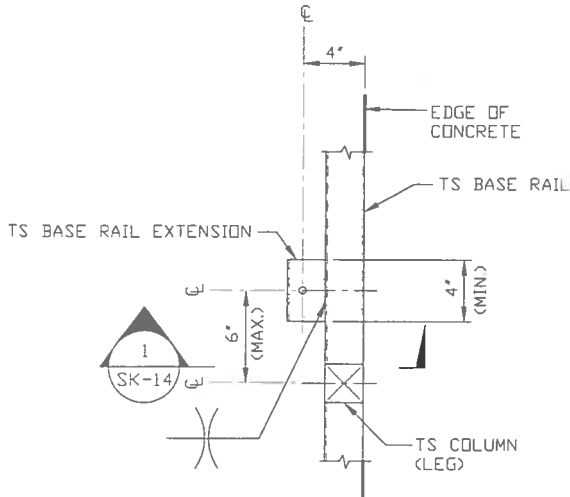
DWG. NO: SK-3

JOB NO: 18068S/18156S/18290S

REV: 7

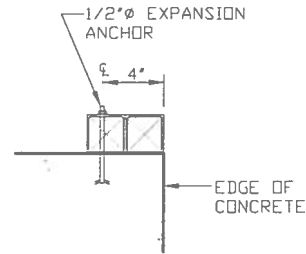
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ADDITIONAL BASE RAIL ANCHORAGE OPTION

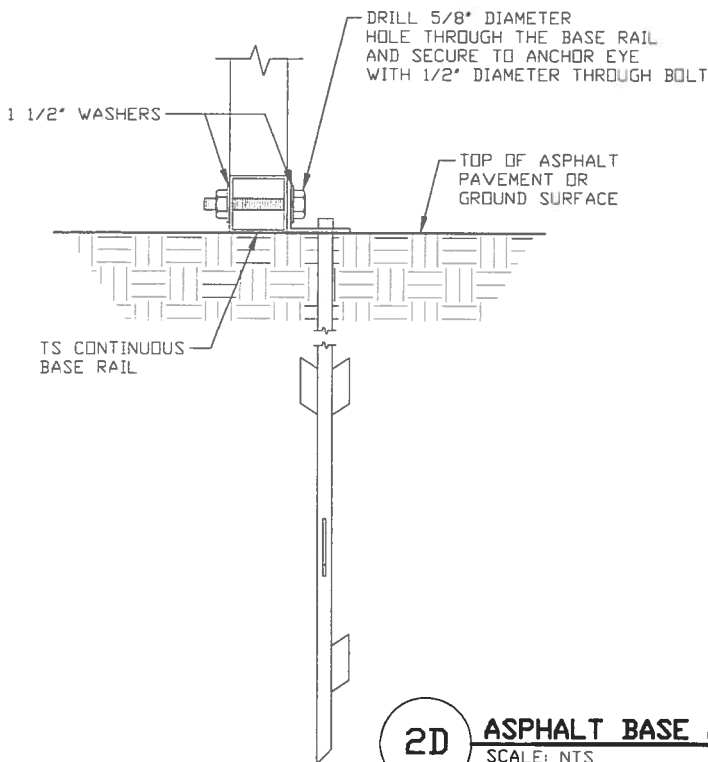


TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

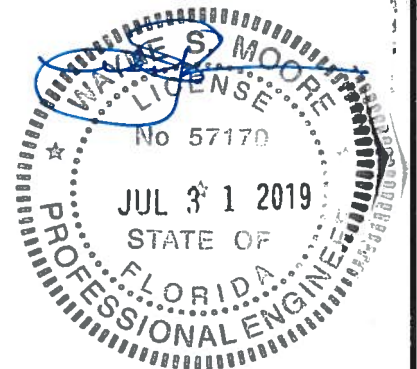
SCALE: NTS



SECTION 1
SCALE: NTS
SK-14



2D ASPHALT BASE ANCHORAGE
SCALE: NTS



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DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0"X20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

