

MONDAY, OK 1326

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-11) Zoning Official BLK 07 SEPT. 2011 Building Official T.C. 9-6-11
AP# 1109-02 Date Received 9/2/11 By LH Permit # 29687
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments Designating 5 acres for 2nd Dwelling still meeting density requirements
South 5 acres for 2nd Mobile Home
FEMA Map# N/A Elevation N/A Finished Floor _____ River N/A In Floodway N/A
☒ Site Plan with Setbacks Shown ☒ EH # 11-329 ☐ EH Release ☒ Well letter ☐ Existing well
☒ Recorded Deed or Affidavit from land owner ☒ Installer Authorization on file ☒ State Road Access ☒ 911 Sheet
☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ F W Comp. letter ☐ VF Form
IMPACT FEES: EMS _____ Fire _____ Corr _____ N/A Out County N/A In County
Road/Code _____ School _____ = TOTAL _____ Impact Fees Suspended March 2009 _____

Property ID # 20-65-16-03898-004 Subdivision metes and bounds

- New Mobile Home V Used Mobile Home _____ MH Size 40'x76' Year 2010
- Applicant Steven Bell Phone # 813-717-9841
- Address 13815 E US HWY 92 Dover FL 33527
- Name of Property Owner Charles + Jean Peek Phone # 407-645-1033
- ☒ 911 Address 2776 S.W. Centerville AVE Ft. White, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Charles + Jean Peek Phone # 407-645-1033
Address 171 White Oak Circle Maitland, FL 32751
- Relationship to Property Owner Same
- Current Number of Dwellings on Property (Children's) One (Property owner) (2nd Home)
- Lot Size 457'x1332' Total Acreage 13.75
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property from Lake City, Hwy 47 South to Ft. White, turn right
on Hwy 27 go 1 mile to SW Centerville Ave, turn right go 3/4 mile to
property on RHS of road (Property located at 2774 Centerville Ave (2nd Home))
- Name of Licensed Dealer/Installer Charles Rogers Phone # _____
- Installers Address 605 S. Frontage Rd. Plant City, FL 33566
 - License Number TH1025311 Installation Decal # 3178

9.14.11 : TWS spoke w/ David

Bell spoke to Brian on 9/12/11
TWS spoke w/ Charles fr: Del on 9.12.11

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____

CONTRACTOR

Charles Rogers

PHONE

813-752-5160

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL <u>ok</u>	Print Name <u>Robert Grant</u>	Signature <u>[Signature]</u>
	License #: <u>EC0002733</u>	Phone #: <u>863-665-3700</u>
MECHANICAL/ A/C <u>ok</u>	Print Name <u>Robert Grant</u>	Signature <u>[Signature]</u>
	License #: <u>CAC1814931</u>	Phone #: <u>863-665-3700</u>
<u>ok</u> PLUMBING/ GAS	Print Name <u>Charles Rogers</u>	Signature <u>Charles Rogers</u>
	License #: <u>IH1025311</u>	Phone #: <u>813-752-5160</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Forms: Subcontractor form: 1/11

Columbia County Property Appraiser

DB Last Updated: 6/22/2011

2010 Tax Year

Parcel: 20-6S-16-03898-004

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

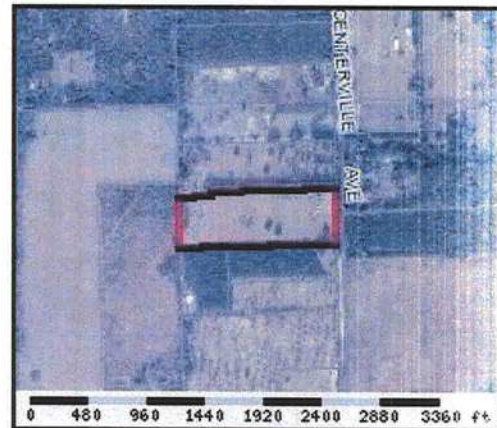
Interactive GIS Map

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	PEEK CHARLES R & JEAN I		
Mailing Address	171 WHITE OAK CIRCLE MAITLAND, FL 32751		
Site Address	2774 SW CENTERVILLE AVE		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	Neighborhood	20616
Land Area	13.750 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
COMM SE COR OF SEC, RUN N 1463.50 FT FOR POB, RUN W 1331.78 FT, N 417.94 FT, E 273 FT, N 40 FT, E 1060.92 FT, S 457.98 FT TO POB. ORB 638-188, 825-2510, CASE# 97-1105-DR 867-1043 THRU 1046, LIFE ESTATE 889-555, DC JIM EASTERS 958-377, WD 1020-1220, WD 1043-60, WD 1170-1766			



Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	\$59,135.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$45,274.00
XFOB Value	cnt: (1)	\$400.00
Total Appraised Value		\$104,809.00
Just Value		\$104,809.00
Class Value		\$0.00
Assessed Value		\$104,809.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$104,809 Other: \$104,809 Schl: \$104,809	

2011 Working Values

NOTE:
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
3/28/2009	1170/1766	WD	I	Q	03	\$96,000.00
4/6/2005	1043/60	WD	I	Q		\$95,400.00
7/6/2004	1020/1220	WD	I	Q		\$55,000.00
7/31/1996	825/2510	WD	I	U	02	\$0.00
11/27/1987	638/188	WD	V	Q		\$15,400.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
2	SFR MANUF (000200)	2010	(31)	1560	1560	\$45,274.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Alachua, FL 32010

Inst:200612005680 Date:4/9/2009 Time:11:28 AM
Doc Stamp-Deed:672.00
S. J. Dewitt, Cason Columbia County Page 1 of 1 B:1170 P:1770

Inst:200612005680 Date:4/9/2009 Time:11:28 AM
Doc Stamp-Deed:672.00
S. J. Dewitt, Cason Columbia County Page 1 of 1 B:1170 P:1770

Edward C. Reynolds and Deborah A. Reynolds, Husband and Wife

DECLASSIFIED BY 60322 GWS/STW/STW ON 06-01-2017, INFORMATION HAS BEEN FILED

whose address is: 171 White Oak Circle, Maitland, FL 32751

Witnesseth that the GRANTORS, for and in consideration of the sum of

STATE OF FLORIDA

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 20, TOWNSHIP 6 SOUTH, RANGE 16 EAST, AND RUN NORTH 00°58'02" WEST, ALONG THE EAST LINE OF SAID SECTION 20, A DISTANCE OF 1463.50 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87°49'03" WEST, 1331.78 FEET TO THE WEST LINE OF THE E 1/2 OF THE SE 1/4; THENCE NORTH 01°14'05" WEST, ALONG SAID WEST LINE OF THE E 1/2 OF THE SE 1/4, A DISTANCE OF 417.94 FEET; THENCE NORTH 87°49'03" EAST, 273.00 FEET; THENCE NORTH 01°14'05" WEST, 40.00 FEET; THENCE NORTH 87°49'03" EAST, 1060.92 FEET TO SAID EAST LINE OF SECTION 20; THENCE SOUTH 00°58'02" EAST, ALONG SAID EAST LINE OF SECTION 20, A DISTANCE OF 457.98 FEET TO THE POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

SUBJECT TO THE FOLLOWING:

- A. Zoning restrictions, prohibitions and other requirements imposed by governmental authority;
B. Restrictions and matters appearing on the plat and/or common to the subdivision;
C. Taxes for the year 2009 and subsequent years.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

In Witness Whereof, the grantors have herunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Printed Name: John W. Marshall
Witness

Printed Name: David Mathias
Witness

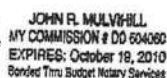
SA (Seal)
Scott C. Reynolds
 P.O. Address: 6730 NW 24 Terrace, Fort Lauderdale, FL 33308

Deborah A. Reynolds (Seal)
P.O. Address: 6730 NW 24 Terrace, Fort Lauderdale, FL 33309

STATE OF Florida
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this day of , 2009 by
Scott C. Reynolds and Deborah A. Reynolds, Husband and Wife

