

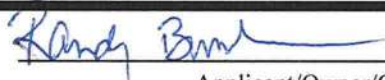
DATE 03/05/2013

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000030818

APPLICANT RANDELL D. BURNHAM PHONE 386.623.1040
ADDRESS 347 NW BRIDGEWATER TERRACE LAKE CITY FL 32055
OWNER RANDELL BURNHAM PHONE 623-1040
ADDRESS 347 NW BRIDGEWATER TERRACE LAKE CITY FL 32055
CONTRACTOR RANDELL BURNHAM PHONE 386.623.1040
LOCATION OF PROPERTY LAKE JEFFERY TO COBBLESTONE ENTRANCE/BRIDGEWATER,TR AND IT'S
THE 3RD RESIDENCE ON THE R.
TYPE DEVELOPMENT DETACHED CARPORT/WS ESTIMATED COST OF CONSTRUCTION 15000.00
HEATED FLOOR AREA TOTAL AREA 840.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 7'12 FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-3S-16-02275-107 SUBDIVISION COBBLESTONE
LOT 7 BLOCK PHASE UNIT TOTAL ACRES 4.48

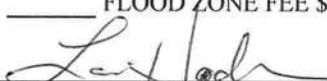
OWNER 
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING BLK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE. ACCESSORY USE.

Check # or Cash 2542

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 75.00 CERTIFICATION FEE \$ 4.20 SURCHARGE FEE \$ 4.20
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ **TOTAL FEE** 158.40
INSPECTORS OFFICE  CLERKS OFFICE 

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

- 2542

For Office Use Only Application # 1302-42 Date Received 2/24/13 By Ut Permit # 30818
Zoning Official BLK Date 4 March 2013 Flood Zone X Land Use RS Low Density Zoning RSF-2
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 3-1-13
Comments Accessory Use
☒ NOC ☒ NEH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr Disclosure Statement ☒ Sub VF Form
Road/Code _____ School _____ = TOTAL (Suspended) ☒ Ellisville Water ☒ App Fee Paid

Septic Permit No. N/A Fax _____
Name Authorized Person Signing Permit Randell J. Burnham Phone 623-1040
Address 347 NW BRIDGEWATER TERRACE LAKE CITY, FL 32055
Owners Name Randell J. Burnham Phone 623-1040
911 Address 347 NW BRIDGEWATER TERRACE LAKE CITY, FL 32055
Contractors Name N/A Phone N/A
Address N/A

Fee Simple Owner Name & Address _____
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address MARK DISOSWAY P.O. BOX 868 LAKE CITY, FL 32056
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 24-35-16-62275-107 Estimated Cost of Construction \$15,000.00

Subdivision Name COBBLESTONE Lot # 7 Block _____ Unit 1 Phase _____

Driving Directions LAKE JEFFERY RD. TO BRIDGEWATER TERRACE @ COBBLESTONE ENTRANCE
3rd Residence ON THE RIGHT

Number of Existing Dwellings on Property ONE

Construction of CARPORT/WORKSHOP ^{Detached} Total Acreage 4.48 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 80' ? Side 53' Side 190' Rear 520'

Number of Stories 1 Heated Floor Area 0 Total Floor Area 840' Roof Pitch 12/7

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2010 and the 2008 National Electrical Code.

JW SPOKE w/Randy 3.5.13

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

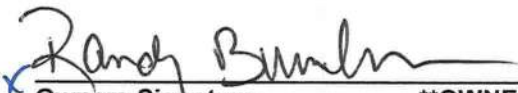
NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____, 20__.

Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1302-42 CONTRACTOR Randell Burnham PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

24-35-16-02275-107

Clerk's Office Stamp

[Signature]

Inst: 201312003136 Date: 3/1/2013 Time: 3:23 PM
DC: P. DeWitt Cason, Columbia County Page 1 of 1 B: 1250 P: 1091

TH: UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Cobblestone lot 7 unit 1
a) Street (job) Address: 347 NW Bridgewater Ter, Lake City, FL 32055
2. General description of improvements: Garport
3. Owner Information
a) Name and address: Randell Burnham
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: Owner
4. Contractor Information
a) Name and address: Owner Builder
b) Telephone No.: Fax No. (Opt.)
5. Surety Information
a) Name and address:
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.)
6. Lender
a) Name and address:
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address:
b) Telephone No.: Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address:
b) Telephone No.: Fax No. (Opt.)
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

x 10. *[Signature]*

Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Randell Burnham
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 26 day of February, 20 13, by:

Randell Burnham as Owner (type of authority, e.g. officer, trustee, attorney)

fact) for Randell Burnham (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification Type

Notary Signature

[Signature]

Notary Stamp or Seal:

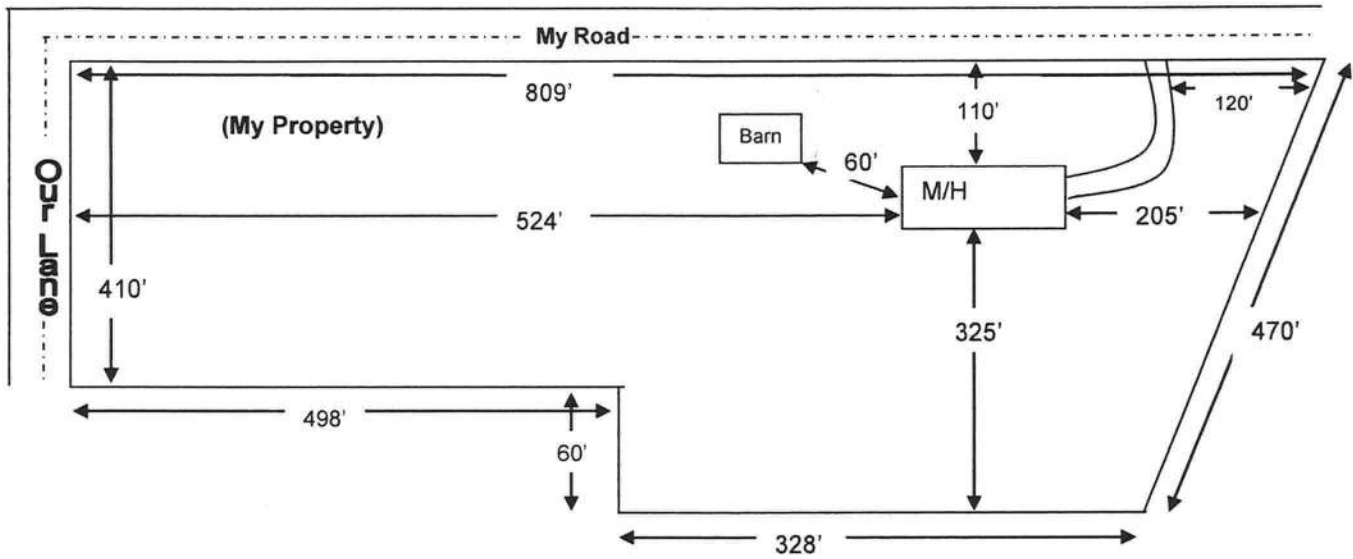
11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