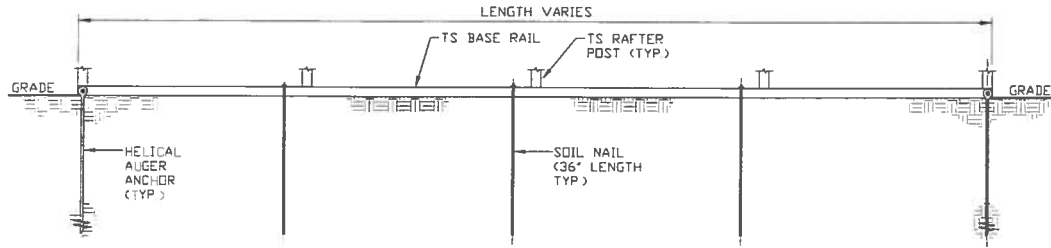
DWG. NO: SK-3

JOB NO: 180685/180690S

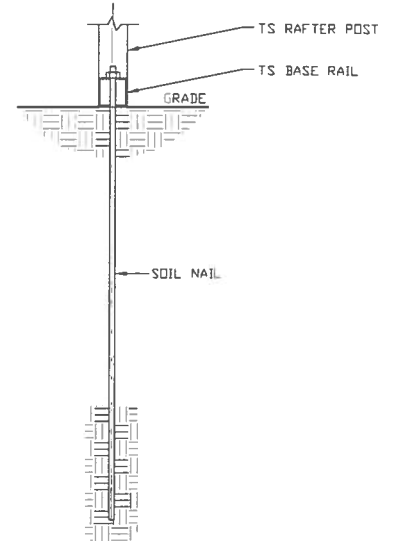
REV: 7

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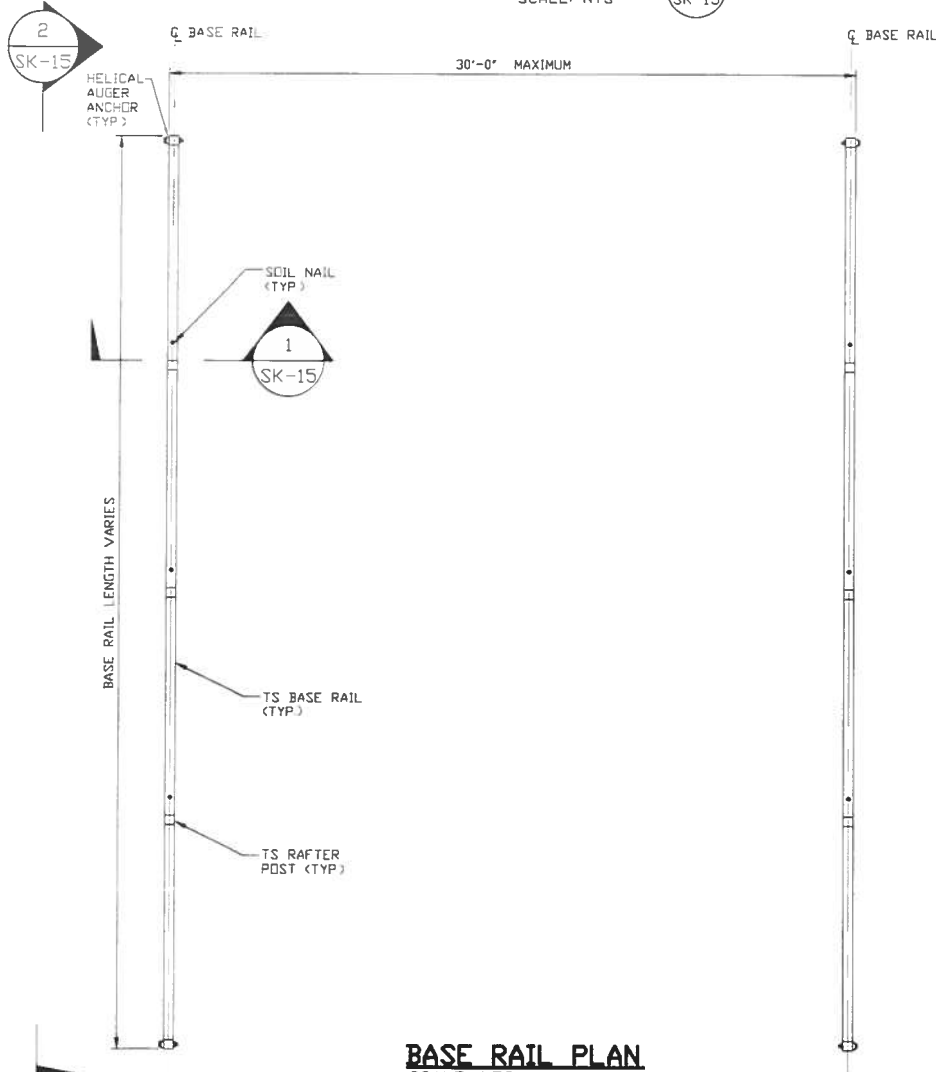
OPTIONAL BASE RAIL ON GRADE APPLICATION