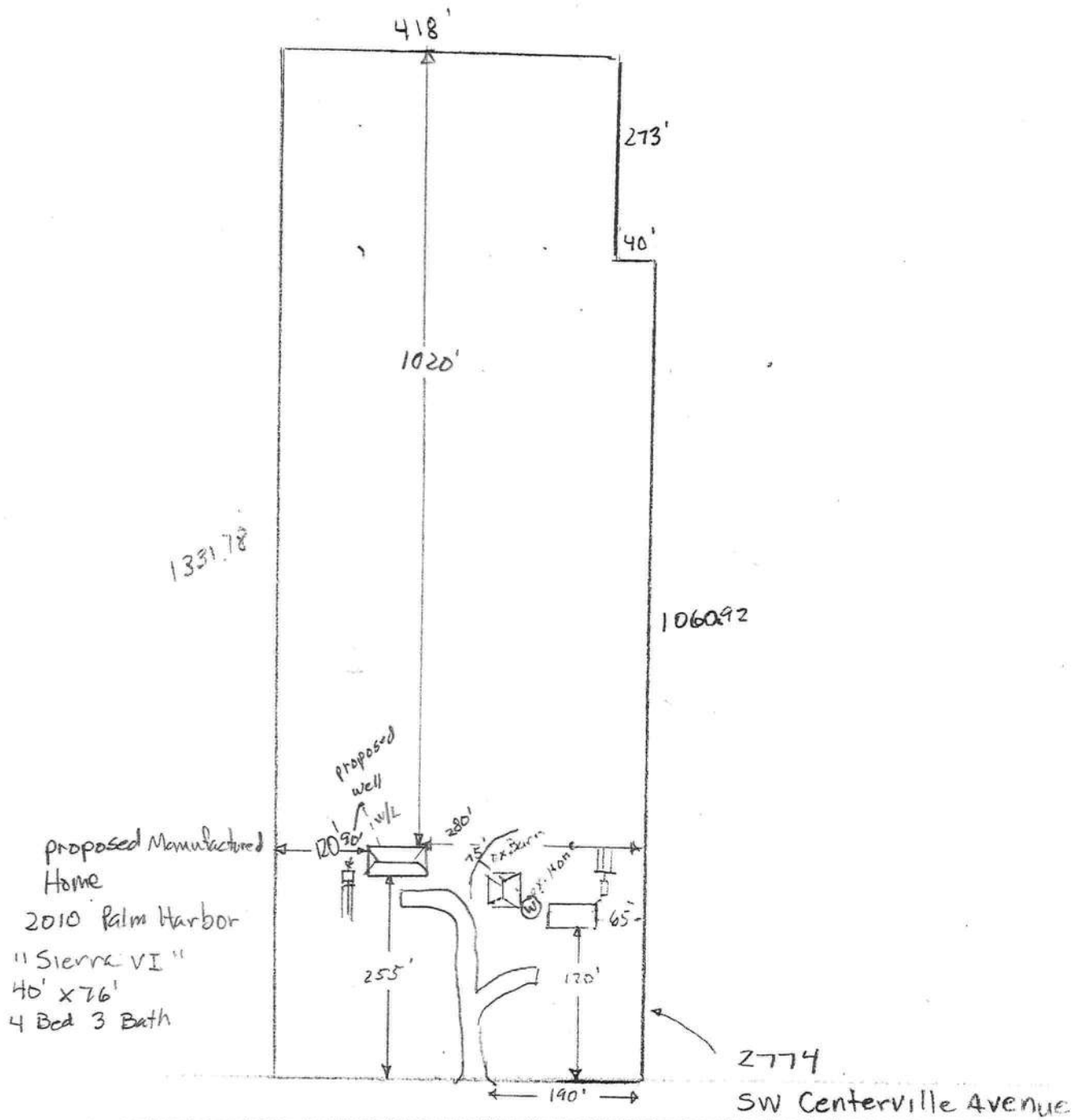
who are personally known to me or who have produced their Florida driver's license as identification



Printed Name: John R. Miller, III
Notary Public
My Commission Expires: 10/24/2010

NORTH 

Scale: 1" = 200'



COLUMBIA COUNTY PERMIT WORKSHEET

page 1 of 2

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Charles P. Rogers License # IH1025311

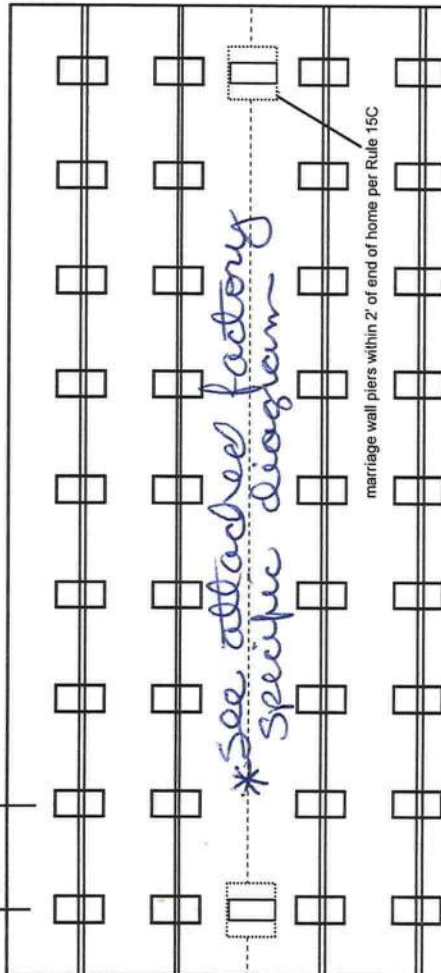
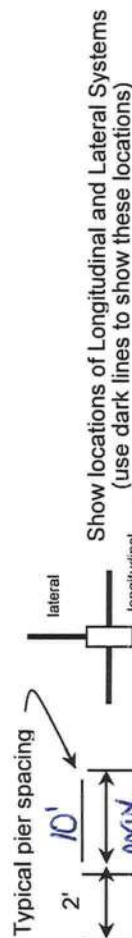
911 Address where home is being installed. SW Centerville Avenue

Manufacturer Palm Harbor Length x width 76' x 40'

NOTE: if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials CR



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☐ Installation Decal # 3178

Triple/Quad ☒ Serial # 917821

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size ABS 17.5 x 25.5

Perimeter pier pad size ABS 13 x 26

Other pier pad sizes (required by the mfg.) *per print attached

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening see attached Pier pad size 4 ft

factory specific blocking diagram

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒

TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD)
Manufacturer Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer XT lateral system

Sidewall 30
Longitudinal 30
Marriage wall 5
Shearwall

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The results of the torque probe test is 290 inch pounds or check here if you are declaring 5' anchors without testing _____. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb. holding capacity.

