

ck# 7733

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

**For Office Use Only** (Revised 1-11) Zoning Official MMH Building Official TCB  
 AP# 1907-33 Date Received 7/8 By W Permit # 38369  
 Flood Zone X Development Permit \_\_\_\_\_ Zoning ESA-2 Land Use Plan Map Category ESA  
 Comments floor one foot above the road

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FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor 1st floor River \_\_\_\_\_ In Floodway \_\_\_\_\_  
☒ Site Plan with Setbacks Shown EH # 19-0509 ☒ EH Release ☐ Well letter ☒ Existing well  
☐ Recorded Deed or Affidavit from land owner ☒ Installer Authorization ☐ State Rd Access 911 Sheet  
☒ Assessments Pd ☐ STUP-MH \_\_\_\_\_ ☐ F W Comp. letter ☐ App Fee Pd ☒ LVF Form  
 IMPACT FEES: EMS \_\_\_\_\_ Fire N/A Corr \_\_\_\_\_ ☐ Out County ☐ In County  
 Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL \_\_\_\_\_ Suspended March 2009 ☐ Ellisville Water Sys

Property ID # 36-5S-15-00488-102 Subdivision Spring Hills Lot 7 Bk F

- New Mobile Home X Used Mobile Home \_\_\_\_\_ MH Size 28 X 68 Year 2019
- Applicant Robert Minnella Phone # (352) 472-6010
- Address 25743 SW 22 Place, Newberry, FL 32669
- Name of Property Owner William Travis Phone# (386)984-0683
- 911 Address 294 SW Tampa Glen, Ft. White, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home William Travis Phone # (386)984-0683  
 Address 294 SW Tampa Glen, Ft. White, FL 32038
- Relationship to Property Owner same
- Current Number of Dwellings on Property 1 mobile home to be replaced
- Lot Size 153 X 299 Total Acreage 1.05
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home yes
- Driving Directions to the Property SR 475 to CR 238 / Sweetlin Church Rd (R) Go 3.9  
Milesto SW Ichetucknee Ave (R) to Spruce Rd (L) to SW Tampa Glen (R)  
Prop is on right 2/10 miles.
- Name of Licensed Dealer/Installer Ernest S. Johnson Phone # (352) 494-8099
- Installers Address 22204 SE US Hwy 301, Hawthorne, FL 32640
  - License Number IH 1025249 Installation Decal # 62319



to sent email 7.8.19

\$ 375.00

Ut - spoke to Robert 7-15-19

# PERMIT NUMBER

FLORIDA WORKSHEET

Installer Ernest S. Johnson License # IH-1025249

Address of home being installed 294 SW Tampa Glen  
Ft. White, FL 32038

Manufacturer Champion Homes Length x width 28' x 68'

**NOTE:** If home is a single wide fill out one half of the blocking plan  
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials EJ

Typical pier spacing



Show locations of Longitudinal and Lateral Systems  
(use dark lines to show these locations)

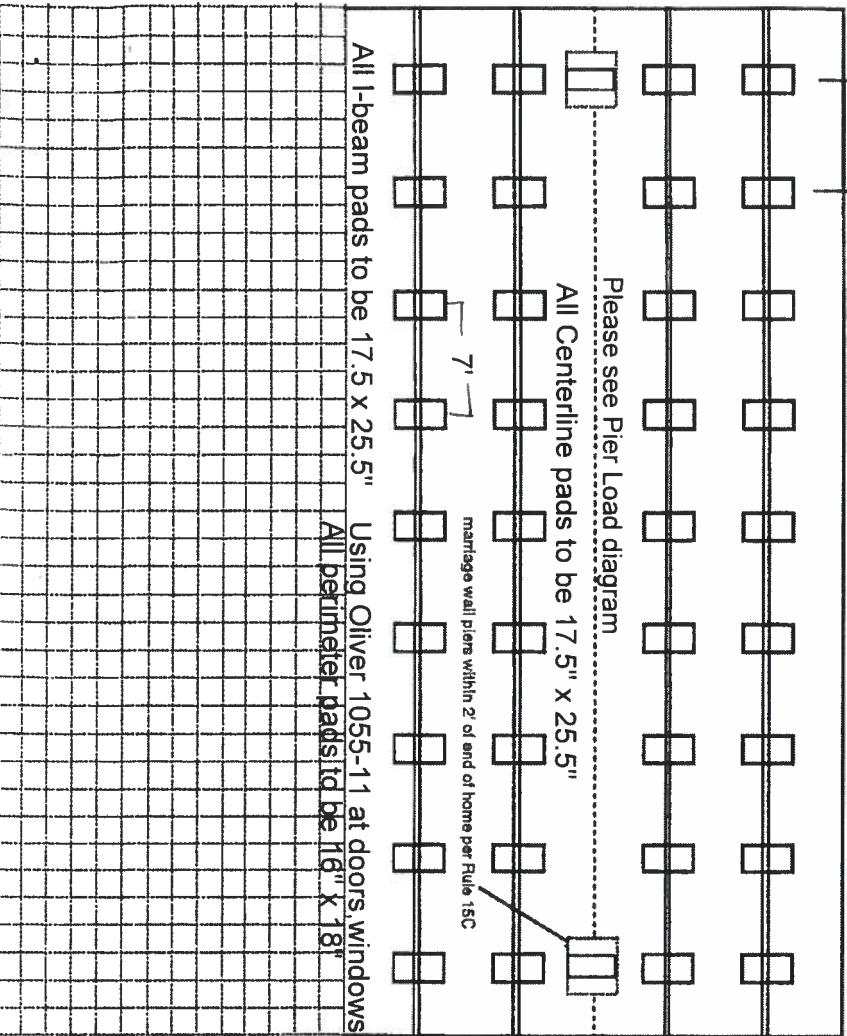
Please see Pier Load diagram

All Centerline pads to be 17.5" x 25.5"

marriage wall piers within 2' of end of home per Rule 15C

All I-beam pads to be 17.5 x 25.5" Using Oliver 1055-11 at doors/windows

All perimeter pads to be 16" x 18"