SECTION 2
SCALE: NTS

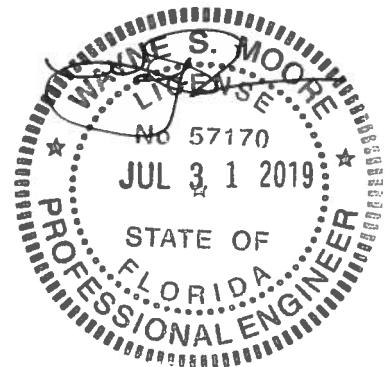


SECTION 1
SCALE: NTS



BASE RAIL PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)



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DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SBST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 15

SCALE: NTS

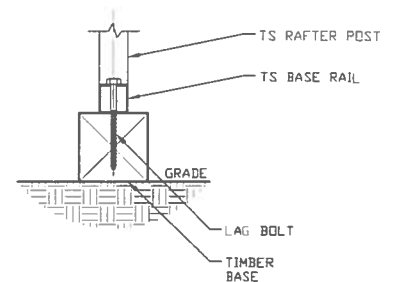
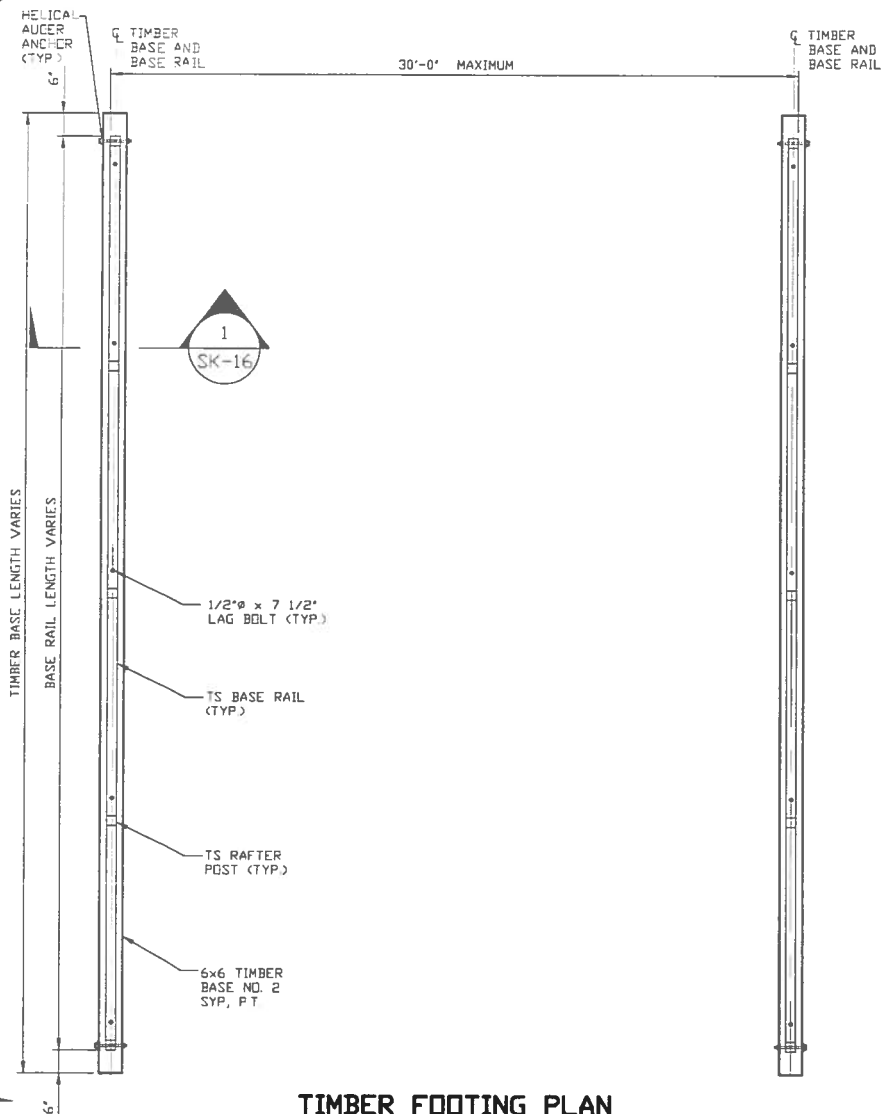
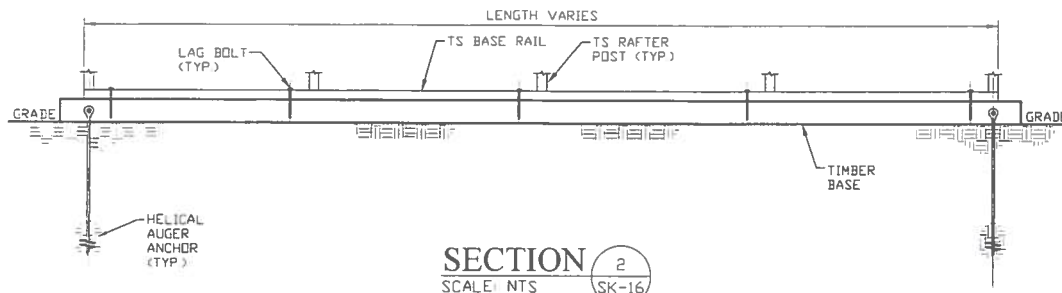
DWG. NO SK-3