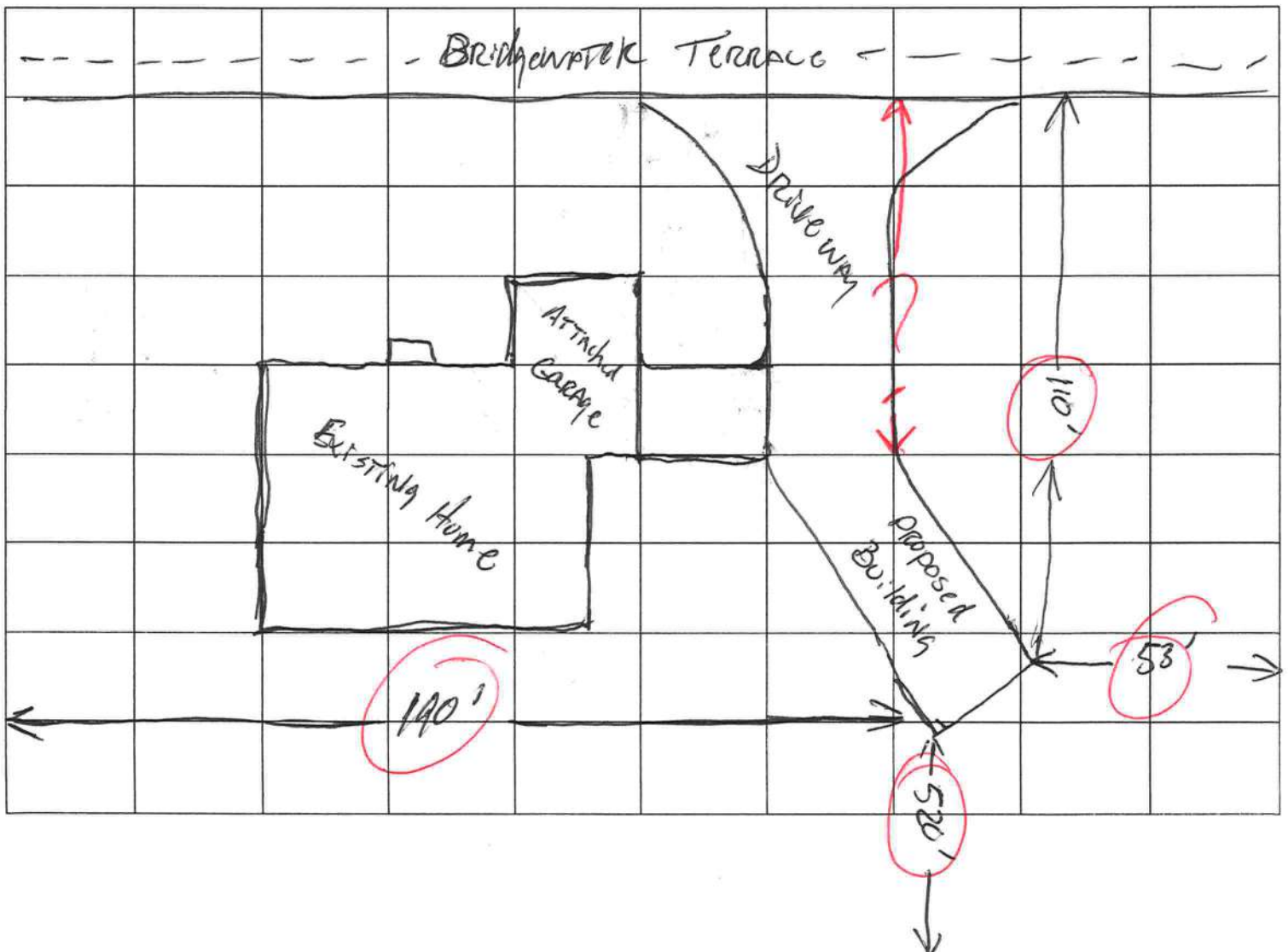
x *[Signature]*

Signature of Natural Person Signing (in line #10 above.)

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



Consideration \$55,000.00

Rec. 18.50
Doc. 385.00

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:200912012322 Date:7/23/2009 Time:4:50 PM
Doc Stamp-Deed:385.00
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B 1177 P 2047

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 09-111

Property Appraiser's
Parcel Identification No.
24-38-16-02275-107

WARRANTY DEED

THIS INDENTURE, made this 22nd day of July 2009, BETWEEN ERKINGER HOME BUILDERS, INC., a corporation existing under the laws of the State of Florida, whose post office address is 248 SE Nassau Street, Lake City, Florida 32025, of the County of Columbia, State of Florida, party of the first part, and RANDELL D. BURNHAM and MARSHA M. BURNHAM, husband and wife, whose post office address is 155 NW Orbison Drive, Lake City, Florida 32055, of the County of Columbia, State of Florida, parties of the second part.

WITNESSETH: that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said parties of the second part, and their heirs and assigns forever, all that certain parcel of land lying and being in the County of Columbia and State of Florida, more particularly described as follows:

Lot 7, COBBLESTONE, UNIT 1, a subdivision according to the plat thereof as recorded in Plat Book 8, Pages 3-6 of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

TOGETHER WITH all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.

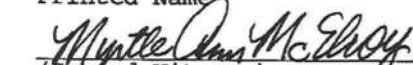
TO HAVE AND TO HOLD the same in fee simple forever.

And the said party of the first part doth covenant with said parties of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, the day and year above written.

