

## Notice of Treatment

Applicator: Florida Pest Control · (www.flapest.com)

Address: 536 Baya Dr

City Lake City Phone 386 752 1703

Site Location: Subdivision \_\_\_\_\_

Lot # \_\_\_\_\_ Block# \_\_\_\_\_ Permit # 30872

Address 444 SE Peacock Tr

### Product used

### Active Ingredient

### % Concentration

☐ Premise

Imidacloprid

0.1%

☒ Termidor

Fipronil

0.12%

☐ \_\_\_\_\_

Type treatment:

☒ Soil

Area Treated

Square feet

Linear feet

Gallons Applied

Add

192

40

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_

4-10-13  
Date

8:00  
Time

Final  
Print Technician's Name

Remarks: \_\_\_\_\_

Applicator - White

Permit File - Canary

Permit Holder - Pink



DATE 03/26/2013

**Columbia County Building Permit****PERMIT****This Permit Must Be Prominently Posted on Premises During Construction****000030872**

APPLICANT BRANDI ROBERTS PHONE 386.754.5555  
ADDRESS 248 SE NASSAU STREET LAKE CITY FL 32025  
OWNER J.D. & KRISTI SMITH PHONE 386.755.5378  
ADDRESS 444 SE PEACOCK TERRACE LAKE CITY FL 32025  
CONTRACTOR MATTHEW A. ERKINGER, SR. PHONE 386.754.5555  
LOCATION OF PROPERTY 90-E TO OLD COUNTRY CLUB,TR TO C-252,TL TO PEACOCK,TR  
AND IT'S THE 3RD HOME ON R.  
TYPE DEVELOPMENT ADDITION/SFD ESTIMATED COST OF CONSTRUCTION 31000.00  
HEATED FLOOR AREA 192.00 TOTAL AREA 192.00 HEIGHT 17.00 STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 5'12 FLOOR CONC  
LAND USE & ZONING A-3 MAX. HEIGHT \_\_\_\_\_  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 23-4S-17-08715-003 SUBDIVISION \_\_\_\_\_  
LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 1.94

RR0067135  
Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor \_\_\_\_\_  
EXISTING 13-0133-E BLK TC N  
Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_  
COMMENTS: NOC ON FILE.

Check # or Cash 17633**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ date/app. by \_\_\_\_\_ Foundation \_\_\_\_\_ date/app. by \_\_\_\_\_ Monolithic \_\_\_\_\_ date/app. by \_\_\_\_\_  
Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_ date/app. by \_\_\_\_\_  
Framing \_\_\_\_\_ Insulation \_\_\_\_\_ date/app. by \_\_\_\_\_  
Rough-in plumbing above slab and below wood floor \_\_\_\_\_ Electrical rough-in \_\_\_\_\_ date/app. by \_\_\_\_\_  
Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ Pool \_\_\_\_\_ date/app. by \_\_\_\_\_  
Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_ date/app. by \_\_\_\_\_  
Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_ M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ date/app. by \_\_\_\_\_  
Reconnection \_\_\_\_\_ RV \_\_\_\_\_ Re-roof \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 155.00 CERTIFICATION FEE \$ 0.96 SURCHARGE FEE \$ 0.96  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_  
FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 231.92  
INSPECTORS OFFICE \_\_\_\_\_ CLERKS OFFICE \_\_\_\_\_

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



**CERTIFICATE OF COMPLETION**

# COMPLETION

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 23-4S-17-08715-003

Building permit No. 000030872

Permit Holder MATTHEW A. ERKINGER, SR.

Type ADDITION/SFD

Owner of Building J.D. & KRISTI SMITH

Location: 444 SE PEACOCK TERR, LAKE CITY, FL 32025

Date: 07/10/2013

Building Inspector



**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*



## Columbia County Building Permit Application

CVA  
17633

For Office Use Only	Application # <u>1303-31</u>	Date Received <u>3/12</u>	By <u>JK</u>	Permit # <u>30872</u>
Zoning Official <u>BLK</u>	Date <u>15 March 2013</u>	Flood Zone <u>X</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>J.C.</u>
Date <u>3-14-13</u>				
Comments				
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel #				
<input type="checkbox"/> Dev Permit # <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter				
IMPACT FEES: EMS _____ Fire _____ Corr _____ <input checked="" type="checkbox"/> Sub VF Form				
Road/Code _____ School _____ = TOTAL (Suspended) <input checked="" type="checkbox"/> App Fee Paid				

Septic Permit No. 13-0133-EFax 386-719-9899Name Authorized Person Signing Permit MATTHEW A. ERKINGER Phone 386-754-5555Address 248 SE NASSAU ST Lake City, FL 32025Owners Name J.D. & KRISTI SMITH Phone 386-755-5378911 Address 444 SE PEACOCK TERRACE, Lake City, FL 32025Contractors Name ERKINGER, MATTHEW Phone 386-754-5555Address 248 SE NASSAU ST Lake City, FL 32025Fee Simple Owner Name & Address XBonding Co. Name & Address XArchitect/Engineer Name & Address MARK DISOSWAN, 163 SW Midtown PL#103

Mortgage Lenders Name &amp; Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress EnergyProperty ID Number 23-45-17-08715-003 Estimated Cost of Construction \$31,000Subdivision Name N/A Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_Driving Directions DRIVE EAST on HWY 90 for 1.5m. Turn Right on old Country Club Rd. Drive 3.7 miles. Turn left on CR 252. Drive 1 mile, Turn Right on Peacock Terr. Third house on Right. Number of Existing Dwellings on Property 1Construction of Addition to existing dwelling Total Acreage 1.94 Lot Size 215' X 303'Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 17'Actual Distance of Structure from Property Lines - Front 200' +/- Side 50' +/- Side 175' +/- Rear 100' +/-Number of Stories 1 Heated Floor Area 192 Total Floor Area 192 Roof Pitch 8/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.



**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Kristi Ruth  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]  
Contractor's Signature (Permitee)

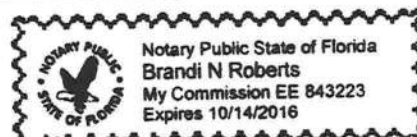
Contractor's License Number RR0067135  
Columbia County  
Competency Card Number 000154

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 11<sup>th</sup> day of February 2013.

