

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 7-1-15)

Zoning Official _____ Building Official _____

AP# _____ Date Received _____ By _____ Permit # _____

Flood Zone _____ Development Permit _____ Zoning _____ Land Use Plan Map Category _____

Comments _____

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____

☐ Recorded Deed or ☐ Property Appraiser PO ☐ Site Plan ☐ EH # _____ ☐ Well letter OR

☐ Existing well ☐ Land Owner Affidavit ☐ Installer Authorization ☐ FW Comp. letter ☐ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ 911 App

☐ Ellisville Water Sys ☐ Assessment _____ ☐ Out County ☐ In County ☐ Sub VF Form

Property ID # 03-65-16-03766-123 ⁽¹⁹⁰⁸⁷⁾ Subdivision Appalachia Trace Lot# 23

- New Mobile Home ☒ Used Mobile Home _____ MH Size 28x68 Year 2022
- Applicant Permitting Services & More, LLC Phone # 386 288-9673
- Address 3015W Fawl Ct Lake City FL 32024
- Name of Property Owner Gary Ramano Phone# 727-418-6010
- 911 Address 283 SW Chippewa Glen FL White FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home Gary Ramano Phone # 727-418-6010
Address 283 SW Chippewa Glen FL White FL 32038
- Relationship to Property Owner Self
- Current Number of Dwellings on Property 0
- Lot Size 10.01 Acres Total Acreage 10.01
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property (R) onto N. Marion Ave, (L) onto NW Justice St,
(L) onto NW Columbia Ave, (R) onto W. Duval St, (L) onto SW Main Blvd, (R) onto 5475,
(L) onto SW Herlong St, (R) SW Appalachia Terr, (R) SW chippewa Gln, Dest. on left.
Email Address for Applicant: Lamanda.Mote@gmail.com
- Name of Licensed Dealer/Installer Ernest Scott Johnson Phone # (352) 494-8099
- Installers Address 22204 SE US Hwy 301 Alachua FL 32615
- License Number TH1025249 Installation Decal # 94276

SITE PLAN CHECKLIST

- 1) Property Dimensions
- 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- 3) Distance from structures to all property lines
- 4) Location and size of easements
- 5) Driveway path and distance at the entrance to the nearest property line
- 6) Location and distance from any waters; sink holes; wetlands; and etc.
- 7) Show slopes and or drainage paths
- 8) Arrow showing North direction

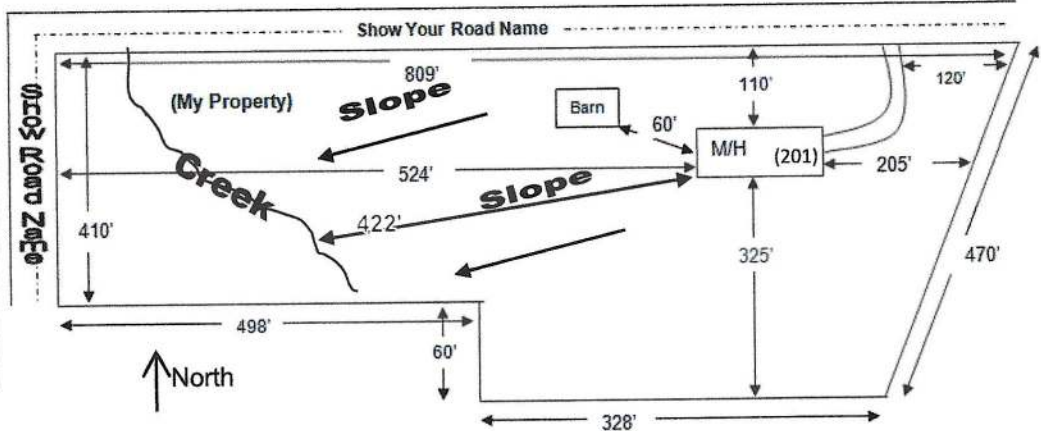
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NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.

SITE PLAN EXAMPLE

Revised 7/1/15



Please see site plan
drawn to scale.