Signed, sealed and delivered
in our presence:

ERKINGER HOME BUILDERS, INC.


(First Witness)
Terry McDavid
Printed Name

(Second Witness)
Myrtle Ann McElroy
Printed Name

By: 
Matthew A. Erkinger, Sr.
President

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 22nd day of July 2009, by MATTHEW A. ERKINGER, SR., President of ERKINGER HOME BUILDERS, INC., a Florida corporation, on behalf of said corporation. He is personally known to me and did not take an oath.


Notary Public
My Commission Expires:





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

347 NW Bridgewater Terrace Lake City, FL 32055

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

() Single Family Dwelling () Two-Family Residence () Farm Outbuilding

() Addition, Alteration, Modification or other Improvement

() Commercial, Cost of Construction _____ Construction of _____

X Other CARPORT/work shop

I Randell D. Burnham, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

X Randy D Burnham 2-26-2013
Owner Builder Signature Date

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification _____

Notary Signature L. L. Date 2-26-13

(Seal)



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative L. L.

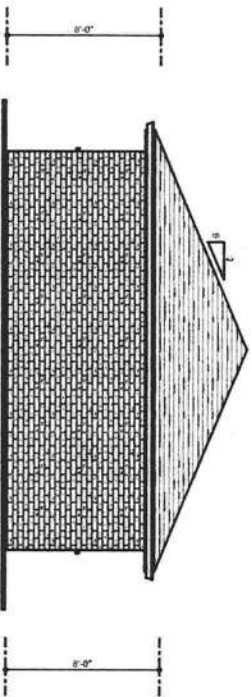
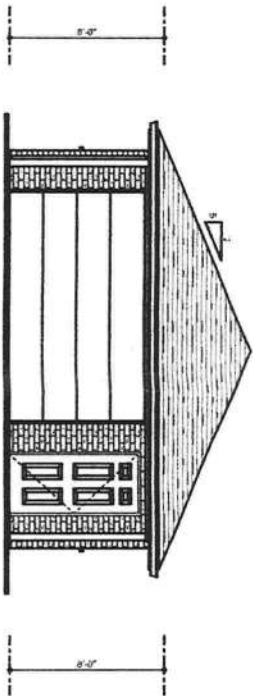
REVISIONS				

SOFTPLAN

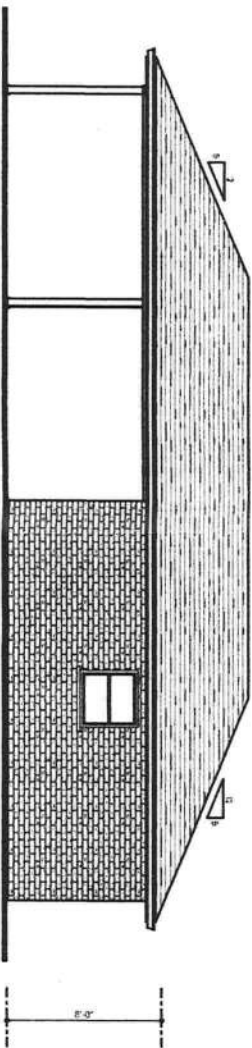
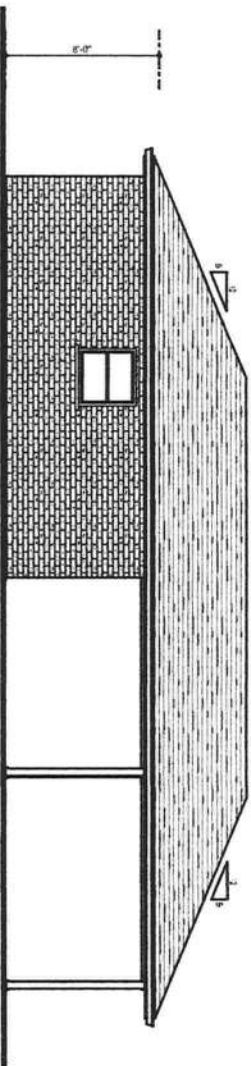
7/12

2'0" A

RIGHT VIEW



FRONT VIEW



Edinsect Construction Florida Randy and Marsha Burnham Workshop/Carpent 11904 SE (Arlington St) Columbia County, FL	
Mark Dossow P.E. P.O. Box 868 Lake City, Florida 32056 Phone (386) 754-5419 Fax (386) 268-4871	
PROJECT March 12, 2012	DRAWN BY CHOCALIST
JOB NUMBER: #1	

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID: IUTO487-Z0212052459



Truss Fabricator: **Anderson Truss Company**
Job Identification: **13-056--Fill in later Randy & Marsha Burnham Ca -- Lake City, FL**
Truss Count: **8**
Model Code: **Florida Building Code 2010**
Truss Criteria: **FBC2010Res/TPI-2007(STD)**
Engineering Software: **Alpine Software, Version 10.03.**
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61G15-31.003(5a) of the FAC**
Address: **Roof - 37.0 PSF @ 1.25 Duration**
Minimum Design Loads: **Floor - N/A**
Wind - 120 MPH ASCE 7-10 -Partially Enclosed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

Walter P. Finn
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: -

#	Ref	Description	Drawing#	Date
1	37458--A	20' Common	13043011	02/12/13
2	37459--CJ1	1' Jack	13043002	02/12/13
3	37460--CJ3	3' Jack	13043003	02/12/13
4	37461--CJ5	5' Jack	13043004	02/12/13
5	37462--EJ7	7' End Jack	13043006	02/12/13
6	37463-H7A	20' Stepdown	13043005	02/12/13
7	37464-H9A	20' Stepdown	13043001	02/12/13
8	37465-HJ7	9' 10" 13 Hip	13043007	02/12/13



(13-056--Fill in later Randy & Marsha Burnham Ca -- Lake City, FL - A 20' Common)

Top chord 2x4 SP_#1_12A
Bot chord 2x4 SP_#1_12A
Webs 2x4 SP_#3_12A

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART ENC, bldg, not located within 9.00 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi(+/-)=0.55