Personally known X or Produced Identification \_\_\_\_\_

[Signature]  
State of Florida Notary Signature (For the Contractor)

SEAL:





# Columbia County Property Appraiser

CAMA updated: 2/1/2013

**2012 Tax Year**

Parcel: 23-4S-17-08715-003

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

&lt;&lt; Prev

Search Result: 4 of 50

Next &gt;&gt;

## Owner & Property Info

<b>Owner's Name</b>	SMITH JOHN D JR &		
<b>Mailing Address</b>	KRISTINE K 444 SE PEACOCK TER LAKE CITY, FL 32025		
<b>Site Address</b>	444 SE PEACOCK TER		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	23417
<b>Land Area</b>	1.940 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.  COMM SW COR OF SE1/4 OF SW1/4, RUN N 1215.2 FT FOR POB, CONT N 303.8 FT, E 280 FT, S 303.8 FT, W 280 FT TO POB. ORB 500-379,		



## Property & Assessment Values

2012 Certified Values		
Mkt Land Value	cnt: (0)	\$15,961.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$106,331.00
XFOB Value	cnt: (4)	\$3,438.00
Total Appraised Value		\$125,730.00
Just Value		\$125,730.00
Class Value		\$0.00
Assessed Value		\$125,730.00
Exempt Value	(code: HX H3)	\$50,000.00
Total Taxable Value	Cnty: \$75,730 Other: \$75,730   Schl: \$100,730	

## 2013 Working Values

**NOTE:**  
2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
NONE						

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1991	COMMON BRK (19)	2602	2854	\$105,002.00
Note: All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

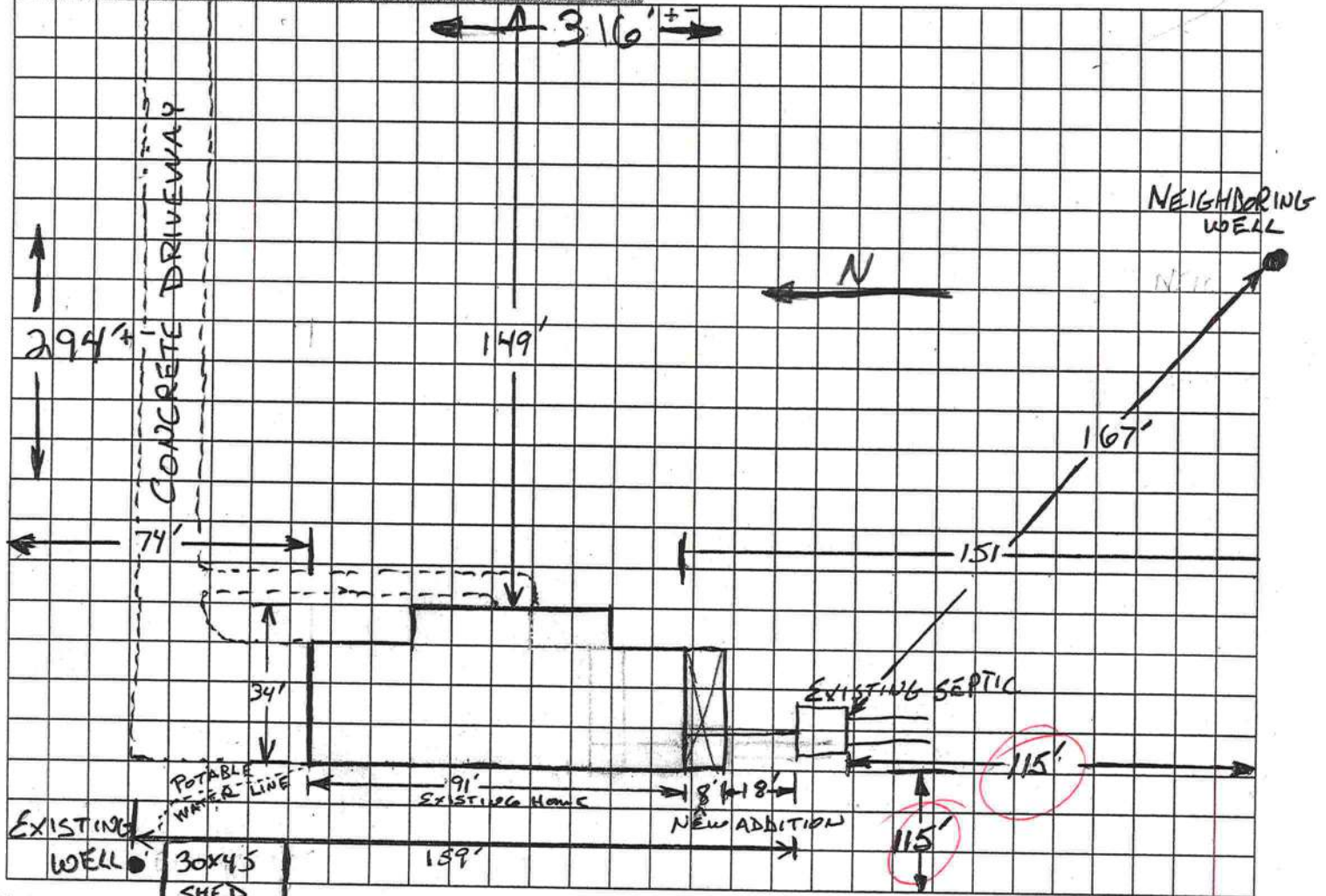
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	0	\$1,200.00	0000001.000	0 x 0 x 0	(000.00)
0260	PAVEMENT-A	0	\$1,338.00	0002230.000	10 x 223 x 0	(000.00)
0166	CONC,PAVMT	1993	\$200.00	0000001.000	12 x 15 x 0	(000.00)
0296	SHED METAL	2005	\$700.00	0000001.000	0 x 0 x 0	(000.00)

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet



Notes: \_\_\_\_\_

Site Plan submitted by: \_\_\_\_\_

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**



## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1303-31 CONTRACTOR ERKINACKER Construction PHONE 754 5555

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<input checked="" type="checkbox"/> <b>ELECTRICAL</b> 876	Print Name <u>MARC MATTHEWS</u> License #: <u>ER0014352</u>	Signature <u>[Signature]</u> Phone #: <u>386-344-2029</u>
<input checked="" type="checkbox"/> <b>MECHANICAL/A/C</b> 1052	Print Name <u>RICHARD REGISTER</u> License #: <u>CAC041267</u>	Signature <u>[Signature]</u> Phone #: <u>904-759-6750</u>
<input checked="" type="checkbox"/> <b>PLUMBING/GAS</b>	Print Name <u>CODY BARRS</u> License #: <u>CFC1427145</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-0509</u>
<input checked="" type="checkbox"/> <b>ROOFING</b> 1034	Print Name <u>WALLY POWELL</u> License #: <u>CCC057307</u>	Signature <u>[Signature]</u> Phone #: <u>386-294-1755</u>
<b>SHEET METAL</b>	Print Name <u>N/A</u> License #:	Signature _____ Phone #:
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name <u>N/A</u> License #:	Signature _____ Phone #:
<b>SOLAR</b>	Print Name <u>N/A</u> License #:	Signature _____ Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<input checked="" type="checkbox"/> MASON	000097	Kennn Loudon	[Signature]
<input checked="" type="checkbox"/> CONCRETE FINISHER	000218	TONY E JORDAN SE	[Signature]
<input checked="" type="checkbox"/> FRAMING	000035	David Ponton	[Signature]
<input checked="" type="checkbox"/> INSULATION	000240	Will Sikes	[Signature]
STUCCO		N/A	
<input checked="" type="checkbox"/> DRYWALL	001197	Earston Massie	[Signature]
PLASTER		N/A	
CABINET INSTALLER		N/A	
<input checked="" type="checkbox"/> PAINTING	180	SCOTT VOGEL	[Signature]
ACOUSTICAL CEILING		N/A	
GLASS		N/A	
<input checked="" type="checkbox"/> CERAMIC TILE	000651	Wayne Wallace	[Signature]
FLOOR COVERING		N/A	
<input checked="" type="checkbox"/> ALUM/VINYL SIDING	000312	Paul Phinney	[Signature]
GARAGE DOOR		N/A	
METAL BLDG ERECTOR		N/A	