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 62319

Triple/Quad ☐ Serial # 202294A/B

Roof System: ☒ Typical ☐ Hinged

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size 17.5" x 25.5"

Perimeter pier pad size 16" x 18"

Other pier pad sizes (required by the mfg.) no

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

Please see Pier Load Diagram

## POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

## ANCHORS

4 ft ☒ 5 ft ☒

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc ☒ Yes ☐ No

## TIEDOWN COMPONENTS

## OTHER TIES

Longitudinal Stabilizing Device (LSD) \_\_\_\_\_  
Manufacturer \_\_\_\_\_  
Longitudinal Stabilizing Device w/ Lateral Arms \_\_\_\_\_  
Manufacturer Oliver Technologies

Sidewall \_\_\_\_\_ Number 22  
Longitudinal \_\_\_\_\_  
Marriage wall \_\_\_\_\_  
Shearwall \_\_\_\_\_  
\_\_\_\_\_ 0

# PERMIT NUMBER

# PERMIT WORKSHEET

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil ☒ without testing.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

### POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

Assume  
1000 Lb.

## TORQUE PROBE TEST

The results of the torque probe test is 279 inch pounds or check here if you are declaring 5" anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewalk locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

Ernest S. Johnson Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Ernest S. Johnson

Date Tested \_\_\_\_\_

## Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 51-54

## Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 55

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 54

## Site Preparation

Debris and organic material removed ☒  
Water drainage: Natural ☒ Swale \_\_\_\_\_ Pad ☒ Other \_\_\_\_\_

## Fastening multi wide units

Floor: Type Fastener: Lag Length: 5" Spacing: 2'  
Walls: Type Fastener: Lag Length: 5" Spacing: 2'  
Roof: Type Fastener: Lag Length: 5" Spacing: 2'  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials ESJ

Type gasket Factory Foam

Installed: Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of ridgebeam Yes ☒

## Weatherproofing

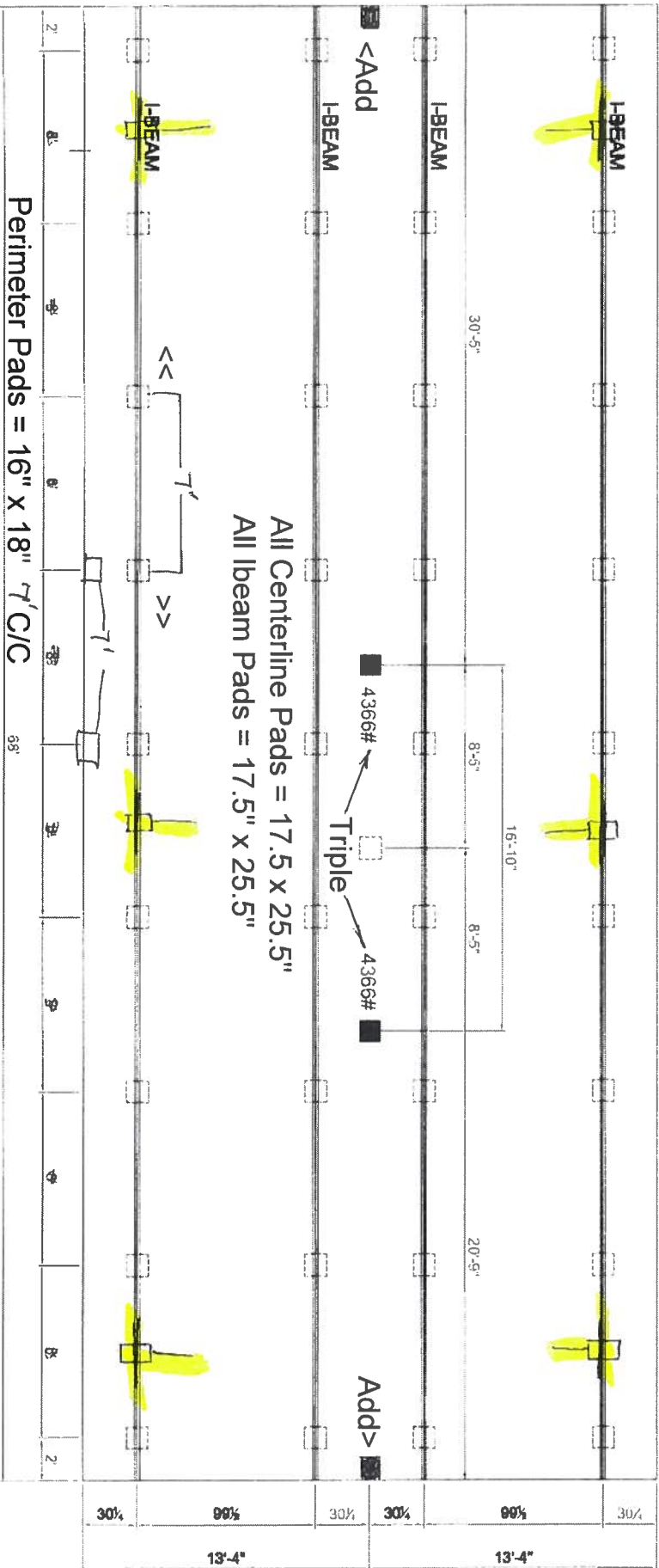
The bottomboard will be repaired and/or taped. Yes ☒ Pg. 89  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

## Miscellaneous

Skirting to be installed. Yes ☒ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes ☒ N/A \_\_\_\_\_  
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒  
Drain lines supported at 4 foot intervals. Yes ☒  
Electrical crossovers protected. Yes ☒  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Ernest S. Johnson Date 7-3-19



☒ COLUMN BLOCKING  
 SEE SOIL BEARING CAPACITY CHARTS FOR PAD SIZE  
☐ BLOCKING

1) ALL EXTERIOR DOORS, BAY WINDOWS, RECESSED  
 SIDEWALLS AND EXTERIOR WALL OPENINGS 48"  
 OR GREATER, WILL REQUIRE BLOCKING ON EACH SIDE.