CR Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Charles P. Rogers

Date Tested

8/15/11

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 52-53

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 54-55

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 53-54, 78

Site Preparation

Debris and organic material removed yes
Water drainage: Natural _____ Swale _____ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: lap Length: 5" Spacing: 20"
Walls: Type Fastener: I Length: 5" Spacing: 12"
Roof: Type Fastener: I Length: 5" Spacing: 20"

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials CR

Installed:

Type gasket CR Seaboard
Pg. 36 Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 94
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No _____
Dryer vent installed outside of skirting. Yes ☒ N/A _____
Range downflow vent installed outside of skirting. Yes ☒ N/A _____
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Charles P. Rogers Date 8/15/11

Palm Harbor Construction

605 S Frontage Road
 Plant City, FL 33566
 Phone: 813-752-1368
 Fax: 813-659-1224
 CBC1253434
 IH1025311

TIE DOWN & ANCHORING INFORMATION SHEET

COMPONENT	MANUFACTURER	MODEL or ITEM#	SIZE
Mobile Home or K.V.	Palm Harbor Homes	X4766L	40' x 76'
			width length
Galvanized Ground Anchor	Oliver Tech	OT 486B	5/8 x 4' x 6"
			shaft length disk
ABS Stabilizer Plate	Oliver Tech	1055-19	9.95 x 24 x .742
			width edge depth
Steel Strap	Oliver Tech	OT	.035 x 1 1/4
			metal gauge strap wid
Swivel Strap Connector	Oliver Tech	OT 2001	Galvanized
			size N/A gauge N/A
Lateral Longitudinal Stabilizer	Tie Down	X1 Block System	size N/A gauge N/A
Concrete Slab Anchor	N/A	N/A	bolt dia. bolt length

ANCHORAGE SPACING:

ANCHORS & STRAPS	FRAME TIES	WALL or OVER TOP	MATING LINE
Spacing from Ends	max N/A from end	max 2' from end	max 12" from end
Spacing on Center	At Lateral Stabilizer	max 5'4" on center	max N/A spacing

FOUNDATION SPECIFICATIONS:

PIER LOCATIONS	SPACING	Maximum HEIGHT	BASE SIZE
At End of Main Frame	max 2'-0 from end	36"	17 x 25
Under Main Frame	max 10' - 0 on center	36"	17 x 25
Under Wall Openings	4' - 0 and larger	48"	26 x 26
Under Marriage Walls	max 3' - 0 spacing	48"	13 x 26
	N/A		
Under Shearwalls	number provided	N/A	N/A
Perimeter Blocking	max 6' - 0 on center	48"	13 x 26

Installation Instructions for ABS Pads

For use on all Mobile and Manufactured Homes, including
HUD approved Homes and Modular Housing

patent#5503500 and other patents pending

GENERAL INSTRUCTIONS:

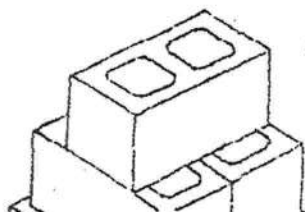
1. All pads are to be installed flat side down, ribbed side up.
2. The ground under the pads should be leveled as smooth as possible with all vegetation removed. Pads to be placed on natural grade unless otherwise permitted by the local building authority.
3. Pier & pad spacing will be determined by the manufactured homes' written set-up instructions or any local or state codes.
4. The open cells between the ribbing on the upper side of the pads may be filled with soil or sand after installation to prevent any accumulation of stagnant water in the pads.
5. A pocket penetrometer may be used to determine the actual soil bearing value. If soil-testing equipment is not available, use an assumed soil value of 1000 lbs. / square foot.
6. All pad sizes shown are nominal dimensions and may vary up to 1/8".
7. The maximum deflection in a single pad is 5/8" measured from the highest point to the lowest point of the top face. (NOTE: Actual test results were less than 5/8")
8. In frost areas, a 6" deep confined gravel base installed in well drained, non-frost susceptible soil is recommended.
9. Pad loads are the same when using single stack or double stack blocks.
10. The maximum load at any intermediate soil value may be determined as the average of the next lower and next higher soil value given in the table below.
11. Any configuration (see reverse side) may be used to replace a home manufacturer's recommended concrete or wood base pad.
12. If the home manufacturer shows soil densities greater than 3000 lb. when using ABS pads, do not exceed 3000 lb. soil pier spacings per set up manual.

Pad Size	Pad Area	1000 lb. Soil	2000 lb. Soil	3000 lb. Soil
16" x 16"	256 sq. in.	1780 lbs.	3560 lbs.	5333 lbs.
16" x 18"	288 sq. in.	2000 lbs.	4000 lbs.	6000 lbs.
13" x 26"	338 sq. in.	2375 lbs.	4750 lbs.	6400 lbs.
18.5" x 18.5"	342 sq. in.	2375 lbs.	4750 lbs.	7100 lbs.
OVAL 17" x 22"	360 sq. in.	2500 lbs.	5000 lbs.	7500 lbs.
OVAL 17.5" x 22.5"	384 sq. in.	2667 lbs.	5334 lbs.	8000 lbs. *
20" x 20"	400 sq. in.	2750 lbs.	5500 lbs.	8250 lbs. *
OVAL 17.5" x 25.5"	432 sq. in.	3000 lbs.	6000 lbs.	9000 lbs. *
24" x 24"	576 sq. in.	4000 lbs.	8000 lbs. *	8000 lbs. *
26" x 26"	676 sq. in.	4800 lbs.	9600 lbs. *	9600 lbs. *
34" x 22"	748 sq. in.	5000 lbs.	10000 lbs. *	10000 lbs. *
35" x 25.5"	850 sq. in.	6000 lbs.	12000 lbs. *	12000 lbs. *

* Concrete blocks are only rated at 8000 pounds, 8000 pounds and higher must be double blocked.

13. ALABAMA ONLY: The 16" x 16" ID# 1055-10, 18.5" x 18.5" ID# 1055-9, 20" x 20" ID# 1055-7, 17" x 22" ID# 1055-16, 17.5" x 25.5" ID# 1055-17 are the only pads approved in the state of Alabama, and must not have more than 3/8" deflection. See chart below for details on correct installation in Alabama.

Note 1: For Alabama only: When setting in soil capacities over 1000 lbs psf, the block (CMU) configuration shown in this drawing is required on the 20" x 20" (ID # 1055-7) and the 18.5" x 18.5" (# 1055-9) pads.



Example: 16' x 30' section

PAD SIZE	PIER SPACING
16" x 16" Pad	5' 6"
18.5" x 18.5" Pad	7' 0"
17" x 22" Pad	7' 6"
17.5" x 25.5" Pad	8' 0"
20" x 20" Pad	8' 0"

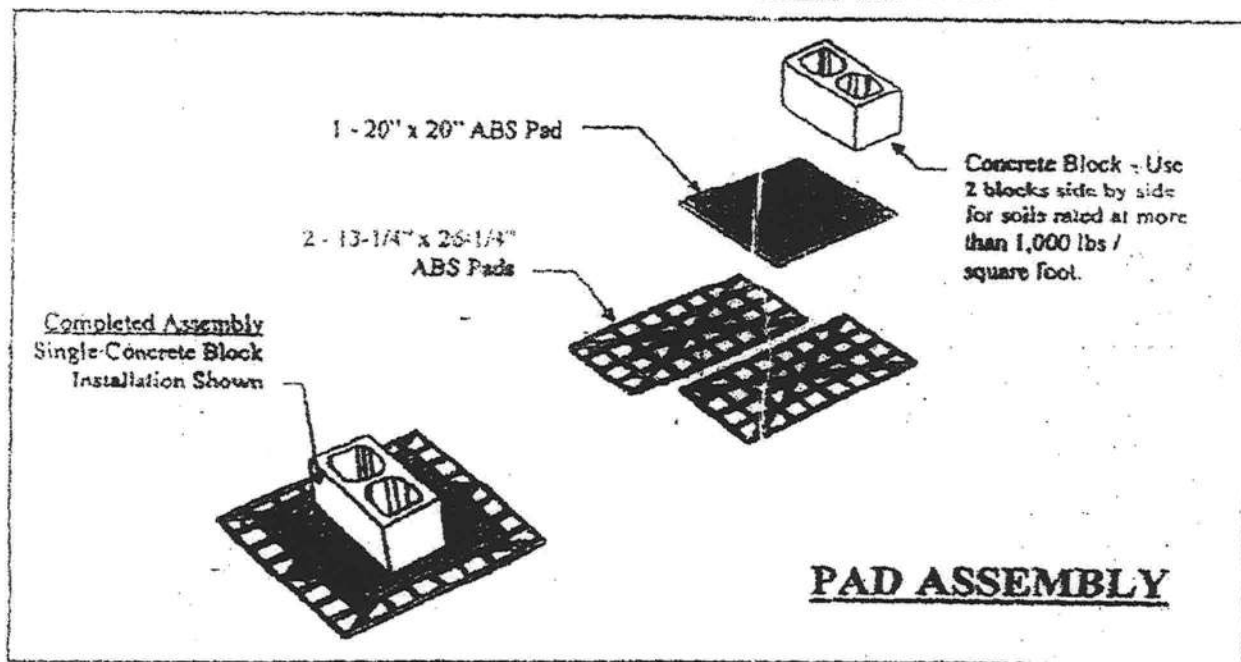
Instructions for multi - pad configurations