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



13-115  
American Title Services

Permit Number:

Tax Folio Number: 08715-003

State of: **Florida**

County of: **Columbia**

File Number: 13-115

Printed: 201312003487 Date: 3/6/2013 Time: 10:59 AM  
DC, P DeWitt Cason, Columbia County Page 1 of 2 B:1250 P:2132

## NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and, in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**1. Description of Property:**

**TOWNSHIP 4 SOUTH, RANGE 17 EAST**

**SECTION 23:** The S 1/2 of Parcels No. 4 and 5 of a survey of the E 1/2 of the SW 1/4 by B. G. Moore, Registered Licensed Land Surveyor, a combined description being more particularly described as follows:

COMMENCE at the SW corner of the SE 1/4 of the SW 1/4 and run North 3° 11' 20" West along the West line of the E 1/2 of the SW 1/4, 1215.20 feet to the Point of Beginning, thence continue North 3° 11' 20" West 303.80 feet, thence North 87° 30" East 280.00 feet, to the West line of Peacock Road, thence South 3° 11' 20" East, along said Peacock Road 303.80 feet, thence South 87° 30" West 280.00 feet to the Point of Beginning. Said lands being in and a part of the E 1/2 of the SW 1/4 of said Section 23 **IN COLUMBIA COUNTY, FLORIDA.**

**2. General Description of Improvements: RESIDENTIAL**

**3. Owner Information:**

- a. Name and Address: **JOHN D. SMITH JR. AND KRISTINE K. SMITH**  
444 SE Peacock Terrace, Lake City, Florida 32025
- b. Interest in property: Fee Simple
- c. Names and address of fee simple title holder (if other than owner):

**4. Contractor: ERKINGER CONSTRUCTION GROUP**

248 SE Nassau Street, Lake City, Florida 32025  
386-754-5555

**5. Surety: N/A**

**6. Lender: Florida Rural Rehabilitation Corp., 4020 Newberry Road, Suite 150, Gainesville, Florida 32607**

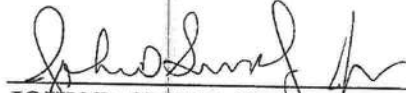
**7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1) (a)7., Florida Statutes.**


**8. In addition to himself, Owner designates the following persons to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.**

**9. Expiration date of Notice of Commencement (the expiration date is 1 year from date of recording unless a different date is specified): MARCH 1, 2013.**

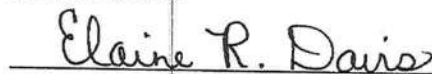


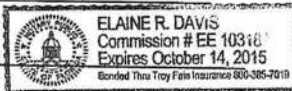
**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTIN 713, 13,FLORIDA STATUES AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY, A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ANY ATTORNEY BEFORE CONSTRUCTION WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

  
\_\_\_\_\_  
JOHN D. SMITH JR.

  
\_\_\_\_\_  
KRISTINE K. SMITH

Sworn to and subscribed before me March 4, 2013 by John D. Smith, Jr and Kristine K. Smith, who is personally known to me or who did provide DRIVERS LICENSES as identification.

  
\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_



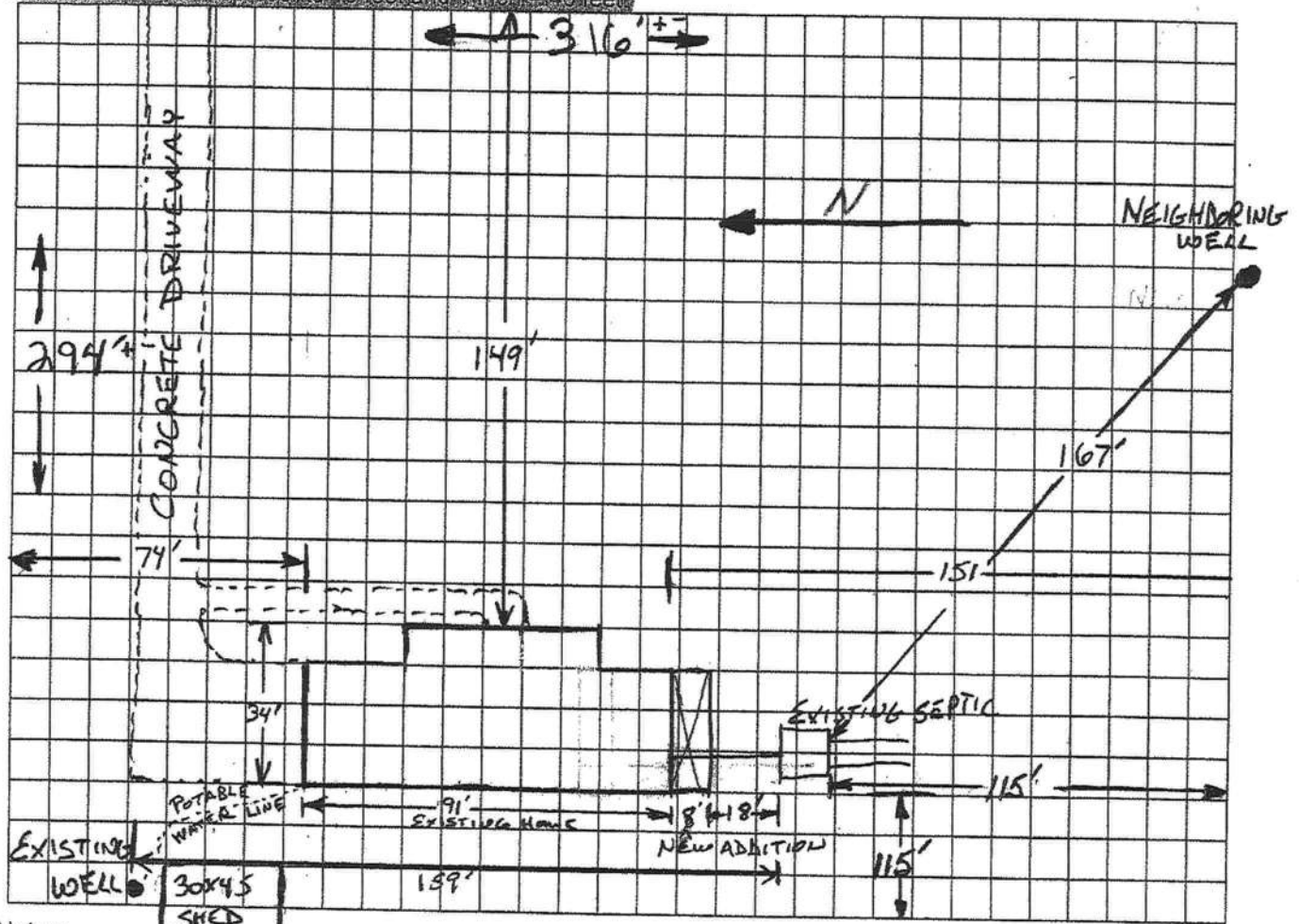


STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 13-0133E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet



Notes:

Site Plan submitted by: [Signature]

Plan Approved X

Not Approved

Date 3/25/13

By [Signature]

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 13-0133E  
DATE PAID: 3/19/13  
FEE PAID: 125.00  
RECEIPT #: 1100648

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: JDE KRISTH SMITHAGENT: ERKINGER CONSTRUCTION GROUP TELEPHONE: 754-5555MAILING ADDRESS: 444 SE PEACOCK TERRACE, LAKE CITY, FL 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: — BLOCK: — SUBDIVISION: — PLATTED: —PROPERTY ID #: 23-48-17-08715-003 ZONING: — I/M OR EQUIVALENT: ☐ Y ☐ NPROPERTY SIZE: 1.94 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☐ N DISTANCE TO SEWER: — FTPROPERTY ADDRESS: 444 SE PEACOCK TERR.

DIRECTIONS TO PROPERTY: DRIVE E on Hwy 90 for 1.5 M. TURN R on Old Country Club Rd. Drive 3.7 M. TURN L on CR 252. Drive 1 M, turn R on Peacock Terrace → Home is 3rd on Right.

## BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Single Family	3	2602	Ex
2	Addition		192	
3			2794	
4				

☐ Floor/Equipment Drains ☐ Other (Specify) —SIGNATURE: [Signature] DATE: 2.12.13



# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1UU9487-Z0104140917



Truss Fabricator: **Anderson Truss Company**  
Job Identification: **13-067--Erkinger Home Builders Smith Bedroom Addition -- 444 SE Peachtree Terrace 444 SE Peachtree**  
Truss Count: **2**  
Model Code: **Florida Building Code 2010**  
Truss Criteria: **FBC2010Res/TPI-2007(STD)**  
Engineering Software: **Alpine Software, Version 10.03.**  
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61615-31.003(5a) of the FAC**  
Address: **Roof - 40.0 PSF @ 1.25 Duration**  
Minimum Design Loads: **Floor - N/A**  
**Wind - 120 MPH ASCE 7-10 -Closed**

## Notes:

- Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1**
- The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.**
- As shown on attached drawings; the drawing number is preceded by: HCUSR487**

William H. Krick  
-Truss Design Engineer-

1950 Marley Drive  
Haines City, FL 33844

Details: 12015EC1-GBLLETIN-GABRST10-

#	Ref	Description	Drawing#	Date
1	91545--A	24' Common	13063002	03/04/13
2	91546--ADG	24' Gable	13063001	03/04/13

# ALPINE



Top chord 2x4 SP\_#1\_12A  
Bot chord 2x4 SP\_#1\_12A  
Webs 2x4 SP\_#3\_12A

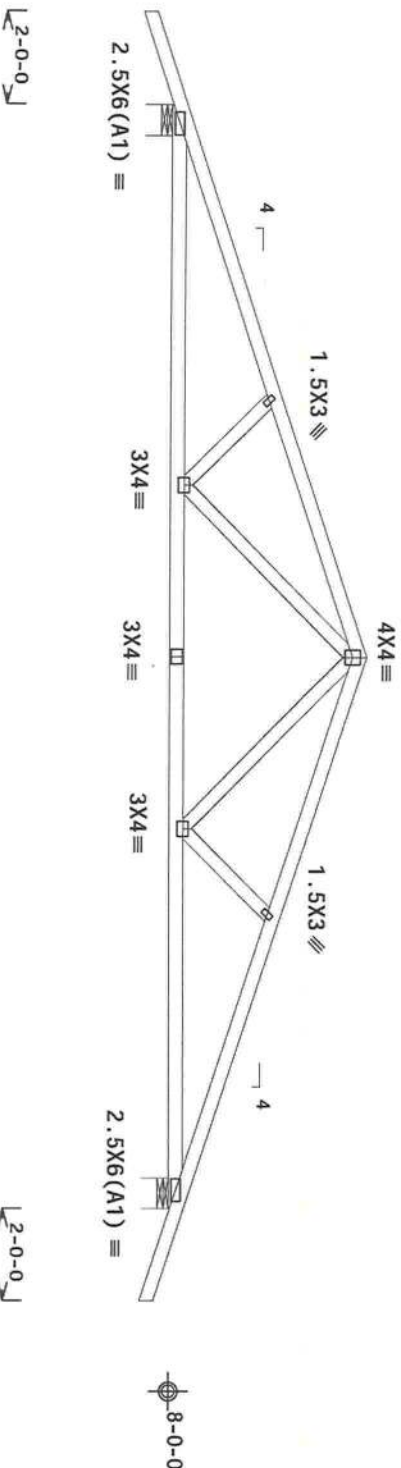
Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

Bottom chord checked for 10.00 psf non-concurrent live load.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, located anywhere in roof, RISK CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. GCPi(+/-)=0.18

Wind loads and reactions based on MMFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



R=1104 U=142 W=8"  
RL=102/-102

Design Crit: FBC2010Res/TP1-2007(S)FD  
FT/RT=20%(0%)/10(0)

PLT TYP. Wave

\*\*WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET!

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Follow the latest edition of BCSI (Building Component Safety Information, by TPI and WCA) practices prior to performing these functions. Installers shall provide temporary bracing practices noted otherwise. Top chord shall have properly attached structural sheathing and blocking. Bottom chord shall have blocking installed per BCSI sections B3, B7 or B10, as applicable.

ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design shown on this drawing. The Building Designer shall be responsible for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2. For more information see: This Job's General notes page ITW-BCG: www.itwbcg.com; TPI: www.tpinet.org; WCA: www.abctindustry.com; IBC: www.icbc.org

ALPINE

ITW Building Components Group Inc.  
Haines City, FL 33844  
FL COA #0 278



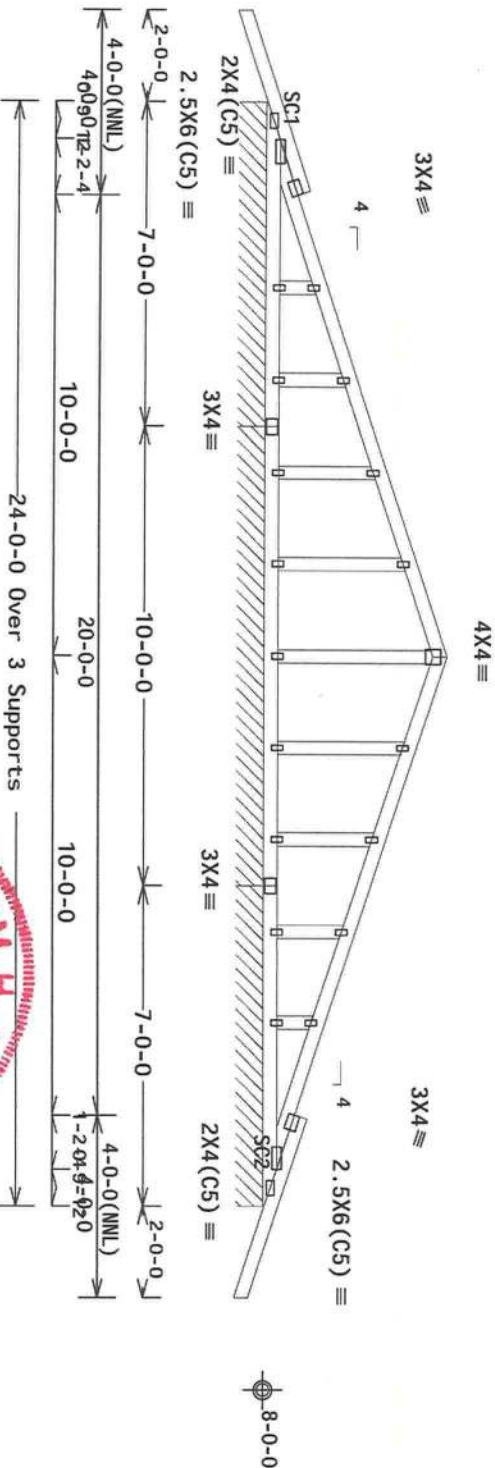
TC LL	20.0 PSF	REF	R487-- 91545
TC DL	10.0 PSF	DATE	03/04/13
BC DL	10.0 PSF	DRW	HGUSR487 13063002
BC LL	0.0 PSF	HC-ENG	AP/WHK
TOT. LD.	40.0 PSF	SEQN-	56977
DUR. FAC.	1.25		
SPACING	24.0"	JREF-	1UU9487_Z01

Scale = .25"/Ft.



Top chord 2x4 SP\_#1\_12A  
Bot chord 2x4 SP\_#1\_12A  
Webs 2x4 SP\_#3\_12A  
Stack Chord SC1 2x4 SP\_#1\_12A: Stack Chord SC2 2x4 SP\_#1\_12A:  
Lumber grades designated with "12A" use design values approved  
1/5/2012 by ALSC.  
See DWGS A12015ENC100212, GBLLET100212, & GABRST100212 for more  
requirements.  
In lieu of structural panels use purlins to brace TC @ 24" OC.  
Bottom chord checked for 10.00 psf non-concurrent live load.  
Deflection meets L/240 live and L/180 total load. Creep increase  
factor for dead load is 1.50.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located  
anywhere in roof, RISK CAT II, Exp C, wind TC DL=5.0 psf, wind BC  
DL=5.0 psf, GCPI(+/-)=0.18  
Wind loads and reactions based on MMFRS with additional C&C member  
design.  
Gable end supports 8" max rake overhang.  
Stacked top chord must NOT be notched or cut in area (NML). Dropped  
top chord braced at 24" o.c. intervals. Attach stacked top chord (SC)  
to dropped top chord in notchable area using 3x4 tie-plates 24" o.c.  
Center plate on stacked/dropped chord interface, plate length  
perpendicular to chord length. Splice top chord in notchable area  
using 3x6.



Note: All Plates Are 1.5X3 Except As Shown.  
Design Crit: FBC2010Res/TP1-2007(SFD)  
FT/RT=20%(0%)/10(0)

PLT TYP. Wave

10.03.11.0209.19

QTY: 1 FL/-/4/-/R/-

Scale = .25"/Ft.

\*\*IMPORTANT\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET!

FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.  
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and  
follow the latest edition of BCSP (Building Component Safety Information, by TPI and WCA) for safety  
practices prior to performing these functions. Installers shall provide temporary bracing per BCSP  
unless noted otherwise. Top chord shall have properly attached structural sheathing and bottom chord  
shall have bracing installed per BCSP sections B5, B7 or B10, as applicable.  
TPI Building Components Group Inc. (TPIBCG) shall not be responsible for any deviation from this design or  
any related to the design or construction of the truss. TPIBCG is not responsible for the design, installation,  
bracing of trusses. Apply plates to each piece of truss. Refer to drawings 180A-Z for standard plate positions. A seal on this  
drawing or cover page listing this design, indicates acceptance of professional engineering  
responsibility solely for the design shown. The suitability and use of this design for any structure is  
the responsibility of the Building Designer per ANSI/TP1 1 Sec.2. For more information see: This Job's  
TPI: www.tpicorp.org

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844  
FL COA #0278

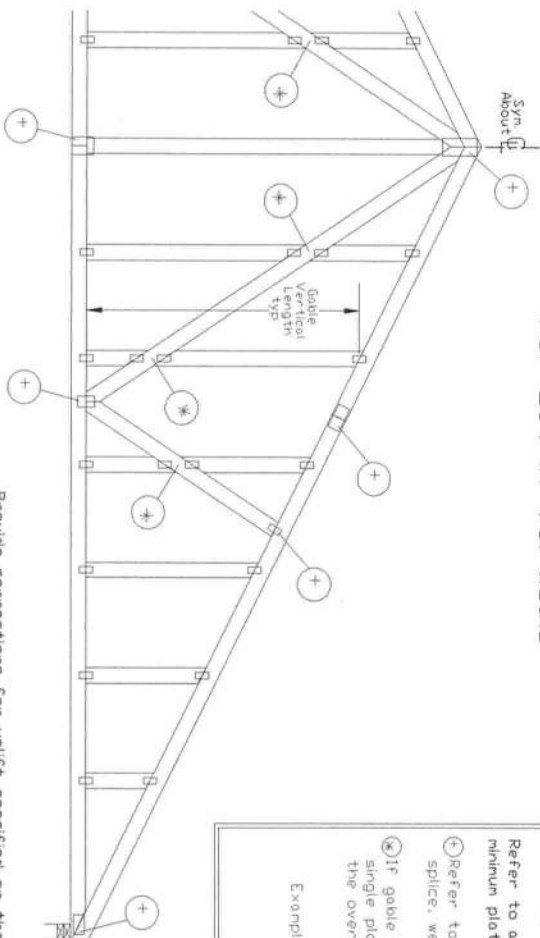


TC LL	20.0 PSF	REF R487-- 91546
TC DL	10.0 PSF	DATE 03/04/13
BC DL	10.0 PSF	DRW HCUR487 13063001
BC LL	0.0 PSF	HC-ENG AP/AP
TOT. LD.	40.0 PSF	SEQN- 58341
DUR. FAC.	1.25	
SPACING	24.0"	JREF- 1UUG487_Z01





# Gable Detail For Let-In Verticals



## Gable Truss Plate Sizes

Refer to appropriate ITV gable detail for minimum plate sizes for vertical studs.