Using Oliver 1055-11 at doors windows/ shearwalls  
 Using Oliver 1101V Systems (6) 4' & 5' Anchors

HONESOME MERIT™ P.O. BOX 2097 HWY 100 EAST LAKE CITY, FL 32056		DAPIA SEAL		MODIFICATIONS		MODEL 261-H4684A		SHEET	
TITLE PIER FOUNDATION		DRAWN BY Vicky		DATE 03-21-14		CAPTIVA		S-20	
PROPRIETARY AND CONFIDENTIAL THE INFORMATION AND SPECIAL FEATURES ARE ORIGINAL AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM HONESOME MERIT.									

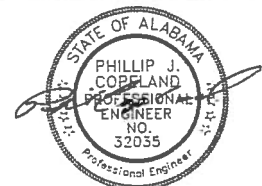
**TABLE 7. LOAD ON FRAME AND PERIMETER WITH MARRIAGE LINE SUPPORTS  
FOR HOMES REQUIRING PERIMETER BLOCKING – lbs.**

		Roof Live Load and Nominal Section Width							
		20 PSF Live Load				30 PSF Live Load			
Maximum spacing	Location	12 Wide	14 Wide	16 Wide	18 Wide	12 Wide	14 Wide	16 Wide	18 Wide
4 ft	Frame	1420	1620	1840	2120	1420	1620	1840	2120
	Perimeter	1080	1210	1300	1480	1390	1560	1680	1910
	Marriage	1800	2060	2340	2700	2310	2640	3010	3470
6 ft	Frame	2120	2420	2760	3180	2120	2420	2760	3180
	Perimeter	1620	1810	1950	2220	2090	2340	2520	2870
	Marriage	2700	3080	3510	4050	3470	3960	4510	5200
8 ft	Frame	2830	3230	3680	4240	2830	3230	3680	4240
	Perimeter	2150	2410	2600	2960	2780	3110	3360	3820
	Marriage	3600	4110	4680	5390	4620	5280	6010	6930
10 ft	Frame	3530	4040	4590	5300	3530	4040	4590	5300
	Perimeter	-	-	-	-	-	-	-	-
	Marriage	-	-	-	-	-	-	-	-

*(2110) Interpolation method used for New Homesetup*

		Roof Live Load and Nominal Section Width							
		40 PSF Live Load				60 PSF Live Load			
Maximum spacing	Location	12 Wide	14 Wide	16 Wide	18 Wide	12 Wide	14 Wide	16 Wide	18 Wide
4 ft	Frame	1420	1620	1840	2120	1420	1620	1840	-
	Perimeter	1710	1910	2060	2340	2340	2620	2820	-
	Marriage	2830	3230	3680	4240	3850	4400	5010	-
6 ft	Frame	2120	2420	2760	3180	2120	2420	2760	-
	Perimeter	2560	2860	3090	3510	3510	3920	4220	-
	Marriage	4240	4840	5510	6360	5780	6600	7510	-
8 ft	Frame	2830	3230	3680	4240	2830	3230	3680	-
	Perimeter	3410	3820	4120	4680	4680	5230	5630	-
	Marriage	5650	6460	7350	-	-	-	-	-
10 ft	Frame	3530	4040	4590	5300	3530	4040	4590	-
	Perimeter	-	-	-	-	-	-	-	-
	Marriage	-	-	-	-	-	-	-	-

		Roof Live Load and Nominal Section Width							
		80 PSF Live Load				100 PSF Live Load		120 PSF Live Load	
Maximum spacing	Location	12 Wide	14 Wide	16 Wide	18 Wide	12 Wide	14 Wide	12 Wide	14 Wide
4 ft	Frame	1420	1620	1840	-	1420	1620	1420	1620
	Perimeter	2970	3320	3570	-	3600	4020	4230	4730
	Marriage	4880	5580	6340	-	5910	6750	6930	7920
6 ft	Frame	2120	2420	2760	-	2120	2420	2120	2420
	Perimeter	4450	4980	5350	-	5400	6030	6350	-
	Marriage	7320	-	-	-	-	-	-	-
8 ft	Frame	2830	3230	3680	-	2830	3230	2830	3230
	Perimeter	5940	6630	-	-	-	-	-	-
	Marriage	-	-	-	-	-	-	-	-
10 ft	Frame	3530	4040	4590	-	3530	4040	3530	4040
	Perimeter	-	-	-	-	-	-	-	-
	Marriage	-	-	-	-	-	-	-	-



June 1, 2015



State of Florida  
DEPARTMENT OF  
HIGHWAY SAFETY AND MOTOR VEHICLES  
TALLAHASSEE, FLORIDA 32399-0500

FRED C. DICKINSON, III  
Executive Director

October 27, 1999

Mr. Lon Larson, General Manager  
Manufactured Housing Foundation Systems  
A Division of Oliver Technologies  
562 Glenlenthur Drive  
San Marcos, California 92069

Dear Mr. Larson:

We wish to acknowledge receipt of your print specifications and test results certifying your Adjustable Outrigger listed below complies with the Federal Manufactured Construction and Safety Standards, § 3280.305 and § 3280.401 and with the rules and regulations set forth by the Department of Highway Safety and Motor Vehicles, Florida Administrative Rule Code 15C-1.01105.

Based on the information submitted to the bureau, the following product is listed for use in Florida when the installation instructions showing the way the outrigger was tested, are provided.

MODEL #	IDENTIFICATION	DESCRIPTION
1055-11	Adjustable Outrigger	Bracket, Pipe, & Screw Adjustment

NOTE: The outrigger was tested on September 19, 1999, for an allowable load of 1700 pounds.