ABS PAD TYPES:

1. 13.25" X 26.25" Pad	2.39 square feet	ID# 4148-4
2. 20" x 20" Pad	2.77 square feet	ID# 1055-7
3. 26" x 26" Pad Configuration	4.79 square feet	
4. 17" x 22" Pad	2.50 square feet	ID# 1055-16
5. 34" x 22" Pad Configuration	5.00 square feet	
6. 17.5" x 25.5" Pad	3.00 square feet	ID# 1055-17
7. 35" x 25.5" Pad Configuration	6.00 square feet	

MAXIMUM PIER LOAD IN POUNDS:

	8" Cell Block	Soil Bearing Value	Maximum Load
26" x 26" Pad Configuration	Single Stack	1000 lbs. / sq. foot	4800 lbs.
	Double Stack	2000 lbs. / sq. foot	9600 lbs.
34" x 22" Pad Configuration	Single Stack	1000 lbs. / sq. foot	5000 lbs.
	Double Stack	2000 lbs. / sq. foot	10000 lbs.
35" X 25.5" Pad Configuration	Single Stack	1000 lbs. / sq. foot	6000 lbs.
	Double Stack	2000 lbs. / sq. foot	12000 lbs.



- General instructions (on reverse) apply to all multi - pad configurations.
- The 26" x 26" pad configuration is formed by placing (2) 13" x 26" pads side by side (see drawing) and (1) 20" x 20" pad on top.
- The 34" x 22" pad configuration is formed by using (3) 17" x 22" ABS Pads. Place (2) 17" x 22" pads side by side, and (1) 17" x 22" pad on top. The top pad is laid in the opposite direction as the bottom pads.
- The 35" x 25.5" pad configuration is formed by using (3) 17.5" x 25.5" ABS Pads. Place (2) 17.5" x 25.5" pads side by side, and (1) 17.5" x 25.5" pad on top. The top pad is laid in the opposite direction as the bottom pads.
- ALABAMA ONLY:** Multi-pad configurations are only allowable in 1,000 psf soil & no more than 3/8" deflection. The 26" x 26" pad configuration is the only multi pad configuration tested and approved for use in Alabama as of 5/2000.



Lateral Block Pier System

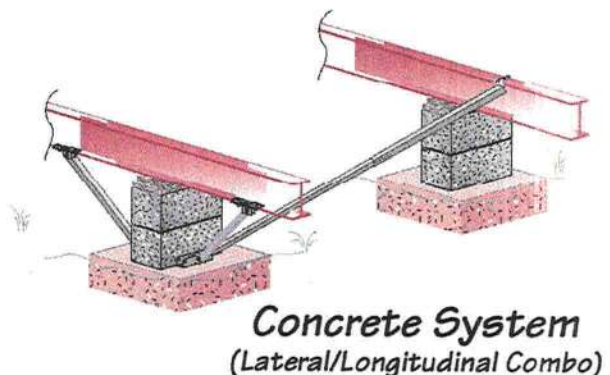
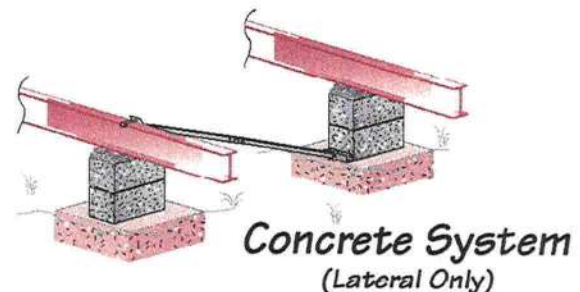
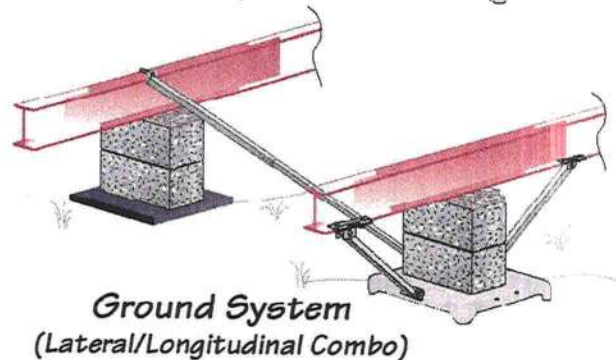
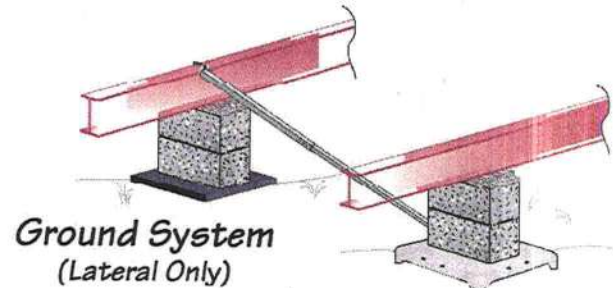
Installation Instructions for Florida Only

By Tie Down Engineering
Updated: August 26, 2008

- **Easy Installation**
- **Approved for ground or poured concrete sets ups**
- **LSD struts easily added for longitudinal protection**
- **Frame ties and plates only at system locations**

REQUIREMENTS

- Installation can be made in any type of soil, 4B or better
- Florida requires 5' 4" anchor spacing for vertical ties
- 4' ground anchors are used with the Xi-system in 4A and 4B soils, except at shear wall or marriage wall locations where loads exceed 3150 pounds. Florida requires that 5' anchors be used at these locations.
- Center line or shear wall anchors, that may be required by specific manufacturers, are to be sized according to soil torque conditions. Follow all manufacturers instructions for anchor type and placement in addition to Florida regulations.
- Poured concrete must be 2,500 PSI minimum at 28 days.
- Square concrete pads minimum is 18" wide by 12" deep. Round concrete pads minimum is 18" wide by 14" deep. Strip footings minimum is 18" wide by 14' long by 6" deep or 27" wide by 14' long by 4" deep.
- Maximum height is a 96" projection. Higher walls may be used, when the design loads are adjusted accordingly.
- Maximum roof eave is 16"
- Main rail spacing must be 99.5" or less
- Maximum pier height of the Xi-system is 48"
- Instructions are not for use on "Exposure D" homes within 1500 feet of the coastline
- Installation instructions are based on 4200# per pad longitudinal load and 6000# per pad lateral load with one diagonal tie/stabilizer.
- Additional vertical anchor ties that are unique to a home's design may be required by the home manufacturer. These locations include shear walls, marriage line ridge beam support posts, and rim plates.