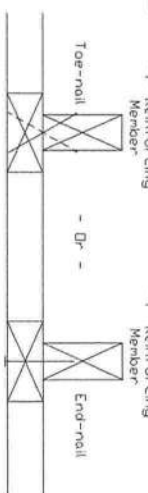
⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.

⊗ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.

Example:



## 'T' Reinforcement Attachment Detail



To convert from 'L' to 'T' reinforcing members, multiply 'T' increase by length based on appropriate ITV gable detail.

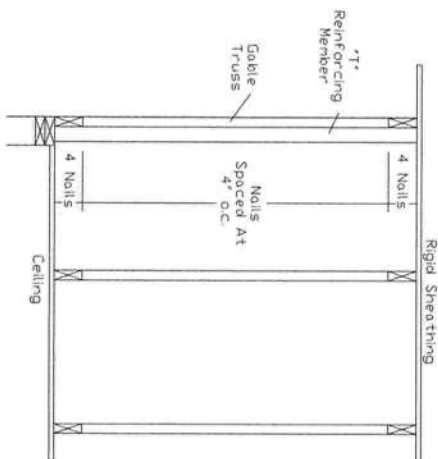
Maximum allowable 'T' reinforced gable vertical length is 14' from top to bottom chord.

'T' reinforcing member material must match size, species, and grade of the 'L' reinforcing member.

## Web Length Increase w/ 'T' Brace

'T' Reinf. Size	'T' Increase
2x4	30 %
2x6	20 %

Example:  
ASCE 7-10 Wind Speed = 120 mph  
Mean Roof Height = 30 ft, Kzt = 1.00  
Gable Vertical = 24' o.c. SP #3  
'T' Reinforcing Member Size = 2x4  
'T' Brace Increase (from Above) = 30% = 1.30  
(1) 2x4 'L' Brace Length = 8' 7"  
Maximum 'T' Reinforced Gable Vertical Length = 1.30 x 8' 7" = 11' 2"



See appropriate ITV gable detail for maximum unreinforced length.

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING. \*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.



Building Components Group Inc.

Earth City, MO 63045

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSI Building Component Safety Information, by TPI and WCA for details. Truss installers shall provide temporary bracing per BCSI Building Component Safety Information, by TPI and WCA for details. Truss installers shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable. Apply plates to each face of truss and position as shown above and on the joint details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions.

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing any failure to build the trusses in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the building designer per ANSI/TPI 1, Sec. 2.

ITV BCSI Building Components Group Inc. shall not be responsible for any deviation from this drawing any failure to build the trusses in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the building designer per ANSI/TPI 1, Sec. 2.

ITV BCSI Building Components Group Inc. shall not be responsible for any deviation from this drawing any failure to build the trusses in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the building designer per ANSI/TPI 1, Sec. 2.



Mar 04 '13

03/04/2013

MAX. TDT, LD, 60 PSF
DUR. FAC. ANY
MAX. SPACING 24.0"

REF	LET-IN VERT
DATE	2/16/12
DRWG	GBLETTIN0212

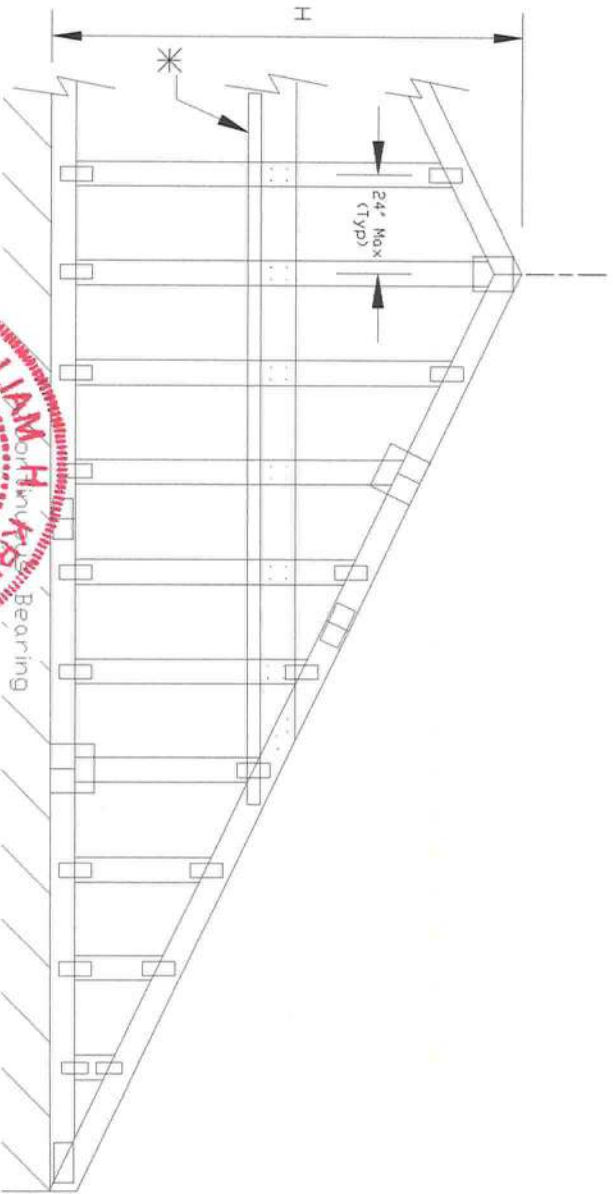
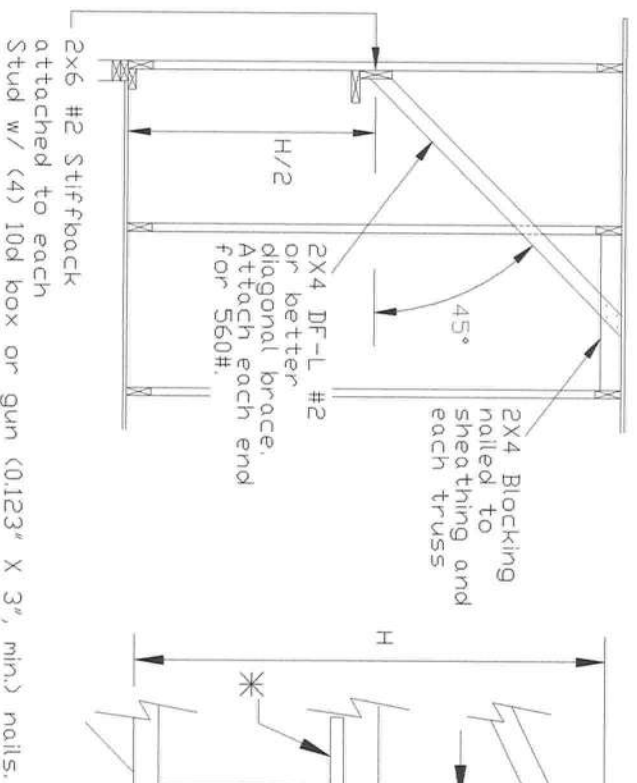
# ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C Common Residential Gable End Wind Bracing Requirements - Stiffeners