If you have any questions, please advise at (850) 413-7600.

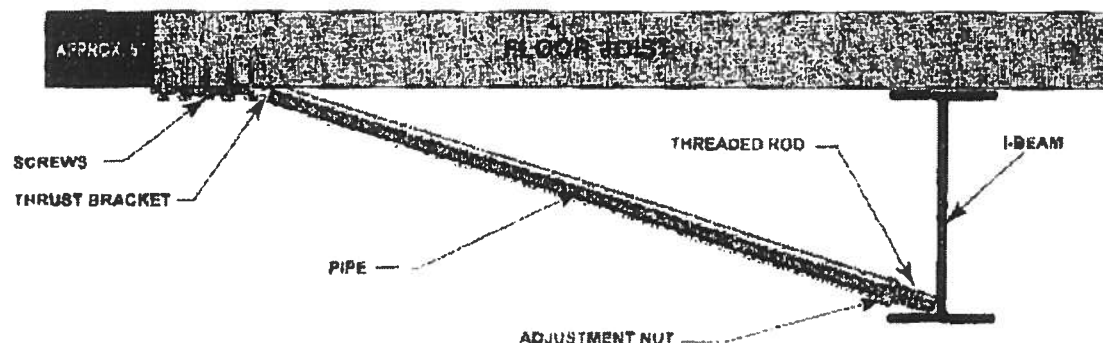
Sincerely,

Phil Bergelt, Program Manager  
Bureau of Mobile Home and  
Recreational Vehicle Construction  
Division of Motor Vehicles

PB:bse

**OLIVER TECHNOLOGIES, INC.**  
**Adjustable Outrigger Installation Instructions**  
**MODEL # 1055-11**

1. Locate the floor joist that requires support.
2. Mark the I-Beam directly under the floor joist to align the outrigger.
3. Adjust the nut on the threaded rod so it clears the frame flange for easy adjustment.
4. Set the threaded rod in the pipe and against the frame.
5. Set the notched end of the thrust bracket into the end of the pipe and secure it with 5 # 12 x 2" screws to the floor joist. The thrust bracket should be approximately 6" from the outside rim joist.
6. Bottom board and insulation should be between the bracket and the joist.
7. For minor adjustments align the door and window openings by tightening or loosening the adjustment nut. For all other adjustments use a hydraulic jack to raise the floor joist before installation of the outrigger.



**NOTES:**

- \*REMOVE OUTRIGGER WHEN HOME IS BEING TRANSPORTED
- \*SPECIFY WIDTH OF HOME WHEN ORDERING OUTRIGGER. PIPE MAY BE CUT TO FIT
- \*THE ADJUSTABLE OUTRIGGERS SHALL ONLY BE USED ON HOMES FOR OPENINGS UP TO:
  - 6' ON 20 LB ROOF LOAD
  - 4' ON 30 LB ROOF LOAD
  - 3' ON 40 LB ROOF LOAD
- \*WHEN ADJUSTABLE OUTRIGGERS ARE USED FOR DOOR AND WINDOW SUPPORTS, THEY MUST BE INSTALLED ON THE CLOSEST FLOOR JOIST UP TO 16" FROM THE OUTSIDE EDGE OF THE OPENING
- \*DO NOT INSTALL ADJUSTABLE OUTRIGGER AT LOCATIONS WHERE THE HOME MANUFACTURER INDICATES A LOAD IN EXCESS OF 1,730 LBS
- \*THE ADJUSTABLE OUTRIGGER MUST BE USED ON A MINIMUM 10" I-BEAM AND BE PLACED WITHIN 4' OF A MAIN FRAME SUPPORT PIER OR FRAME CROSSMEMBER