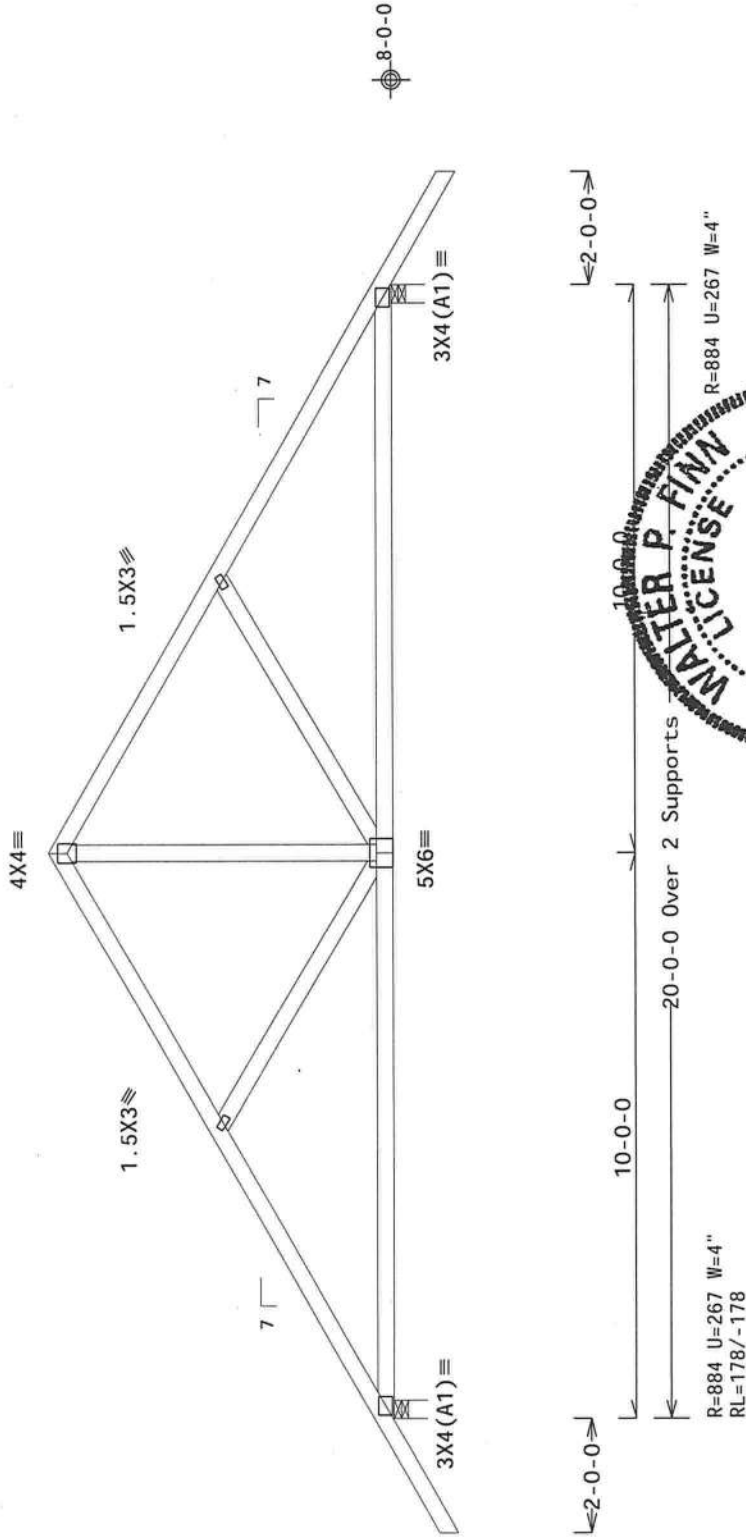
Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

Wind loads and reactions based on MWFRS with additional C&C member design.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

MWFRS loads based on trusses located at least 7.50 ft. from roof edge.



Design Crit: FBC2010Res/TPI-2007(ST)

FT/RT=20%(0%)/10(0)

Scale = .3125"/Ft.

PLT TYP. Wave

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

WALTER P. FINN
LICENSE
No. 22839
02/12/2013
STATE OF FLORIDA
PROFESSIONAL ENGINEER

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET.
****IMPORTANT**** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Follow the latest edition of BCS1 (Building Components Safety Information) for details. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of trusses shall have bracing installed per BCS1 sections B3, B7 or B10, as applicable.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A-2 for standard plate positions. A seal on this drawing or cover page is required for the truss to be used. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: This job's general notes page: ITW-BCG: www.itwbcg.com; TPI: www.tpiinst.org; WTCA: www.alcindustry.com; ICC: www.iccsafe.org

TC LL	20.0 PSF
TC DL	7.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	37.0 PSF
DUR. FAC.	1.25
SPACING	24.0"

REF	R487--	37458
DATE	02/12/13	
DRW	HCUSR487	13043011
HC-ENG	AP/AP	
SEQN-	54638	
JREF-	1UT0487_Z02	

Top chord 2x4 SP_#1_12A
Bot chord 2x4 SP_#1_12A

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART 1, ENC. bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi(+/-)=0.55

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

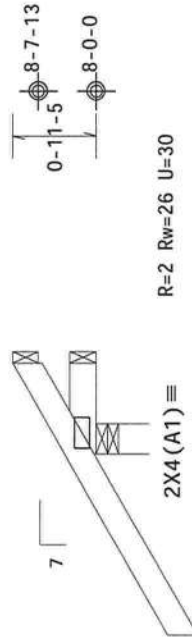
Bottom chord checked for 10.00 psf non-concurrent live load.

Provide (2) 16d common nails (0.162"x3.5"), toe nailed at Top chord.
Provide (2) 16d common nails (0.162"x3.5"), toe nailed at Bot. chord.

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

R=-103 Rw=53 U=93



R=2 R_w=26 U=30

R=329 U=105 W=4"
RI=42/-35

PLT TYP. Wave

Design Crit: $\text{FBC2010Res/TPI-2007(STD FT/RT=20\%(0\%)/10(0))}$ FL/-/5/-/-/R/-
Scale = 5"/Ft.