120 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or 100 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or 100 mph, 30ft. Mean Hgt, ASCE 7-10, Part, Enclosed, Exp C, Kzt = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

Lateral chord bracing requirements  
Top: Continuous roof sheathing  
Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail for lumber, plates, and other information not shown on this detail.

Nails: 10d box or gun (0.128"x3", min.) nails.



H Less than 4'6" - no stud bracing required  
H Greater than 4'6" to 7'6" in length provide a 2x6 stiffback at mid-height and brace stiffback to roof diaphragm every 6'0" (see detail below or refer to DRWG A12030ENC10).  
H Greater than 7'6" to 12'0" max: provide a 2x6 stiffback at mid-height and brace to roof diaphragm every 4'0" (see detail below or refer to DRWG A12030ENC10).

\* Optional 2x L-reinforcement attached to stiffback with 10d box or gun (0.128" x 3", min.) nails @ 6" o.c.



Building Components Group Inc.

Earth City, MO 63045

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING. \*\*IMPORTANT\*\* FINISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to all applicable latest edition of BCSI Building Component Safety Information, by TPI and WCAI. Do not use any truss unless noted otherwise. Top chord shall have properly installed temporary bracing. All other truss members shall have a properly attached rigid ceiling. Locations shown for permanent lateral resistance of webs shall have bracing installed per BCSI sections B3, B7 or B10, as applicable. Apply plate bracing to drawings 10d4-2 for standard plate positions. Refer to drawings 10d4-2 for standard plate positions.

ITV Building Components Group Inc. shall not be responsible for any deviation from the drawing, any failure to build the truss in conformance with AISI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing the design, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any other purpose is the responsibility of the user. For more information see this firm's general notes page and website. ITVBCG www.itvbcg.com TPI www.tpiinc.org WCAI www.wcaistruct.org ICC www.iccsafe.org



Mar 04 '13

REF	GE	WHALE
DATE	2/14/12	
DRWG	GABRST100212	
MAX. TDT, L.D.	60 PSF	
MAX. SPACING		



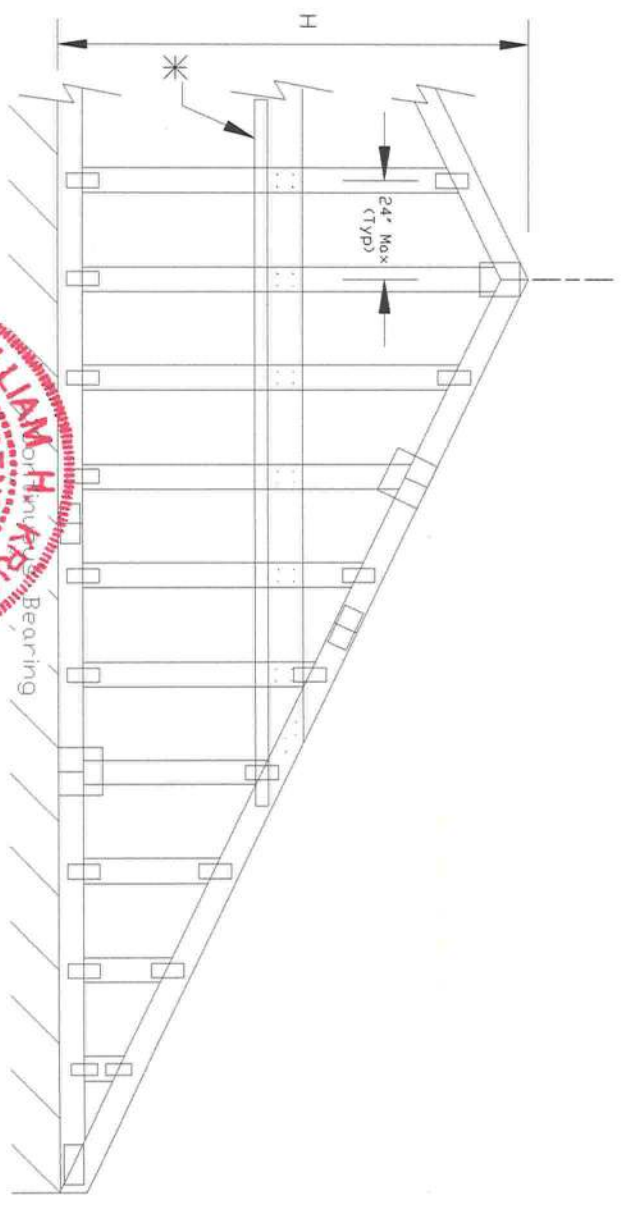
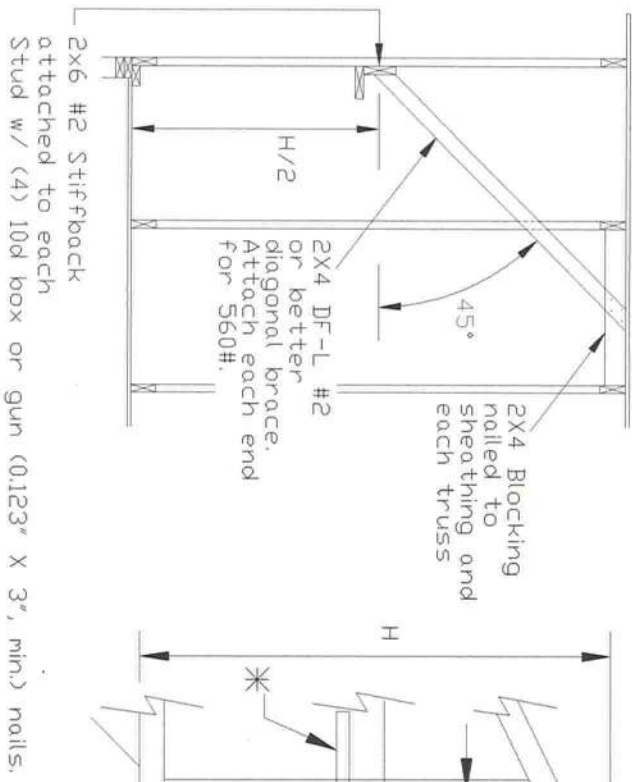
# ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C Common Residential Gable End Wind Bracing Requirements - Stiffeners

120 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or 100 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or 100 mph, 30ft. Mean Hgt, ASCE 7-10, Part. Enclosed, Exp C, Kzt = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

Lateral chord bracing requirements  
Top: Continuous roof sheathing  
Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail for lumber, plates, and other information not shown on this detail.