Thank you,

Yvette

PURCHASE AGREEMENT

P.O. Box 2736
Lake City, FL 32056

386-758-9538
Toll Free: 1-888-313-2899

332 SW Deputy J Davis Lane
Lake City, FL

**SHOWCASE
HOMES**
Direct

Fax: 386-758-6889

Email: Showcashesdirect@comcast.net

Locally Owned and Operated

SOLD TO <u>Gary Romano Barbara Romano</u>		PHONE <u>727-418-6010</u>	DATE <u>6-3-72</u>
ADDRESS		COUNTY	EMAIL
In consideration of and subject to the terms and conditions stated in this purchase agreement Seller agrees to sell and Buyers to purchase the following described property:			
MAKE <u>Palm Harbor</u>	MODEL <u>Ledgers</u>	B. ROOMS <u>4</u>	FLOOR SIZE <u>1021</u> W. <u>27</u> L. <u>1</u> W. <u>1</u>
SERIAL NUMBER	<input checked="" type="checkbox"/> NEW <input type="checkbox"/> USED	COLOR	SALESMAN <u>Kent</u>
OPTIONAL EQUIPMENT, LABOR AND ACCESSORIES		PRICE OF UNIT <u>210,767</u>	
<u>Stal Set up + Delivered</u>			
<u>4 ton TRANE Heat Pump</u>		SALES TAX	<u>12,646</u>
<u>Stal Spitting</u>		NON-TAXABLE ITEMS	
<u>Cooler Steps</u>		VARIOUS FEES	
<u>Nothing Follows</u>		1. CASH PRICE <u>\$224,413</u>	
		TRADE-IN ALLOWANCE	\$
		LESS BAL DUE ON ABOVE	\$
		NET ALLOWANCE	
		CASH DOWN PAYMENT	<u>106,242</u>
		2. LESS TOTAL CREDITS	
		3. UNPAID BALANCE OF CASH SALE PRICE	<u>\$106,242</u>
<u>Shawnae will be refund 10,000 IF price goes up</u>		Title to said unit shall remain in the Seller until the agreed purchase price there for is paid in full in cash or by the execution of a Retail Installment Contract, or a Security Agreement and its acceptance by a financing agency; there upon title to the within described unit passes to the buyer as of the date of either full cash payment or on the signing of said credit instruments even though the actual physical delivery may not be made until a later date.	
		IT IS MUTUALLY UNDERSTOOD THAT THIS AGREEMENT IS SUBJECT TO NECESSARY CORRECTIONS, AND ADJUSTMENTS CONCERNING CHANGES IN NET PAYOFF ON TRADE-IN TO BE MADE AT THE TIME OF SETTLEMENT.	
FOR THE PURPOSE OF THIS AGREEMENT THE TERM (BUYER) OR (BUYERS) MAY BE USED INTERCHANGEABLE AND MAY REPRESENT SINGULAR OR PLURAL IN MEANING.		Buyer represents he/she examined the unit and found it suitable for his/her particular needs, and that it is of acceptable quality and that buyer relied upon his/her judgment and inspection in making this determination.	
Seller is not permitted to make plumbing or electrical connections, or connecting certain natural gas or propane appliances where state or local ordinances require a licensed plumber or electrician so to do. Special building ordinances or laws requiring plumbing, electrical or construction changes are not the responsibility of Seller or the manufacturer. Seller is not responsible for obtaining health or sanitation permits, nor for local, county or state permits involving restrictive zoning. (COST OF CHANGES NEEDED FOR COMPLIANCE MUST BE BORNE BY BUYER. IT IS SOLELY THE BUYERS RESPONSIBILITY TO ASSURE THEIR CHOSEN HOME SITE IS ACCEPTABLE FOR HOME PLACEMENT WITHOUT VIOLATION OF ANY LOCAL, STATE, OR FEDERAL GUIDELINES.)		There is no assurance a mobile home can remain level when placed, upon any surface other than of level blacktop or concrete.	
Seller is not responsible or liable for any delays caused by the manufacturer, accidents, strikes, fires, Acts of God, Independent Subcontractors, or any other cause beyond Seller's control.		Buyers warrant that they have read and fully understand and agree to this purchase agreement and the additional terms and conditions: that buyers are of statutory age or older; or have been legally emancipated; that the within described unit, the optional equipment and accessories thereon and, insurance if included, has been voluntarily purchased. The Buyer warrant that the property being traded in is free from all encumbrances whatsoever, except as noted above. Buyer agrees each paragraph and provision of this contract is severable; if one portion thereof is invalid the remaining portion shall, nevertheless, remain in full force and effect.	
BUYERS FULLY UNDERSTAND AND AGREE THAT THE BUYERS WILL BE SOLELY RESPONSIBLE TO PAY ANY PRICE INCREASES GIVEN BY THE MANUFACTURER UNTIL AT WHICH TIME THE HOME IS BUILT AND INVOICED BY THE MANUFACTURER.		BUYERS HERE BY ACKNOWLEDGE RECEIPT OF A COPY OF THE PURCHASE AGREEMENT AND ADDITIONAL TERMS AND CONDITIONS	
SHOWCASE HOMES DIRECT DEALER Not Valid Unless Signed and Accepted by an officer of the Company		SIGNED X <u>Gary Romano</u> BUYER	
By <u>Kent March</u> Approved: Subject to complete and final acceptance of financing by bank, finance company or cash payment in full		SIGNED X <u>Barbara Romano</u> BUYER	
THIS AGREEMENT (TOGETHER WITH ITS ATTACHED SCHEDULES, ADDENDUM, AND EXHIBITS) CONTAINS AND SETS FORTH THE COMPLETE UNDERSTANDING AND AGREEMENT OF THE BUYERS AND THE SELLER, AND SUPERSEDES ALL PRIOR WRITTEN OR ORAL DISCUSSIONS, AGREEMENTS, COMMUNICATIONS, OR REPRESENTATIONS. THIS AGREEMENT MAY BE MODIFIED ONLY BY MEANS OF A WRITING SIGNED BY THE PARTIES TO THIS AGREEMENT. BUYERS AND SELLER BOTH HAD AN OPPORTUNITY TO REVIEW THIS ENTIRE AGREEMENT WITH THE COUNSEL OF THEIR CHOOSING. IN THE EVENT OF LITIGATION OR RELATED LEGAL ACTIONS INVOLVING THIS AGREEMENT, THE TERMS AND CONDITIONS OF THIS AGREEMENT SHALL BE INTERPRETED AS OF EQUAL WEIGHT BETWEEN BUYERS AND SELLER.			



STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM (OSTDS)

FW

SSO 241201261

PERMIT NO: 22-0724
DATE PAID: 7-25-22
FEE PAID: 8129.22
RECEIPT #: 18-77478

APPLICATION FOR CONSTRUCTION PERMIT

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☒ Soil Samples

APPLICANT: Gary Romano EMAIL: lamanda.mote@gmail.com
AGENT: Permitting Services + More, LLC / Lamanda Mote TELEPHONE: 386.288.9673
MAILING ADDRESS: 301 SW Fawn Court Lake City FL 32024

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

OSTDS REMEDIATION PLAN? ☐ Y ☒ N

LOT: 23 BLOCK: n/a SUBDIVISION: Appalachie Trace PLATTED: n/a

PROPERTY ID #: 03-65-16-03766-123 ZONING: n/a I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 10.01 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: 100 FT

PROPERTY ADDRESS: 283 SW Chippewa Gln Fort White FL

DIRECTIONS TO PROPERTY: B onto N Merion Ave, C onto NW Justice St, D onto NW Columbia Ave, E onto W Duval St, F onto SW Main Blvd, G onto SR 475, H onto SW Vernon St, I onto SW Appalachee Terr, J onto SW Chippewa Gln

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

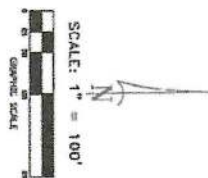
Unit No. Type of Establishment No. of Bedrooms Building Area Sqft Commercial/Institutional System Design Table I, Chapter 62-6, FAC

1	New Mobile Home	4	1813 Sqft	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify)

SIGNATURE: Lamanda Mote DATE: 08-17-22

A BOUNDARY SURVEY IN SECTION 3, TOWNSHIP 6 SOUTH,
RANGE 16 EAST,
COLUMBIA COUNTY, FLORIDA.

[illegible]

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SURVEYOR'S CERTIFICATION

02/14/2008
FIELD SURVEY DATE

02/16/22
22/1/2022 DATE

L. SCOTT BULTZ, P.S.M.
CERTIFICATION # 575

NOTE: UNLESS IT BEGINS THE DESIGNAL SIGNATURE AND THE DESIGNAL POSTED SIGN, OR A FLORIDA LICENSED SURVEYOR AND MEASURES THIS SURVEYING, SOMETIMES PLAT OR MAP IS FOR SURVEYING PURPOSES ONLY AND IS NOT VALID.

FILED IN BOOK: 379 PAGE(S): 20



BRITT SURVEYING
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016
1438 SW MAIN BLVD.
LAKE CITY, FLORIDA, 32025

WORK ORDER # L-28325




STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM


PERMIT #: 12-SC-2562769
APPLICATION #: AP1877448
DATE PAID: 8/24/22
FEE PAID: 425.00
RECEIPT #: _____
DOCUMENT #: PR1826155

CONSTRUCTION PERMIT FOR: OSTDS New
APPLICANT: GARY**22-0724 ROMANO
PROPERTY ADDRESS: 283 SW CHIPPEWA Fort White, FL 32038
LOT: 23 BLOCK: _____ SUBDIVISION: _____
PROPERTY ID #: 03766-123 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1,050] GALLONS / GPD New Multi-Chambered Septic CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []
D [500] SQUARE FEET Drainfield SYSTEM
R [] SQUARE FEET N/A SYSTEM
A TYPE SYSTEM: [x] STANDARD [] FILLED [] MOUND []
I CONFIGURATION: [x] TRENCH [] BED []
N
F LOCATION OF BENCHMARK: Nail in tree w/ pink ribbon N of system site
I ELEVATION OF PROPOSED SYSTEM SITE [16.50] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
E BOTTOM OF DRAINFIELD TO BE [28.50] [INCHES / FT] [ABOVE / BELOW] BENCHMARK/REFERENCE POINT
L
D FILL REQUIRED: [6.00] INCHES EXCAVATION REQUIRED: [] INCHES
O The system is sized for 4 bedrooms with a maximum occupancy of 8 persons (2 per bedroom), for a total estimated flow of 400 gpd.
T
H Fill closer to approx 11.5" at front end of system due to slope in property. 
E
R

SPECIFICATIONS BY: Sean P Havens TITLE: Environmental Specialist I
APPROVED BY:  TITLE: Environmental Specialist I Columbia CHD
DATE ISSUED: 09/06/2022 EXPIRATION DATE: 03/06/2024
DH 4016, 08/09 (Obsoletes all previous editions which may not be used)
Incorporated: 64E-6.003, FAC



STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

22-0724

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.