TTC LL	20.0 PSF	REF R487--	37459
TTC DL	7.0 PSF	DATE	02/12/13
BGC DL	10.0 PSF	DRW	HCUSR487 13043002
BGC LL	0.0 PSF	HC-ENG	AP/AP
TOT.LD.	37.0 PSF	SEQN-	54644
OUR.FAC.	1.25		
SPACING	24.0"	JREF-	1UT0487 Z02

****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET**
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

****IMPORTANT****

Trussess require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSP (Building Components Safety Information, by IPTI and WJCA) for details. Trussess are designed to be installed in accordance with the design drawings and specifications. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid soiling. Locations shown for permanent lateral restraint of wall shall have bracing installed per BCSP sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBGC) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each race of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1600-A for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: www.itwbcg.com ITW-BGC; web@itwbcg.com; www.trussing.com; www.itscapes.com; www.uscapes.com

ALPINE

ITW Building Components Group Inc.

Haines Civ. Fl. 33844

FL COA #0 278

general notes page, IIR-ECO: www.itwecg.com; IPI: www.ipinst.org; WICA: www.socindustry.com

ICC: www.iccsafe.org

(13-056--Fill in later Randy & Marsha Burnham Ca -- Lake City, FL - CJ5 5' Jack)

Top chord 2x4 SP_#1_12A
Bot chord 2x4 SP_#1_12A

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

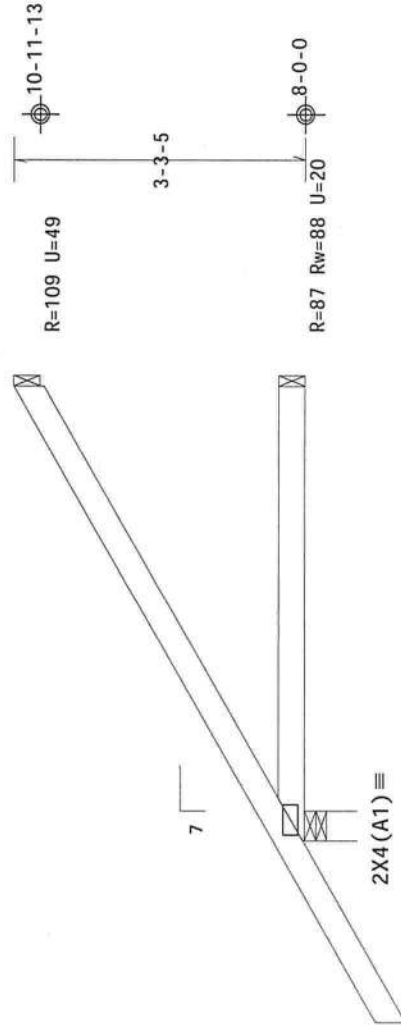
Bottom chord checked for 10.00 psf non-concurrent live load.

Provide { 2 } 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide { 2 } 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART_ENC. bldg, not located within 4.50 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi (+/-)=0.55

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



2'-0"-0"
5'-0"-0" Over 3 Supports
R=347 U=79 W=4"
RL=99/-48



Design Crit: FBC2010Res/TPI-2007(ST) FT/RT=20%(0%)/10(0)

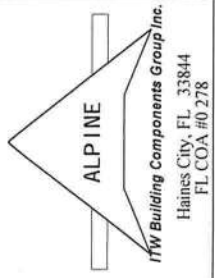
PLT TYP. Wave

TC LL	20.0 PSF	FL/-/5/-/-/R/-	Scale = .5" /Ft.
TC DL	7.0 PSF	REF	R487-- 37461
BC DL	10.0 PSF	DATE	02/12/13
BC LL	0.0 PSF	DRW	HCUSR487 13043004
TOT.LD.	37.0 PSF	HC-ENG	AP/AP
DUR.FAC.	1.25	SEQN-	54648
SPACING	24.0"	JREF-	1UT0487_Z02

****IMPORTANT**** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the section of BCSI Building Component Safety Information, by TPI and WCA for details. Trusses shall be installed in accordance with the drawings. Trusses shall have a properly attached rigid soiling. Locations shown for permanent lateral restraint of trusses shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions. A seal on this drawing indicates acceptance of professional engineering. The responsibility for the structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: This job's general notes page: ITW-BCG: www.itwbcg.com; TPI: www.tpinet.org; WCA: www.wcaindustry.com; ICC: www.iccsafe.org

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET!
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the section of BCSI Building Component Safety Information, by TPI and WCA for details. Trusses shall be installed in accordance with the drawings. Trusses shall have a properly attached rigid soiling. Locations shown for permanent lateral restraint of trusses shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions. A seal on this drawing indicates acceptance of professional engineering. The responsibility for the structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: This job's general notes page: ITW-BCG: www.itwbcg.com; TPI: www.tpinet.org; WCA: www.wcaindustry.com; ICC: www.iccsafe.org

02/12/2013



Top chord 2x4 SP_#1_12A
Bot chord 2x4 SP_#1_12A

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART_ENC, bldg, not located within 4.50 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi (+/-)=0.55

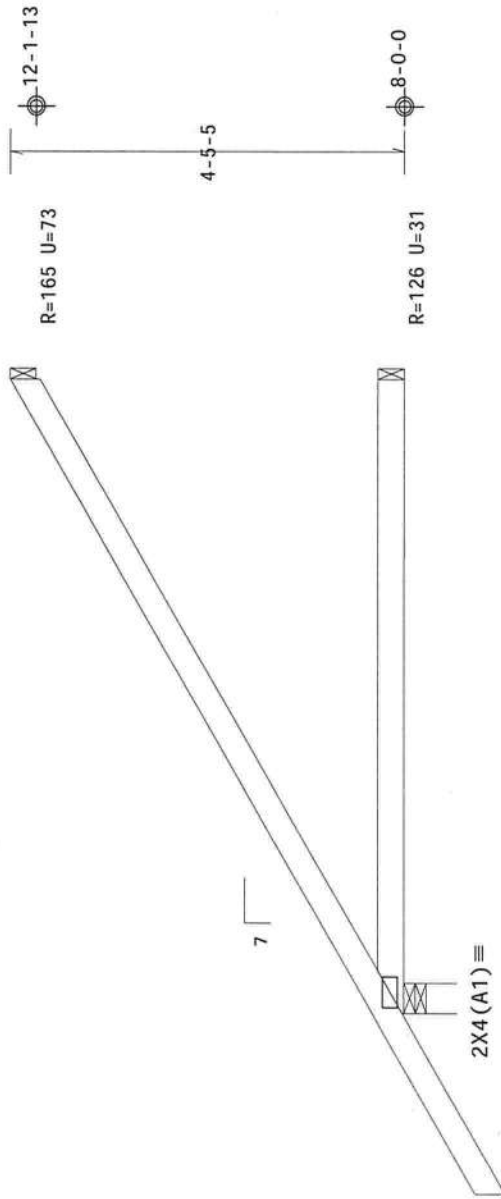
Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

Bottom chord checked for 10.00 psf non-concurrent live load.