JOB NO: 18068S/18156S/18290S

REV: 7

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OPTIONAL BASE RAIL ON TIMBER BEAM



SECTION 1
SCALE: NTS

TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)



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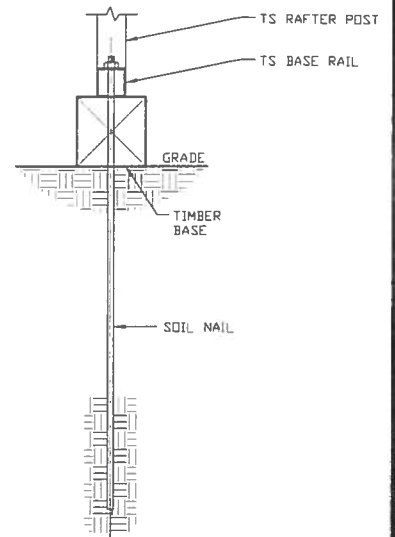
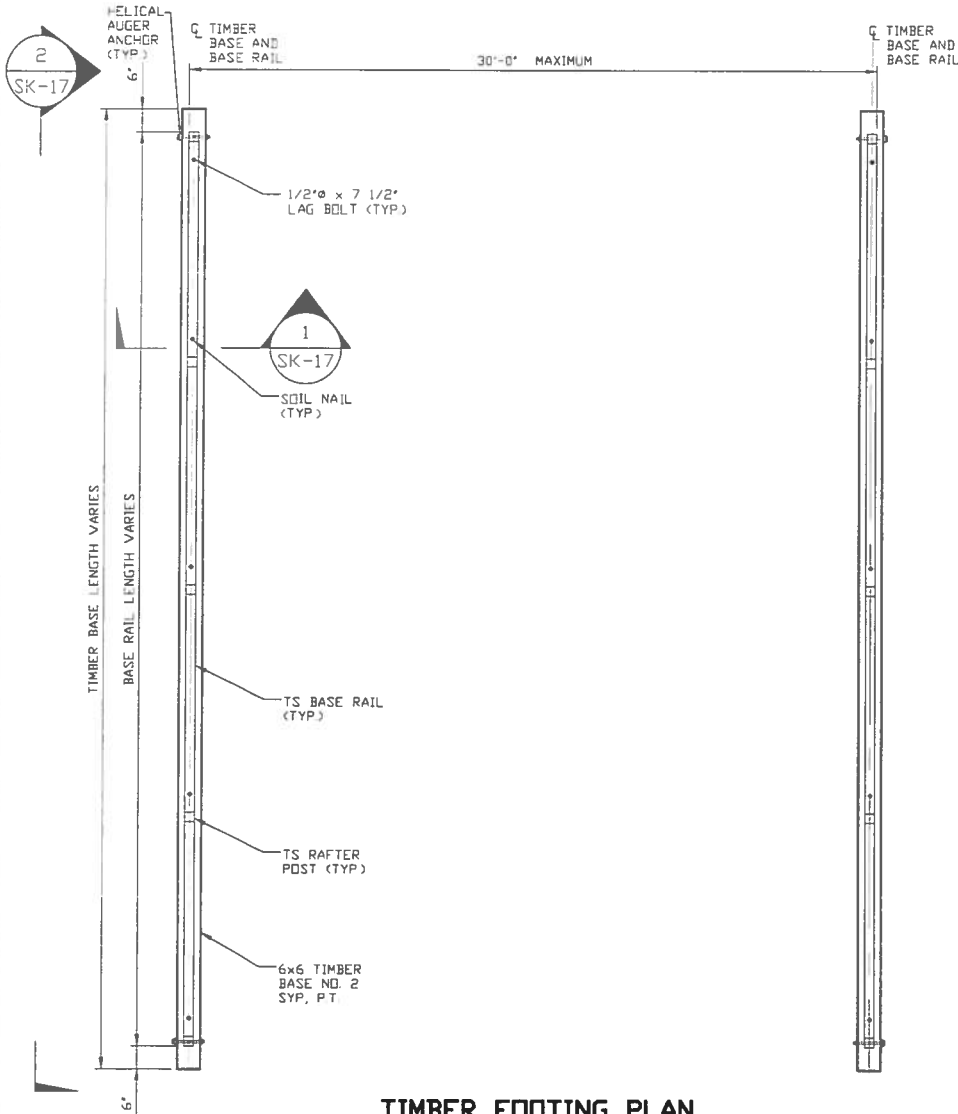
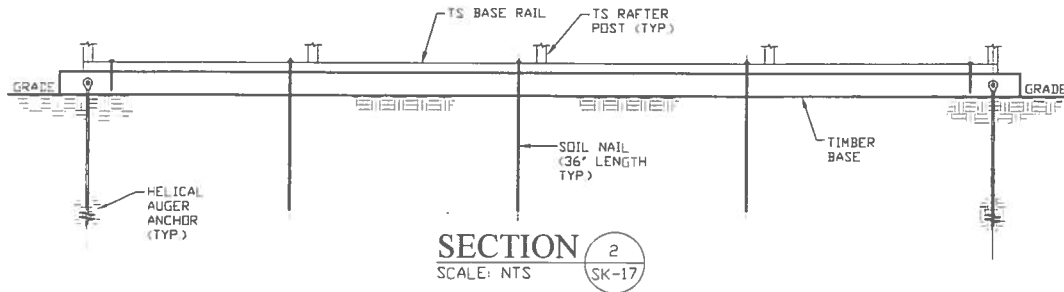
DRAWN BY: AT
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PROJECT MGR: VSM
CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