Installation of Lateral System

1. Identify the number of systems to be used on the home using the chart provided.
2. Identify the location where the lateral systems will be installed.
3. Clear all organic matter and debris from the pad site.
4. Place pad centered under beam with the lateral strut bracket towards the inside of the home.
5. Press or drive pan into ground until level and flush with prepared surface.
6. Build pier according to State, Local or Home Manufacturers guidelines. (Figure 1)
7. Attach the end of the smaller tube to the inside of pan using U-bolt & nuts provided
8. Attach the flag end of the larger tube to the opposite I-beam using the "J" bolt over the top of the I-beam with the nut & washer provided. (Figure 2)
9. Install a minimum of four (#12 x 1" tek screws) self-tapping screws into the holes provided in the lateral strut so that the two tubes are connected together. (Figure 1)

Figure 1

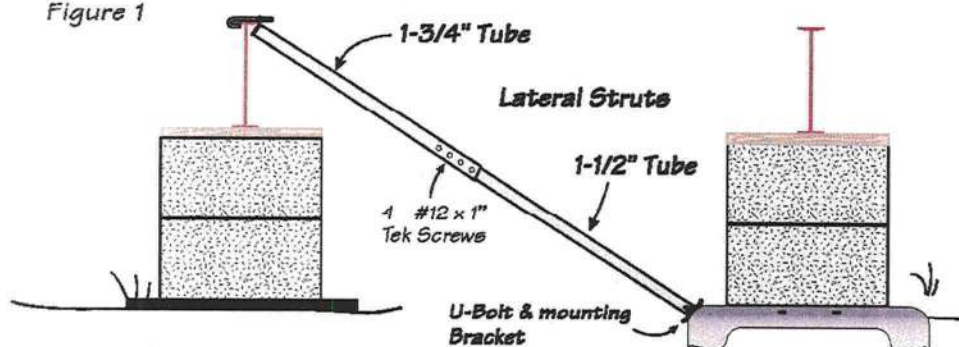
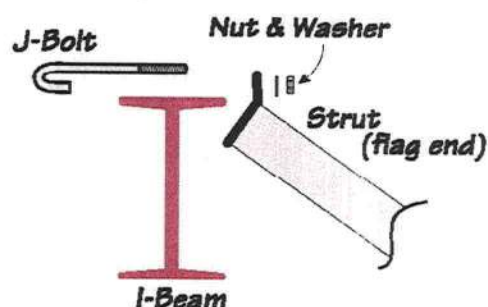
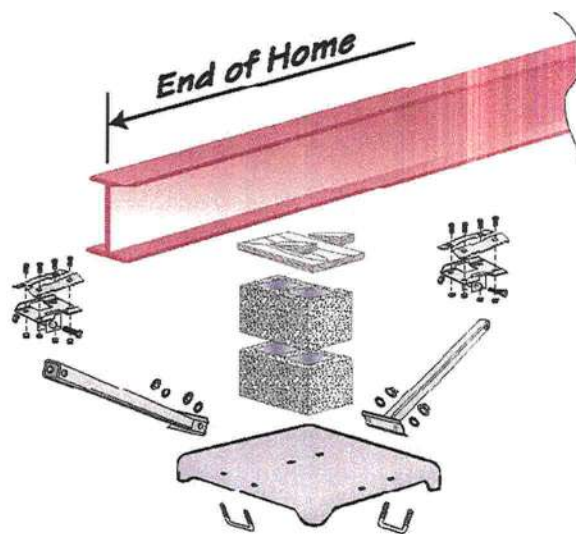


Figure 2



Installation of Longitudinal Struts

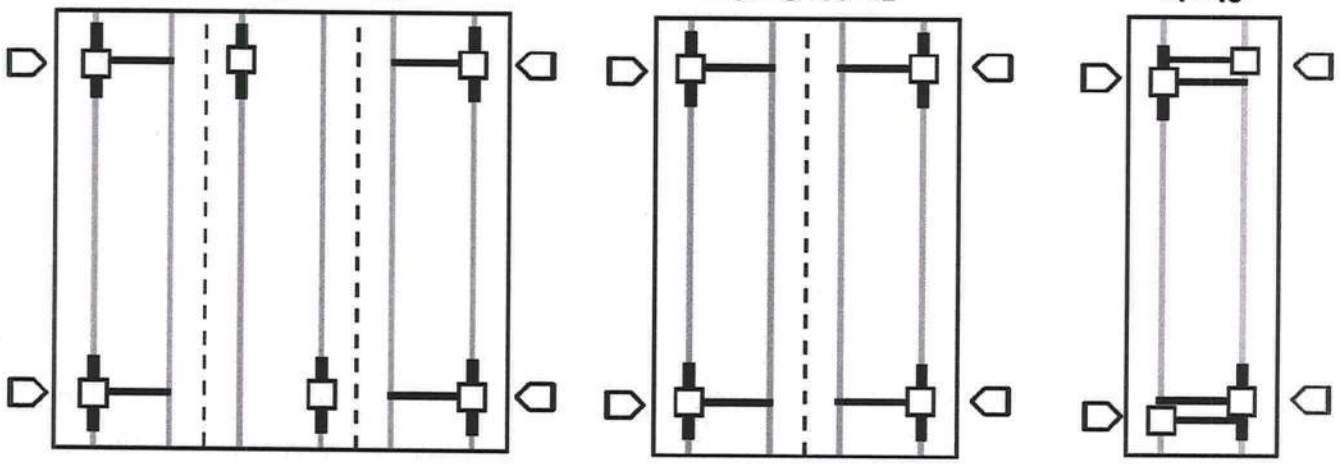
1. Identify the number of systems to be used on the home using the chart provided.
2. Clear all organic matter and debris from the pad site.
3. Place u-bolts through holes provided. Attach lock washers on u-bolt, on the top side of pan
4. Press or drive pan into ground until level and flush with prepared surface.
5. Build pier according to State, local or Home Manufacturers guidelines.
6. Install frame bracket clamps to I-beam. Do not tighten nuts at this time.
7. Insert u-bolt through mount bracket, on longitudinal strut attach with nut and bolt. Do not tighten at this time.
8. Insert strut in the frame bracket clamp, attach with nut and bolt. Do not tighten at this time.
9. Pull the frame bracket clamps with the fastened strut outward to remove any slack.
10. Tighten all nuts and bolts on the struts and beam clamps.



Longitudinal and Lateral Stabilization for Florida

-  Xi Lateral "Only" System
-  "Only" System
-  LSD Longitudinal "Only" System
-  LSD Longitudinal With Lateral Strut Combo
-  Stabilizer Plate & Diagonal Frame Tie (Stabilizer plate used with ground sets only)

Homes Up To 52'

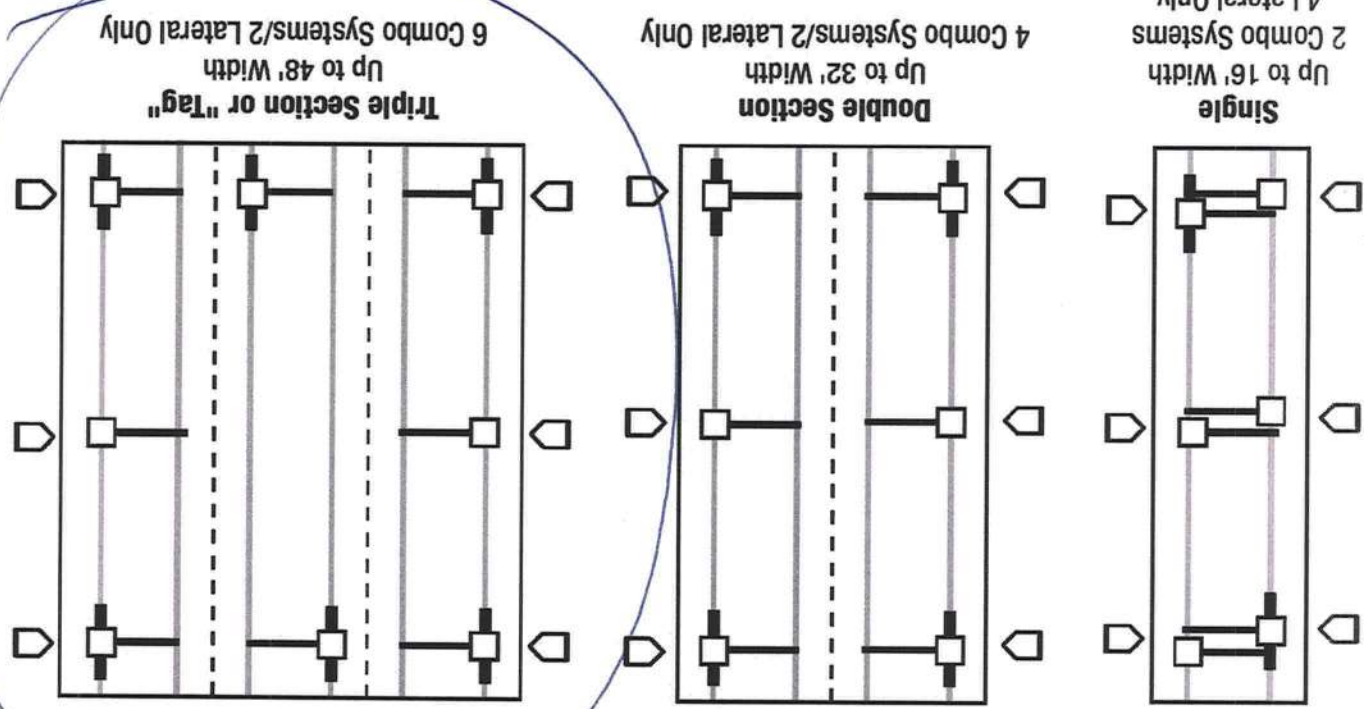


Single
Up to 16' Width
2 Combo Systems
2 Lateral only

Double Section
Up to 32' Width
4 Combo Systems

Triple Section or "Tag"
Up to 48' Width
6 Combo Systems
2 Additional Longitudinal Xi Piers