Provide (2) 16d common nails(0.162"x3.5"), toe nailed at Top chord.
Provide (2) 16d common nails(0.162"x3.5"), toe nailed at Bot chord.

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



$\overbrace{\quad\quad\quad}^{2-0-0}$
 $\overbrace{\quad\quad\quad\quad\quad\quad\quad}^{7-0-0}$ Over 3 Supports
 R=414 U=92 W=4"
 RL=127/-55

PLT TYP. Wave

Design Crit: $\text{FBC2010Res}/\text{TPI} - 2007(\text{ST} \frac{\text{FT}/\text{RT}=20\%(0\%)/10(0)}{10(0)})$

FL/-/5/-/-/R/-
Scale = 5"/Ft.

TC LL	20.0	PSF	REF	R487--	37462
TC DL	7.0	PSF	DATE	02/12/13	
BC DL	10.0	PSF	DRW	HCUSR487	13043006
BC LL	0.0	PSF	HC-ENG	AP/AP	
TOT.LD.	37.0	PSF	SEQN-	54642	
DUR.FAC.	1.25				
SPACING	24.0"		JREF-	1UT0487_Z02	

****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET.**

****IMPORTANT** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.**

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the following notes for complete information. By TPI and IBCA for design and engineering purposes only. The truss shall have all connections welded or bolted. All connections shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint or bracing shall have bracing installed per BCSP sections B3, B7 or B10, as applicable.

IWB Building Components Group Inc. (IWBGCO) shall not be responsible for any deviation from this design. IWBGCO shall not be responsible for any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings IWBG-2 for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility by the engineer of record. The use of this drawing without the seal of any structure is unauthorized. For more information contact: IWBGCO. This job's general notes page: IWB-BGS; www.iwbeng.com; TPI: www.tpinet.org; WTCA: www.sbcindustry.com; IBC: www.iccsafe.org

02/12/2013

ALPINE

RTW Building Components Group Inc.

Haines City, FL 33844
FL COA #0 278

Top chord	2x4	SP_#1_12A
Bot chord	2x4	SP_#1_12A
Webbs	2x4	SP_#3_12A

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART_ENC. bldg, not located within 4.50 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GOpI (+/-)=0.55

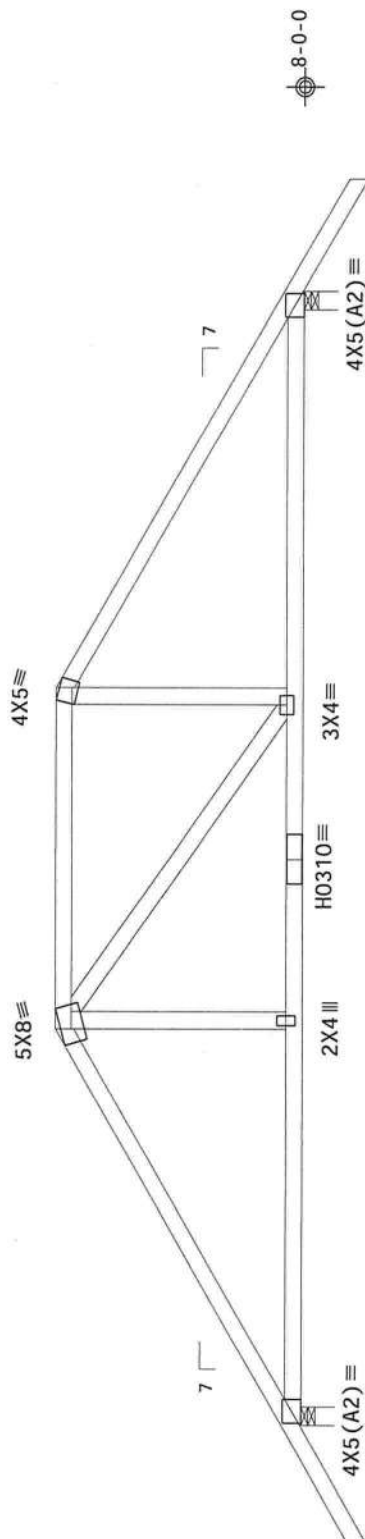
Wind loads and reactions based on MWFRS.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

Special loads

----- (Number	Dur. Fac.=1.25 /	Plate	Dur. Fac.=1.25)
TC-From	56 pif at -2.00 to	56 pif at 7.00	
TC-From	28 pif at 7.00 to	28 pif at 13.00	
TC-From	56 pif at 13.00 to	56 pif at 22.00	
BC-From	5 pif at -2.00 to	5 pif at 0.00	
BC-From	20 pif at 0.00 to	20 pif at 7.03	
BC-From	10 pif at 7.03 to	10 pif at 12.97	
BC-From	20 pif at 12.97 to	20 pif at 20.00	
BC-From	5 pif at 20.00 to	5 pif at 22.00	
TC-237.37	1b Conc. Load at	7.03, 12.97	
TC-165.34	1b Conc. Load at	9.06, 10.94	
BC-414.17	1b Conc. Load at	7.03, 12.97	
BC-126.04	1b Conc. Load at	9.06, 10.94	



Elevation drawing of a bridge structure. The drawing shows a horizontal line representing the bridge deck with several vertical lines indicating supports. The dimensions are as follows:

- Span 1: 7'-0" (from left support to first interior support)
- Span 2: 6'-0" (between first and second interior supports)
- Span 3: 7'-0" (from second interior support to right support)
- Total span: 20'-0" (from left support to right support)
- Over 2 Supports: 20'-0" (indicated by a dimension line below the main span)
- Left end dimension: $\leq 2'-0"-0 \Rightarrow$
- Right end dimension: $\Leftarrow 2'-0"-0$

 A circular stamp is overlaid on the drawing, containing the text:

MATTER P. FINA
AGENTS

 Below the drawing, the following specifications are listed:

R=1713 U=634 W=4"
R=1713 U=634 W=4"

PLT TYP. 20 Gauge HS, Wave

Design Crit: FBC2010Res/TPI -2007(STP)
FT/RT=20%(0)/10(0)

FL/-/5/-/-/R/-
Scale = 3125"/Ft.