See
Attached

Notes:

283 SW Chippewa Ln Ft White FL.

Site Plan submitted by:

Ramanda J. [Signature]

Agent:

Owner:

Date: 8/26/2022

Plan Approved [Signature]

Not Approved

Date 9/6/22

By

[Signature]

ESZ

COLUMBIA County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	<div> Print Name <u>Glenn Whittington</u> Signature <u>Glenn Whittington</u> </div> <div> License #: <u>13002957</u> Phone #: <u>386 972-1701</u> </div> <div align="center"> Qualifier Form Attached <input type="checkbox"/> </div>
MECHANICAL/ A/C _____	<div> Print Name <u>Timothy Shatto</u> Signature <u>Timothy Shatto</u> </div> <div> License #: <u>CAC 057875</u> Phone #: <u>386 496-8224</u> </div> <div align="center"> Qualifier Form Attached <input type="checkbox"/> </div>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Return to:
Florida Title & Guarantee Agency
14050 NW 14th Street, Suite 110
Sunrise, FL 33323

This Instrument Prepared
under the supervision of:

Jennifer Booth
Florida Title & Guarantee Agency
14050 NW 14th Street, Suite 110
Sunrise, FL 33323

Property Appraisers Parcel Identification (Folio) No.:
R03766-123

Our File No.: 83-22-0397

WARRANTY DEED

This Warranty Deed made this 6th day of June, 2022 by Thomas P Linebach, a single man, whose mailing address is 820 South Curry Point, Homosassa, FL 34448, hereinafter called the grantor(s), to Gary Nicholas Romano and Barbara Christel Romano, husband and wife, for an enhanced life estate, without liability for waste, and with full power and authority in said life tenant to sell, convey, mortgage, lease or otherwise manage and dispose of the property described herein, in fee simple, with or without consideration, without joinder of the remainderman, and with full power and authority to retain any and all proceeds, with a remainder to Lisa Honan, married woman, whose post office address is 671 U Street King of Prussia, PA 19406, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor(s), for and in consideration of the sum of \$10.00 (ten) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Columbia County, State of Florida, viz:

LOT 23- APPALACHIE TRACE (UNRECORDED)

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST ALONG THE EAST LINE OF SAID SECTION 3 A DISTANCE OF 1097.29 FEET; THENCE SOUTH 87 DEGREES 37 MINUTES 11 SECONDS WEST 519.86 FEET TO A POINT ON THE EASTERLY END OF A PRIVATE ROAD; THENCE NORTH 02 DEGREES 22 MINUTES 49 SECONDS WEST ALONG SAID EASTERLY END 30.00 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PRIVATE ROAD; THENCE SOUTH 87 DEGREES 37 MINUTES 11 SECONDS WEST ALONG SAID NORTHERLY LINE 183.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 87 DEGREES 37 MINUTES 11 SECONDS WEST STILL ALONG SAID NORTHERLY LINE OF A PRIVATE ROAD 618.39 FEET; THENCE NORTH 01 DEGREE 18 MINUTES 53 SECONDS WEST 440.46 FEET TO A POINT ON THE SOUTHERLY LINE OF A CONSERVATION EASEMENT; THENCE CONTINUE NORTH 01 DEGREE 18 MINUTES 53 SECONDS WEST 350.00 FEET; THENCE SOUTH 76 DEGREES 53 MINUTES 49 SECONDS EAST 638.39 FEET; THENCE SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST 620.01 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH SECTION 2 TOWNSHIP 6 SOUTH RANGE 16 EAST COLUMBIA COUNTY FLORIDA:

A STRIP OF LAND 60.00 FEET IN WIDTH, FOR THE PURPOSE OF INGRESS AND EGRESS, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE: COMMENCE AT THE NORTHWEST CORNER OF SAID SECTION 2 AND RUN SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST ALONG THE WEST LINE OF SAID SECTION 2 A DISTANCE OF 529.26 FEET; THENCE SOUTH 77 DEGREES 05 MINUTES 34 SECONDS EAST 521.71 FEET TO THE POINT OF BEGINNING OF HEREIN DESCRIBED CENTERLINE; THENCE CONTINUE SOUTH 77 DEGREES 05 MINUTES 34 SECONDS EAST 1081.26 FEET; THENCE SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST PARALLEL TO THE WEST LINE OF SAID SECTION 2 A DISTANCE OF 1687.00 FEET TO A POINT ON THE NORTH LINE OF SOUTHWEST 1/4 OF SAID SECTION 2; THENCE CONTINUE SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST STILL PARALLEL TO THE WEST LINE OF SAID SECTION 2 A DISTANCE OF 576.46 FEET TO A POINT HEREIN DESIGNATED AS POINT "A", THENCE SOUTH 27 DEGREES 38 MINUTES 37 SECONDS WEST 1453.69 FEET; THENCE SOUTH 01 DEGREE 18 MINUTES 53 SECONDS EAST PARALLEL TO THE WEST LINE OF SAID SECTION 2 A DISTANCE OF 644.96 FEET TO A POINT ON THE NORTHERLY MAINTAINED RIGHT-OR-WAY LINE OF HERLONG ROAD AND THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE.