Homes Over 52', up to 80'



Single
Up to 16' Width
2 Combo Systems
4 Lateral Only

Double Section
Up to 32' Width
4 Combo Systems/2 Lateral Only

Triple Section or "Tag"
Up to 48' Width
6 Combo Systems/2 Lateral Only

Notes: 1. Stabilizer plates only used with Xi "Ground" Systems
2. 5/12 roof pitch home requires 2 additional systems
3. 6 lateral systems up to 52', 8 lateral systems up to 80'

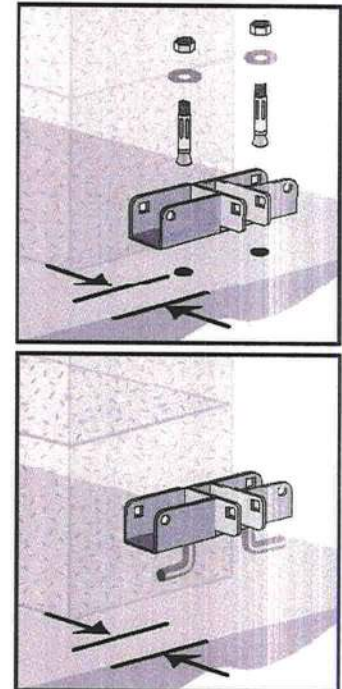
TIE DOWN ENGINEERING • 255 Villanova Drive SW • Atlanta, GA 30336
www.tiedown.com (404) 344-0000 Fax (404) 349-0401



082608, A2333

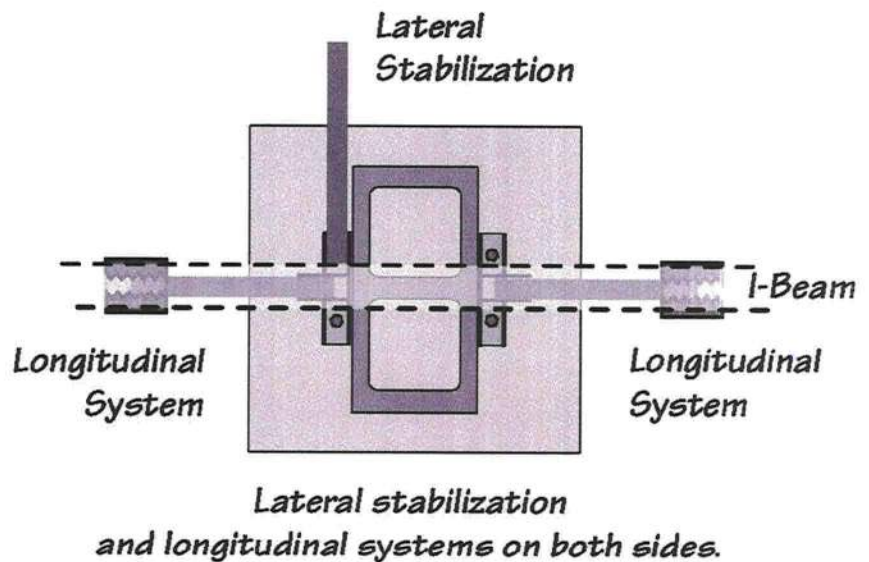
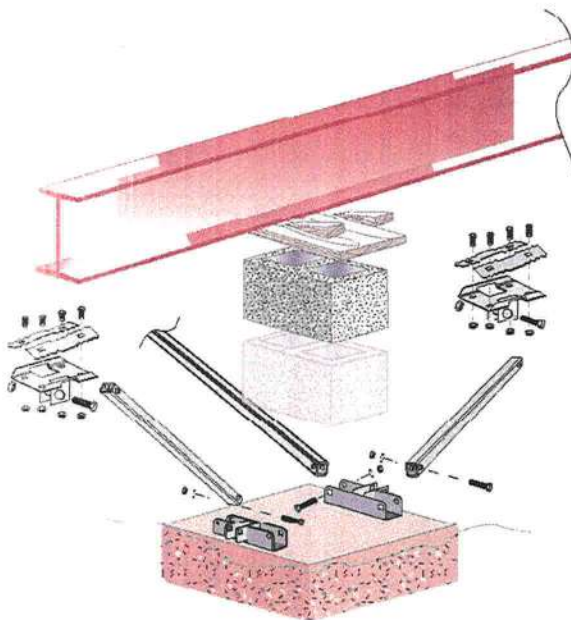
Installation of Concrete Bracket: Dry Set/Wet Set

1. Identify the number of systems to be used on the home using the chart provided.
2. Identify the location where the lateral systems will be installed.
3. Build pier according to State, Local or Home Manufacturers guidelines.
- 4a. For dry set: drill two $3/8"$ x $3"$ deep holes in the concrete using holes in galvanized bracket as a guide. Attach bracket to concrete pad using $3/8"$ x $3-1/2"$ wedge anchors provided. Place nut & washer on anchor, leave enough room for 1 to 2 threads showing on top of bolt. Using a hammer, tap the wedge bolts into hole through bracket, leaving nut & washer flush with bracket. Using a $9/16"$ socket wrench, tighten wedge/anchor bolt, securing bracket to the concrete.
- 4b. For wet set: align bracket and submerge legs completely in concrete. Bottom of bracket should rest on surface.
5. Attach the end of the smaller tube to the bracket mounted on the pad, using the grade 5, $1/2"$ x $2-1/2"$ bolt/nut provided.
6. Attach the flag end of the larger tube to the opposite I-beam using the "J" bolt over the top of the I-beam with the nut & washer provided.
(Figure 1 on page 2)
7. Install a minimum of four (#12 x 1" Tek screws) self-tapping screws into the holes provided in the lateral strut so that the two tubes are connected together
(Figure 2 on page 2).