TC LL	20.0 PSF	REF R487-- 37463
TC DL	7.0 PSF	DATE 02/12/13
BC DL	10.0 PSF	DRW HCUR487 13043005
BC LL	0.0 PSF	HC-ENG AP/AP
TOT. LD.	37.0 PSF	SEQN- 54652
DUR. FAC.	1.25	
SPACING	24.0"	JREF- 1UT0487 Z02

02/12/2013

****IMPORTANT**** Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Please follow the latest edition of BCSI (Building Components Suppliers Institute) TPI (Truss Practice Instructions) for performing these functions. Installers shall provide temporary bracing post and bracing cables to support the trusses. Trusses shall be braced in accordance with the manufacturer's instructions. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid soiling. Locations shown for permanent lateral restraint shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

****FURNISHING**** READ AND FOLLOW ALL NOTES ON THIS SHEET! FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

****WARNING**** ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design of this truss system. The design of this truss system is the responsibility of the architect. The responsibility of the building designer for the design of any structure using this design for any structure shall be the responsibility of the building designer. For more information, contact ITW-BCG, www.itw-bcg.com. TPI: www.tpinet.org. WCA: www.theindustry.com. General: www.icasafe.org.



ALPINE
ITW Building Components Group Inc.
 Haines City, FL 33844
 FL COA #0 278

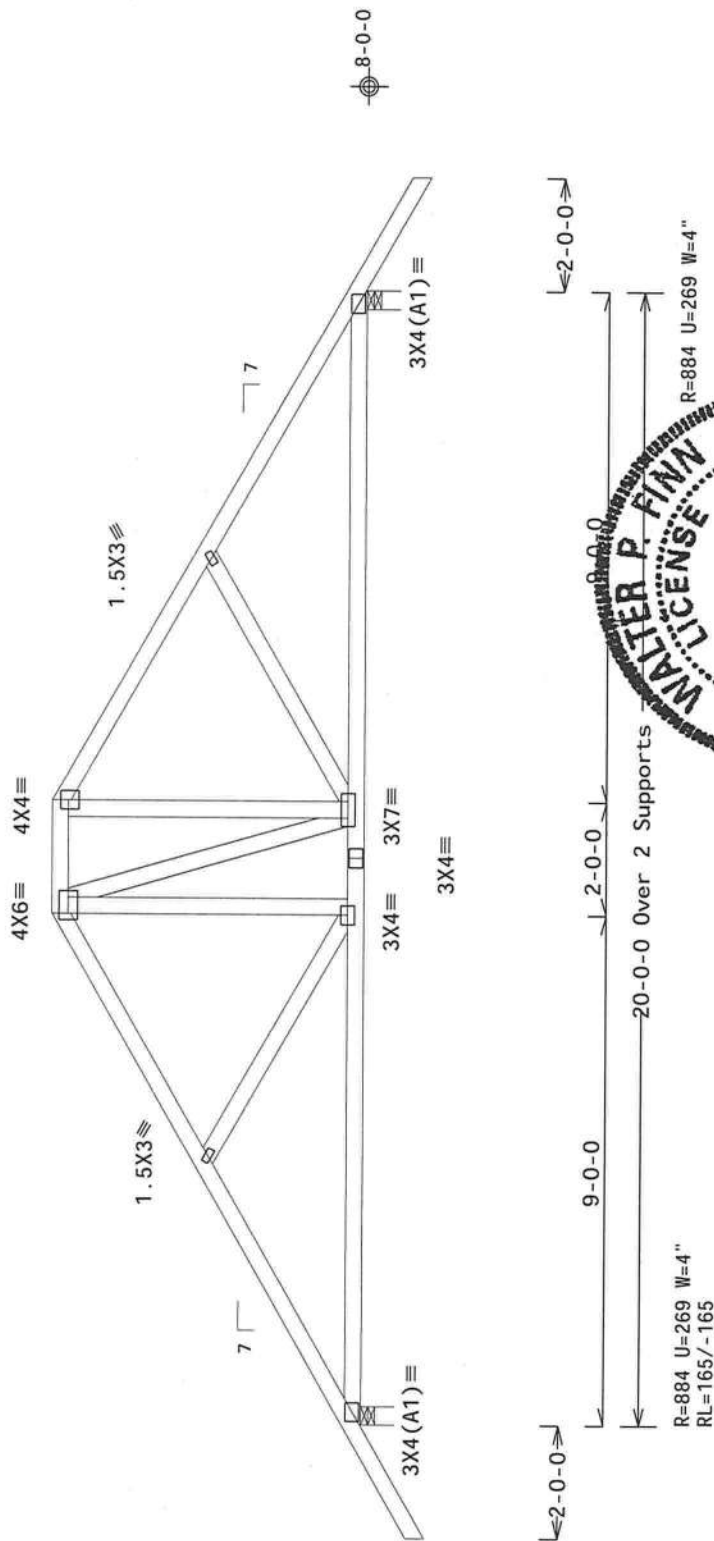
THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART_ENC. bldg. not located within 9.00 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. $G C p i (+) = -0.55$

Wind loads and reactions based on MWFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

factor for dead load is 1.50.

Design Crit: $\text{FBC2010Res/TPI-2007(ST)} \times \text{FT/RT} = 20\%(0\%) / 10(0)$

No. 22839

$$FT/RT = 20\%(0\%) / 10(0)$$

151.0549.19

FL/-/5/-/-/R/-/-

Scale = .3125"/Ft.

****IMPORTANT****

****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET!
FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS

Tresses require extreme care in fabricating, handling, shipping, installing and bracing. Removal of the tresses must follow the latest edition of BCSF's "Fabrication and Installation Manual." The following practices are noted otherwise, top chord shall have properly attached structural sheathing and load capacity shall be verified by engineering analysis. Bottom chord shall have a property attached rigid ceiling. Locations shown for permanent lateral restraint or bracing installed per BCSF sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (TWBCG) shall not be responsible for any deviation from this document or any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation or packaging details, unless noted otherwise. Apply plates to each face of trusses and position as shown above and on the Joint to drawings 160A-2 for standard plate positions. A seal on this drawing or cover page listing this design, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the building designer per ANSI/TPI 1 Sec. 2. For more information see: www.twbcg.com, page TWBCG100. TWBCG's web: www.tpi.com; TWCA: www.sdc-industries.com; TWCA's web: www.fccw.com.