ALSO A STRIP OF LAND 60.00 FEET IN WIDTH FOR THE PURPOSE OF INGRESS AND EGRESS, LYING 30.00 FEET EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

BEGIN AT ABOVE DESIGNATED POINT "A" AND RUN NORTH 65 DEGREES 42 MINUTES 05 SECONDS

WEST 1294.01 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 2;
THENCE CONTINUE NORTH 65 DEGREES 42 MINUTES 05 SECONDS WEST 429.19 FEET TO A POINT
ON THE WEST LINE OF SAID SECTION 2 AND THE TERMINAL POINT OF HEREIN DESCRIBED
CENTERLINE.

ALSO A STRIP OF LAND 60.00 FEET IN WIDTH, FOR THE PURPOSE OF INGRESS AND EGRESS,
LYING 30.00 FEET EACH SIDE OF THE ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:
BEGIN AT ABOVE DESIGNATED POINT "A" AND RUN SOUTH 65 DEGREES 42 MINUTES 05 SECONDS
EAST 934.72 FEET TO THE TERMINAL POINT OF HEREIN DESCRIBED CENTERLINE.

Neither the grantor(s) named herein, nor the spouse(s) thereof nor anyone for whose support they are
responsible reside on or adjacent to the property herein described and is not therefore their homestead
property.

SUBJECT TO: covenants, conditions, restrictions, reservations, limitations, easements and agreements of record,
if any; taxes and assessments for the year 2022 and subsequent years; and to all applicable zoning ordinances
and/or restrictions and prohibitions imposed by governmental authorities, if any,

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise
appertaining.

TO HAVE AND TO HOLD, the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple;
that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to
said land and will defend the same against the lawful claims of all persons.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above
written.

Signed, sealed and delivered in the presence of:


First Witness Signature

Printed Signature
Danya Mollard
Second Witness Signature


Printed Signature
Danya Mollard


Thomas P Linebach

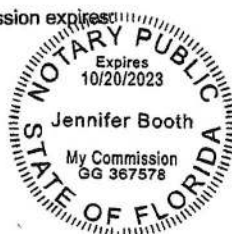
State of Florida

County of Alachua

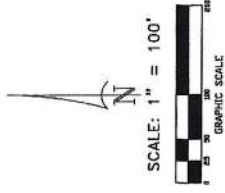
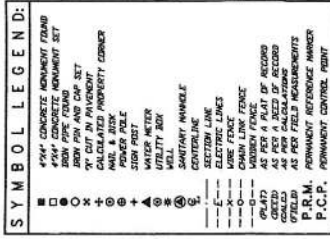
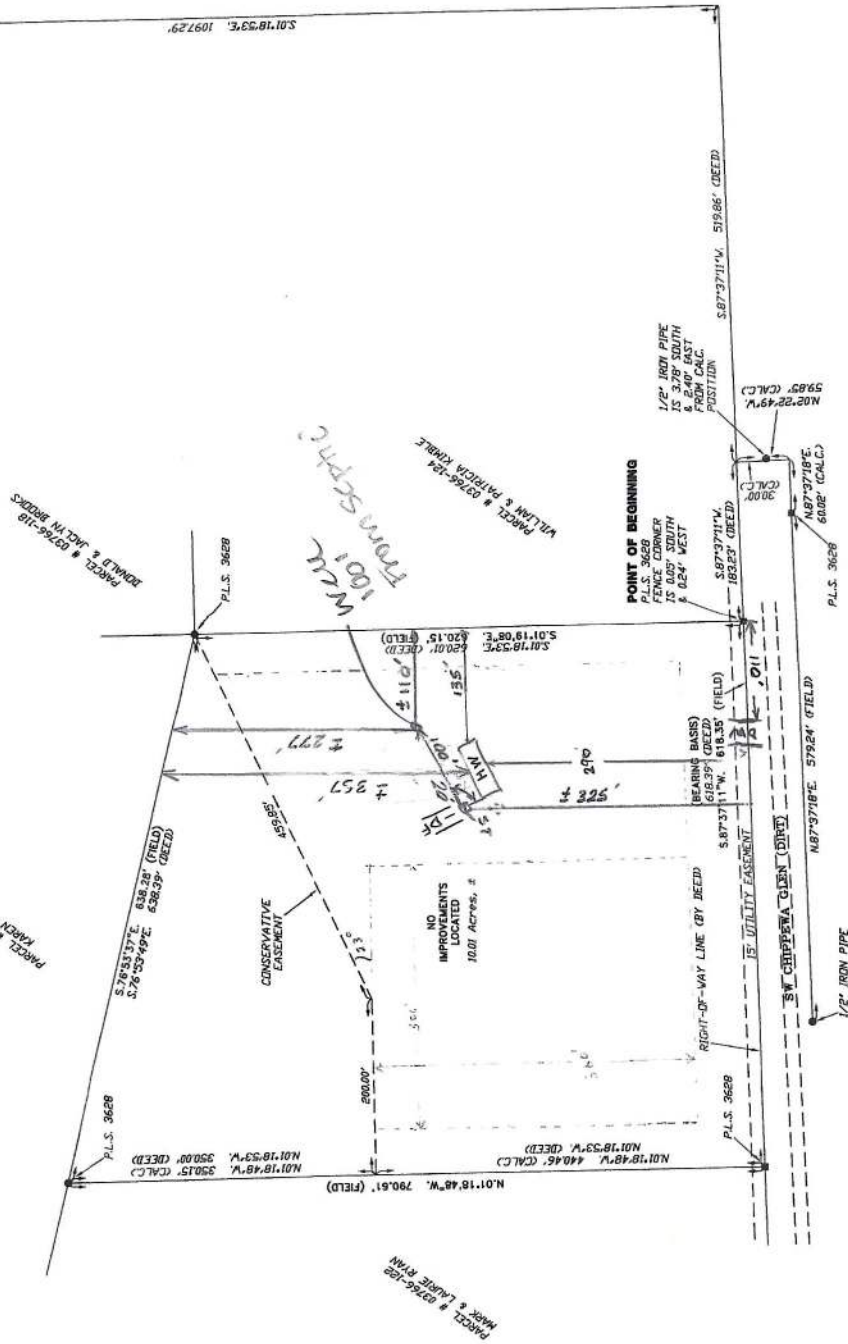
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online
notarization, this 6th day of June, 2022 by Thomas P Linebach, who has produced FLD as
identification or is personally known to me to be the persons therein.