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DATE: 12-14-18 **SCALE:** NTS **JOB NO:** 180685/182905
SHT. 16 **DWG. NO:** SK-3 **REV:** 7

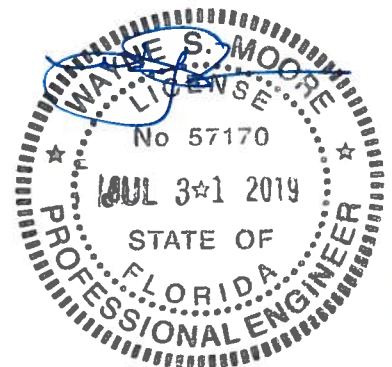
OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



SECTION 1
SCALE: NTS

TIMBER FOOTING PLAN
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)



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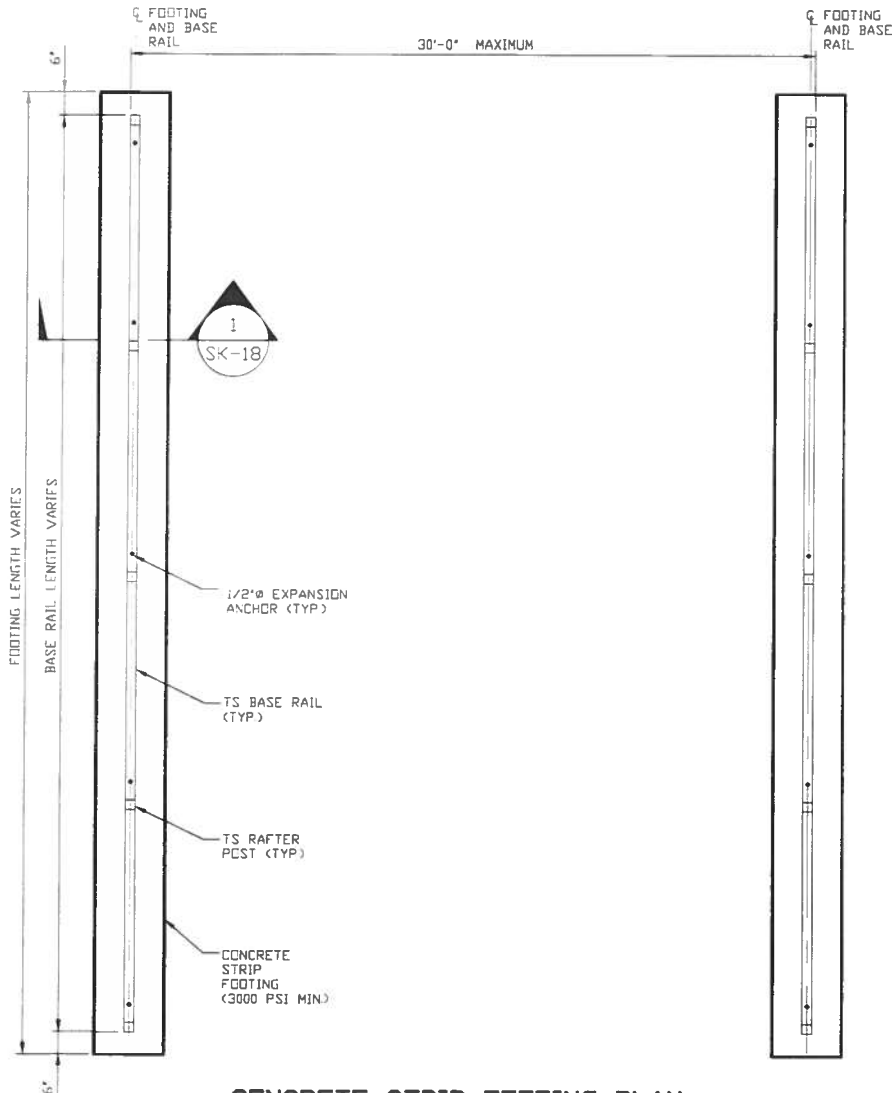
DRAWN BY: AT
CHECKED BY: PDH
PROJECT MGR: VSM
CLIENT: SBSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

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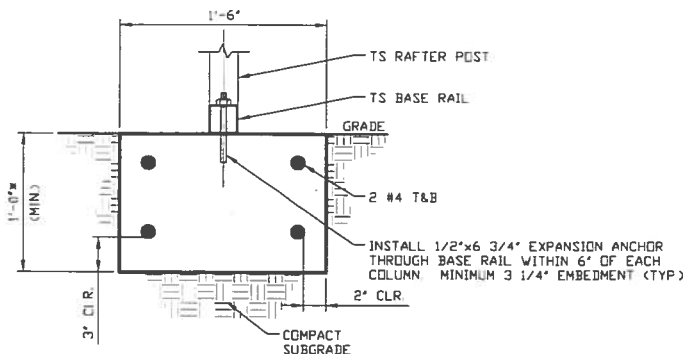
DATE: 12-14-18
SCALE: NTS
JOB NO: 180685/182905
SHT. 17
DWG. NO SK-3
REV: 7

OPTIONAL CONCRETE STRIP FOOTING



CONCRETE STRIP FOOTING PLAN

SCALE: NTS

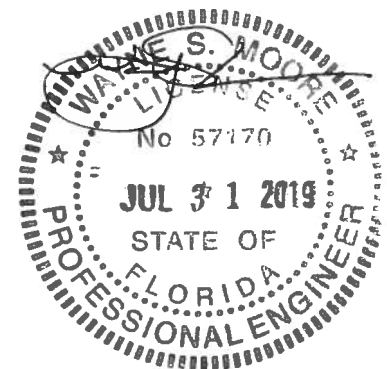


SECTION 1

SCALE: NTS



* COORDINATE WITH LOCAL CODES/ORD.



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DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSH

CLIENT: SBST

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P.O. BOX 1287,
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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SHT. 18

SCALE: NTS

DWG. NO: SK-3

JOB NO: 180685/181565/182905

REV: 7

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As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING	Pacabentas	Entry door	12903.1
B. SLIDING			
C. SECTIONAL/ROLL UP	Asta	203 Commercial windlock	8988-R5
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	Pacabentas	Sliding window	12940.1
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER	Steel Buildings	AG Metal wall	22562.1
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS	Steel Buildings	AG Metal Roof	22561.1
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite: 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.



NOTES: _____