Minimum distance
from edge: 1-1/2"

Concrete Lateral/Longitudinal Installations



Jan 05 06 03:59p

Gar: ROBERT McMILLAN
(386) 454-PUMP (7867)
(386) 462-PUMP (7867)



NORTH FLORIDA
WATER SYSTEMS, INC.
PUMP SALES AND SERVICE
4" WELLS

11814 N.W. 202nd St., Alachua, Florida 32615

Private Well Affidavit

Customer: _____

Address: _____
_____Size of Pump Motor: 1hpSize of Pressure Tank: 60 gallonCycle Stop Value: ☒ Yes ☐ Or ☐ NoOther: _____

Permit # 1109-02

X Robert C. McMillan
Installer's Signature



NORTH FLORIDA
WATER SYSTEMS, INC.
31814 N.W. 202nd ST.
ALACHUA, FLORIDA 32615

NORTH Florida Water Systems Inc. will install per Florida
Building Code
4" well

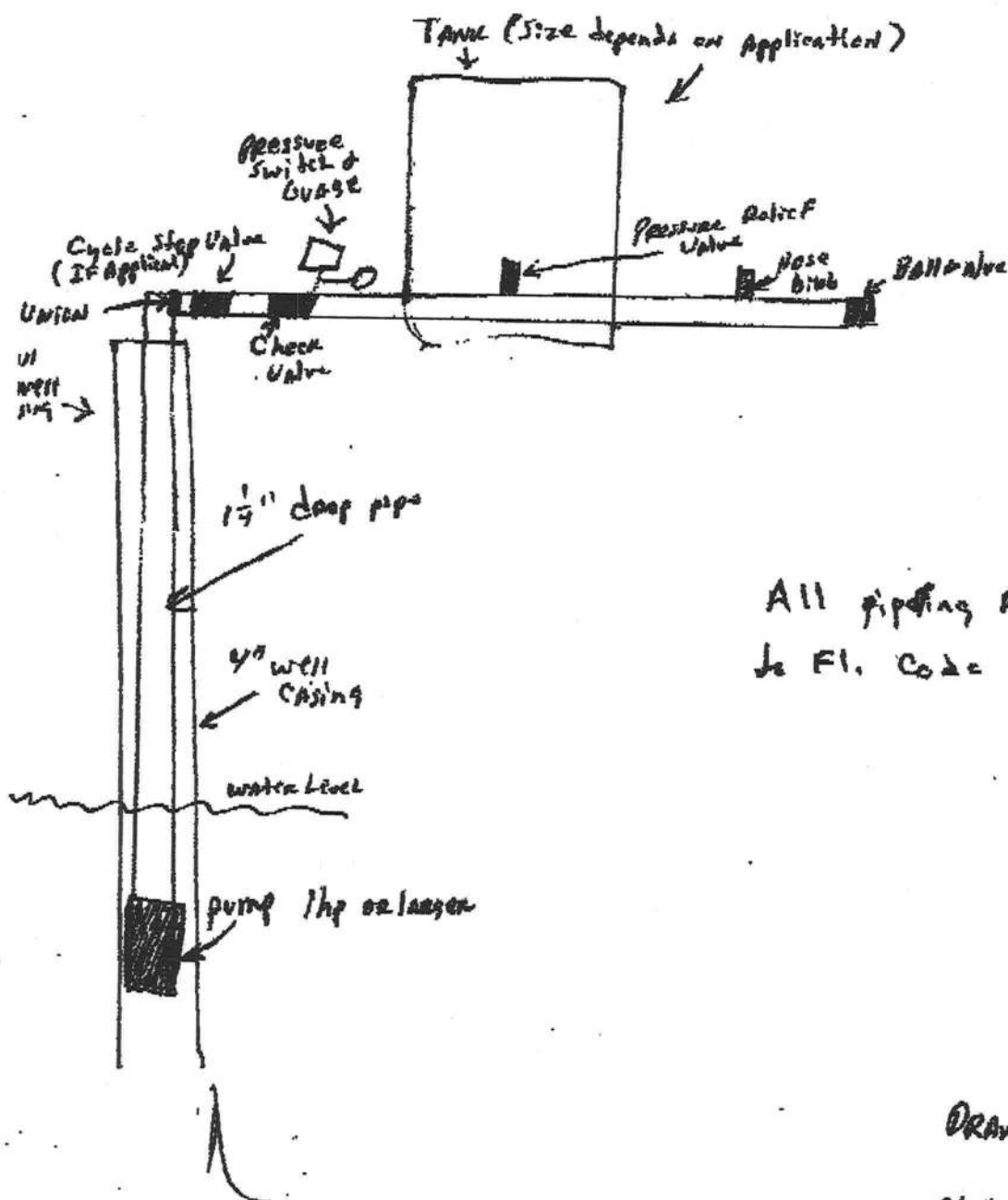
1 hp pump or larger, tank, 1 1/2" sch 40 pre cast pipe and
all fittings

Robert C. Minahan

PH # 386-462-7802

FAX # 386-418-0738

Columbia County well diagram



Drawn by Robert
Mumillan
PL # 386 462-7867



NORTH FLORIDA
WATER SYSTEMS, INC.
11814 N.W. 202nd ST.
ALACHUA, FLORIDA 32615

✓ NORTH Florida Water Systems Inc. will install per Florida
Building Code

4" well

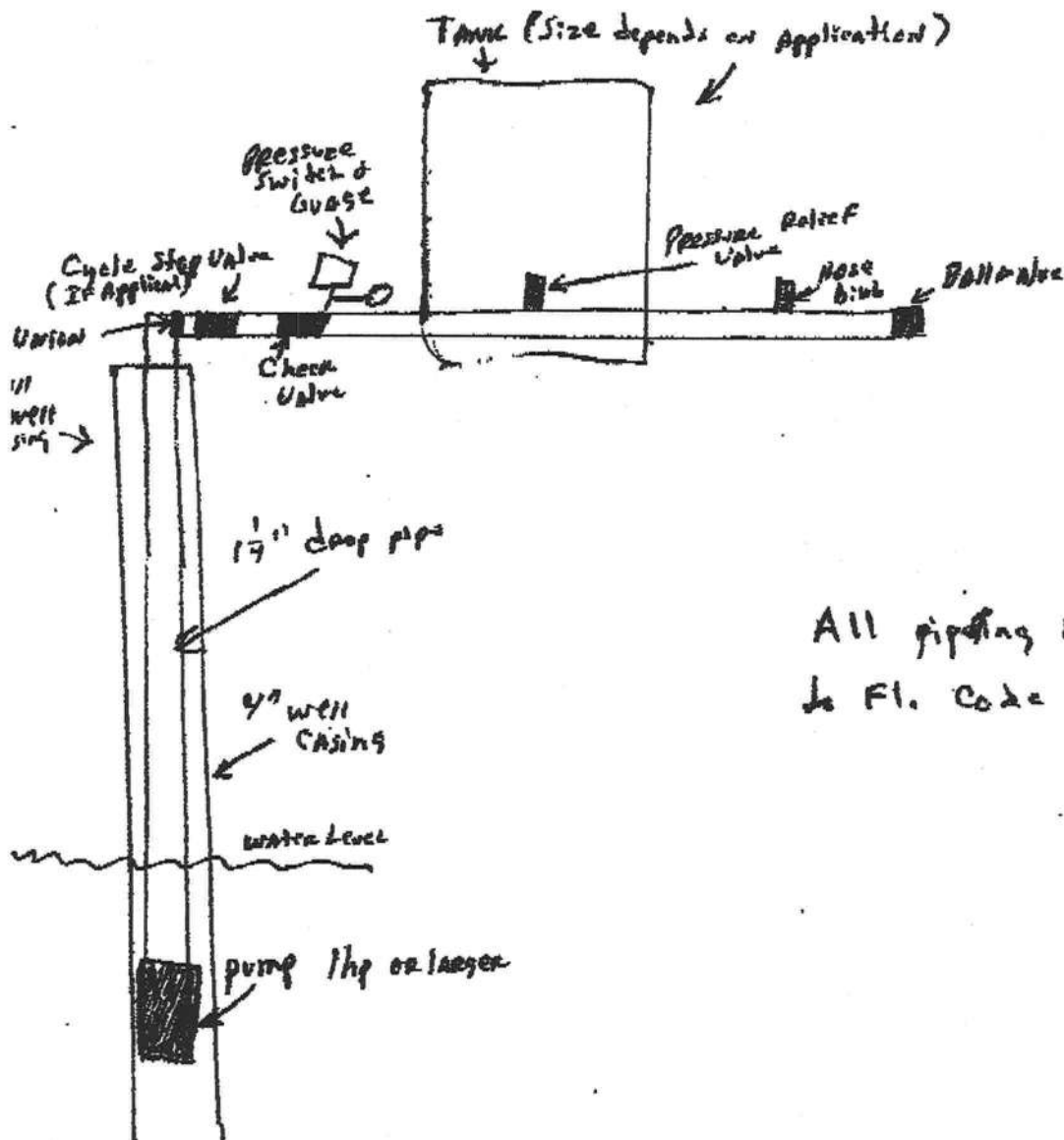
1 hp pump or larger, tank, 1 1/2" sch 40 pre deep pipe and
all fittings