Notary Public, State of Florida

My commission expires
Seal



POINT OF COMMENCEMENT
NE CORNER OF SE 1/4
SECTION 3, TOWNSHIP
6 SOUTH, RANGE 16 EAST

[illegible][illegible]

CERTIFIED TO:
THOMAS P. LINEBACH

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

02/14/22
FIELD SURVEY DATE

NOTE: UNLESS IT BEARS THE ORIGINAL SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAN OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

FIELD BOOK: 379 PAGE(S): 20

BRITT SURVEYING
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016
1438 SW MAIN BLVD,

LAKE CITY, FLORIDA, 32025

WORK ORDER # L-28325

www.brittsurvey.com
TELEPHONE: (386) 7



Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **2/21/2022 2:57:35 PM**
Address: **283 SW CHIPPEWA GLN**
City: **FORT WHITE**
State: **FL**
Zip Code **32038**

Parcel ID **03-6S-16-03766-123**

REMARKS: **This address is a verified address in the county's addressing system.**
Verification ID: 259ae492-bcd1-4bec-a76c-afd09faa586e

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **GIS Specialist**

Columbia County GIS/911 Addressing Coordinator

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << 03-6S-16-03766-123 (19087) >>

Owner & Property Info

Result: 1 of 1

Owner	ROMANO GARY NICHOLAS ROMANO BARBARA CHRISTEL 283 SW CHIPPEWA GLN FORT WHITE, FL 32038		
Site	283 SW CHIPPEWA GLN, FORT WHITE		
Description*	LOT 23 APPALACHIE TRACE UNR: COMM NE COR OF SE1/4, RUN S 1097.29 FT, W 519.86 FT TO A PT ON E END OF A PRIVATE RD, RUN N ALONG SAID E'LY END TO A PT OF N LINE OF SAID RD, W 183.23 FT TO POB, CONT W 618.39 FT, N 440.46 FT TO A PT ON S'LY LINE OF A CONSERVAT ...more>>>		
Area	10.01 AC	S/T/R	03-6S-16
Use Code**	VACANT (0000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$40,540	Mkt Land	\$60,060
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$40,540	Just	\$60,060
Class	\$0	Class	\$0
Appraised	\$40,540	Appraised	\$60,060
SOH Cap [?]	\$0	SOH Cap [?]	\$11,007
Assessed	\$40,540	Assessed	\$60,060
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$40,540 city:\$0 other:\$0 school:\$40,540	Total Taxable	county:\$49,053 city:\$0 other:\$0 school:\$60,060

Aerial Viewer Pictometry Google Maps



▼ Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
6/6/2022	\$110,000	1468/1520	LE	V	U	14
1/21/2022	\$90,000	1457/1832	WD	V	Q	01
2/8/2018	\$100	1354/1199	WD	V	U	11
6/4/2014	\$27,000	1276/0302	CT	V	U	18
12/22/2004	\$33,000	1034/0192	WD	V	Q	
12/20/2004	\$2,000	1033/2778	CT	V	U	01
2/15/2002	\$25,000	0946/2281	WD	V	Q	
11/6/2000	\$42,900	0913/2457	WD	V	U	01
4/19/1998	\$44,000	0858/0958	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

▼ **Extra Features & Out Buildings** (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

▼ **Land Breakdown**

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	10.010 AC	1.0000/1.0000 1.0000/ /	\$6,000 /AC	\$60,060

Search Result: 1 of 1



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS AGENT AUTHORIZATION

I, Ernest Scott Johnson, give this authority and I do certify that the below
Installers Name

referenced person(s) listed on this form is/are under my direct supervision and control and
is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Agents Company Name
Lamanda Mote	<i>Lamanda Mote</i>	Permitting Services & More, LLC.

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license
holder for violations committed by him/her or by his/her authorized person(s) through this
document and that I have full responsibility for compliance granted by issuance of such permits.

Ernest Scott Johnson
License Holders Signature (Notarized)

1H/1025249 10/11/22
License Number Date

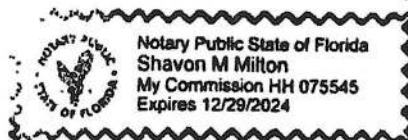
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Alachua

The above license holder, whose name is Ernest S. Johnson,
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 11 day of October, 2022.