**Listing # 1055-11**  
**Patent # 6,334,279**

*Revised 1/1/11*

## Legend

Parcels

2018Aerials

Addresses

LidarElevations



Roads

Roads

others

Dirt

Interstate

Main

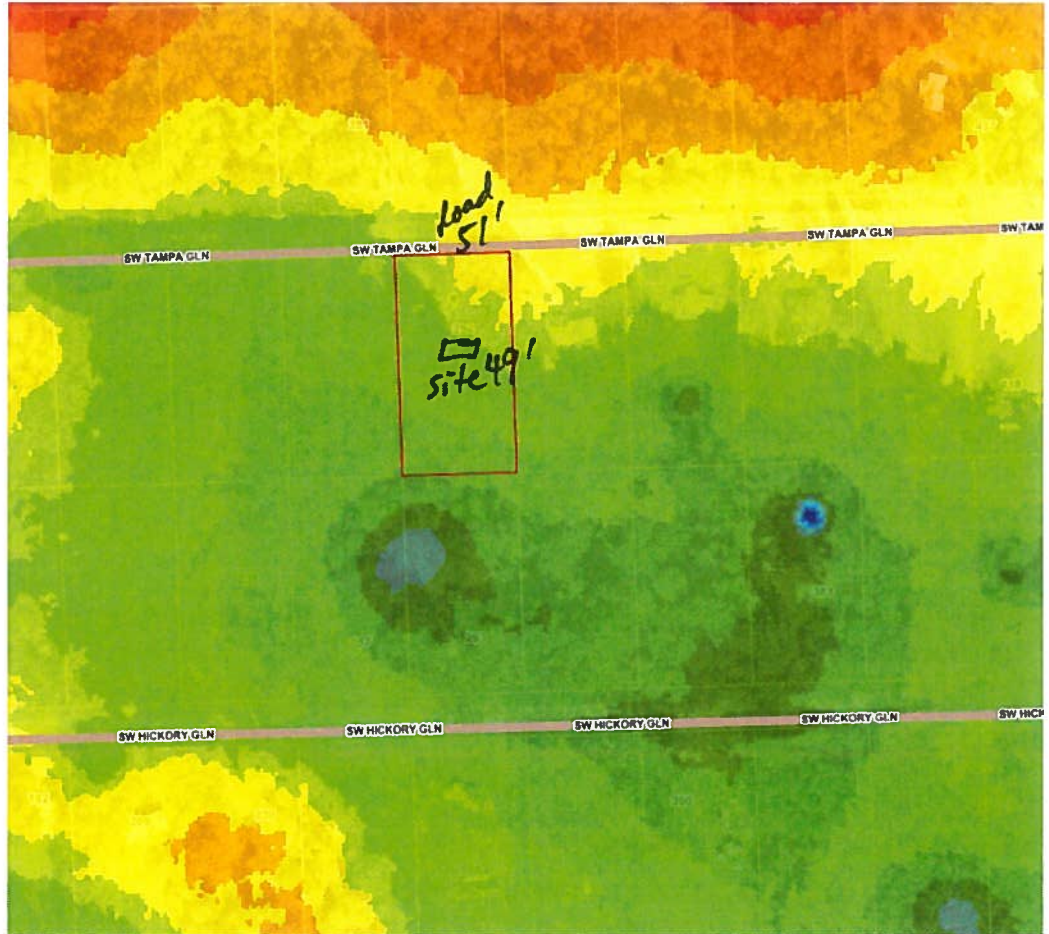
Other

Paved

Private

# Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jul 11 2019 11:31:57 GMT-0400 (Eastern Daylight Time)



## Parcel Information

Parcel No: 36-5S-15-00488-102

Owner: TRAVIS WILLIAM TY

Subdivision: SPRING HILLS

Lot:

Acres: 1.05145359

Deed Acres: 1.05 Ac

District: District 2 Rocky Ford

Future Land Uses: Environmentally Sensitive Areas -1

Flood Zones:

Official Zoning Atlas: ESA-2

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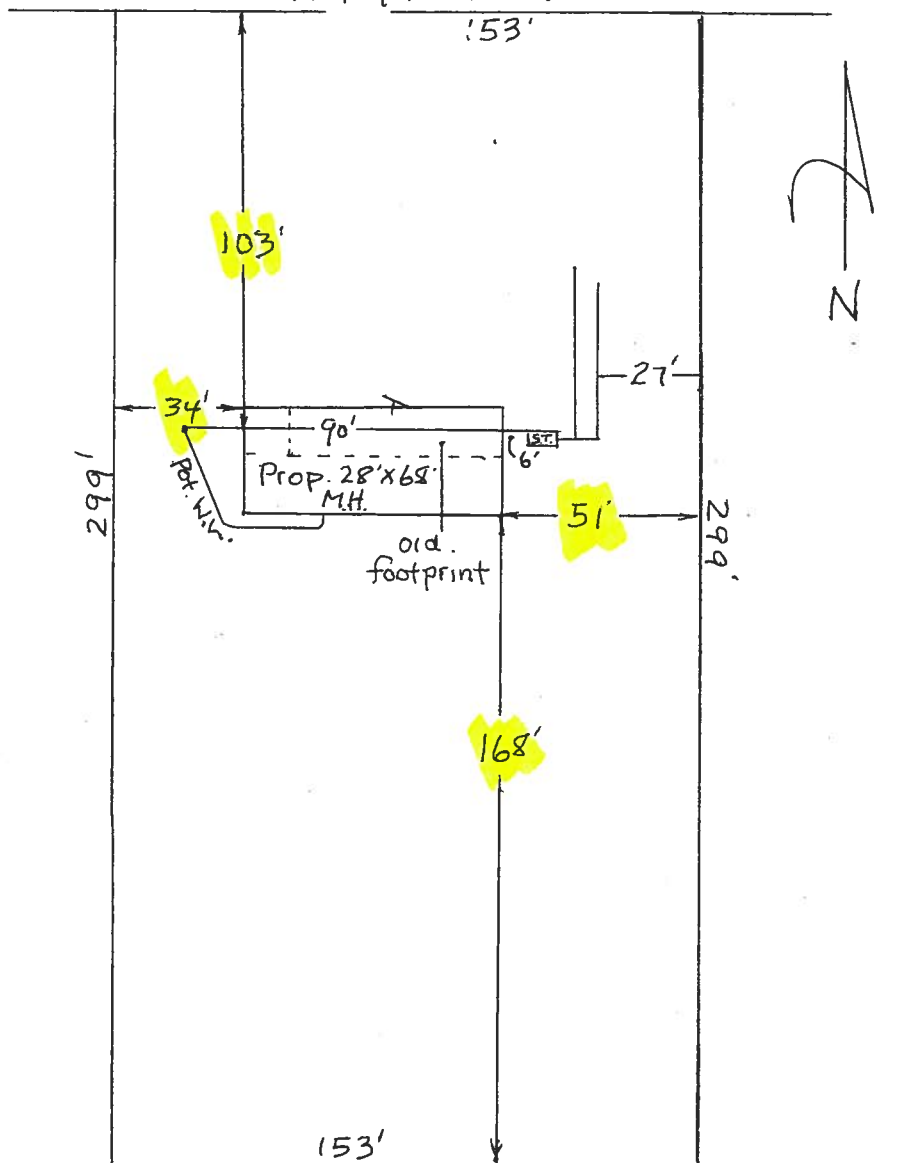
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number \_\_\_\_\_

William Travis  
36-05-15-00488-102

PART II - SITE PLAN 1" = 50'

SW TAMPA GLN.