Robert C. Miller

PH # 386-462-7802

FAX # 386-418-0738

Columbia County well diagram



All piping and wiring
to Fl. Code

Drawn by Robert
Munich
PL # 386 462-7867

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 9/2/2011 DATE ISSUED: 9/13/2011

ENHANCED 9-1-1 ADDRESS:

2776 SW CENTERVILLE AVE
FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

20-6S-16-03898-004

Remarks:

ADDRESS FOR PROPOSED NEW STRUCTURE ON PARCEL. 2ND
LOCATION ON PARCEL

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

2073



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 1041234
DATE PAID: 9/16/11
FEE PAID: 5580
RECEIPT #: 1722258

APPLICATION FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary [] MODIFICATION

APPLICANT: CHARLES PEEK #407-645-1033AGENT: ALL FLORIDA PERMITTINGTELEPHONE: 813.717.9841MAILING ADDRESS: 13815 E US HWY 92DOVER, FL 33527FAX: 813.717.9842

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: N/A PLATTED: 2010PROPERTY ID #: 20-85-16-03898-004 ZONING: A-1 I/M OR EQUIVALENT: [Y] ☒ [N]PROPERTY SIZE: 13.75 ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [] <=2000GPD [] >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? [Y] ☒ [N] DISTANCE TO SEWER: N/A FTPROPERTY ADDRESS: 2774 CENTERVILLE AVE SW FT WHITE, FL 32038

DIRECTIONS TO PROPERTY:

FROM LAKE CITY, HWY 47 SOUTH TO FT. WHITE, TURN RIGHT ON HWY 27 GO 1 MILE TO SW CENTERVILLE AVE,
TURN RIGHT GO 3/4 MILE TO PROPERTY ON EHS OF RD

BUILDING INFORMATION

[X] RESIDENTIAL

[] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	MH*	4	2912 (AC AREA)	3040 (INCLUDES PORCH AREA)
2	*THIS IS A 2ND HOME ON PROPERTY			
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: St. A. BellDATE: Aug 31, 2011

STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 11-379

----- PART II - SITE PLAN -----

Scale: Each block represents 5 feet and 1 inch = 50 feet.

Notes: _____

_____Site Plan submitted by: See Attached

Signature _____

Title _____

Plan Approved P

Not Approved _____

Date _____

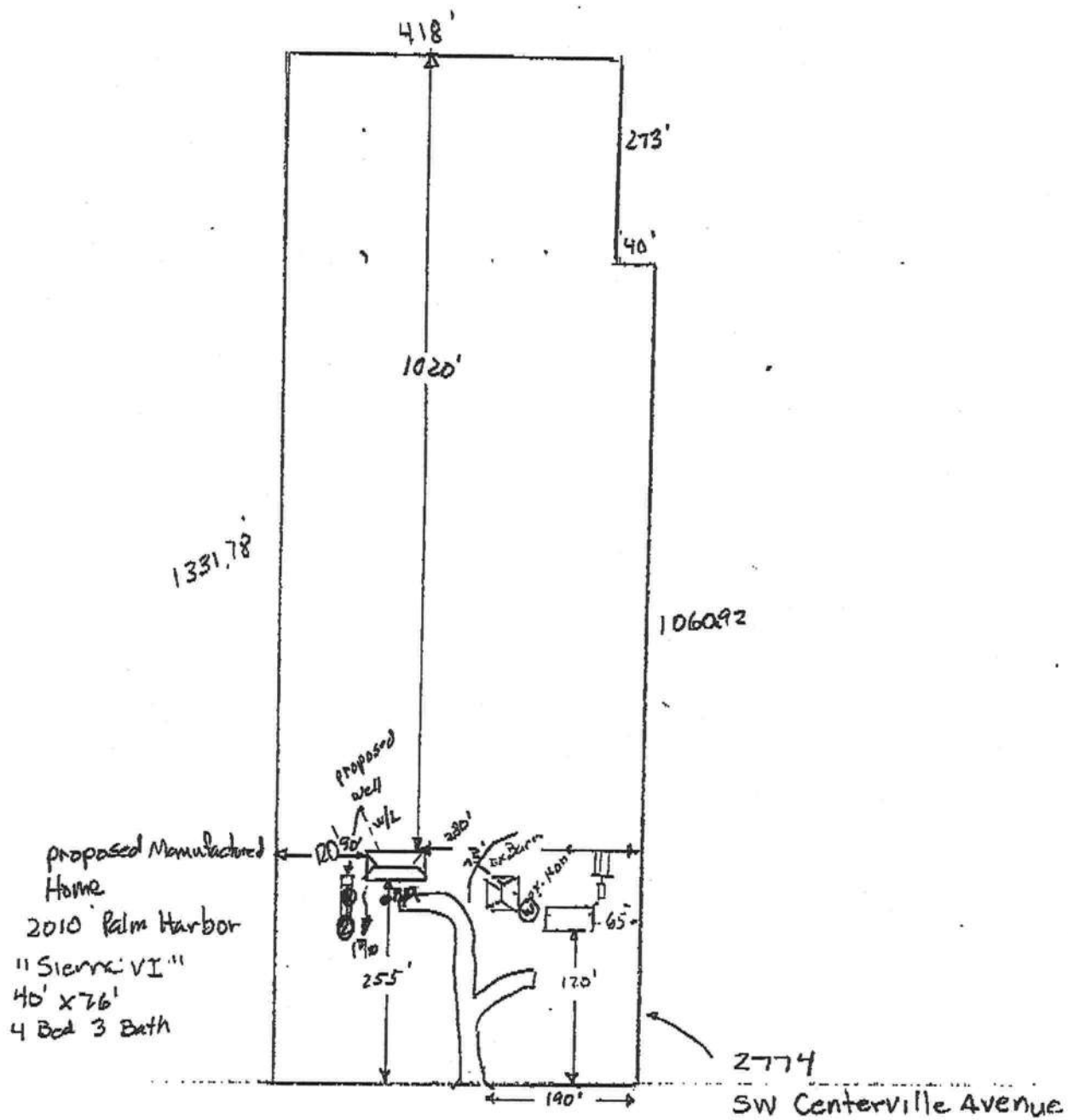
By [Signature]

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

NORTH

Scale: 1" = 200'



St. M. Bell
Sept. 2, 2011

COLUMBIA COUNTY
OFFICE OF
PERMITTING

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 20-6S-16-03898-004

Building permit No. 000029687

Permit Holder CHARLES ROGERS

Owner of Building CHARLES & JEAN PEEK..M/H

Location: 2776 SW CENTERVILLE AVE, FORT WHITE, FL 32038

Date: 11/08/2011



Handwritten signature

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

DATE 09/16/2011

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029687

APPLICANT STEVEN BELL PHONE 813.717.9841
ADDRESS 13815 E. US HWY 92 DOVER FL 33527
OWNER CHARLES & JEAN PEEK..M/H PHONE 407.645.1033
ADDRESS 2776 SW CENTEEVILLE AVENUE FT. WHITE FL 32038
CONTRACTOR CHARLES ROGERS PHONE
LOCATION OF PROPERTY 47-S TO US 27,TR TO CENTERVILLE,TR TO 3/4 OF A MILE TO
PROPERTY ON L.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 20-6S-16-03898-004 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 13.75

IH1025311
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 11-329 BLK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: DESIGNATING 5 ACRES FOR 2ND DWELLING STILL MEETING DENSITY
REQUIREMENTS. SOUTH 5 ACRES FOR 2ND. M/H. 1 FOOT ABOVE ROAD.

Check # or Cash 1326

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 6.42 WASTE FEE \$ 16.75
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 398.17
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS
PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED
FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR
IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY
BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED
WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR
ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN
APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID
WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.