Shavon M. Milton
NOTARY'S SIGNATURE

(Seal/Stamp)





MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Ernest Scott Johnson, give this authority for the job address show below
Installer License Holder Name

only, 283 SW Chippewa Glen Ft White FL 32038, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Lamanda Mote	<i>Lamanda Mote</i>	<input checked="" type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

Ernest S Johnson
License Holders Signature (Notarized)

1H/1025249
License Number

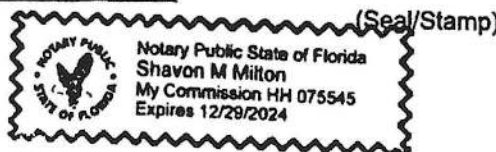
10/11/22
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Alachua

The above license holder, whose name is Ernest S Johnson, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 11 day of October, 2022.

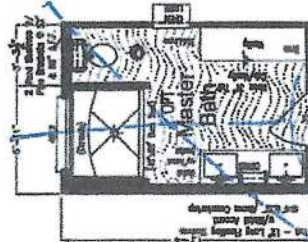
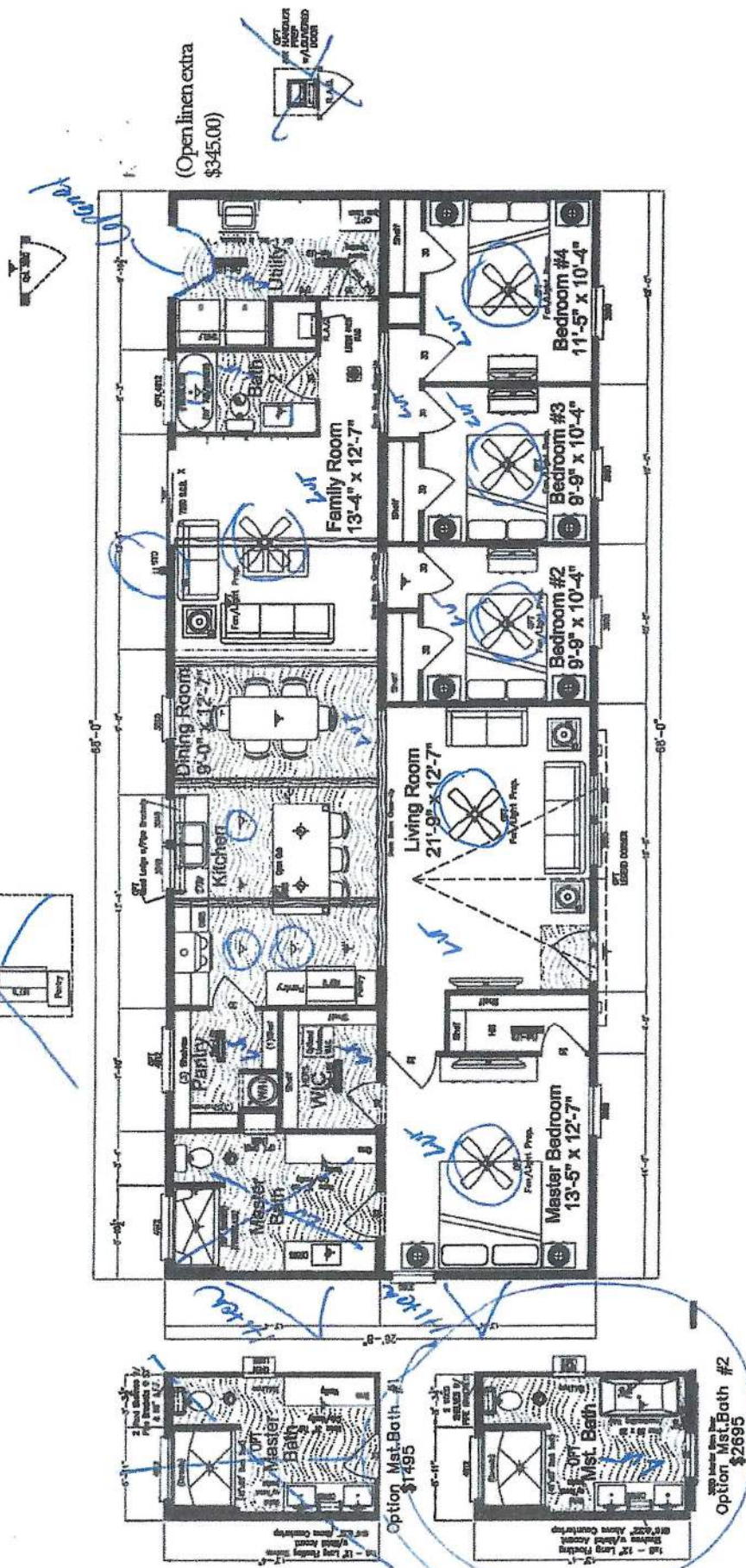
Shavon M Milton
NOTARY'S SIGNATURE



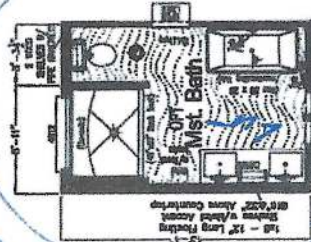
Legend Series

INCLUDES:
MICRO-PANTRY
CHIMNEY RANGEHOOD
FULL TILE BATH
RANGEHOOD AND
BACKSPLASH 42" OR
CABINETS KITCHEN

OPT KITCHEN \$1295



Option Master Bath #1
\$1495



Option Master Bath #2
\$2695



Finley

Model # 340LD28684A
Approx 1,813 Sq Ft.