Notes: This is a replacement home, like for like

Site Plan submitted by: Robert Minnella Date: 07-03-19 Agent ☒  
Robert Minnella

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_ Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

## Legend

### Parcels

### 2018Aerials

### Addresses

### Roads

- Roads
- others
- Dirt
- Interstate
- Main
- Other
- Paved
- Private

### DevZones1

- others
- A-1
- A-2
- A-3
- CG
- CHI
- CI
- CN
- CSV
- ESA-2
- I
- ILW
- MUD-1
- PRD
- PRRD
- RMF-1
- RMF-2
- RO
- RR
- RSF-1
- RSF-2
- RSF-3
- RSF/MH-1
- RSF/MH-2
- RSF/MH-3
- DEFAULT

### 2018 Flood Zones

- 0.2 PCT ANNUAL CHANCE
- A
- AE
- AH

# Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jul 11 2019 11:26:46 GMT-0400 (Eastern Daylight Time)



*ok to use for  
911 Address  
JAS*

## Parcel Information

Parcel No: 36-5S-15-00488-102

Owner: TRAVIS WILLIAM TY

Subdivision: SPRING HILLS

Lot:

Acres: 1.05145359

Deed Acres: 1.05 Ac

District: District 2 Rocky Ford

Future Land Uses: Environmentally Sensitive Areas -1

Flood Zones:

Official Zoning Atlas: ESA-2

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**Columbia County Property Appraiser**

Jeff Hampton

**2018 Tax Roll Year**

updated: 6/25/2019

Parcel: &lt;&lt; 36-5S-15-00488-102 &gt;&gt;

**Owner & Property Info**

Result: 2 of 2

Owner	TRAVIS WILLIAM TY 294 SW TAMPA GLEN FORT WHITE, FL 32038		
Site	294 TAMPA GLN, FT WHITE		
Description*	LOT 7 BLOCK F SPRING HILLS S/D 762-043, 790-1461, 822-390, WD 1053-542, WD 1154-606, WD 1258-252, WD 1353-1378,		
Area	1.05 AC	S/T/R	36-5S-15
Use Code**	MOBILE HOM (000200)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

**Property & Assessment Values**

2018 Certified Values		2019 Working Values	
Mkt Land (2)	\$14,385	Mkt Land (2)	\$15,635
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$4,677	Building (1)	\$5,187
XFOB (2)	\$900	XFOB (2)	\$900
Just	\$19,962	Just	\$21,722
Class	\$0	Class	\$0
Appraised	\$19,962	Appraised	\$21,722
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$19,962	Assessed	\$21,722
Exempt	\$0	Exempt	HX H3 \$21,722
Total Taxable	county:\$19,962 city:\$19,962 other:\$19,962 school:\$19,962	Total Taxable	county:\$0 city:\$0 other:\$0 school:\$0

Aerial Viewer Pictometry Google Maps

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
2/9/2018	\$2,000	1353/1378	WD	I	Q	01
7/15/2013	\$22,500	1258/0252	WD	I	Q	01
7/9/2008	\$24,000	1154/0606	WD	I	Q	
7/28/2005	\$14,000	1053/0542	WD	I	U	08
5/15/1996	\$6,000	822/0390	WD	V	U	09
5/19/1994	\$2,500	790/1461	WD	V	U	12
6/25/1992	\$0	762/0043	WD	V	U	02 (Multi-Parcel Sale) - show

**▼ Building Characteristics**

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	MOBILE HME (000800)	1972	672	672	\$5,187

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

**▼ Extra Features & Out Buildings (Codes)**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	2013	\$300.00	1.000	0 x 0 x 0	(000.00)

4-33

4-33



*DeWitt Cason*  
Doc. #14.00

**This Instrument Prepared by & return to:**

Name: **WILLIAM TY TRAVIS**  
Address: **294 SW TAMPA GLEN  
FORT WHITE, FLORIDA 32038**

Inst: 201812002995 Date: 02/13/2018 Time: 11:14AM  
Page 1 of 1 B: 1353 P: 1378 P: DeWitt Cason, Clerk of Court  
Columbia County, Fl: BD  
Deputy Clerk Doc Stamp-Deed: 14.00

Parcel I.D. #: **00488-102**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS WARRANTY DEED** Made the 9<sup>th</sup> day of February, A.D. 2018, by **SEAN M. BOYLE**,  
**CONVEYING NON-HOMESTEAD PROPERTY**, hereinafter called the grantor, to **WILLIAM TY TRAVIS**, whose  
post office address is **294 SW TAMPA GLEN, FORT WHITE, FL 32038**, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in **Columbia County, State of Florida**, viz:

**LOT 7, BLOCK F, SPRING HILLS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGE 33 AND 33A, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.**

**TOGETHER WITH A 1972 CHMP SINGLE WIDE MOBILE HOME ID #0629666122**

**THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR SURVEY AND MAKES NO WARRANTIES AGAINST SAME.**

**Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.**

**To Have and to Hold** the same in fee simple forever.

And the grantor hereby covenants with said grantee that he is lawfully seized of said land in fee simple; that he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2018.

**In Witness Whereof**, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

*Patricia Lang*  
Witness Signature

**PATRICIA LANG**  
Printed Name

*Mary Ann Tomlinson*  
Witness Signature

**Mary Ann Tomlinson**  
Printed Name

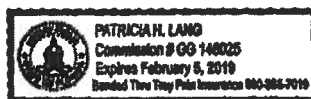
*Sean M. Boyle* L.S.  
**SEAN M. BOYLE**  
Address:  
**678 SW QUARRY CIRCLE, FORT WHITE, FL  
32038**

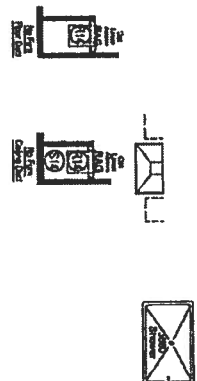
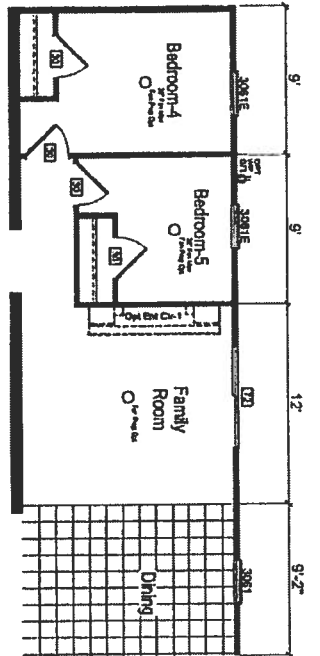
**STATE OF FLORIDA  
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of February, 2018, by **SEAN M. BOYLE**, who is known to me or who has produced \_\_\_\_\_ as identification.