ALPINE

TW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278

02/12/2013

DUR. FAC.

1.25

1

SPACING 24 0"

07 702

	Top chord	2x4	SP_#1_12A
	Bot chord	2x4	SP_#1_12A
	Webbs	2x4	SP_#3_12A

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, PART_ENC. bldg, not located within 4.50 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpl(+/-)=0.55

Wind loads and reactions based on MWFRS.

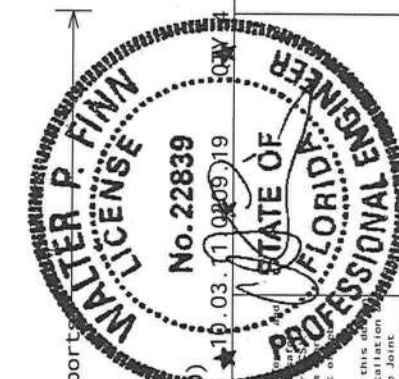
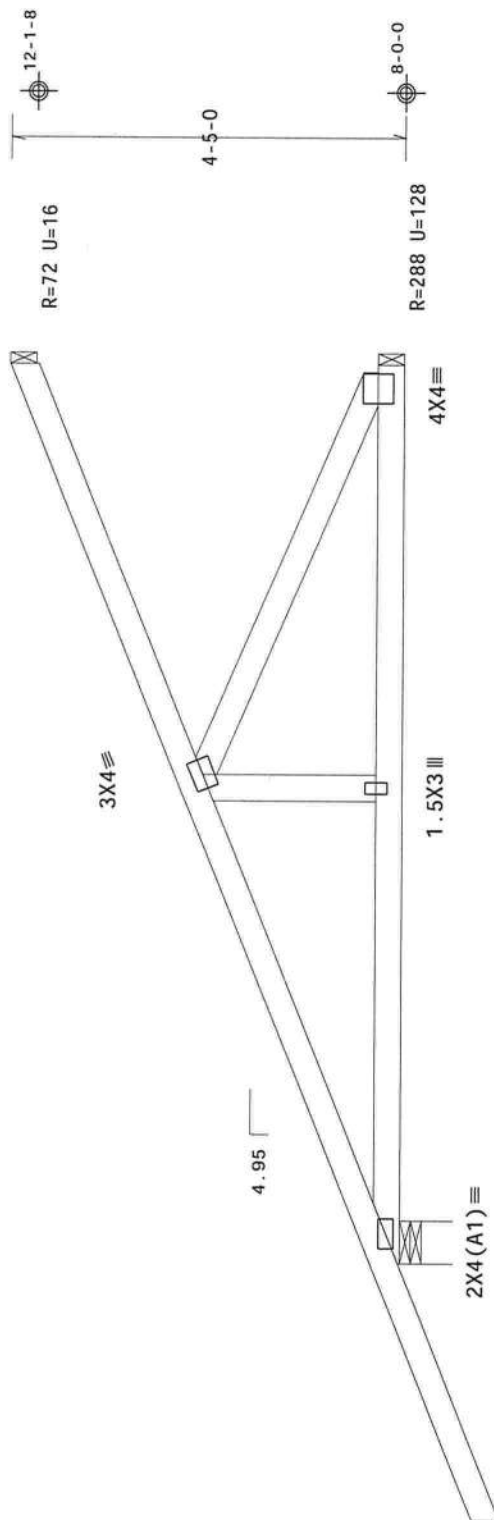
Bottom chord checked for 10.00 psf non-concurrent live load.

Provide (2) 16d common nails (0.162"x3.5"), toe nailed at Top chord.
Provide (2) 16d common nails (0.162"x3.5"), toe nailed at Bot chord.

Special loads

---	(Lumber	Dur.	Fac.=1.25 / Plate	Dur.Fac=1.25)
TC-	From	0 pif at -2.83	to	55 pif at 0.00
TC-	From	2 pif at -2.83	to	2 pif at 9.30
BC-	From	0 pif at -2.83	to	4 pif at 0.00
BC-	From	2 pif at -2.83	to	2 pif at 9.90
TC-	-69.36 lb Conc.	Load at 1.48		
TC-	77.65 lb Conc.	Load at 4.31		
TC-	217.92 lb Conc.	Load at 7.13		
BC-	4.18 lb Conc.	Load at 1.48		
BC-	94.63 lb Conc.	Load at 4.31		
BC-	174.59 lb Conc.	Load at 7.13		

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

Design Crit: FBC2010Res/TPI-2007(STP)
ET/PT-20% (0%) / 10 (0)

PLT TYP. Wave

..IMPORTANT..

...IMPORTANT... FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.

Trusses require extreme care in fabricating, hanging, shipping, installing and bracing. To ensure proper installation, the contractor should follow the latest edition of BCSP (Building Component Safety Information, by TPI and WTA) for the applicable truss type. Temporary bracing joints shall be installed in accordance with the manufacturer's instructions. Trusses shall have a property attached right of lateral restraint in accordance with the manufacturer's instructions. Locations shown for permanent lateral restraint in BCSP sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (TWBCO) shall not be responsible for any deviation from this design to build the Truss in conformance with ANSI/TPI 1, or for handling, shipping, installation or erection of the Truss. The Truss is to be installed in accordance with the details above and on the Joint details, unless noted otherwise. Refer to drawings H03A-2 for standard erection details on this drawing or cover page listing this drawing. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2. For more information see: General notes page. TWBCO: www.twbco.com; TPI: www.tpiinc.org; WCA: www.sdcindustry.com.

FL/-/5/-/-/R/-		Scale = .5"/Ft.
TC LL	20.0 PSF	REF R487-- 37465
TC DL	7.0 PSF	DATE 02/12/13
BC DL	10.0 PSF	DRW HCUSR487 13043007
BC LL	0.0 PSF	HC-ENG AP/AP
TOT.LD.	37.0 PSF	SEQN- 54650
DUR.FAC.	1.25	
SPACING	24.0"	JREF- 1UT0487 Z02