26'-8" x 63"
4 Bedrooms, 2 Baths
Island Kitchen
Two Living Areas
Large Master Suite

Large Kitchen Walk-In Pantry
Standard Beam Ceilings
in Kitchen & Family Room
Expansive Bonus Utility Room
w/ Optional Built-Ins

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*Plant City, FL | 800.729.4363 | www.palmharbor.com 2022

Rev 10/19/21

Mobile Home Permit Worksheet

Installer: Ernest Scott Johnson License # 14/1025249

Address of home being installed 283 SW Chippewa Glen

Manufacturer Pennix PC 32030

Length x width 28 x 48

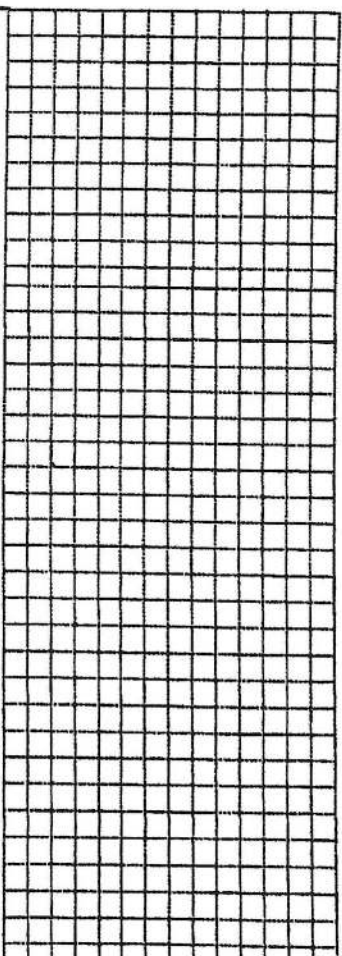
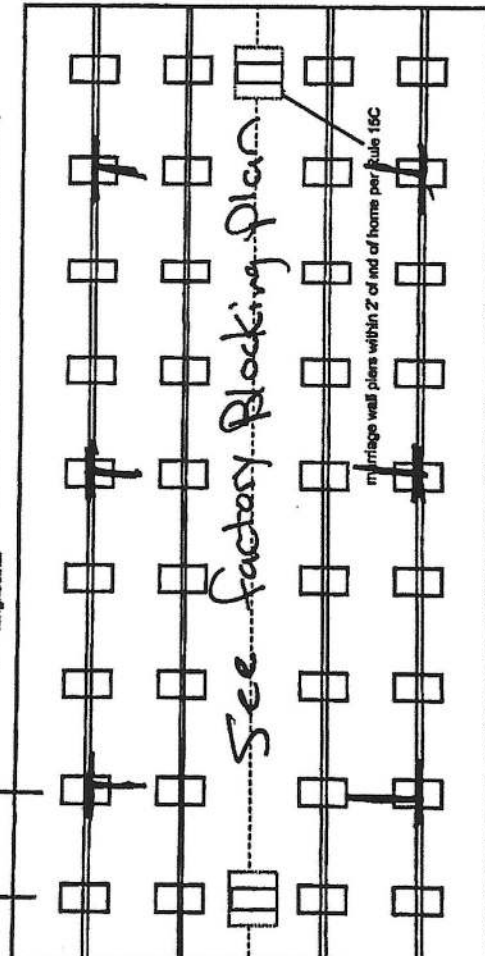
NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home
I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

Installer's initials ES

Typical pier spacing



Show locations of Longitudinal and Lateral Systems
(use dark lines to show these locations)



Application Number: _____

Date: 10/8/2022

New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual
Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 94276

Triple/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17.5X25.5

Perimeter pier pad size 17.5X25.5

Other pier pad sizes (required by the mfg.) _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

See factory Blocking plan

ANCHORS

4 ft / 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

OTHER TIES

Number

Sidewall

Longitudinal

Marriage wall

Shearwall

Mobile Home Permit Worksheet

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil without testing.

x 1000 x _____ x _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x _____ x _____ x 1000

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000-lb holding capacity.

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Ernest S. Johnson

Date Tested

Assumed Oliver 1101 v uses 455 Anchors

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Application Number: _____

Date: _____

Site Preparation

Debris and organic material removed _____
Water drainage: Natural _____ Swale _____ Pad _____ Other _____

Fastening multi wide units

Fl oor: Type Fastener: 695 Length: 7 Spacing: 20
W alls: Type Fastener: 695 Length: 7 Spacing: 10
R oof: Type Fastener: 695 Length: 7 Spacing: 20
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket factory

Installed: Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. _____
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No N/A
Dryer vent installed outside of skirting. Yes
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Ernest S. Johnson Date 10/11/22