*Patricia Lang*  
Notary Public

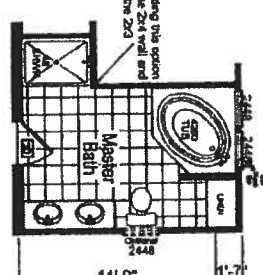
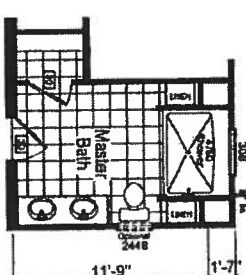
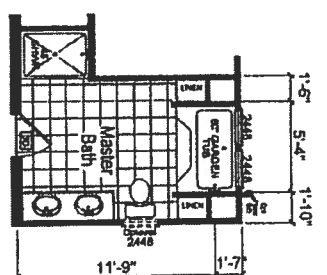
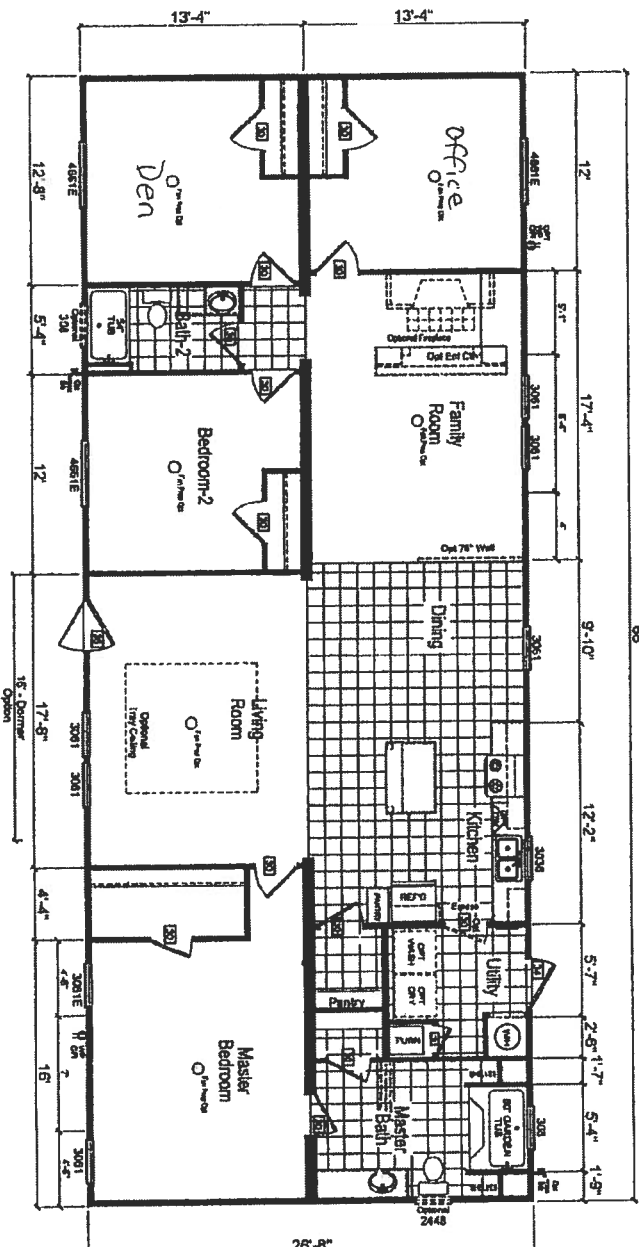
My commission expires 2-5-19





*Robert M. Powell*  
07-03/19

MODEL 261-H4684A  
2 BEDROOM, 2 BATH  
ACTUAL SIZE: 28'-8" x 68'-0"  
TOTAL AREA: 1,813 SQ. FT.



HOMES OF MERIT™

P.O. BOX 2097 HWY 100 EAST LAKE CITY, FL 32056

DAPIA SEAL		MODIFICATIONS		MODEL 261-H4684A		SHEET:
2	Added another Glamour Bath Option	GCK 03-27-15		261-H4684A		
3	Added Opt. SGD to Dining Room	GCK 03-30-16				
5	Revised Furniture Insert	GCK 06-27-16				
6	Updated Windows in the bedrooms	JLG 102-04-19				
PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL PROPERTY OF HOMES OF MERIT, A DIVISION OF CHAMPION COPYRIGHT © 1978-2007 BY CHAMPION			TITLED BLACKLINE		REV. A	
			DRAWN BY: Staff		DATE: 03-21-14	
					Capitva	

## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1907-33 CONTRACTOR Ernest S. Johnson PHONE (352)494-8099

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

<b>ELECTRICAL</b>  ✓ 1074	Print Name <u>Glenn Whittington</u> License #: <u>EC13002957</u> Qualifier Form Attached <input checked="" type="checkbox"/>	Signature <u>Robert Minnella</u> Phone #: <u>(386)972-1700</u>
<b>MECHANICAL/ A/C 950</b> ✓	Print Name <u>Michael A. Boland</u> License #: <u>CAC1817716</u> Qualifier Form Attached <input type="checkbox"/>	Signature <u>Michael A. Boland</u> Phone #: <u>(352)205-6722</u>

*Qualifier Forms cannot be submitted for any Specialty License.*

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Revised 10/30/2015



COLUMBIA COUNTY BUILDING DEPARTMENT  
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160

### LICENSED QUALIFIER AUTHORIZATION

I, Glenn Whittington (license holder name), licensed qualifier  
for Whittington Electric Inc (company name), do certify that  
the below referenced person(s) listed on this form is/are contracted/hired by me, the license  
holder, or is/are employed by me directly or through an employee leasing arrangement; or, is an  
officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said  
person(s) is/are under my direct supervision and control and is/are authorized to purchase and  
sign permits; call for inspections and sign subcontractor verification forms on my behalf.