Nails: 10d box or gun (0.128"x3",min) nails.



- H Less than 4'6" - no stud bracing required
- H Greater than 4'6" to 7'6" in length provide a 2x6 stiffback at mid-height and brace stiffback to roof diaphragm every 6'0" (see detail below or refer to DRWG A12030ENC10).
- H Greater than 7'6" to 12'0" max: provide a 2x6 stiffback at mid-height and brace to roof diaphragm every 4'0" (see detail below or refer to DRWG A12030ENC10).
- \* Optional 2x L-reinforcement attached to stiffback with 10d box or gun (0.128" x 3", min.) nails @ 6" o.c.

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING. FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.



Building Components Group Inc.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to all practices prior to performing these functions. Installers shall provide temporary bracing prior to erecting the truss. The truss shall be braced in all directions. The truss shall have a properly attached rigid ceiling diaphragm. Lateral bracing shall be provided on each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 1604-2 for standard plate positions.

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses. A seal on this drawing or cover page listing this drawing, indicates acceptance or professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sect. 2.1. ITVBCG website: www.itvbcg.com TPI website: www.tpi.org WCA website: www.wca-usa.com



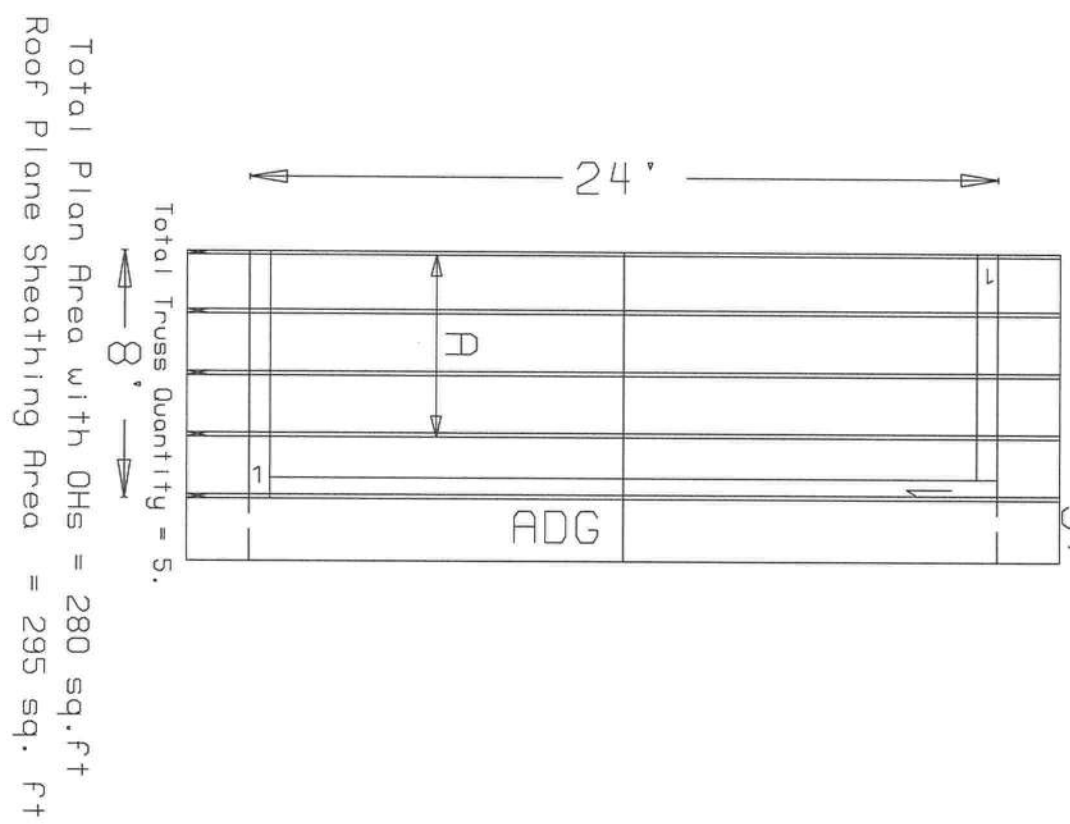
Earth City, MO 63045

Mar 04 '13

MAX. TOT. L.D. 60 PSF  
MAX. SPACING

REF	GE	WHALE
DATE	2/14/12	
DRWG	GABRS1100212	

# Smith Bedroom Addition Lake City, FL

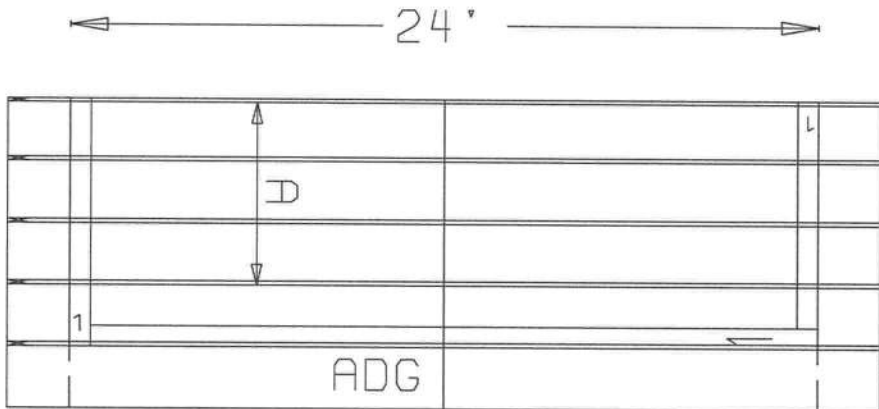


: <Not Found>

ADDRESS: 444 SE Peacock Terrace  
 JOB DESCRIPTION: Erkinger Home Builders  
 /: Smith Bedroom Addition  
 JOB #: 13-067  
 DESIGNER: ColeMan Burlingame  
 SALESMAN: Curt V Burlingame



# Smith Bedroom Addition Lake City, FL



Total Plan Area with OHs = 280 sq.ft  
Roof Plane Sheathing Area = 295 sq. ft

: <Not Found>

ADDRESS: 444 SE Peacock Terrace  
JOB DESCRIPTION: Erkinger Home Builders  
/ Smith Bedroom Addition  
JOB #: 13-067  
DESIGNER: ColeMan Burlingame  
SALESMAN: Curt V Burlingame

JOB NO:  
13-067

PAGE NO:  
1 OF 1