Printed Name of Person Authorized	Signature of Authorized Person
1. Robert Minnella	1. <u>[Signature]</u>
2. Nancy S Phelps	2. <u>[Signature]</u>
3.	3.
4.	4.
5.	5.

I, the license holder, realize that I am responsible for all permits purchased, and all work done  
under my license and fully responsible for compliance with all Florida Statutes, Codes, and  
Local Ordinances. I understand that the State and County Licensing Boards have the power and  
authority to discipline a license holder for violations committed by him/her, his/her agents,  
officers, or employees and that I have full responsibility for compliance with all statutes, codes  
and ordinances inherent in the privilege granted by issuance of such permits.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or  
officer(s), you must notify this department in writing of the changes and submit a new letter of  
authorization form, which will supersede all previous lists. Failure to do so may allow  
unauthorized persons to use your name and/or license number to obtain permits.

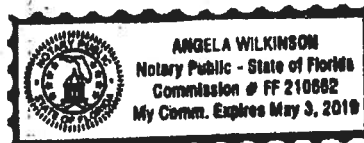
Glenn Whittington EC13002957 11-2-15  
Licensed Qualifiers Signature (Notarized) License Number Date

NOTARY INFORMATION:  
STATE OF: Florida COUNTY OF: Putnam

The above license holder, whose name is Glenn Whittington  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) on this 2nd day of November, 2015.

Angela Wilkinson  
NOTARY'S SIGNATURE

(Seal/Stamp)





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0509  
DATE PAID: 7/31/19  
FEE PAID: 603.00  
RECEIPT #: 1422225

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Travis, William

AGENT: Robert Minnella

TELEPHONE: 352-472-6010

MAILING ADDRESS: 25743 SW 22 Pl. Newberry, FL 32669

Fax 352-472-0104

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 7 BLOCK: F SUBDIVISION: Spring Hills Subd. PLATTED: \_\_\_\_\_

PROPERTY ID #: 36-05-15-00488-102 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☐ No ☐

PROPERTY SIZE: 1.05 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ No ☐ DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 294 SW Tampa Glm. Ft. White, FL 32038

DIRECTIONS TO PROPERTY: SR 47 south to CR 238/SW Elim Church Rd..TR. Go 3.9 miles to SW Ichetucknee Ave..TR

Go 50 Feet to SW Spruce Rd..TL. Go 1.6 miles to SW Tampa Glen..TR. Property is on the right 2 10 mile. Green Flag.

BUILDING INFORMATION

☒ RESIDENTIAL

☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	DW Mobile Home	2	1813	2 People
2				
3	SW Mobile Home <i>Existing</i>	2	672	2 People
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_

SIGNATURE: Robert Minnella

Signature required by Rule 64E-6.001, FAC  
Not a Notary Public in the State of Florida  
date 07-03-19 12:15:00 PM

DATE: 07-03-19

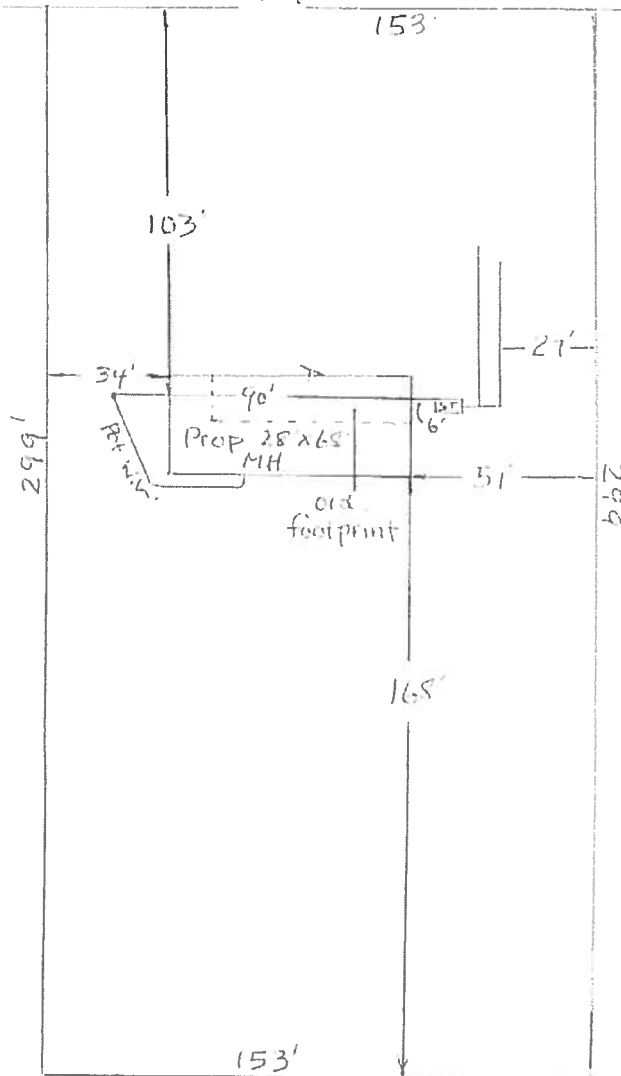
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

19-3519

William Travis  
36-05-15-00488-102

PART II - SITE PLAN 1" = 50'  
SW TAMPA GLN.



Notes: This is a replacement home, like for like

Site Plan submitted by: Robert Minnella  
Robert Minnella

Date: 07-03-19 Agent ☒

Plan Approved ☒

Not Approved ☐

Date 7/10/19

By

F.S.H.

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT