

DATE 10/19/2009

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000028150

APPLICANT DAVID ROYAL PHONE 386.752.7578  
ADDRESS 212 SE HICKORY DRIVE LAKE CITY FL 32025  
OWNER LESTER & ANNE SCAFF PHONE 752-7344  
ADDRESS 14170 S US HIGHWAY 41 (#38) LAKE CITY FL 32025  
CONTRACTOR JOHN W. O'NEAL PHONE 386.752.7578  
LOCATION OF PROPERTY 41-S TO I-75 ON THE R

TYPE DEVELOPMENT COMM -STORE ADDITION ESTIMATED COST OF CONSTRUCTION 865000.00  
HEATED FLOOR AREA 6928.00 TOTAL AREA 6928.00 HEIGHT STORIES 1  
FOUNDATION CONC WALLS MASONRY ROOF PITCH FLOOR CONC  
LAND USE & ZONING CHI MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 03-6S-17-09594-000 SUBDIVISION S&S FOOD STORE # 38  
LOT BLOCK PHASE UNIT TOTAL ACRES 5.00

CBC057550  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
FDOT PERMIT 09-302 BLK H/W N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: SDP-09-2. MFE TO BE 93.8' - TO MATCH EXISTING GRADE PER ENGINEER'S  
INDICATED ON PLANS.

Check # or Cash 17867

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 4325.00 CERTIFICATION FEE \$ 34.64 SURCHARGE FEE \$ 34.64  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 4469.28  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS  
PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED  
FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR  
IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY  
BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED  
WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR  
ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN  
APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID  
WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



Columbia County Building Permit Application

For Office Use Only		Application # <u>0909-49</u>	Date Received <u>3/30/09</u>	By <u>CH</u>	Permit # <u>28150</u>
Zoning Official <u>BLK</u>	Date <u>6.10.09</u>	Flood Zone <u>X</u>	Land Use <u>HI</u>	Zoning <u>CHI</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>93.8'</u>	River <u>N/A</u>	Plans Examiner <u>me/HKD</u>	Date <u>10/19/09</u>
Comments <u>SDP 09-2</u> <u>to match existing grade per Engineers indicated on plans</u>					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input type="checkbox"/> F W Comp. letter					
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____					
School _____ = TOTAL <u>N/A Suspended</u>					

Septic Permit No. 09-302 in Box Fax \_\_\_\_\_

Name Authorized Person Signing Permit DAVID ROYAL Phone 386-752-7578

Address 212 S.E. HICKORY DRIVE LAKE CITY, FL 32025

Owners Name LESTER L. & ANNE C. SCAFF Phone 386-752-7344

911 Address 14170 SOUTH US HWY 41

Contractors Name O'NEAL CONTRACTING Phone 386-752-7578

Address 212 S.E. HICKORY DRIVE LAKE CITY, FL 32025

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address CRAIG SALLEY & ASSOCIATES 3911 NEWBERRY RD. GAINESVILLE, FL

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light Clay Elec - Suwannee Valley Elec. - Progress Energy

Property ID Number 03-6S-17-09594-000 Estimated Cost of Construction \$865,000

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions 41 SOUTH TO INTERSTATE 75 on (R)

Number of Existing Dwellings on Property 1

Construction of MASONRY Addition to S&S store Total Acreage 5 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_

Actual Distance of Structure from Property Lines - Front 210' Side 210' Side 40' Rear 180'

Number of Stories 1 Heated Floor Area 6928 Total Floor Area 6928 Roof Pitch VARIES

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code. (This is for total including new)



**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature \_\_\_\_\_

OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee) \_\_\_\_\_

Contractor's License Number CBC057550  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 30th day of September 2009.

Personally known ☒ or Produced Identification \_\_\_\_\_

State of Florida Notary Signature (For the Contractor) \_\_\_\_\_

SEAL:





# Columbia County Property Appraiser

DB Last Updated: 7/22/2009

## 2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 03-6S-17-09594-000

### Owner & Property Info

<b>Owner's Name</b>	SCAFF STAFFORD L JR & ANNE C		
<b>Site Address</b>	US HIGHWAY 441		
<b>Mailing Address</b>	134 SE COLBURN AVE S & S # 38 LAKE CITY, FL 32025		
<b>Use Desc. (code)</b>	CONV STORE (001126)		
<b>Neighborhood</b>	003617.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	5.000 ACRES		
<b>Description</b>	COMM NW COR OF SE1/4, RUN E 1177.29 FT TO US-41, S 14 FT FOR POB, CONT S 467 FT, W 467 FT, N 467 FT, E 467 FT TO POB. ORB 535-686, 634-445,		

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### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (2)	\$265,388.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$168,749.00
<b>XFOB Value</b>	cnt: (4)	\$53,894.00
<b>Total Appraised Value</b>		\$488,031.00

<b>Just Value</b>	\$488,031.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$488,031.00
<b>Exemptions</b>	\$0.00
<b>Total Taxable Value</b>	County: \$488,031.00   City: \$488,031.00 Other: \$488,031.00   School: \$488,031.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
10/6/1987	634/445	WD	V	Q		\$125,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	NBHD CONVE (004300)	1989	Conc Block (15)	2872	8962	\$168,749.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$9,976.00	0000001.000	0 x 0 x 0	AP (015.00)
0260	PAVEMENT-A	0	\$37,978.00	0000001.000	0 x 0 x 0	AP (015.00)
0253	LIGHTING	0	\$5,440.00	0000001.000	0 x 0 x 0	AP (015.00)
0164	CONC BIN	2008	\$500.00	0000001.000	0 x 0 x 0	(000.00)

### Land Breakdown

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Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001410	CONV STORE (MKT)	0108900.000 SF - (0000002.500AC)	1.00/1.00/0.65/1.00	\$1.62	\$176,962.00
001410	CONV STORE (MKT)	0108900.000 SF - (0000002.500AC)	1.00/1.00/0.65/1.00	\$0.81	\$88,426.00

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

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16 of 39

Next &gt;&gt;

### Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's Office. The assessed values are **NOT CERTIFIED** values and therefore are subject to change before finalized for ad-valorem assessment purposes.

**Notice:**

Under Florida Law, e-mail addresses are public record. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead contact this office by phone or in writing.

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#28150  
Jm

Inst: 200912018273 Date: 10/29/2009 Time: 3:45 PM  
b- DC.P.DeWitt Cason, Columbia County Page 1 of 1 B:1183 P:939

**NOTICE OF COMMENCEMENT**

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 03-68-17-09594-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): S & S No. 38 CONVENIENCE STORE  
a) Street (job) Address: U.S. 41 E I-75 COMM NW COR OF SE1/4, RUN E 1177.29 FT TO US-41, S 14 FT FOR POB, CONT S 467 FT, W 467 FT, N 467 FT, E 467 FT TO POB. ORB 535-686, 634-445,
2. General description of improvements: RENOVATION & ADDITION
3. Owner Information  
a) Name and address: LESTER L & ANNE C SCAFF  
b) Name and address of fee simple titleholder (if other than owner) 134 SE COLBURN AVE, LAKE CITY  
c) Interest in property \_\_\_\_\_
4. Contractor Information  
a) Name and address: ONEAL CONTRACTING, 212 SE HICKORY DR. LAKE CITY 32625  
b) Telephone No.: 386-752-7578 Fax No. (Opt.) \_\_\_\_\_
5. Surety Information  
a) Name and address: \_\_\_\_\_  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: \_\_\_\_\_  
b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b).  
Florida Statutes:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. [Signature]  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
LESTER SCAFF  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 26<sup>th</sup> day of October, 2009, by:  
Lester Scaff as Owner (type of authority, e.g. officer, trustee, attorney  
fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature Teresa Horne Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



**FILE COPY**

# 28150

**SUBSURFACE EXPLORATION  
S & S STORE #38 BUILDING AND PARKING ADDITIONS  
ELLISVILLE, COLUMBIA COUNTY, FLORIDA  
CTI PROJECT NO. 09-00431-01**

--- Prepared for ---  
**O'Neal Contracting, Inc.**  
818 Hickory Lane  
Lake City, Florida 32055

--- Prepared by ---  
**Cal-Tech Testing, Inc.**  
P. O. Box 1625  
Lake City, Florida 32056-1625

October 26, 2009





## Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056

4784 Rosselle Street • Jacksonville, FL 32254

Tel. (386) 755-3633 • Fax (386) 752-5456

Tel. (904) 381-8901 • Fax (904) 381-8902

October 26, 2009

### **O'Neal Contracting, Inc.**

818 Hickory Lane  
Lake City, Florida 32055

Attention: Mr. John O'Neal

Subject: Report of Subsurface Exploration  
S & S Store #38 – Building and Parking Additions  
Ellisville, Columbia County, Florida  
CTI project No. 09-00431-01

Dear Mr. O'Neal:

**Cal-Tech Testing, Inc. (CTI)** has completed the subsurface exploration for the building and truck parking additions at the existing S & S Store #38. Our work was planned and performed in general accordance with our proposal dated October 22, 2009. Authorization to this work was provided by you on October 22, 2009.

### **Introduction**

The purpose of this exploration was to develop information concerning the site and subsurface conditions to evaluate site preparation requirements and foundation support recommendations for the proposed building north addition and truck parking lot expansion at the subject S & S Store. The subject site is located in the south west quadrant of U.S. Highway No. 441/41 and Otis Howell Road in Ellisville, Columbia County, Florida.

Based on our review of available drawings, our site observation on October 21, 2009 and our conversation with Mr. Nash, we understand the proposed construction will include a 54'-8" by 40'-0" attached addition to the north end of the existing store, a 54'-8" by 50'-0" attached addition to the south end of the existing store, and ±85' wide expansion to the truck parking area.

The new addition will consist of one-story CMU framed building. We anticipate the finished floor elevations of the new additions to match that of the existing building, and that columns and bearing wall loads will not exceed 25 kips and 4 kips per linear foot, respectively. Soil-supported floor live loads is not expected to exceed 150 psf. Finished floor elevation will match that of the existing building. We understand the scope of this exploration is limited to the attached addition north of the existing store, and truck parking expansion located within the southern portion of the property.

### **Field Program**

Our field program consisted of performing 2 Standard Penetration Test (SPT) borings within the proposed building addition each extending 15 feet below the existing ground surface, and 3 SPT borings within the parking expansion area each extending 10 feet below the existing ground surface. The borings were located in the field at the approximate locations shown on the attached Field Exploration Plan.

Sampling and penetration procedures of the SPT borings were accomplished in general accordance with ASTM D-1586, "*Penetration Test and Split-Barrel Sampling of Soils*", using a power rotary drill rig. The standard penetration tests were performed by driving a standard 1-3/8" I.D. and 2" O.D. split spoon sampler with a 140 pound hammer falling 30 inches. The number of hammer blows required to drive the sampler a total of 18 inches, in 6 inch increments, were recorded. The penetration resistance or "N" value is the summation of the last two 6 inch increments and is illustrated on the attached boring logs adjacent to their corresponding sample depths. The penetration resistance is used as an index to derive soil parameters from various empirical correlations. The borings were performed using a BK-51 drill rig equipped with a manual "safety" hammer.

The attached record of boring logs presents the descriptions of the subsurface conditions encountered at the time of our field program, and also provide the penetration resistances recorded during the drilling and sampling process. The stratification lines and depth designations on the boring record represent the approximate boundaries between the various soils encountered, as determined in the field by our personnel. In some cases transition between the various soils may be gradual.

### **Subsurface Conditions**

The soil profile as disclosed by SPT borings B-1 through B-5 consisted of about 2½ to 6 feet of grayish to reddish brown fine sand with silt (SP-SM) underlain by about 3 to 7½ feet of reddish brown mottled with gray sandy clay (CL), and about 3 to 6 feet of gray with reddish brown mottles clayey sand (SC). The relative density of the sandy soils vary from loose to dense with standard penetration resistance or "N" values ranging from 6 to 32 Blows Per Foot (BPF). The clayey soils have a firm to hard consistency with "N" values ranging from 5 to 37 BPF. Refer to the attached boring logs for more details.

### **Groundwater Conditions**

The depth to the groundwater was measured at the boring locations at the time of completion of drilling. The groundwater table was not encountered in any of the test borings. We note that due to the relatively short time frame of the field exploration and clayey nature of the site soils, the groundwater may not have had sufficient time to stabilize. For a true "stabilized" groundwater level reading, piezometers may be required. In any event, fluctuation in groundwater levels should be anticipated due to seasonal climatic conditions, construction activities, rainfall variations, surface water runoff, and other site-specific factors.

### **General Area Geology/Sinkhole Potential**

A cursory review of the site geology indicates the subject project is underlain by Undifferentiated Quaternary Sediments (**Qu**) of the Pleistocene and Holocene epochs. These sediments consist of siliciclastics, organics and freshwater carbonates. The siliciclastics are light gray, tan, brown to dark,



unconsolidated to poorly consolidated, clean to clayey, silty, fossiliferous, variably organic-bearing sands to blue green to olive green, poorly to moderately consolidated, sandy, silty, clays. Freshwater carbonates “marls” are buff colored to tan, unconsolidated to poorly consolidated, fossiliferous (mollusks) carbonate muds containing organics.

The limestone in this area consists of carbonate rock and its weathered residuum. Surface soil mantle is typically characterized by sands, sandy clays, or clays. In this area of Columbia County, Florida, the limestone is marked by solution features (sinkholes) associated with karst terrains. Areas underlain by karst terrains are prone to sinkhole activities. These sinkholes are primarily caused by an advanced state of internal soil erosion or raveling action, which under certain circumstances can lead to ground subsidences. This internal soil erosion is a very slow process by which soil particles usually migrate under the influence of a hydraulic gradient to underlying karsted and/or fractured limestone formation. There are several indicators generally associated with an advanced state of long term internal soil erosion such as noticeable surface depressions and very loose to soft soil zones just above the rock formation.

The USGS Map Series No. 110, Sinkhole Type, Development, and Distribution in Florida dated 1985 identifies the site at the contact of Areas I and III. Area I consists of ground with bare or thinly covered limestone. Gradually developed solution sinkholes in this area are few, broad and shallow. Area III consists of ground with 30 to 200 feet of cover to limestone. This area mainly consists of cohesive clayey sediments of low permeability. Cover-collapse sinkholes of varying size abruptly develop and are numerous. A brief review of the Sinkhole Database issued by the Florida Geological Survey indicates a number of “reported” sinkhole occurrences within the vicinity of the subject site with the closest being approximately  $\frac{3}{4}$  mile east-southeast of the subject site<sup>1</sup>.

It must be understood that this exploration was not intended to predict or preclude future sinkholes from occurring or developing at this site or within the vicinity of the subject site. We note that major topographic changes in surface or groundwater patterns in carbonate terrains can sometimes induce sinkholes. Therefore, it is recommended the site grades should follow the existing topography as much as possible. In addition, no water wells should be installed within the site influence area, as pumping from these wells will cause groundwater fluctuations and may induce sinkholes.

### **Foundation Recommendations**

Based on the data obtained during this exploration, and the anticipated structural loading and grading conditions, it is our opinion the proposed building addition can be supported on a conventional shallow foundation system. This shallow foundation system may be designed using a maximum allowable soil bearing pressure of 2,000 psf. A detailed settlement analysis was beyond the scope of this exploration. However, based on the assumed loads, and the available site and subsurface information, we anticipate the new addition should experience total and differential settlements of less than 1 inch and  $\frac{1}{2}$ -inch, respectively. We note that these settlement estimates are based on the structural loading and site grading assumptions stated previously. If the grading or structural assumptions are incorrect, we should be notified so that we can reevaluate our recommendations.

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<sup>1</sup> Refer to the Florida Geological Survey Sinkhole Database, Reference No. 29-506 occurred on September 15, 1988 and Reference No. 29-007 February 25, 1975.

### **Pavement in Parking Expansion Areas**

After removal of the upper deleterious materials, such as topsoil and loose soils associated with the removal/rerouting of the existing utilities, fill utilized to elevate the pavement areas to subgrade elevation should consist of reasonably clean fine sands (inorganic, non-plastic sands containing less than 10 percent fines) uniformly compacted to a minimum of 95 percent of the soil's modified Proctor maximum dry density (ASTM D1557).

Based on our conversation with Mr. Nash, we understand the construction plans indicate a pavement section of 8 inches of limerock overlain by 2 inches of asphaltic concrete (this section will produce a structural number, *SN*, of about 2.32). We have not been provided with traffic loads on this project, however, we understand that this section is equivalent to the existing pavement thickness.

A limerock or graded aggregate base, or crushed concrete base material may be used. Typically in the Columbia County, Florida area it has been our experience that limerock base is the most economical base material. The limerock base should meet the requirements of Section 911 in the current FDOT "*Standard Specifications for Road and Bridge Construction*". This material should achieve an LBR of at least 100 when compacted to 98 percent of the modified Proctor maximum dry density (ASTM D-1557) which is the recommended compaction value. The asphaltic concrete structural course may consist of Type S-III asphaltic concrete material for its durability qualities. The asphaltic concrete should meet material requirements and placement procedures as outlined in the current FDOT "*Standard Specifications for Road and Bridge Construction*". The asphalt should be compacted to a minimum of 96% of the laboratory unit weight when prepared in accordance with the Marshall Method.

### **Site Clearing/Grading**

Initial site preparation should consist of relocating existing utilities that fall within the new construction areas. The perimeter areas may need to be graded to help direct surface water runoff away from the planned construction areas.

### **Foundation Size and Bearing Depth**

The minimum width recommended for isolated spread-type footings and continuous wall footings is 24 and 18 inches, respectively. All exterior footings should bear at a depth of at least 18 inches below the exterior final grades. Interior footings should bear at a depth of at least 18 inches below the interior floor slab.

To alleviate differential settlement of the existing structure due to new imposed loads, the footing bearing elevation of the new building addition should be made to bear at the elevation of the existing footing system.



### **Bearing Material**

The foundations should bear in either natural soils, or in compacted structural fill/backfill. If sandy soils exist at the footing bearing level, they should be compacted to densities equivalent to 95 percent of the modified Proctor maximum dry density (ASTM D 1557). Compaction should not be attempted on clayey soils at the footing bearing level (if any encountered). Rather they should be excavated using a smooth bucket/shovel, and replaced with a working platform of 10 to 12-inches of coarse aggregate or two to three inches of lean concrete mud mat.

### **Ground Floor Slab Support**

The ground floor slab for the proposed addition may be constructed directly on a re-compacted fine sand subgrade. Structural fill soils placed directly beneath the slab should be compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D-1557) to a depth of at least 12 inches. Proper jointing should be installed around columns and walls to allow slabs and foundations to settle differentially.

All floor slabs should be supported on at least 4 inches of relatively clean granular material, such as sand, sand and gravel, or crushed stone. This is to help distribute concentrated loads and equalize moisture beneath the slab. This granular material should have 100 percent passing the 1½ -inch sieve and a maximum of 10 percent passing the No. 200 sieve.

### **Site & Fill Compaction**

We recommend that exposed and underlying soils be compacted to densities equivalent to 95 percent of the modified Proctor maximum dry density (ASTM D-1557). To compact the exposed and underlying soils, we recommend using a roller that has a static at-drum weight on the order of four to five tons and a drum diameter on the order of four feet (the roller should operate with the vibrator disengaged to avoid damage to the existing foundation system). The initial compaction operations should also consist of at least eight overlapping passes of the roller in each direction. This compaction effort should help improve the overall uniformity and bearing conditions of the near-surface soils. **Caution should be exercised during the compaction of soils adjacent to the existing building. Compaction of fill placed adjacent to the existing footing system may be accomplished using a plate tamper.**

Using a roller meeting the above requirements, structural fill required to raise the site to the planned finish grades may then be placed in loose lifts not exceeding 12 inches in thickness, and should then be compacted to densities similar to those recommended above. For ease of construction and compaction, we recommend that structural fill consist of a non-plastic, inorganic, granular soil containing less than 10 percent material passing the 200 mesh sieve (i.e., relatively clean sand). The upper fine sands encountered in our boring should meet this criteria.

### **Report Limitations**


This geotechnical exploration report has been prepared for the exclusive use of **O'Neal Contracting, Inc. of Lake City, Florida**, for the specific application to the project discussed herein. Our conclusions and recommendations have been rendered using generally accepted standards of geotechnical engineering practice in the State of Florida. No other warranty is expressed or implied. Environmental assessment for the presence of pollutants in the explored subsurface was beyond the scope of this exploration. **CTI** is not responsible for the interpretations, conclusions, opinions, or recommendations of others based on the data contained herein. Field observations, monitoring, and quality control testing during earthwork and foundation installation are an extension of the geotechnical design. We recommend the owner retain these services and that **CTI** be allowed to continue our involvement in the project through these phases of construction.

### **Closing**

We have enjoyed assisting you on this phase of your project and look forward to serving as your geotechnical and construction materials testing consultant for the remainder of this and future projects. Should you have any questions concerning this report, please contact our office at 386-755-3633.

Sincerely,  
**Cal-Tech Testing, Inc.**

  
David B. Brown  
Executive Vice President

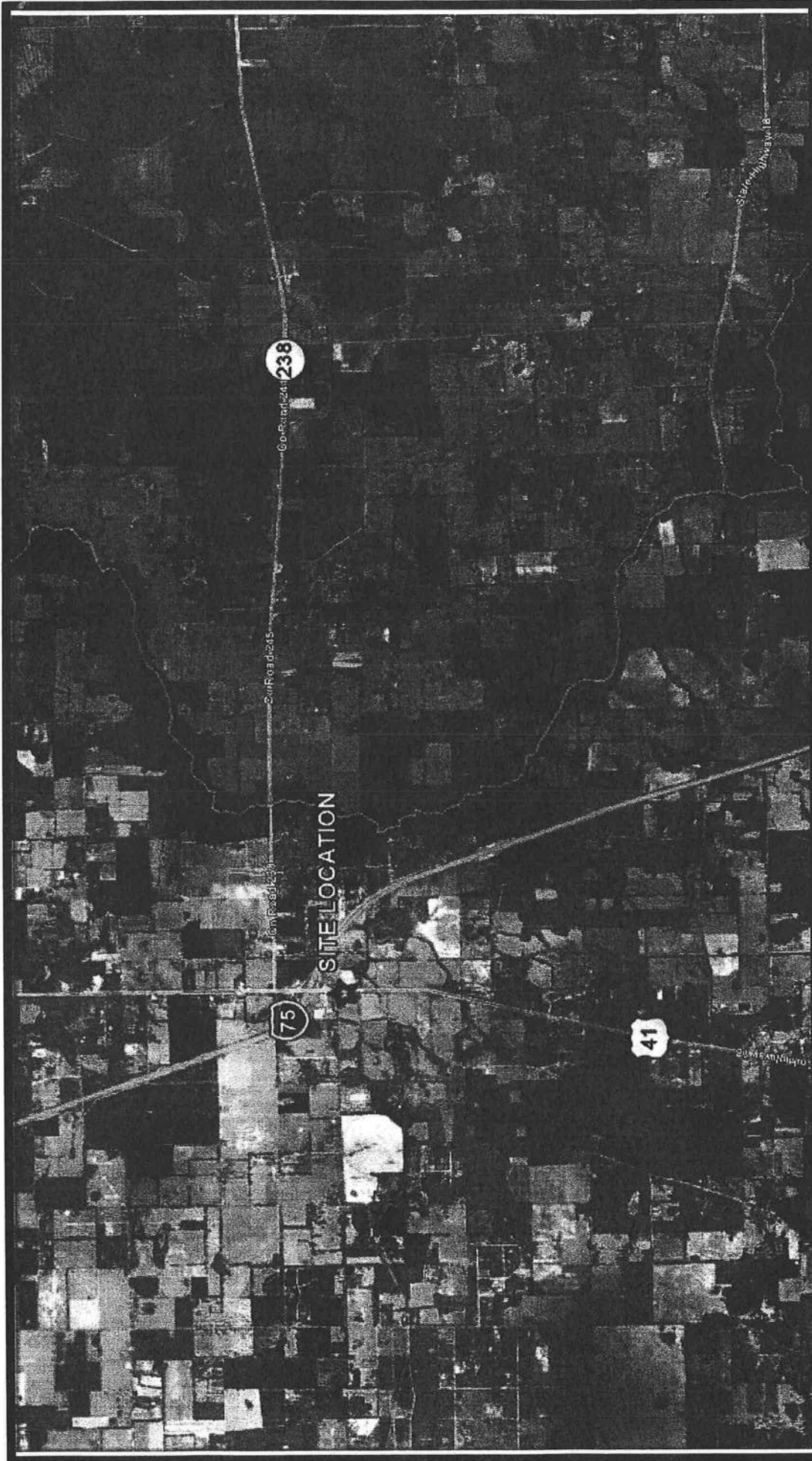
  
Nabil O. Hmeidi, P.E. 10/26/09  
Senior Geotechnical Engineer  
Licensed, Florida No. 57842

*Distribution: File (1 copy)*  
*Addressee (2 copies)*

*Attachments: Vicinity Map (1 page)*  
*Field Exploration Plan (1 page)*  
*Record of Auger Boring (5 pages)*  
*Unified Soil Classification System (1 page)*  
*Key To Test Data (1 page)*



# **ATTACHMENTS**



**CAL-TECH TESTING, INC.**

**P.O. Box 1625**

**Lake City, Florida 32056-1625**

**Phone: (386) 755-3633**

**Fax: (386) 752-5456**

**Vicinity Map**

**S & S Store #38 Building and Parking Additions**

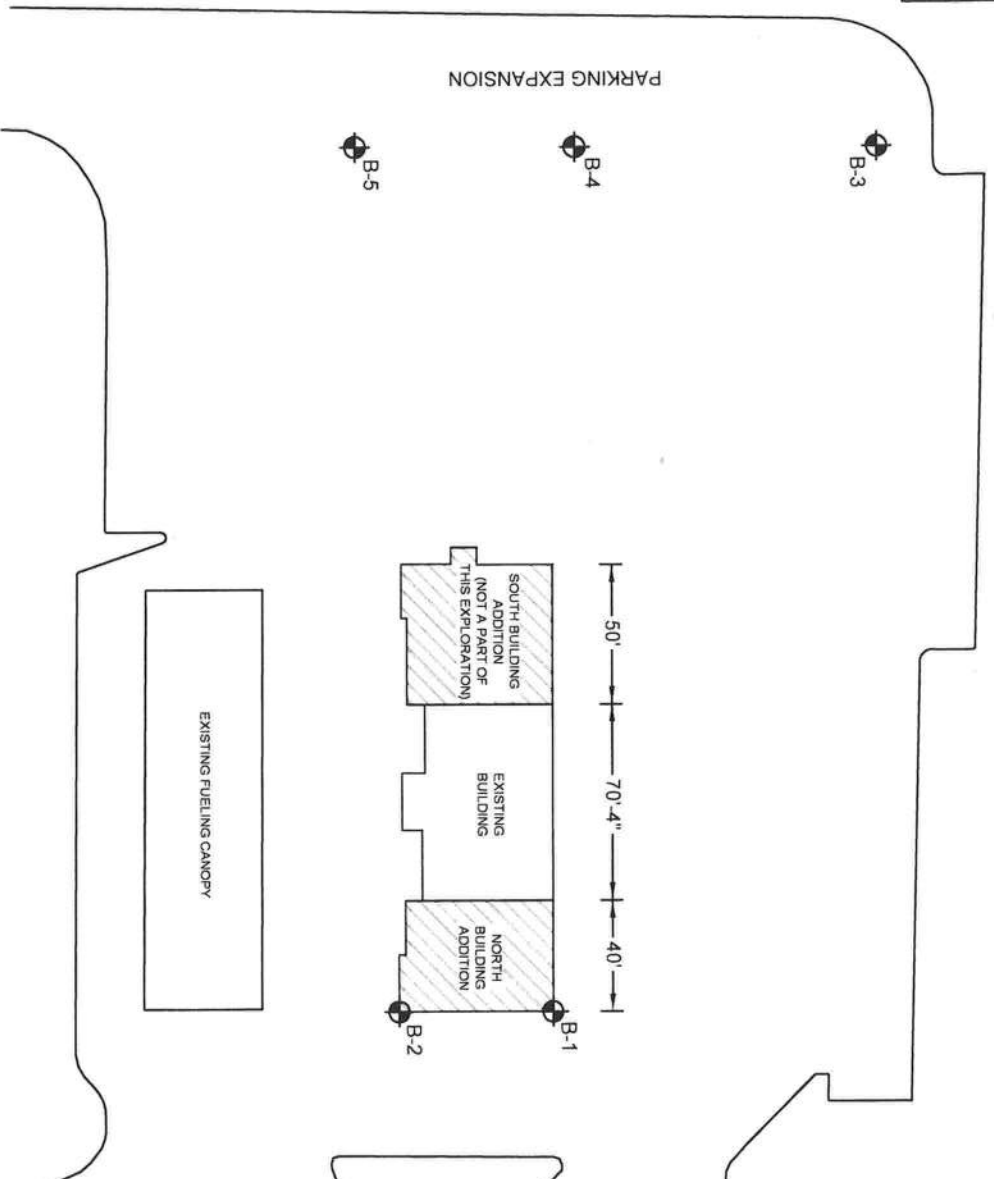
**Ellisville, Columbia County, Florida**

**Cal-Tech Testing Project No. 09-00431-01**

Figure 1



FOR ILLUSTRATION ONLY  
NOT TO SCALE  
NOT FOR CONSTRUCTION



STANDARD PENETRATION TEST BORINGS BY CAL-TECH TESTING, INC. PERFORMED ON OCTOBER 22, 2009

GEOTECHNICAL EXPLORATION  
S & S STORE #38  
BUILDING AND PARKING ADDITIONS  
ELLISVILLE, COLUMBIA COUNTY, FLORIDA

CAL-TECH TESTING, INC.  
P.O. Box 1625  
Lake City, Florida 32056-1625  
Phone: (386) 755-3633  
Fax: (386) 752-5456

FIELD EXPLORATION PLAN

Project No. 09-00431-01	DATE: 10/23/2009	FIGURE: 1
APPROVED:		SCALE: N.T.S.



CAL-TECH TESTING, INC.  
3309 SW SR 247  
Lake City, Florida 32024  
Telephone: (386) 755-3633  
Fax: (386) 752-5456

# BORING NUMBER B-1

PAGE 1 OF 1

CLIENT O'Neal Contracting, Inc.

PROJECT NAME S & S Store #38 Building and Parking Additions

PROJECT NUMBER 09-00431-01

PROJECT LOCATION I-75 & U.S. Hwy 41/441, Ellisville, Columbia County, FL

DATE STARTED 10/22/09 COMPLETED 10/22/09

GROUND ELEVATION \_\_\_\_\_ HOLE SIZE 4"

DRILLING CONTRACTOR Cal-Tech Testing, Inc.

GROUND WATER LEVELS:

DRILLING METHOD Continuous Flight Auger/Split Spoon

AT TIME OF DRILLING ---

LOGGED BY N.H. CHECKED BY \_\_\_\_\_

AT END OF DRILLING --- Not Encountered

NOTES BK-51 (manual hammer)

AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD %)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0								PL	MC	LL	
								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
		LOOSE, grayish to reddish brown, fine sand with silt (SP-SM)									
			SPT		3-3-4 (7)						
		FIRM to HARD, reddish brown mottled with gray, sandy clay (CL)									
			SPT		3-2-4 (6)						
5			SPT		4-7-9 (16)						
			SPT		7-10-12 (22)						
			SPT		10-22-15 (37)						
		DENSE, gray with reddish brown mottles, clayey sand (SC)									
10			SPT		11-14-17 (31)						
			SPT		9-10-22 (32)						
15											

Bottom of borehole at 15.0 feet.





CAL-TECH TESTING, INC.  
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Fax: (386) 752-5456

# BORING NUMBER B-2

PAGE 1 OF 1

CLIENT O'Neal Contracting, Inc.  
PROJECT NUMBER 09-00431-01  
DATE STARTED 10/22/09 COMPLETED 10/22/09  
DRILLING CONTRACTOR Cal-Tech Testing, Inc.  
DRILLING METHOD Continuous Flight Auger/Split Spoon  
LOGGED BY N.H. CHECKED BY \_\_\_\_\_  
NOTES BK-51 (manual hammer)

PROJECT NAME S & S Store #38 Building and Parking Additions  
PROJECT LOCATION I-75 & U.S. Hwy 41/441, Ellisville, Columbia County, FL  
GROUND ELEVATION \_\_\_\_\_ HOLE SIZE 4"  
GROUND WATER LEVELS:  
AT TIME OF DRILLING ---  
AT END OF DRILLING --- Not Encountered  
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD %)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲		
								20	40	60 80
								PL	MC	LL
								20	40	60 80
								□ FINES CONTENT (%) □		
								20	40	60 80
0		LOOSE to MEDIUM DENSE, grayish to reddish brown, fine sand with silt (SP-SM)								
			SPT		5-6-6 (12)					
			SPT		3-3-3 (6)					
5			SPT		3-4-4 (8)					
		STIFF to VERY STIFF, reddish brown mottled with gray, sandy clay (CL)	SPT		4-5-7 (12)					
			SPT		6-10-15 (25)					
10			SPT		10-13-17 (30)					
		MEDIUM DENSE, gray with reddish brown mottles, clayey sand (SC)	SPT		8-10-14 (24)					
15										

Bottom of borehole at 15.0 feet.



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# BORING NUMBER B-3

PAGE 1 OF 1

CLIENT O'Neal Contracting, Inc.  
PROJECT NUMBER 09-00431-01  
DATE STARTED 10/22/09 COMPLETED 10/22/09  
DRILLING CONTRACTOR Cal-Tech Testing, Inc.  
DRILLING METHOD Continuous Flight Auger/Split Spoon  
LOGGED BY N.H. CHECKED BY \_\_\_\_\_  
NOTES BK-51 (manual hammer)

PROJECT NAME S & S Store #38 Building and Parking Additions  
PROJECT LOCATION I-75 & U.S. Hwy 41/441, Ellisville, Columbia County, FL  
GROUND ELEVATION \_\_\_\_\_ HOLE SIZE 4"  
GROUND WATER LEVELS:  
AT TIME OF DRILLING ---  
AT END OF DRILLING --- Not Encountered  
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD %)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0								20	40	60	80
		Gray, silty fine sand with organics (TOPSOIL)									
		LOOSE, grayish to reddish brown, fine sand with silt (SP-SM)	SPT		8-5-3 (8)						
		FIRM, reddish brown mottled with gray, sandy clay (CL)	SPT		3-2-3 (5)						
5			SPT		3-4-4 (8)						
		MEDIUM DENSE, gray with reddish brown mottles, clayey sand (SC)	SPT		5-6-5 (11)						
			SPT		6-7-7 (14)						
10			SPT		7-7-8 (15)						

Bottom of borehole at 10.0 feet.





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# BORING NUMBER B-4

PAGE 1 OF 1

CLIENT O'Neal Contracting, Inc.  
PROJECT NUMBER 09-00431-01  
DATE STARTED 10/22/09 COMPLETED 10/22/09  
DRILLING CONTRACTOR Cal-Tech Testing, Inc.  
DRILLING METHOD Continuous Flight Auger/Split Spoon  
LOGGED BY N.H. CHECKED BY \_\_\_\_\_  
NOTES BK-51 (manual hammer)

PROJECT NAME S & S Store #38 Building and Parking Additions  
PROJECT LOCATION I-75 & U.S. Hwy 41/441, Ellisville, Columbia County, FL  
GROUND ELEVATION \_\_\_\_\_ HOLE SIZE 4"  
GROUND WATER LEVELS:  
AT TIME OF DRILLING ---  
AT END OF DRILLING --- Not Encountered  
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD %)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
0								PL	MC	LL	
								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
		MEDIUM DENSE, grayish to reddish brown, fine sand with silt (SP-SM)	SPT		15-16-7 (23)						
		STIFF to VERY STIFF, reddish brown mottled with gray, sandy clay (CL)	SPT		4-5-8 (13)						
5			SPT		6-8-10 (18)						
			SPT		8-10-12 (22)						
			SPT		7-11-13 (24)						
10			SPT		8-10-13 (23)						

Bottom of borehole at 10.0 feet.



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Lake City, Florida 32024  
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# BORING NUMBER B-5

PAGE 1 OF 1

CLIENT O'Neal Contracting, Inc.  
PROJECT NUMBER 09-00431-01  
DATE STARTED 10/22/09 COMPLETED 10/22/09  
DRILLING CONTRACTOR Cal-Tech Testing, Inc.  
DRILLING METHOD Continuous Flight Auger/Split Spoon  
LOGGED BY N.H. CHECKED BY \_\_\_\_\_  
NOTES BK-51 (manual hammer)

PROJECT NAME S & S Store #38 Building and Parking Additions  
PROJECT LOCATION I-75 & U.S. Hwy 41/441, Ellisville, Columbia County, FL  
GROUND ELEVATION \_\_\_\_\_ HOLE SIZE 4"  
GROUND WATER LEVELS:  
AT TIME OF DRILLING ---  
AT END OF DRILLING --- Not Encountered  
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD %)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0								20	40	60	80
		MEDIUM DENSE, grayish to reddish brown, fine sand with silt (SP-SM)	SPT		18-12-7 (19)						
		STIFF to VERY STIFF, reddish brown mottled with gray, sandy clay (CL)	SPT		4-4-5 (9)						
5			SPT		5-7-9 (16)						
			SPT		6-8-10 (18)						
			SPT		8-10-12 (22)						
10			SPT		9-11-13 (24)						

Bottom of borehole at 10.0 feet.

# UNIFIED SOIL CLASSIFICATION SYSTEM

## ASTM DESIGNATION D-2487

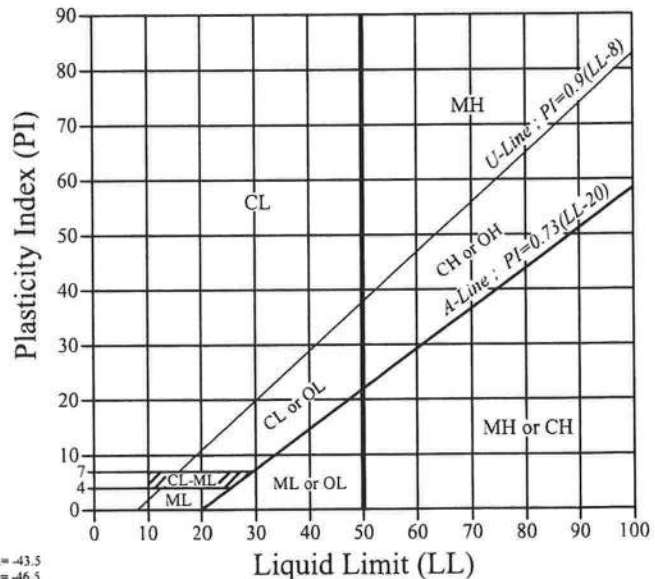
MAJOR DIVISIONS		GROUP SYMBOL	TYPICAL NAMES	LABORATORY CLASSIFICATION CRITERIA			
COARSE GRAINED SOILS (More than half of the material is larger than No. 200 sieve)	Gravels (more than half of the coarse fraction is larger than No. 4 sieve)	Clean gravels	GW	Well-graded gravels, gravel-sand mixtures, little or no fines.	$C_u = \frac{D_{60}}{D_{10}} > 4 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$		
			GP	Poorly graded gravels, gravel-sand mixture, little or no fines.	Not meeting all gradation requirements of GW		
		Gravel with fines	GM	Silty gravels, gravel-sand-silt mixtures.	Atterberg Limits below A-Line or PI less than 4	Above A-Line with PI between 4 and 7 are borderline cases requiring the use of dual symbols.	
			GC	Clayey gravels, gravel-sand-clay mixtures.	Atterberg Limits above A-Line or PI greater than 7		
	Sands (more than half of the coarse fraction is smaller than No. 4 sieve)	Clean sands	SW	Well-graded sands, gravelly sands, little or no fines.	$C_u = \frac{D_{60}}{D_{10}} > 6 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$		
			SP	Poorly graded sands, gravelly sands, little or no fines.	Not meeting all gradation requirements of SW		
		Sands with fine	SM	Silty sands, sand-silt mixtures.	Atterberg Limits below A-Line or PI less than 4	Limits plotting in hatched zone with PI between 4 and 7 are borderline cases requiring the use of dual symbols.	
			SC	Clayey sands, sand-clay mixtures.	Atterberg Limits above A-Line or PI greater than 7		
Determine percentage of sand and gravel from grain size curve Depending on percentage of fines (fraction smaller than No. 200 Sieve size), coarse grained soils are classified as follows: Less than 5% ..... GW, GP, SW, SP More than 12% ... GM, GC, SM, SC 5 to 12% ..... Borderline cases requiring dual symbols							

Determine percentage of sand and gravel from grain size curve  
 Depending on percentage of fines (fraction smaller than No. 200 Sieve), coarse grained soils are classified as follows:  
 Less than 5% ..... GW, GP, SW, SP  
 More than 12% ... GM, GC, SM, SC  
 5 to 12% ..... Borderline cases requiring dual symbols

<b>FINE GRAINED SOILS</b> (More than half of the material is finer than No. 200 sieve)	<b>Silts and Clays</b> (LL less than 50)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity.
		CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clay.
		OL	Organic silts and organic silty clays of low plasticity.
	<b>Silts and Clays</b> (LL greater than 50)	MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.
		CH	Inorganic clays of high plasticity, fat clay.
		OH	Organic clays of medium to high plasticity, organic silts.
	<b>Highly Organic Soils</b>	Pt	Peat and other highly organic soils.

### PLASTICITY CHART

1. Plot intersection of PI as determined by the Atterberg Limits tests.
2. Points plotted above the A-Line indicate clay soils.
3. Points plotted below the A-Line indicate silt.



### CAL-TECH TESTING, INC.

P.O. Box 1625  
 Lake City, Florida 32056-1625  
 Phone: 386-755-3633 Fax: 386-752-5456

5% Max. Passing the U.S. No. 200 Sieve ..... SP  
 5% - 12% Passing the U.S. No. 200 Sieve ..... SP-SM  
 12% - 50% Passing the U.S. No. 200 Sieve ..... SM/SC



## KEY TO TEST DATA

### STANDARD PENETRATION TEST:

Soil sampling and penetration testing is performed in accordance with ASTM D-1586. The standard penetration resistance ("N") is the number of blows of a 140-pound hammer falling 30 inches to drive a 2-inch O.D., 1.4-inch I.D. split spoon sampler one foot.

### ROCK CORE DRILLING:

Rock sampling and core drilling is performed in accordance with ASTM D-2113. The rock quality designation percentage (RQD) is determined by summing only pieces of core that are at least 4 inches long, and dividing by the "run" length.

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 - 100	Excellent
75 - 90	Good
50 - 75	Fair
25 - 50	Poor
0 - 25	Very Poor

### RELATIVE DENSITY (SANDS):

Very loose - less than 4 blows/ft.

Loose - 5 to 10 blows/ft.

Medium - 11 to 30 blows/ft.

Dense - 31 to 50 blows/ft.

Very dense - over 50 blows/ft.

### CONSISTENCY (SILTS & CLAYS):

Very soft - less than 2 blows/ft.

Soft - 3 to 4 blows/ft.

Medium stiff - 5 to 8 blows/ft.

Stiff - 9 to 15 blows/ft.

Very stiff - 16 to 30 blows/ft.

Hard - 31 to 50 blows/ft.

Very hard - over 50 blows/ft.

### HARDNESS (ROCKS):

Soft - Rock core crumbles when handled.

Medium - Can break core with hands.

Moderately hard - Thin edges of rock core can be broken with fingers.

Hard - Thin edges of core can not be broken with fingers.

Very hard - Can not be scratched with knife.

### GROUNDWATER:

Water levels shown on boring logs are taken immediately upon completion of boring, and are intended for general information. The apparent level may have been altered by the drilling process. Groundwater levels, if desired, can be monitored over a long time interval.

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5% Max. Passing the U.S. No. 200 Sieve ..... SP

5% - 12% Passing the U.S. No. 200 Sieve ..... SP-SM

12% - 50% Passing the U.S. No. 200 Sieve ..... SM/SC

Jacksonville • (904) 381-8901  
Fax • (904) 381-8902



**CAL-TECH TESTING, INC.**

## ENGINEERING & TESTING LABORATORY

P.O. Box 1625, Lake City, FL 32056-1625  
4784 Rosselle St. • Jacksonville, FL 32254

JOB NO.: 09-431  
DATE TESTED: 11-6-09

## REPORT OF IN-PLACE DENSITY TEST

**ASTM METHOD:**        (D-2922) Nuclear        (D-2937) Drive Cylinder        Other

PROJECT: 2634 A. Submarine cable & its installation

CLIENT: Orca / active fire

GENERAL CONTRACTOR: SAC EARTHWORK CONTRACTOR: SAC

SOIL USE (SEE NOTE): \_\_\_\_\_ SPECIFICATION REQUIREMENTS: \_\_\_\_\_

TECHNICIAN: L. Lebert

MODIFIED (ASTM D-1557): \_\_\_\_\_ STANDARD (ASTM D-698): \_\_\_\_\_

[illegible]

REMARKS: \_\_\_\_\_

PROCTOR NO.	SOIL DESCRIPTION	PROCTOR VALUE	OPT. MOIST.
07-04-2	Top Sand	104.3	

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other  
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test location and change with time, sound judgement should be exercised with regard to the interpretation of the test results.

#28150



# CAL-TECH TESTING, INC.

ENGINEERING & TESTING  
LABORATORY

P.O. Box 1625 • Lake City, FL 32056 • (386) 755-3633 • Fax (386) 752-5456

4784 Rosselle St  
Jacksonville, FL 32254  
(904) 381-8901 • Fax (904) 381-8902

## REPORT OF DAILY CONSTRUCTION TESTING AND MONITORING

Client Alcal Contracting Inc.  
Project STS 2600 SE Addition & Expansion  
Contractor S.A.C.

Date 11-6-09  
Job. No. 09-431  
Technician Robert S

### WORK ORDER:

- |                                  |                                    |         |  |
|----------------------------------|------------------------------------|---------|--|
| <input type="checkbox"/> DENSITY | <input type="checkbox"/> CONCRETE  | Set No. | <input type="checkbox"/> Pick-Up Proctor |
| Spec's: <u>75%</u>               | <input type="checkbox"/> Cylinders | _____   | _____                                    |
| Test No.: <u>4-6</u>             | <input type="checkbox"/> Beams     | _____   | _____                                    |
| Inches: <u>12"</u>               | <input type="checkbox"/> Prisms    | _____   | <input type="checkbox"/> Pick-Up LBR     |
|                                  | <input type="checkbox"/> Pick-Up   | _____   | _____                                    |

### DESCRIPTION OF DAYS ACTIVITIES:

Arrived @ 2:00 pm. Returned 3 FDT's. All 4.5 in. 10.5 in.  
Left @ 3:00 pm.

Time In: 2:00

Time Out: 3:15

FDT's Performed _____	Weather: <u>Sunny</u>	Hours Travel: <u>1.15</u>
Cyls Cast/Cal-Tech _____	Hours Worked: <u>1.30</u>	Miles Travel: _____
Cyls Cast/Client _____	Other Tests: _____	Hours Standby: _____
Beams Cast/Cal-Tech: _____		Hours O.T.: _____

Levin R. Phe.

Dale L. Hieber



# 28150



# CAL-TECH TESTING, INC.

## ENGINEERING & TESTING LABORATORY

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Jacksonville • (904) 381-8901

Fax • (904) 381-8902

JOB NO.: 10-041

DATE TESTED: 1-20-10

## REPORT OF IN-PLACE DENSITY TEST

ASTM METHOD: ☒ (D-2922) Nuclear ☐ (D-2937) Drive Cylinder ☐ Other

PROJECT: S45 #38 South Addition + Parking Lot

CLIENT: O'Neal Contracting

GENERAL CONTRACTOR: SAC EARTHWORK CONTRACTOR: Norton

SOIL USE (SEE NOTE): 7- Footing SPECIFICATION REQUIREMENTS: 95%

TECHNICIAN: C. Day

MODIFIED (ASTM D-1557): ☒ STANDARD (ASTM D-698):

TEST NO.	TEST LOCATION	TEST:	PROCTOR NO.	WET DENS. LBS./CU.FT.	DRY DENS. LBS./CU.FT.	MOIST PERCENT	% MAX. DENS.
		DEPTH ELEV. LIFT					
1	N.E. Corner of footing 15' S.	12"	1	118.7	109.3	8.6	96
2	S.E. Corner of footing 10' W.	12"	1	119.4	109.1	9.4	96
3	S.W. Corner of footing 10' E.	12"	1	118.3	109.2	8.3	96
4	N.W. Corner of footing 20' S.	12"	1	117.8	107.8	9.2	95

REMARKS:

PROCTOR NO.	SOIL DESCRIPTION	PROCTOR VALUE	OPT. MOIST.
10-030-1	S45 dirt Pit	114.0	12.0

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other  
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test location and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.

## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 0909-49 CONTRACTOR ONEAL CONTRACTING PHONE 752-7578  
 THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name <u>M &amp; C ELECTRICAL</u> Signature _____ License #: <u>ER0002038</u> Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name <u>COUNTRY COMFORT</u> Signature _____ License #: <u>CACO17795</u> Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name <u>BOUETTE PLUMBING</u> Signature _____ License #: <u>CFCO21540</u> Phone #: _____
<b>ROOFING</b>	Print Name <u>ONEAL ROOFING</u> Signature _____ License #: <u>CCC016346</u> Phone #: _____
<b>SHEET METAL</b>	Print Name <u>ONEAL ROOFING</u> Signature _____ License #: <u>CCC016346</u> Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name <u>(CAPTIVE-AIRE)</u> Signature _____ License #: <u>COUNTRY COMFORT</u> <u>CACO17795</u> Phone #: _____
<b>SOLAR</b>	Print Name _____ Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	<u>000246</u>	<u>ED DENNARD</u>	
CONCRETE FINISHER	<u>CGC1504135</u>	<u>ONEAL CONTRACTING</u>	
FRAMING	<u>CBC057549</u>	<u>RHODES BROTHERS</u>	
INSULATION	"	"	
STUCCO	"	<u>RHODES BROTHERS</u>	
DRYWALL	"	"	
PLASTER	"	"	
CABINET INSTALLER	<u>953221518</u>	<u>MILTON CABINETS</u>	
PAINTING	<u>CRC057549</u>	<u>RHODES BROTHERS</u>	
ACOUSTICAL CEILING	<u>016248</u>	<u>L &amp; D CEILINGS</u>	
GLASS	<u>000618</u>	<u>LAKE CITY GLASS</u>	
CERAMIC TILE		<u>CARROL TIVE</u>	
FLOOR COVERING		<u>CARROL TIVE</u>	
ALUM/VINYL SIDING		<u>N/A</u>	
GARAGE DOOR		<u>N/A</u>	
METAL BLDG ERECTOR		<u>N/A</u>	

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



PERMIT #  
000028150

1006H PLUMBING INSPECTION 1/26/10

## SUBCONTRACTOR VERIFICATION FORM

LATE AFTERNOON

APPLICATION NUMBER 0909-49

CONTRACTOR

ONEAL CONTRACTING

PHONE 752-7578

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name <u>Mark Dawson</u> License #: <u>CFC 1427245</u>	Signature <u>[Signature]</u> Phone #: <u>386-752-4716</u>
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## PRODUCT APPROVAL SPECIFICATION

Location: ELLSVILLE SHEET COLUMBIA CTY.Project Name: S&S No. 38  
ADDITION & RENOVATION

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

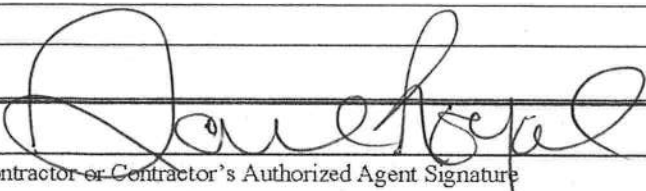
Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	VISTAWAY	EXTERIOR SWINGING DOOR	FL12125
2. Sliding	N/A		
3. Sectional	"		
4. Roll up	"		
5. Automatic	"		
6. Other	"		
<b>B. WINDOWS</b>			
1. Single hung	N/A		
2. Horizontal Slider	"		
3. Casement	"		
4. Double Hung	"		
5. Fixed	"		
6. Awning	"		
7. Pass-through	QUICKSERV	DRIVE-THRU WINDOW	FL 12643
8. Projected	N/A		
9. Mullion	"		
10. Wind Breaker	"		
11. Dual Action	"		
12. Other	"		
<b>C. PANEL WALL</b>			
1. Siding	N/A		
2. Soffits	"		
3. EIFS	BASF	EXTERNAL INSULATION FINISH SYS.	FL 3988
4. Storefronts	N/A		
5. Curtain walls	"		
6. Wall louver	"		
7. Glass block	"		
8. Membrane	"		
9. Greenhouse	"		
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles			
2. Underlayments	TAMCO	METAL & TILE UNDERLAYMENT	FL 1478.1
3. Roofing Fasteners	N/A		
4. Non-structural Metal	BERRIDGE	CEE-LOC PANELS	FL 11269.3
5. Built-Up Roofing	N/A		
6. Modified Bitumen	"		
7. Single Ply Roofing Sys	JOHNS MANVILLE	TPO ROOFING	FL 11475
8. Roofing Tiles	N/A		
9. Roofing Insulation	JOHNS MANVILLE	ROOFING INSULATION BOARD	FL 4205.1
10. Waterproofing	N/A		
11. Wood shingles /shakes	"		
12. Roofing Slate			



Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys	N/A		
14. Cements-Adhesives – Coatings	"		
15. Roof Tile Adhesive	"		
16. Spray Applied Polyurethane Roof	"		
17. Other			
<b>E. SHUTTERS</b>			
1. Accordion	N/A		
2. Bahama	"		
3. Storm Panels	"		
4. Colonial	"		
5. Roll-up	"		
6. Equipment	"		
7. Others			
<b>F. SKYLIGHTS</b>			
1. Skylight	N/A		
2. Other	"		
<b>G. STRUCTURAL COMPONENTS</b>			
1. Wood connector/anchor	N/A		
2. Truss plates	"		
3. Engineered lumber	"		
4. Railing	"		
5. Coolers-freezers	"		
6. Concrete Admixtures	"		
7. Material	"		
8. Insulation Forms	"		
9. Plastics	"		
10. Deck-Roof	"		
11. Wall	"		
12. Sheds	"		
13. Other			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
1.	N/A		
2.	"		

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

  
Contractor or Contractor's Authorized Agent Signature

DAVID ROYAL

Print Name

10/1/09

Date

Location





## ***Florida Department of Transportation***

**JEB BUSH  
GOVERNOR**

**605 Suwannee Street  
Tallahassee, FL 32399-0450**

**DENVER STRUTLER, JR. SECRETARY**

FDOT-Lake City Maintenance  
Permits Department  
Post Office Box 1415  
Lake City, Fl. 32056-1415

Date: 9-10-09

GTC Design Group, LLC  
Mr. Chad Williams, P. E.  
176 NW Lake Jeffery Road  
Lake City, Fl. 32055

### **RE: Approved State FDOT Commercial FDOT Access & Drainage Connection Permit**

Project Name: S & S Food Store No. 38, Ellisville  
Permittee: Stafford L. Scaff, Jr. & S & S Food Stores  
Access Permit No: 09-A-292-0017/Access Permit Category: D  
Access Mile Post Location: 9.830 + -  
Drainage Connection Permit No. 09-A-292-0004  
Drainage Connection Mile Post Location: 9.762 +-  
State Road Section No. for both Permits: 29030



Mr. Williams:

This legal cover letter acknowledges your request on behalf of your client, Mr. Stafford L. Scaff, Jr. of S & S Food Stores, Inc.; whose address is 134 Colburn Avenue, Lake City, Florida 32025 in making proposed a driveway relocation for a Category "D" Commercial Access Connection as well as retention pond enlargement with permitted Stormwater Overflow Drainage Connection Improvements to State Highway No. 25 South in Columbia County, Florida. As the responsible engineering agent, you are hereby notified that permission is hereby granted by the Florida Department of Transportation in making the following related permitted access and drainage connection improvements and/or modifications according to FDOT Permit Access Management and State FDOT Roadway Standard Construction Specifications.



Page 2 of 6

Legal Cover Letter

Access Permit No. 09-A-292-0017

Drainage Connection Permit No: 09-D-292-0004

Permittee: Stafford L. Scaff for S & S Food Stores, Inc.

**PERMIT CONSTRUCTION TIME LIMITS ONCE PERMIT ACTIVATION HAS BEEN MADE**

These access and drainage connection permits are valid for one (1 year) year from the date they are signed and approved, however, once the permittee or his/her legal representative has legally notified and activated the Permits notice to proceed to the Department's Permit Office the permit life is restricted to a specific number of work days that can be much less than the original 1 year date of expiration. By notice of this permit provision, the Permittee is hereby legally notified of these reduced construction time limits restraints. **From the date of permit activation the permittee shall have a total of 60 continuous work days, (not counting official state holidays and Sundays) in which to start and complete said permitted connections and have received the required passing permit inspections in accordance with the approved permit provisions and this legal cover letter, (which is a part of the legal permit.)**

These time restraints are automatically imposed at the time of legal notice of permit activation. Failure on the Permittee's part to adhere too and abide by these permit construction time limit conditions shall not be the responsibility of the Florida Department of Transportation. You are hereby notified to same.

**Access Connection Details**

Proposed for construction to State Highway No. 25 (US 41/441) is a single thirty-six foot wide, two laned asphalt paved, radius return access connection with double asphalt paved shoulders on fifty foot (50') turning radii. The proposed connection shall be considered a Class D, Commercial Access Connection and as such may not exceed the maximum total vehicular trips allowed under the approved permits.

The proposed newly relocated driveway connection shall be relocated to the south to accommodate the planned enlargement expansion of the existing site retention pond. The new proposed driveway shall be built with a twenty-foot wide right-in and a sixteen foot wide right-out turn movement connection. The new driveway shall be constructed in accordance with the permitted "Pavement Design" Plan shown on Plan Sheet 10 of the attached and approved site plan. A minimum of 12 inches of earth Stabilized Type B Subgrade (Min. LBR 40,) with compaction of 98% required and a minimum of eight (8") inches of compacted FDOT Certified limerock base course lift (98% density compaction, AASHTO T-180 Test.) The new connection shall require a minimum of two inches of FDOT Type FC 12.5. Structural Course asphalt. The proposed new asphalt paved shoulders shall require a minimum of five (5") inches of compacted limerock base course with a minimum of 1.5 inches of compacted FDOT Type SP-12.5. The new connection shall require a minimum of one hundred and thirty (130') LF (as measured from Tip to Tip) of eighteen (18") inch diameter, round BCCMP (sidedrain pipe.)

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Legal Cover Letter

Access Permit No. 09-A-292-0017

Drainage Connection Permit No: 09-D-292-0004

Permittee: Stafford L. Scaff for S & S Food Stores, Inc.

This new sidedrain pipe shall require FDOT Standard 1:4 sloped mitered end cuts and shall have concrete pads poured around each with grass sod placed around each MES, all in accordance with FDOT Index No. 273. The new sidedrain pipe shall be placed a minimum of 4 inches below the existing flow line grade of the FDOT Ditch for future maintenance purposes.

Grass sod shall be required over the entire turnout sloped shoulders/both radii and all of the ditchline slopes in accordance with this approved permit.

#### **Special Requirements for Removal of existing side connections**

All pre-existing driveway access connections (if any) that lie within the limits of the permittee's property corners shall be removed and have had complete R/W Restoration (including complete coverage with grass sod) before any commencement of construction can begin at the new connection site. As a special provision of this permit, any pre-existing connections must be removed before work can commence under this approved permit.

#### **DRIVEWAY AND ROADWAY PAVEMENT DESIGN**

All subgrade, base and or structural materials used shall require proof of passing density testing in accordance with those found in the most current FDOT Standard Specifications for Road & Bridge Construction Manual.

A total minimum of three density tests shall be required of the new driveway's finished limerock subgrade with each density test achieving or exceeding a minimum of 98% compaction density. Proof of passing density on the subgrade and the limerock base course lifts must be forwarded to the local FDOT Permits Inspector at Lake City Maintenance a minimum of 24 hours in advance of any asphalt paving. Special Provision for Roadways with Existing Paved Shoulders: The existing outside paved shoulder lying between the limits of the connection's proposed improvements shall be mechanically sawn and removed to provide for a smooth transition edge with the newly planned asphalt connection improvements planned. The driveway's sloped shoulders must maintain a maximum grade of 1:4 throughout the full turn movement of both of the turnout radii and shall be completely covered with Coastal Bermuda Grass Sod.

#### **1:4 SLOPED SHOULDERS**

Two 1:4 grade radiused sloped shoulders shall be constructed outside the required travel surface from the edge-of-pavement to the FDOT Right-of-way line. These two sloped shoulders must be stabilized with a complete coverage of coastal Bermuda grass sod and must be wood staked if on more than a 1:4 slope.

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Legal Cover Letter

Access Permit No. 09-A-292-0017

Drainage Connection Permit No: 09-D-292-0004

Permittee: Stafford L. Scaff for S & S Food Stores, Inc.

### **THERMOPLASTIC MATERIALS REQUIRED**

**All driveways, roadway pavement striping / markings required under this FDOT Permit shall be made with Certified Lead Free Thermoplastic Materials. This shall also include those areas that may lie off the State R/W, but pertain to the safety characteristics of this access connection.**

### **PAVEMENT THERMOPLASTIC STRIPING REQUIRED**

Two 6-inch wide radiused white thermoplastic driveway radiused roadway edge stripes are required as shown as well as a 24-inch wide thermoplastic STOP Bar as shown. A minimum of 47 LF of double six-inch wide yellow lane separation striping shall be required as shown also. A 30 by 30 inch diameter R1-1 FDOT 600 Series STOP Sign shall be required to be constructed in accordance with FDOT Design Standards. All aboveground signs that are required under this approved permit shall be in place and have received a passing inspection before final driveways completion. The new connection shall not be utilized at any time before the FDOT Permits Office has made their final permitted site inspection with a passing grade inspection being received, with evidence of same to the Permittee.

**All density tests must be delivered to the FDOT Permits Office at Lake City Maintenance a minimum of 24 hours in advance of any planned asphalt paving (as may be the case.)**

### **PROPOSED PERMITTED DRAINAGE CONNECTION IMPROVEMENTS**

As permitted the existing on-site retention pond shall be enlarged to the south with the existing pond control structure being modified and shall be replaced with an FDOT Type "C" Inlet Top and outfall structure. The existing overflow pipe shall also be replaced and enlarged with a minimum of 40 LF of an eighteen (18") inch dia. round HDPE Storm Pipe. The existing accepting FDOT Stormwater Inlet Structure shall be modified by having the existing entry site enlarged by mechanical core bore method only, to allow for the acceptance of the enlarged and permitted 18-inch HDPE. Refer to Plan Sheet No. 4 for specific buildout details for same.

### **Minimum FDOT REQUIREMENTS**

All completed work upon FDOT Right-of-ways shall be in accordance with the State of Florida, FDOT's most current specifications for Road and Bridge and the most current FDOT Design Standards.



Page 5 of 6 / Legal Cover Letter  
Access Permit No. 09-A-292-0017  
Drainage Connection Permit No: 09-D-292-0004  
Permittee: Stafford L. Scaff for S & S Food Stores, Inc.

**Roadway, Ditch/Slope Area, Grass Sodding Requirements & R/W Restoration**

All areas of the ditch line its slopes; radii and other areas that fall within the limits of the permitted access turning radii shall receive a complete coverage of Certified Coastal Bermuda Grass Sod. All other areas outside this particular area shall require a complete coverage of hulled Bermuda grass and millet seed with copious amounts of Straw Mulch covering all. All areas upon FDOT R/W shall be made clean and acceptable.

**Notice of Final Approved Plans Interpretation**

The Local Permits Office having jurisdiction over the approved permit shall have final determination over all approved plan & construction concepts and method details that could affect the FDOT Right-of-Way Property.

**Notice of Pre-Construction Meeting (Mandatory)**

The Permittee and his/her construction supervisor(s) shall meet a minimum of 48 hours in advance of activation of this permit, so that all parties will have an opportunity to read in detail this attached cover letter, review its plans and be provided the opportunity to ask any questions he or she may have in regards to this permit.

It shall be the Permittee's responsibility to contact the local Permits Office no later than 48 hours in advance of the planned activation/construction commencement date, so that this provision can be completed satisfactory to all parties involved. **BE AWARE: THIS IS A MANDATORY PERMIT PROVISION! FAILURE TO COMPLETE THIS SPECIAL PROVISION SHALL BE REASON FOR SUSPENSION OF THE APPROVED PERMIT!**

**Grass Sod Requirement Details**

All slopes, shoulders, ditches, and other disturbed areas within the limits of the proposed paved turnout radii, shall be completely grass sodded with Certified Coastal Bermuda grass. **Note: all grass shall be installed, watered and inspected for evidence of growth, before any paving can commence under this permit. Failure to complete this provision can be reason for temporary suspension of this permit.**

**NOTICE: ALL R/W RESTORATION AND REQUIRED GRASS SOD SHALL BE PLACED DOWN AND INSPECTED BEFORE ANY ASPHALT/CONCRETE PAVING CAN COMMENCE UNDER THIS APPROVED PERMIT.**

**Save Harmless Clause**

Please refer to the approved permit, cover Letter and site plan drawings and if attached addendum for Access type, location and construction details. **Refer to the approved connection permit for additional General and Special Provisions that could alter construction design plans as shown on the attached site plan.**

Page 6 of 6

Legal Cover Letter

Access Permit No. 09-A-292-0017

Drainage Connection Permit No: 09-D-292-0004

Permittee: Stafford L. Scaff for S & S Food Stores, Inc.

A copy of the approved site plan and FDOT Permit(s) shall be on site at all times. Construction on the Department of Transportation's Right-of-Way shall meet all of the Department's Standard Construction Specifications and Safety Criteria. This Permit is issued with the understanding that a Department approved contractor shall perform all construction in accordance with F.D.O.T. Specifications and that all costs of construction shall be borne by the applicant.

It is also understood and agreed that the rights and privileges herein set out, are granted only to the extent of the State's Right, Title and Interest in the land to be entered upon and used by the holder, and the holder will at all times, assume all risk of and indemnify, defend, and save harmless the State of Florida and the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

**Final Passing Inspection Required**

**Once all permitted improvements have been completed (as per the project engineer notice) all new access permit construction must have received a required final passing inspection from the access permits office.**

It is required that the Permittee, Project Professional Engineer or Legal Representative contact our Permits Coordinator, Neil E. Miles, at 710 N W Lake Jeffery Road, Suite 101, Lake City, Florida, 32055-2621, at Phone Number (904) 961-7193 or if no answer 961-7180, a minimum of **48** hours prior to your planned construction commencement date to activate the approved permit and conduct the required pre-construction meeting.

Sincerely,

A handwritten signature in cursive script that reads "Neil E. Miles".

Neil E. Miles

Access Permits Coordinator

Lake City Maintenance

# FLORIDA DEPARTMENT OF TRANSPORTATION

CHARLIE CRIST  
GOVERNOR



STEPHANIE KOPELOUSOS  
SECRETARY

PERMITTEE: Stafford L. Scaff Jr. SEC NO: 29030 PERMIT CAT:D

STATE RD:25(S) M.P. 9.830+-

PROJ. DESCRIPTION: Relocate existing comm. D/W.

**PERMIT NO: 09-A-292-0017**

Asst. Maintenance Engineer or Permits Coordinator Approval

**NEIL E. MILES, PERMITS COORDINATOR**

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. XXX All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. XXX Permitted shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. XXX The Permitted will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. XXX the Permitted can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. XXX existing utilities may be located within the construction area. Prior to permit approval, permitted shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permitted shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permitted shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permitted shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. XXX No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX the erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX a pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.
13. XXX Final approved permit shall adhere to the signed and sealed plans, with no plan substitutions once approved.



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****To be completed by DOT**

Drainage Connection Permit No. 09-D-292-0004 Date 9-08-2009  
 Received By Dale L. Cray Maintenance Unit 292  
 State Road No. 25 (S) Work Program Project No. \_\_\_\_\_  
 Section No. 29030 Construction Project No. PF08-143  
 Milepost 9.762+- Station \_\_\_\_\_

**Instructions for Drainage Connection Permit**

**Pursuant to 14-86.004(6), F.A.C. "The Drainage Connection Permit form serves as the application. Once approved by the Department, the form and supporting documents become the Drainage Connection Permit."**

The applicant shall submit four completed permit packages with original signatures. Each package shall include all required attachments. All required signed and sealed plans and supporting documentation shall be submitted on no larger than (11" X 17") multipurpose paper, unless larger plan sheets are requested by the reviewer. The package will include the following items. If an item does not apply to your project, indicate "Not Applicable" or "N/A."

Included	Part	Title	Completed by:	Special Instructions
	1	Permit Information Sheet	Applicant	
	2	Certification by a Licensed Professional	Licensed Professional	Signed and Sealed
	3	Certification	Applicant	Signature
	4	Owner's Authorization of a Representative	Owner	Signature
	5	Affidavit of Ownership or Control and Statement of Contiguous Interest	Owner	Signature
	6	Permit General Conditions	FDOT	
	7	Permit Special Conditions	FDOT	
	8	As-Built Certification	Licensed Professional	Signed and Sealed – Submit within 15 working days of completion of construction
	Attachment	Legal Description		
	Attachment	Photographs of Existing Conditions		
	Attachment	Location Map		
	Attachment	Grading Plan	Licensed Professional	Signed and Sealed
	Attachment	Soil Borings		
	Attachment	Water Table / Percolation		
	Attachment	Calculations		
	Attachment	CD with Electronic Files of all Submittal Items		Scanned Images in pdf format

Note: Different Licensed Professionals may complete parts of the permit package. For example the Licensed Professional signing and sealing the as-built certification may be different from the Licensed Professional who signed and sealed the calculations for the permit package.

**EXCEPTIONS:** Activities that qualify for an Exception are listed in Rule 14-86, F.A.C. A permit application to the Department is NOT required. However, if you desire verification whether the work qualifies for an exception, send a completed copy of this permit package with its requested information to the applicable FDOT District Office.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 1 – Permit Information Sheet**Select one: ☒ Permit ☐ Exception**Pursuant to 14-86.002(2), F.A.C. "Applicant means the owner of the adjacent property or the owner's authorized representative."****Applicant**Select one: ☒ Property Owner ☐ Owner's Representative (Complete Part 4)Name: Lester ScaffTitle and Company: Scaff's Inc.Address: 134 Colburn Ave.City: Lake City State: FL Zip: 32025Telephone: 386.752.7344 FAX: \_\_\_\_\_ Email: \_\_\_\_\_**Property Owner (If not applicant)**Name: Same As Applicant

Title and Company: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ FAX: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant's Licensed Professional**Name: Chadwick Williams Florida License Number: P.E. 63144Title and Company: GTC Design Group, LLC.Address: 176 NW Lake Jeffery RoadCity: Lake City State: FL Zip: 32055Telephone: 386.719.9985 FAX: 386.719.8828 Email: cwilliams@gtcdesigngroup.com**Project Information:**Project Name: S&S #38 EllisvilleLocation: Howell Rd. 25 441 Ellisville  
STREET SR. NO. US HWY NO. CITYColumbia 3 6S 17E  
COUNTY SECTION(S) TOWNSHIP(S) RANGE(S)

\*Geographic Coordinates: Latitude (DMS.SSS): \_\_\_\_\_ Longitude (DMS.SSS): \_\_\_\_\_

Horizontal Datum: (NAD 83 / \_\_\_\_\_ Adj.)

\* State Plane Coordinates: Northing \_\_\_\_\_ Easting: \_\_\_\_\_

Projection Zone: ☒ Florida North ☐ Florida East ☐ Florida West

Coordinate shall be the center of the driveway intersection with FDOT R/W, or, if there is no driveway connection, near the center of the property line nearest the state highway.

\*Check with the FDOT Office for requirement.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT**

Brief description of facility and proposed connection: S&S #38 is expanding its stormwater features and adding additional asphalt  
to an existing Convenience Store with Gas Pumps. The Retention Pond will be expanded and the Outfall structure will be modified  
The existing outfall drains into DOT right of way and shall continue to do so after additional construction is complete.  
the outfall structure is a Type 'C' Inlet with a wier and 12" pipe outfalling to the adjacent ditch along US Highway 441

Briefly describe why this activity requires a Drainage Connection Permit (Include where the stormwater will discharge to FDOT right of way):

the proposed outfall drains into a DOT ditch along US-441 approximately 61 feet south of the intersection of Howell Road and US-441



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 2 – Certification by a Licensed Professional**

In accordance with Rule 14-86, Florida Administrative Code (F.A.C.), I hereby certify that the following requirements are and/or will be met.

This project has been designed in compliance with all applicable water quality design standards as required by state governmental agencies.

14-86.004(3)(f) (F.A.C.): Certification by a Licensed Professional that the complete set of plans and computations complies with one of the following Rules Sections:

☒ 14-86.003(2)(a) (F.A.C.), or ☐ 14-86.003(2)(b) (F.A.C). (check one)

I further certify that a National Pollutant Discharge Elimination System (NPDES) permit for stormwater discharges associated with industrial activity from construction sites

☒ is required ☐ is not required. (check one)

I am aware that there are significant penalties for submitting false information, including the possibility of fines and imprisonment.

This certification shall remain valid for any subsequent revision or submittal of plans, computation or other project documents by me.

Name of Licensed Professional: Chadwick Williams

Florida License Number: P.E. 63144

Company Name (if applicable): GTC Design Group, LLC.

Certificate of Authorization Number (if applicable): 9461

Address: 176 NW Lake Jeffery Road

City: Lake City State: FL Zip: 32055

Telephone: 386.719.9985 Fax: 386.719.8828 Email: cwilliams@gtcdesigngroup.com

\_\_\_\_\_  
Signature of Licensed Professional

**SEP 10 2009**

\_\_\_\_\_  
Date

(Affix Seal)

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 3 – Certification by Applicant**

I hereby certify that the information in this submittal is complete and accurate to the best of my knowledge.

Applicant's Signature:  Date: SEP 09 2009Name (Printed): Lester ScaffTitle and Company: Scaff's Inc.Address: 134 Colburn Ave. Lake City, FL 32025Phone Number: 386.752.7344 E-mail address: \_\_\_\_\_**PART 4 – Owner's Authorization of a Representative**

I (we), the owner, \_\_\_\_\_, do hereby authorize the following person, or entity, as my representative:

Name (Printed): \_\_\_\_\_

Title and Company: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-mail address: \_\_\_\_\_

**Part 5 – Affidavit of Property Ownership or Control and Statement of Contiguous Interest**I, Lester Scaff, certify that I own or lawfully control the following described property: See Attached Warranty Deed for Legal Description

Does the property owner own or have any interests in any adjacent property?

☒ No ☐ Yes If yes, please describe. \_\_\_\_\_**Owner's Signature required for Parts 4 and/or 5**

We will not begin on the drainage connection until I receive the Permit and I understand all the conditions of the Permit. When work begins on the connection, I am accepting all conditions listed in the Permit.

Name (Printed): Lester ScaffAddress: 134 Colburn Ave. Lake City, FL 32025Phone Number: 386.752.7344Signature:  Date: SEP 09 2009

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 6 – Permit General Conditions**

1. This permit is a license for permissive use only and does not convey any property rights either in real estate or material, or any exclusive privilege and it does not authorize any injury to private property or invasion of private rights, or any infringement of Federal, State or local laws, rules or regulations; nor does it obviate the necessity of obtaining any required state or local approvals.
2. The drainage connection as authorized herein shall be constructed and thereafter maintained in accordance with the documents attached hereto and incorporated by reference herein. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions. Such construction shall be subject to the inspection and approval of the Department, and the Department may at any time make such inspections as it deems necessary to assure that the drainage connection is in compliance with this permit.
3. The entire expense of construction within the Department right of way, including replacement of existing pavement or other existing features, shall be borne by the permittee.
4. The permittee shall maintain that portion of the drainage connection authorized herein located on permittee's property in good condition. The Department shall maintain that portion of the drainage connection authorized herein located within its right of way.
5. If the drainage connection is not constructed, operated or maintained in accordance with this permit, the permit may be suspended or revoked. In this event modification or removal of any portion of the drainage connection from the Department's right of way shall be at the permittee's expense.
6. The Department reserves the right to modify or remove the drainage connection to prevent damage or in conjunction with road improvements.
7. It is understood and agreed that the rights and privileges herein set out are granted only to the extent of the Department's right, title, and interest in the land to be entered upon and used by the permittee, and the permittee will, at all times, assume all risk of and indemnify, defend and save harmless the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercises by said permittee of these rights and privileges, regardless of the respective degrees of fault of the parties.
8. Utilities, including gas lines, may exist within the right of way. Prior to beginning work the permittee shall contact Sunshine State One Call of Florida, Inc at 811 or 800-432-4770, who will notify all utility owners near the scheduled project. The utility owners have two (2) full business days to provide locations of their respective facilities. The permittee shall be solely responsible for any damage to or conflicts with gas lines, utilities and/or third persons.
9. The permittee shall notify the Department of Transportation Maintenance Office located at 710 NW Lake Jeffrey Rd. Phone (386) 961-7180 48 hours in advance of starting any work on the drainage connection authorized by this permit and also 24 hours prior to any work within the Department's right of way. Construction of any work on the right of way shall be completed within 60 days after such notification. If such construction is not completed within 60 days after such notification, the permittee shall notify the Department of the anticipated completion date.
10. This permit shall expire if construction on the drainage connection is not begun within one year from the date of approval and if construction on the drainage connection is not completed by (Date) SEP 10 2010.
11. A permittee may request an extension of the Drainage Connection Permit expiration date by filing a written request for a permit time extension. All requests for time extensions must be received by the Department 15 working days prior to the expiration date.
12. All the provisions of this permit shall be binding on any assignee or successor in interest of the permittee.



STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 7 – Permit Special Conditions – To be completed by FDOT**

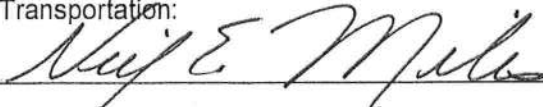
The above request has been reviewed and has been found to meet the regulations as prescribed in Rule 14-86, F.A.C., and is hereby approved, subject to the following special conditions:

**SPECIAL PERMIT CONDITION No. 1:**

The Florida Department of Transportation by issuance of this permit assumes no responsibility for the disposal of water or materials of any kind by the permittee and the permittee by acceptance of this permit assumes all responsibility for such disposal, including drainage.

Department of Transportation:

Signature

Title Permits' Coordinator

Date

SEP 10 2009

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION  
**DRAINAGE CONNECTION PERMIT****PART 8 – As-Built Certification**

Within 15 working days of completion of construction, you must send this certification to the Department office in which you filed your DOT Drainage Permit.

**1. STORM WATER FACILITY INFORMATION**

Permit No.: \_\_\_\_\_

Source (Project) Name: \_\_\_\_\_

Source Location: Street \_\_\_\_\_

City: \_\_\_\_\_ County: \_\_\_\_\_

Source Owner: \_\_\_\_\_

Owner Address: \_\_\_\_\_

**2. AS-BUILT CERTIFICATION**

I hereby certify that this storm water facility has been built substantially in accordance with the certified design plans, and that any substantial deviations (noted below) will not prevent the facility from functioning in compliance with the requirements of Chapter 14-86 F.A.C. when properly maintained and operated. These determinations have been based upon on-site observation of construction, scheduled and conducted by me or by a project representative under my direct supervision.

Name of Licensed Professional: \_\_\_\_\_

Florida License Number: \_\_\_\_\_

Company Name (if applicable): \_\_\_\_\_

Certificate of Authorization Number (if applicable): \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

\_\_\_\_\_  
Signature of Licensed Professional\_\_\_\_\_  
Date

(Affix Seal)

Substantial deviations from the approved plans and specifications (attach additional sheets if required).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



## COLUMBIA COUNTY FIRE RESCUE

P.O. BOX 1529 Lake City, Florida 32056  
Office (386) 754-7071 Fax (386) 754-7064

Division Chief  
David L. Boozer

19 October 2009

TO: Harry Dicks  
Columbia County Building and Zoning

FROM: David L. Boozer  
Division Chief / Fire Marshal

RE: Application # 0909-49  
S & S Food Store #38  
O'Neal Contracting

A Plans Review was performed of the Renovation and Addition of S & S Food Store # 38, located at 14170 S. US Highway 41/441. This building meets the requirements as set forth in Chapter 36 of the Florida Fire Prevention Code, 2007 Edition. I recommend approval with the following provision:

- Kitchen Hood – provide a detailed drawing of Hood System and Suppression System to be located in Kitchen area

Should you require any additional information, please feel free to contact my office.

Sincerely,

David L. Boozer





# Columbia County

## BUILDING DEPARTMENT

MINIMUM PLAN REQUIREMENTS FOR THE  
FLORIDA BUILDING CODE, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL  
CODE, FLORIDA FUEL AND GAS CODE 2007, NATIONAL ELECTRICAL 2005  
ALL REQUIREMENTS ARE SUBJECT TO CHANGE

### COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE  
CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWING SHALL  
PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND  
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED  
IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES,  
APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.**

### FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FBC FIGURE 1609 STATE OF FLORIDA WIND SPEED MAP

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75  
ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH  
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH  
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:		Items to Include- Each Box shall be Circled as Applicable		
1	All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void.	<input checked="" type="checkbox"/> YES	NO	N/A
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided for in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute.	<input checked="" type="checkbox"/> YES	NO	N/A
3	The design professional signature shall be affixed to the plans	<input checked="" type="checkbox"/> YES	NO	N/A
4	Two (2) complete sets of plans with the architecture or engineer signature and the date the affix embossed official seal was placed on the plans	<input checked="" type="checkbox"/> YES	NO	N/A



Building Site Plan Requirements										Items to Include- Each Box shall be Circled as Applicable		
4	Parking, including provision FBC chapter 11 for the required accessible parking site									Yes	No	N/A
5	Fire access, showing all drive way which will be accessible for emergency vehicles									Yes	No	N/A
6	Driving/turning radius of parking lots									Yes	No	N/A
7	Vehicle loading include truck dock loading or rail site loading									Yes	No	N/A
8	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)									Yes	No	N/A
9	Set back of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines									Yes	No	N/A
10	Location of specific tanks(above or under grown ,water lines and sewer lines and septic tank and drain fields									Yes	No	N/A
11	All structures exterior views include finished floor elevation									Yes	No	N/A
12	Total height of structure(s) form established grade									Yes	No	N/A
Occupancy group use circle all uses:		Group A	Group B	Group E	Group F	Group H	Group I	Group M	Group R	Group S	Group U D	
13	Special occupancy requirements.									Yes	No	N/A
14	Incidental use areas (total square footage for each room of use area)									Yes	No	N/A
15	Mixed occupancies									Yes	No	N/A
16	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 302.3.2									Yes	No	N/A
Minimum type of permitted construction by code for occupancy use circle the construction type FBC 602												
17	Type I	Type II	Type III	Type IV	Type V							
Fire-resistant construction requirements shall be shown, include the following components												
18	Fire-resistant separations									Yes	No	N/A
19	Fire-resistant protection for type of construction									Yes	No	N/A
20	Protection of openings and penetrations of rated walls									Yes	No	N/A
21	Protection of openings and penetrations of rated walls									Yes	No	N/A
22	Fire blocking and draftstopping and calculated fire resistance									Yes	No	N/A
Fire suppression systems shall be shown include:												
23	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes									Yes	No	N/A
24	Standpipes									Yes	No	N/A
25	Pre-engineered systems									Yes	No	N/A
26	Riser diagram									Yes	No	N/A
Life safety systems shall be shown include the following requirements:												
27	Occupant load and egress capacities									Yes	No	N/A
28	Early warning									Yes	No	N/A
29	Smoke control									Yes	No	N/A
30	Stair pressurization									Yes	No	N/A
31	Systems schematic									Yes	No	N/A
Occupancy load/egress requirements shall be shown include:												
32	Occupancy load									Yes	No	N/A
33	Gross occupancy load									Yes	No	N/A
34	Net occupancy load									Yes	No	N/A
35	Means of egress									Yes	No	N/A
36	Exit access									Yes	No	N/A
37	Exit discharge									Yes	No	N/A
38	Stairs construction/geometry and protection									Yes	No	N/A
39	Doors									Yes	No	N/A
40	Emergency lighting and exit signs									Yes	No	N/A
41	Specific occupancy requirements									Yes	No	N/A
42	Construction requirements									Yes	No	N/A
43	Horizontal exits/exit passageways									Yes	No	N/A

**Items to Include-  
Each Box shall  
be Circled as  
Applicable**

<b>Structural requirements shall be shown include:</b>				
44	Soil conditions/analysis	Yes	No	N/A
45	Termite protection	Yes	No	N/A
46	Design loads	Yes	No	N/A
47	Wind requirements	Yes	No	N/A
48	Building envelope	Yes	No	N/A
49	Structural calculations (if required)	Yes	No	N/A
50	Foundation	Yes	No	N/A
51	Wall systems	Yes	No	N/A
52	Floor systems	Yes	No	N/A
53	Roof systems	Yes	No	N/A
54	Threshold inspection plan	Yes	No	N/A
55	Stair systems	Yes	No	N/A
<b>Materials shall be shown include the following</b>				
56	Wood	Yes	No	N/A
57	Steel	Yes	No	N/A
58	Aluminum	Yes	No	N/A
59	Concrete	Yes	No	N/A
60	Plastic	Yes	No	N/A
61	Glass	Yes	No	N/A
62	Masonry	Yes	No	N/A
63	Gypsum board and plaster	Yes	No	N/A
64	Insulating (mechanical)	Yes	No	N/A
65	Roofing	Yes	No	N/A
66	Insulation	Yes	No	N/A
<b>Accessibility requirements shall be shown include the following</b>				
67	Site requirements	Yes	No	N/A
68	Accessible route	Yes	No	N/A
69	Vertical accessibility	Yes	No	N/A
70	Toilet and bathing facilities	Yes	No	N/A
71	Drinking fountains	Yes	No	N/A
72	Equipment	Yes	No	N/A
73	Special occupancy requirements	Yes	No	N/A
74	Fair housing requirements	Yes	No	N/A
<b>Interior requirements shall include the following</b>				
75	Interior finishes (flame spread/smoke development)	Yes	No	N/A
76	Light and ventilation	Yes	No	N/A
77	Sanitation	Yes	No	N/A
<b>Special systems</b>				
78	Elevators	Yes	No	N/A
79	Escalators	Yes	No	N/A
80	Lifts	Yes	No	N/A
<b>Swimming pools</b>				
81	Barrier requirements	Yes	No	N/A
82	Spas	Yes	No	N/A
83	Wading pools	Yes	No	N/A



**Items to Include-Each Box shall be Circled as Applicable**

<b>Electrical</b>				
84	Wiring	<u>Yes</u>	No	N/A
85	Services	<u>Yes</u>	No	N/A
86	Feeders and branch circuits	<u>Yes</u>	No	N/A
87	Overcurrent protection	<u>Yes</u>	No	N/A
88	Grounding	<u>Yes</u>	No	N/A
89	Wiring methods and materials	<u>Yes</u>	No	N/A
90	GFCIs	<u>Yes</u>	No	N/A
91	Equipment	<u>Yes</u>	No	N/A
92	Special occupancies	Yes	No	<u>N/A</u>
93	Emergency systems	Yes	No	<u>N/A</u>
94	Communication systems	Yes	No	<u>N/A</u>
95	Low voltage	<u>Yes</u>	No	N/A
96	Load calculations	<u>Yes</u>	No	N/A
<b>Plumbing</b>				
97	Minimum plumbing facilities	<u>Yes</u>	No	N/A
98	Fixture requirements	<u>Yes</u>	No	N/A
99	Water supply piping	<u>Yes</u>	No	N/A
100	Sanitary drainage	<u>Yes</u>	No	N/A
101	Water heaters	<u>Yes</u>	No	N/A
102	Vents	<u>Yes</u>	No	N/A
103	Roof drainage	<u>Yes</u>	No	N/A
104	Back flow prevention	<u>Yes</u>	No	N/A
105	Irrigation	Yes	<u>No</u>	N/A
106	Location of water supply line	<u>Yes</u>	No	N/A
107	Grease traps	<u>Yes</u>	No	N/A
108	Environmental requirements	<u>Yes</u>	No	N/A
109	Plumbing riser	<u>Yes</u>	No	N/A
<b>Mechanical</b>				
110	Energy calculations	<u>Yes</u>	No	N/A
111	Exhaust systems	<u>Yes</u>	No	N/A
112	Clothes dryer exhaust	Yes	No	<u>N/A</u>
113	Kitchen equipment exhaust	<u>Yes</u>	No	N/A
114	Specialty exhaust systems	Yes	No	N/A
<b>Equipment location</b>				
115	Make-up air	<u>Yes</u>	No	N/A
116	Roof-mounted equipment	<u>Yes</u>	No	N/A
117	Duct systems	<u>Yes</u>	No	N/A
118	Ventilation	<u>Yes</u>	No	N/A
119	Laboratory	Yes	No	<u>N/A</u>
120	Combustion air	Yes	No	<u>N/A</u>
121	Chimneys, fireplaces and vents	<u>Yes</u>	No	N/A
122	Appliances	<u>Yes</u>	No	N/A
123	Boilers	Yes	No	<u>N/A</u>
124	Refrigeration	<u>Yes</u>	No	N/A
125	Bathroom ventilation	<u>Yes</u>	No	N/A

**Items to Include-Each Box shall be Circled as Applicable**

Gas			
126	Gas piping	Yes	No <u>N/A</u>
127	Venting	Yes	No <u>N/A</u>
128	Combustion air	Yes	No <u>N/A</u>
129	Chimneys and vents	Yes	No <u>N/A</u>
130	Appliances	Yes	No <u>N/A</u>
131	Type of gas	Yes	No <u>N/A</u>
132	Fireplaces	Yes	No <u>N/A</u>
133	LP tank location	Yes	No <u>N/A</u>
134	Riser diagram/shutoffs	Yes	No <u>N/A</u>
Notice of Commencement			
135	A recorded (in the Columbia County Clerk Office) notice of commencement is required to be on file with the building department . <i>Before Any Inspections Will Be Done</i>	<u>Yes</u>	No N/A
Disclosure Statement for Owner Builders			
		Yes	No N/A

Private Potable Water			
136	Horse power of pump motor	Yes	No N/A
137	Capacity of pressure tank	Yes	No N/A
138	Cycle stop valve if used	Yes	No N/A

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

139	<b>Building Permit Application</b>	A current Building Permit Application form is to be completed and submitted for all construction projects.	<u>Yes</u>	No	N/A
140	<b>Parcel Number</b>	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084	<u>Yes</u>	No	N/A
141	<b>Environmental Health Permit or Sewer Tap Approval</b>	A copy of an approved Environmental Health (386) 758-1058 waste water disposal permit or an approved City of Lake City(386) 752-2031 sewer tap is required before a building permit can be issued.  <b>Toilet facilities shall be provided for construction workers</b>	Yes	No	N/A
142	<b>Driveway Connection</b>	If the property does not have an existing access to a public road, then an application for a culvert permit must be made ( <b>\$25.00</b> ). Culvert installation for commercial, industrial and other uses shall <b>conform to the approved site plan or to the specifications of a registered engineer. Use or joint use of driveways will comply with Florida Department of Transportation specifications.</b> If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes	No	<u>N/A</u>
143	<b>Suwannee River Water Management District Approval</b>	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.	<u>Yes</u>	No	N/A

144	<b>Flood Management</b>	Any project located within a flood zone where the base flood elevation (100 year flood) <b>has been</b> established shall meet the requirements of section 8.5.2 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) <b>has not been</b> established shall meet the requirements of section 8.5.3 of Columbia County Land Development Regulations. A development permit will also be required. <b>The development permit cost is \$50.00</b>	<input checked="" type="radio"/> Yes	No	N/A
145	<b>Flood Management</b>	A CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.	<input checked="" type="radio"/> Yes	No	N/A
146	<b>911 Address</b>	If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	<input checked="" type="radio"/> Yes	No	N/A

**Section 105 of the Florida Building Code defines the:**

**Time limitation of application.**

**An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.**

**Permit intent.**

**Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.**

**If work has commenced.**

**Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.**



**Section 105 of the Florida Building Code defines the:**

**New Permit.**

**Section 105.4.1.2:** If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

**Work Shall Be:**

**Section 105.4.1.3:** Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

**The Fee:**

**Section 105.4.1.4:** The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

**When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department.**



**COPY**

**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (386) 362-1001  
TELEPHONE: 800-226-1066  
FAX (386) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**

S&S FOOD STORES  
134 SE COLBURN AVENUE  
LAKE CITY, FL 32025

**PERMIT NUMBER:** ERP88-0109M

**DATE ISSUED:** 08/25/2009

**DATE EXPIRES:** 08/25/2012

**COUNTY:** COLUMBIA

**TRS:** S3/T6S/R17E

**PROJECT:** S&S #38 ELLISVILLE EXPANSION

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

LESTER SCAFF  
S&S FOOD STORES  
134 SE COLBURN AVENUE  
LAKE CITY, FL 32025



Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

**Modification consists of construction and operation of a surfacewater management system serving 2.76 acres of impervious surface on a total project area of 4.92 acres in a manner consistent with the application package submitted by GTC Design Group, LLC, certified on August 21, 2009.**

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400,

F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.
5. The permit does not convey to the permittee any property right nor any rights or privileges other

than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for



undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C.,

must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent

Permit No.: ERP88-0109M

Project: S&S #38 ELLISVILLE EXPANSION

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authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

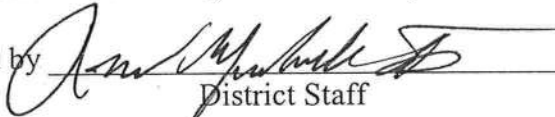
28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 8/25/09  
District Staff

   
Clerk Executive Director





#### NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

Permit No.: ERP88-0109M

Project: S&S #38 ELLISVILLE EXPANSION

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7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.


11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

#### CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

S&S FOOD STORES  
134 SE COLBURN AVENUE  
LAKE CITY, FL 32025

At 4:00 p.m. this 25 day of Aug, 2009.



Jon M. Dinges  
Deputy Clerk  
Suwannee River Water Management District  
9225 C.R. 49

Permit No.: ERP88-0109M

Project: S&S #38 ELLISVILLE EXPANSION

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Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP88-0109M



## **COLUMBIA COUNTY FIRE RESCUE**

P.O. BOX 1529 Lake City, Florida 32056  
Office (386) 754-7071 Fax (386) 754-7064

Division Chief  
David L. Boozer

19 October 2009

TO: Harry Dicks  
Columbia County Building and Zoning

FROM: David L. Boozer  
Division Chief / Fire Marshal

RE: Application # 0909-49  
S & S Food Store #38  
O'Neal Contracting

A Plans Review was performed of the Renovation and Addition of S & S Food Store # 38, located at 14170 S. US Highway 41/441. This building meets the requirements as set forth in Chapter 36 of the Florida Fire Prevention Code, 2007 Edition. I recommend approval with the following provision:

- Kitchen Hood – provide a detailed drawing of Hood System and Suppression System to be located in Kitchen area

Should you require any additional information, please feel free to contact my office.

Sincerely,

David L. Boozer



Florida Energy Efficiency Code For Building Construction  
Florida Department of Community Affairs  
EnergyGauge Summit® Fla/Com-2008, Effective: March 1, 2009 -- Form 400A-2008  
Method A: Whole Building Performance Method for Commercial Buildings

PROJECT SUMMARY

Short Desc: 1654	Description: S&S Food Store #38
Owner:	
Address1: US 441 & I-75	City: Ellisville
Address2:	State: Florida
	Zip: 32024
Type: Retail	Class: New Finished building
Jurisdiction: COLUMBIA COUNTY, COLUMBIA COUNTY, FL (221000)	28160
Conditioned Area: 6928 SF	Conditioned & UnConditioned Area: 6928 SF
No of Stories: 1	Area entered from Plans 0 SF
Permit No: 0	Max Tonnage 9.8
	If different, write in: _____



### Compliance Summary

Component	Design	Criteria	Result
Gross Energy Cost (in \$)	8,812.0	9,093.0	<b>PASSED</b>
LIGHTING CONTROLS			<b>PASSES</b>
EXTERNAL LIGHTING			<b>PASSES</b>
HVAC SYSTEM			<b>PASSES</b>
PLANT			<b>None Entered</b>
WATER HEATING SYSTEMS			<b>PASSES</b>
PIPING SYSTEMS			<b>PASSES</b>
Met all required compliance from Check List?			<b>Yes/No/NA</b>

#### IMPORTANT MESSAGE

Info 5009 -- -- -- An input report of this design building must be submitted along with this Compliance Report

## CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: 201241

Building Official: \_\_\_\_\_

Date: 9/16/09

Date: \_\_\_\_\_

I certify that this building is in compliance with the Florida Energy Efficiency Code

Owner Agent: \_\_\_\_\_

Date: \_\_\_\_\_

If Required by Florida law, I hereby certify (\*) that the system design is in compliance with the Florida Energy Efficiency Code

Architect: Craig Salley, R.A.

Reg No: 004475 FL.

Electrical Designer: Thomas M. Elder

Reg No: 56121 / FL

Lighting Designer: Thomas M. Elder

Reg No: 56121 / FL

Mechanical Designer: Lane R. Hinkle

Reg No: 48076 / FL

Plumbing Designer: Lane R. Hinkle

Reg No: 48076 / FL

(\*) Signature is required where Florida Law requires design to be performed by registered design professionals.

Project: 1654  
 Title: S&S Food Store #38  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Building End Uses

	1) Proposed	2) Baseline
<b>Total</b>	594.40	724.40
	\$8,812	\$10,698
ELECTRICITY(MBtu/kW h/\$)	594.40	724.40
	174151	212261
	\$8,812	\$10,698
AREA LIGHTS	144.20	154.10
	42259	45148
	\$2,138	\$2,275
MISC EQUIPMT	79.10	79.10
	23180	23180
	\$1,173	\$1,168
PUMPS & MISC	0.70	0.50
	192	142
	\$10	\$7
SPACE COOL	171.20	208.20
	50150	61007
	\$2,538	\$3,075
SPACE HEAT	0.00	32.70
	0	9579
	\$0	\$483
VENT FANS	199.20	249.80
	58370	73205
	\$2,954	\$3,690

Passing requires Proposed Building cost to be at most 85%  
 of Baseline cost. This Proposed Building is at 82.4%

PASSES



**Project: 1654**  
**Title: S&S Food Store #38**  
**Type: Retail**  
**(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)**

### External Lighting Compliance

Description	Category	Tradable?	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
Ext Light 1	Main entries	Yes	30.00	6.0	180	210
Ext Light 2	Building facades by area	No	0.20	1,180.0	236	96
Ext Light 3	Building facades by area	No	0.20	916.0	183	64
Ext Light 4	Canopies (freestanding, attached and Overhangs)	Yes	1.25	563.0	704	840
Ext Light 5	Other (doors) than main entries	Yes	20.00	9.0	180	96
Ext Light 6	Drive-up windows at fast food restaruants	No	400.00	1.0	400	126
Ext Light 7	Building facades by area	No	0.20	454.0	91	32
Ext Light 8	Building facades by area	No	0.20	1,180.0	236	192

**Tradable Surfaces: 1146 (W) Allowance for Tradable: 1174.238 (W)**

**All External Lighting: 1656 (W)**

**Complicance check includes a 5% excess allowance of 110.49(W)**

<b>PASSES</b>
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Project: 1654

Title: S&S Food Store #38

Type: Retail

(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	Design CP	Min CP	Compliance
Pr0Zo1Sp1	5	Corridor	34	1	1	PASSES
Pr0Zo1Sp2	3	Storage & Warehouse - Bulky Active Storage	80	1	1	PASSES
Pr0Zo1Sp3	7	Food Service - Kitchen	573	1	1	PASSES
Pr0Zo1Sp4	6	Toilet and Washroom	40	1	1	PASSES
Pr0Zo1Sp5	8	Food Service - Leisure Dining	252	2	1	PASSES
Pr0Zo1Sp6	17	Office - Enclosed	31	1	1	PASSES
Pr0Zo1Sp7	3	Storage & Warehouse - Bulky Active Storage	96	1	1	PASSES
Pr0Zo2Sp1	7	Food Service - Kitchen	62	1	1	PASSES
Pr0Zo2Sp2	8	Food Service - Leisure Dining	806	2	1	PASSES
Pr0Zo2Sp3	7	Food Service - Kitchen	439	1	1	PASSES
Pr0Zo3Sp1	6	Toilet and Washroom	272	1	1	PASSES
Pr0Zo3Sp2	25,001	Sales Area	294	1	1	PASSES
Pr0Zo3Sp3	25,001	Sales Area	806	1	1	PASSES
Pr0Zo3Sp4	6	Toilet and Washroom	257	1	1	PASSES
Pr0Zo3Sp5	6	Toilet and Washroom	56	1	1	PASSES
Pr0Zo3Sp6	3	Storage & Warehouse - Bulky Active Storage	244	1	1	PASSES
Pr0Zo3Sp7	17	Office - Enclosed	50	1	1	PASSES
Pr0Zo4Sp1	25,001	Sales Area	1,143	1	1	PASSES
Pr0Zo4Sp2	25,001	Sales Area	210	1	1	PASSES
Pr0Zo4Sp3	25,001	Sales Area	831	1	1	PASSES
Pr0Zo4Sp4	25,001	Sales Area	352	1	1	PASSES

PASSES

**Project: 1654**  
**Title: S&S Food Store #38**  
**Type: Retail**  
**(WEA File: FL JACKSONVILLE INTL\_ARPT.tm3)**

## System Report Compliance

<b>Pr0Sy1</b>	<b>System 1</b>	<b>Constant Volume Packaged System</b>	<b>No. of Units</b> 1
---------------	-----------------	--	--------------------------

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity		12.60	10.30			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.90	0.90			PASSES

<b>Pr0Sy2</b>	<b>System 2</b>	<b>Constant Volume Packaged System</b>	<b>No. of Units</b> 1
---------------	-----------------	--	--------------------------

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity		12.50	10.30			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.75	0.90			PASSES

<b>Pr0Sy3</b>	<b>System 3</b>	<b>Constant Volume Packaged System</b>	<b>No. of Units</b> 1
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Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity		12.60	10.30			PASSES
Air Handling System -Supply	Air Handler (Supply) - Constant Volume		0.90	0.90			PASSES

<b>Pr0Sy4</b>	<b>System 4</b>	<b>Constant Volume Packaged System</b>	<b>No. of Units</b> 1
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Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled 65000 to 135000 Btu/h Cooling Capacity		12.60	10.30			PASSES

Air Handling System -Supply	Air Handler (Supply) - Constant Volume	0.90	0.90	PASSES
				PASSES

Plant Compliance								
Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
								None

Project: 1654  
Title: S&S Food Store #38  
Type: Retail  
(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

Water Heater Compliance							
Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 1	Electric water heater	<= 12 [kW]	0.90	0.89			PASSES
Water Heater 2	Electric water heater	> 12 [kW]			370.00	370.00	PASSES
							PASSES

Project: 1654  
Title: S&S Food Store #38  
Type: Retail  
(WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

Piping System Compliance							
Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
Heating System (Steam, Steam Condensate, & Hot Water)	1.00	False	105.00	0.28	1.00	0.50	PASSES
Heating System (Steam, Steam Condensate, & Hot Water)	1.00	False	105.00	0.28	1.00	0.50	PASSES
					PASSES		



Project: 1654  
 Title: S&S Food Store #38  
 Type: Retail  
 (WEA File: FL\_JACKSONVILLE\_INTL\_ARPT.tm3)

### Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Report	13-101	Input Report Print-Out from EnergyGauge FlaCom attached	<input checked="" type="checkbox"/>
Operations Manual	13-102.1, 13-410, 13-413	Operations manual provided to owner <i>BY CONTRACTOR</i>	<input type="checkbox"/>
Windows & Doors	13-406.AB.1.1	Glazed swinging entrance & revolving doors: max. 1.0 cfm/ft <sup>2</sup> ; all other products: 0.4 cfm/ft <sup>2</sup>	<input type="checkbox"/>
Joints/Cracks	13-406.AB.1.2	To be caulked, gasketed, weather-stripped or otherwise sealed	<input type="checkbox"/>
Dropped Ceiling Cavity	13-406.AB.3	Vented: seal & insulated ceiling. Unvented seal & insulate roof & side walls	<input type="checkbox"/>
System	13-407	HVAC Load sizing has been performed	<input checked="" type="checkbox"/>
Reheat	13-407.B	Electric resistance reheat prohibited	<input checked="" type="checkbox"/>
HVAC Efficiency	13-407, 13-408	Minimum efficiencies: Cooling Tables 13-407.AB.3.2.1A-D; Heating Tables 13-407.AB.3.2.1B, 13-407.AB.3.2.1D, 13-408.AB.3.2.1E, 13-408.AB.3.2F	<input checked="" type="checkbox"/>
HVAC Controls	13-407.AB.2	Zone controls prevent reheat (exceptions); simultaneous heating and cooling in each zone; combined HAC deadband of at least 5°F (exceptions)	<input checked="" type="checkbox"/>
Ventilation Controls	13-409.AB.3	Motorized dampers reqd, except gravity dampers OK in: 1) exhaust systems and 2) systems with design outside air intake or exhaust capacity ≤300 cfm	<input checked="" type="checkbox"/>
ADS	13-410	Duct sizing and Design have been performed	<input checked="" type="checkbox"/>
HVAC Ducts	13-410.AB	Air ducts, fittings, mechanical equipment & plenum chambers shall be mechanically attached, sealed, insulated & installed per Sec. 13-410 Air Distribution Systems	<input checked="" type="checkbox"/>
Balancing	13-410.AB.4	HVAC distribution system(s) tested & balanced. Report in construction documents <i>BY CONTRACTOR</i>	<input type="checkbox"/>
Piping Insulation	13-411.AB	In accordance with Table 13-411.AB.2	<input checked="" type="checkbox"/>
Water Heaters	13-412.AB	Performance requirements in accordance with Table 13-412.AB.3. Heat trap required	<input checked="" type="checkbox"/>
Swimming Pools	13-412.AB.2.6	Cover on heated swimming pools: Time switch (exceptions); Readily accessible on/off switch	<input type="checkbox"/>
Hot Water Pipe Insulation	13-411.AB.3	Table 13-411.AB.2 for circulating systems, first 8 feet of outlet pipe from storage tank and between inlet pipe and heat trap	<input checked="" type="checkbox"/>
Water Fixtures	13-412.AB.2.5	Shower hot water flow restricted to 2.5 gpm at 80 psi. Public lavatory fixture hot water flow 0.5 gpm max; if self-closing valve 0.25 gallon recirculating, 0.5 gallon non recirculating	<input checked="" type="checkbox"/>
Motors	13-414	Motor efficiency criteria have been met	<input checked="" type="checkbox"/>
Lighting Controls	13-415.AB	Automatic control required for interior lighting in buildings >5,000 s.f.; Space control; Exterior photo sensor; Tandem wiring with 1 or 3 linear fluourescent lamps>30W	<input checked="" type="checkbox"/>



EnergyGauge Summit® v3.20  
**INPUT DATA REPORT**

**Project Information**

Project Name: 1654	Orientation: North
Project Title: S&S Food Store #38	Building Type: Retail
Address: US 441 & I-75	Building Classification: New Finished building
State: Florida	No. of Stories: 1
Zip: 32024	GrossArea: 6928 SF
Owner:	

**Zones**

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]	
1	Pr0Zo1	Zone 1	CONDITIONED	1106.0	1	1106.0	<input type="checkbox"/>
2	Pr0Zo2	Zone 2	CONDITIONED	1307.0	1	1307.0	<input type="checkbox"/>
3	Pr0Zo3	Zone 3	CONDITIONED	1979.0	1	1979.0	<input type="checkbox"/>
4	Pr0Zo4	Zone 4	CONDITIONED	2536.0	1	2536.0	<input type="checkbox"/>

## Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]	
<b>In Zone: Pr0Zo1</b>										
1	Pr0Zo1Sp1	CORRIDOR 102	Corridor	10.00	3.40	10.00	1	34.0	340.0	<input type="checkbox"/>
2	Pr0Zo1Sp2	STORAGE 103	Storage & Warehouse - Bulky Active Storage	10.00	8.00	10.00	1	80.0	800.0	<input type="checkbox"/>
3	Pr0Zo1Sp3	KITCHEN 104	Food Service - Kitchen	10.00	57.30	10.00	1	573.0	5730.0	<input type="checkbox"/>
4	Pr0Zo1Sp4	TOILET 102A	Toilet and Washroom	10.00	4.00	10.00	1	40.0	400.0	<input type="checkbox"/>
5	Pr0Zo1Sp5	SEATING 109C	Food Service - Leisure Dining	10.00	25.20	10.00	1	252.0	2520.0	<input type="checkbox"/>
6	Pr0Zo1Sp6	OFFICE 105	Office - Enclosed	10.00	3.10	10.00	1	31.0	310.0	<input type="checkbox"/>
7	Pr0Zo1Sp7	STORAGE 101	Storage & Warehouse - Bulky Active Storage	10.00	9.60	10.00	1	96.0	960.0	<input type="checkbox"/>
<b>In Zone: Pr0Zo2</b>										
1	Pr0Zo2Sp1	DRIVE-THRU 106	Food Service - Kitchen	10.00	6.20	10.00	1	62.0	620.0	<input type="checkbox"/>
2	Pr0Zo2Sp2	SEATING 109 A & B	Food Service - Leisure Dining	10.00	80.60	10.00	1	806.0	8060.0	<input type="checkbox"/>
3	Pr0Zo2Sp3	HOT FOOD/SANDWICH 107/108	Food Service - Kitchen	10.00	43.90	10.00	1	439.0	4390.0	<input type="checkbox"/>
<b>In Zone: Pr0Zo3</b>										
1	Pr0Zo3Sp1	MEN 110	Toilet and Washroom	10.00	27.20	10.00	1	272.0	2720.0	<input type="checkbox"/>
2	Pr0Zo3Sp2	WEST ENTRANCE 114	Sales Area	10.00	29.40	10.00	1	294.0	2940.0	<input type="checkbox"/>
3	Pr0Zo3Sp3	RETAIL 118 C & D	Sales Area	10.00	80.60	10.00	1	806.0	8060.0	<input type="checkbox"/>
4	Pr0Zo3Sp4	WOMEN 113	Toilet and Washroom	10.00	25.70	10.00	1	257.0	2570.0	<input type="checkbox"/>
5	Pr0Zo3Sp5	JANITOR 111	Toilet and Washroom	10.00	5.60	10.00	1	56.0	560.0	<input type="checkbox"/>
6	Pr0Zo3Sp6	SERVICE 112	Storage & Warehouse - Bulky Active Storage	10.00	24.40	10.00	1	244.0	2440.0	<input type="checkbox"/>
7	Pr0Zo3Sp7	OFFICE 115	Office - Enclosed	10.00	5.00	10.00	1	50.0	500.0	<input type="checkbox"/>
<b>In Zone: Pr0Zo4</b>										



1	Pr0Zo4Sp1	RETAIL 118 G & F	Sales Area	10.00	114.30	10.00	1	1143.0	11430.0	<input type="checkbox"/>
2	Pr0Zo4Sp2	EAST ENTRY 117	Sales Area	10.00	21.00	10.00	1	210.0	2100.0	<input type="checkbox"/>
3	Pr0Zo4Sp3	RETAIL 118 A,B & E	Sales Area	10.00	83.10	10.00	1	831.0	8310.0	<input type="checkbox"/>
4	Pr0Zo4Sp4	CHECK-OUT 116	Sales Area	10.00	35.20	10.00	1	352.0	3520.0	<input type="checkbox"/>

## Lighting

No	Type	Category	No. of Luminaires	Watts per Luminaire	Power [W]	Control Type	No. of Ctrl pts
<b>In Zone: Pr0Zo1</b>							
<b>In Space: Pr0Zo1Sp1</b>							
1	Recessed Fluorescent - No vent	General Lighting	1	96	96	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp2</b>							
1	Compact Fluorescent	General Lighting	2	64	128	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp3</b>							
1	Recessed Fluorescent - No vent	General Lighting	8	96	768	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp4</b>							
1	Compact Fluorescent	General Lighting	1	64	64	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp5</b>							
1	Recessed Fluorescent - No vent	General Lighting	2	96	192	Manual On/Off	1 <input type="checkbox"/>
2	Incandescent	General Lighting	3	75	225	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp6</b>							
1	Compact Fluorescent	General Lighting	1	64	64	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo1Sp7</b>							
1	Compact Fluorescent	General Lighting	2	64	128	Manual On/Off	1 <input type="checkbox"/>
<b>In Zone: Pr0Zo2</b>							
<b>In Space: Pr0Zo2Sp1</b>							
1	Recessed Fluorescent - No vent	General Lighting	1	96	96	Manual On/Off	1 <input type="checkbox"/>
<b>In Space: Pr0Zo2Sp2</b>							

1	Recessed Fluorescent - No vent	General Lighting	8	96	768	Manual On/Off	1	<input type="checkbox"/>
2	Compact Fluorescent	General Lighting	5	75	375	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo2Sp3								
1	Compact Fluorescent	General Lighting	4	96	384	Manual On/Off	1	<input type="checkbox"/>
In Zone: Pr0Zo3								
In Space: Pr0Zo3Sp1								
1	Recessed Fluorescent - No vent	General Lighting	3	96	288	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp2								
1	Compact Fluorescent	General Lighting	3	128	384	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp3								
1	Compact Fluorescent	General Lighting	8	128	1024	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp4								
1	Recessed Fluorescent - No vent	General Lighting	3	96	288	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp5								
1	Compact Fluorescent	General Lighting	2	64	128	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp6								
1	Compact Fluorescent	General Lighting	5	64	320	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo3Sp7								
1	Compact Fluorescent	General Lighting	1	64	64	Manual On/Off	1	<input type="checkbox"/>
In Zone: Pr0Zo4								
In Space: Pr0Zo4Sp1								
1	Compact Fluorescent	General Lighting	14	128	1792	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo4Sp2								
1	Compact Fluorescent	General Lighting	3	45	135	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo4Sp3								
1	Compact Fluorescent	General Lighting	8	128	1024	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo4Sp4								
1	Compact Fluorescent	General Lighting	4	128	512	Manual On/Off	1	<input type="checkbox"/>

## Walls

No	Description	Type	Width H (Effec) [ft]	Multi plier	Area [sf]	Direction	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.s.f.F/Btu]
<b>In Zone: Pr0Zo1</b>										
1	Pr0Zo1Wa1	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	10.80	1	178.2	West	0.0679	8.960	40.80	14.7
2	Pr0Zo1Wa2	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	8.80	1	145.2	South	0.0679	8.960	40.80	14.7
3	Pr0Zo1Wa3	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	42.00	1	693.0	West	0.0679	8.960	40.80	14.7
4	Pr0Zo1Wa4	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	7.40	1	122.1	South	0.0679	8.960	40.80	14.7
5	Pr0Zo1Wa5	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	9.30	1	153.5	South	0.0679	8.960	40.80	14.7
6	Pr0Zo1Wa6	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	5.00	1	82.5	West	0.0679	8.960	40.80	14.7
<b>In Zone: Pr0Zo2</b>										
1	Pr0Zo2Wa1	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	5.70	1	94.1	West	0.0679	8.960	40.80	14.7
2	Pr0Zo2Wa2	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	9.40	1	155.1	South	0.0679	8.960	40.80	14.7
3	Pr0Zo2Wa3	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	5.70	1	94.1	East	0.0679	8.960	40.80	14.7
4	Pr0Zo2Wa4	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	18.00	1	297.0	South	0.0679	8.960	40.80	14.7
5	Pr0Zo2Wa5	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	20.30	1	335.0	East	0.0679	8.960	40.80	14.7
6	Pr0Zo2Wa6	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	2.10	1	34.7	North	0.0679	8.960	40.80	14.7
7	Pr0Zo2Wa7	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	32.00	1	528.0	East	0.0679	8.960	40.80	14.7
8	Pr0Zo2Wa8	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	6.30	1	104.0	North	0.0679	8.960	40.80	14.7
<b>In Zone: Pr0Zo3</b>										
1	Pr0Zo3Wa1	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	17.50	1	288.8	West	0.0679	8.960	40.80	14.7
2	Pr0Zo3Wa2	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	19.70	1	325.1	West	0.0679	8.960	40.80	14.7

3	Pr0Zo3Wa3	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp	17.90	16.50	1	295.4	West	0.0679	8.960	40.80	14.7	<input type="checkbox"/>
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## Windows

No	Description	Type	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]
In Zone: Pr0Zo2										
In Wall: Pr0Zo2Wa2										
1	Pr0Zo2Wa2Wil	User Defined	No	1.2500	0.82	0.76	3.00	4.00	1	12.0
In Wall: Pr0Zo2Wa4										
1	Pr0Zo2Wa4Wil	User Defined	No	1.2500	0.82	0.76	3.00	9.00	1	27.0
In Wall: Pr0Zo2Wa5										
1	Pr0Zo2Wa5Wil	User Defined	No	1.2500	0.82	0.76	6.00	10.00	1	60.0
In Wall: Pr0Zo2Wa7										
1	Pr0Zo2Wa7Wil	User Defined	No	1.2500	0.82	0.76	12.00	8.00	1	96.0
In Zone: Pr0Zo3										
In Wall: Pr0Zo3Wa2										
1	Pr0Zo3Wa2Wil	User Defined	No	1.2500	0.82	0.76	19.00	8.00	1	152.0

## Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. Heat Cap. [lb/cf] [Btu/sf. F]	R-Value [h.s.f.F/Btu]
In Zone:										
In Wall:										
<input type="checkbox"/>										

## Roofs

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap Dens. [Btu/sf. F]	R-Value [h.s.f.F/Btu]
In Zone: Pr0Zo1										
1	Pr0Zo1Rf1	built up roof/ R-19 rigid/ steel deck	55.30	20.00	1	1106.0	0.00	0.0491	1.03	20.4
<input type="checkbox"/>										





## Systems

Pr0Sy1		System 1	Constant Volume Packaged System		No. Of Units	1
Component	Category		Capacity	Efficiency	IPLV	
1	Cooling System		89790.00	12.60		<input type="checkbox"/>
2	Air Handling System -Supply		3000.00	0.90		<input type="checkbox"/>
Pr0Sy2		System 2	Constant Volume Packaged System		No. Of Units	1
Component	Category		Capacity	Efficiency	IPLV	
1	Cooling System		117180.00	12.50		<input type="checkbox"/>
2	Air Handling System -Supply		4000.00	0.75		<input type="checkbox"/>
Pr0Sy3		System 3	Constant Volume Packaged System		No. Of Units	1
Component	Category		Capacity	Efficiency	IPLV	
1	Cooling System		89790.00	12.60		<input type="checkbox"/>
2	Air Handling System -Supply		3000.00	0.90		<input type="checkbox"/>
Pr0Sy4		System 4	Constant Volume Packaged System		No. Of Units	1
Component	Category		Capacity	Efficiency	IPLV	
1	Cooling System		91150.00	12.60		<input type="checkbox"/>
2	Air Handling System -Supply		3000.00	0.90		<input type="checkbox"/>

## Plant

Equipment	Category	Size	Inst.No	Eff.	IPLV
					<input type="checkbox"/>

## Water Heaters

W-Heater Description	CapacityCap.Unit	I/P Rt.	Efficiency	Loss
1 Electric water heater	30 [Gal]	8 [kW]	0.9000 [Ef]	[Btu/h]
2 Electric water heater	100 [Gal]	54 [kW]	[Ef]	370.0000 [Btu/h]

## Ext-Lighting

Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]
1 Ext Light 1	Main entries	5	42	6.00	Photo Sensor control	210.00
2 Ext Light 2	Building facades by area	3	32	1180.00	Photo Sensor control	96.00
3 Ext Light 3	Building facades by area	2	32	916.00	Photo Sensor control	64.00
4 Ext Light 4	Canopies (freestanding, attached and Overhangs)	20	42	563.00	Photo Sensor control	840.00
5 Ext Light 5	Other (doors) than main entries	3	32	9.00	Photo Sensor control	96.00
6 Ext Light 6	Drive-up windows at fast food restaurants	3	42	1.00	Photo Sensor control	126.00
7 Ext Light 7	Building facades by area	1	32	454.00	Photo Sensor control	32.00
8 Ext Light 8	Building facades by area	6	32	1180.00	Photo Sensor control	192.00

## Piping

No	Type	Operating Temperature [F]	Insulation Conductivity [ Btu-in/h.sf.F]	Nomonal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
1	Heating System (Steam, Steam Condensate, & Hot Water)	105.00	0.28	1.00	1.00	No
2	Heating System (Steam, Steam Condensate, & Hot Water)	105.00	0.28	1.00	1.00	No

## Fenestration Used

Name	Glass Type	No. of Panels	Glass Conductance [Btu/h.s.f.F]	SHGC	VL
ASHULSglCtAll Frm	User Defined	1	1.2500	0.8200	0.7600

## Materials Used

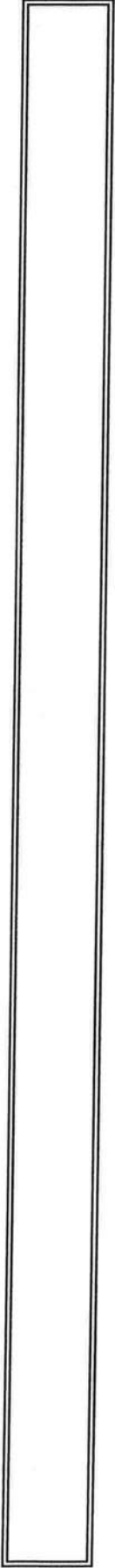
Mat No	Acronym	Description	Only R-Value Used	RValue [h.s.f.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHeat [Btu/lb.F]
265	Mat265	Soil, 1 ft	No	2.0000	1.0000	0.5000	100.00	0.2000
48	Mat48	6 in. Heavyweight concrete	No	0.5000	0.5000	1.0000	140.00	0.2000
1001	ApLbMat1001	Outside surface resistance	Yes	0.3300				
1002	ApLbMat1002	Inside surface resistance	Yes	0.6900				
1003	ApLbMat1003	GYP OR PLAS BOARD, 5/8IN	No	0.5663	0.0521	0.0920	50.00	0.2000
1004	ApLbMat1004	MIN WOOL/FIBER, BATT, R-11	No	11.8280	0.2957	0.0250	0.60	0.2000
1005	ApLbMat1005	8 in. Heavyweight concrete block	No	1.1117	0.6670	0.6000	61.00	0.2000
1006	ApLbMat1006	1 in. Stucco	No	0.2082	0.0833	0.4000	16.00	0.2000
1007	ApLbMat1007	Steel deck	No	0.0002	0.0050	26.0000	480.00	0.1000
1009	ApLbMat1009	BUILT-UP ROOFING, 3/8IN	No	0.3366	0.0313	0.0930	70.00	0.3500
1010	ApLbMat1010	R-19 rigid	No	19.0000	0.4147	0.0218	0.30	0.2000

## Constructs Used

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.s.f.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.s.f.F/Btu]
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1005	1 ft. soil, concrete floor,										34.00	113.33	2.5	<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Thickness [ft]	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]						
1	265 Soil, 1 ft			1.0000		0.000								
2	48 6 in. Heavyweight concrete			0.5000		0.000								
1060	stucco/ 8" hw block/ R-11 batt/ 5/8" gyp										8.96	40.80	14.7	<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Thickness [ft]	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]						
1	1001 Outside surface resistance					0.000								
2	1003 GYP OR PLAS BOARD, 5/8IN			0.0521		0.000								
3	1004 MIN WOOL/FIBER, BATT, R-11			0.2957		0.000								
4	1005 8 in. Heavyweight concrete block			0.6670		0.000								
5	1006 1 in. Stucco			0.0833		0.000								
6	1002 Inside surface resistance					0.000								
1061	built up roof/ R-19 rigid/ steel deck										1.03	10.46	20.4	<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Thickness [ft]	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]						
1	1001 Outside surface resistance					0.000								
2	1009 BUILT-UP ROOFING, 3/8IN			0.0313		0.000								
3	1010 R-19 rigid			0.4147		0.000								
4	1007 Steel deck			0.0050		0.000								
5	1002 Inside surface resistance					0.000								



28150

## FAX MEMORANDUM

## MEMORANDUM

## FLORIDA DEPARTMENT OF TRANSPORTATION

To: Mr. John Kerce, Dept. Director  
Columbia Co. Building Dept.  
Fax No: 904-758-2160

From: Neil E. Miles, FDOT Permits Coord.  
Date: 4-28-10 Fax No. 904-961-7180  
Attention: In-House Staff

( ) Sign and return. (XX) For your files. ( ) Please call me. ( ) FYI ( ) For Review

Reason for Contact. FIELD INSPECTIONS FOR ACCEPTANCE OF PROPERTY OWNERS  
RELOCATED MAIN ACCESS DRIVEWAY FROM US 90 AND IMPROVEMENTS APPROVED  
UNDER STATE PERMITS TO THE EXISTING STORMWATER POND. CURRENT COMPLIANCE  
WITH FDOT ACCESS MANAGEMENT AND DRAINAGE CONNECTION STANDARDS FOR MR.  
STAFFORD L. SCAFF JR. AND ANNE C. SCAFF.

RE: Relocation of Main Driveway Connection/ Retention Pond Improvements/Inspected On: 4-28-10

PROJECT: NEW COMMERCIAL ACCESS & DRAINAGE CONNECTION REVIEW, S & S STORE # 38

PHY. ADDRESS: US 41/441 S @ SW HOWELL RD., ELLISVILLE, FL.

PROPT. OWNER: S. LESTER, JR. & ANNE C. SCAFF, OWNERS (SCAFF'S INC.)

STATE ROAD No: 25 SOUTH OR Highway 41/441 South

PERMITTEE'S MAILING ADDRESS: 134 SE COLBURN AVE., LAKE CITY

COL. COUNTY PARCEL Tax ID No: 03-65-17-09594-000 Land Owners Phone #: 752-7344

FDOT Permit No's: 09-A-292-0017 & 09-D-292-0004

FDOT Permit Inspection Results: Permit Provisions Satisfied

Mr. Kerce or Staff Member:

Our office completed a review of the above property owners relocated Access connection &  
Drainage Connection permits the above date and the permitted improvements have passed  
our inspection for current code for Commercial Use. After reviewing the connection, the  
FDOT Permits Office is satisfied that ALL required ACCESS improvements are acceptable for  
the property in its current status.

Please accept this notice as legal proof from our office at FDOT Permits in releasing any  
hold there may be for this person's planned move on in relation to the required Access  
acceptance.

If further information is required on this project please do not hesitate to contact this office  
for additional access permitting information details. My office number is 961-7193 or 961-  
7180.

Sincerely,



Neil Miles

Access Permits Coordinator

It's great to have folks like you to work with, thanks again for your assistance!

Submitted: 9/30/2009  
Permitted: 10/19/2009

# COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING INSPECTION

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 03-6S-17-09594-000

Building permit No. 000028150

Use Classification COMM -STORE ADDITION (EXCLUDES

THE RESTAURANT)

Fire: 181.80

Permit Holder JOHN W. O'NEAL

Waste:           

Owner of Building LESTER & ANNE SCAFF

Total: 181.80

Location: 14170 S US HWY 41(#38), LAKE CITY, FL 32025

Date: 05/18/2010

Building Inspector

POST IN A CONSPICUOUS PLACE

(Business Places Only)







## COLUMBIA COUNTY FIRE RESCUE

P.O. BOX 1529 Lake City, Florida 32056  
Office (386) 754-7071 Fax (386) 754-7064

Division Chief  
David L. Boozer

19 May 2010

TO: Harry Dicks  
Columbia County Building and Zoning

FROM: David L. Boozer  
Division Chief / Fire Marshal

RE: Permit # 28150  
S & S Food Store #38  
O'Neal Contracting

A Fire Safety Inspection was performed of the Renovation and Addition of S & S Food Store # 38, located at 14170 S. US Highway 41/441. This Inspection consisted of a visual inspection of the Food Store *Only*. This building meets the requirements as set forth in Chapter 36 of the Florida Fire Prevention Code, 2007 Edition.

An additional inspection of the restaurant will be required prior to occupancy of the restaurant.

Until that time, I recommend that a Temporary Certificate Occupancy be issued to allow for occupancy of the Food Store.

Should you require any additional information, please feel free to contact my office.

Sincerely,

David L. Boozer

PERMIT #

000028150

PLUMBING INSPECTION 1/26/10

## SUBCONTRACTOR VERIFICATION FORM

LATE AFTERNOON

APPLICATION NUMBER 0909-49

CONTRACTOR

ONEAL CONTRACTING

PHONE 752-7578

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C _____</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name <u>Mark Dawson</u> License #: <u>CFC 1427245</u>	Signature <u>[Signature]</u> Phone #: <u>386-752-4716</u>
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



DRAINAGE CONNECTION PERMIT



48 HOURS BEFORE YOU DIG  
CALL SUNSHINE  
1-800-432-4770  
IT'S THE LAW IN FLORIDA

2<sup>nd</sup> Submittal

FDOT APPROVED  
Date: SEP 10 2009



S & S #38 Ellisville

Site Plan

FOR:  
Lester Scaff  
134 S.E. Colburn Avenue  
Lake City, FL 32025  
Phone: (386) 752-7344

**JG**  
STRUCTURAL/CIVIL ENGINEERS  
GTC Design Group

**Live Oak**  
P.O. Box 187  
130 West Howard Street  
Live Oak, FL 32064  
Phone: (386) 362-3678  
Fax: (386) 362-6133  
[www.gtcdesigngroup.com](http://www.gtcdesigngroup.com)

**Lake City**  
176 NW Lake Jeffery Rd  
Lake City, FL 32055  
Phone: (386) 719-9985  
Fax: (386) 719-8828  
[www.gtcdesigngroup.com](http://www.gtcdesigngroup.com)

Chadwick W. Williams, PE 63144  
Auth. #: 9461

**SHEET INDEX**

1	GENERAL NOTES AND DETAILS
2	EXISTING CONDITIONS
3	SITE PLAN
4	STORMWATER PLAN
5	GRADING PLAN
6	LANDSCAPING PLAN
7	UTILITY PLAN
8	EROSION CONTROL DETAILS
9	FDOT CONNECTION PLAN
10	FDOT STRIPING PLAN

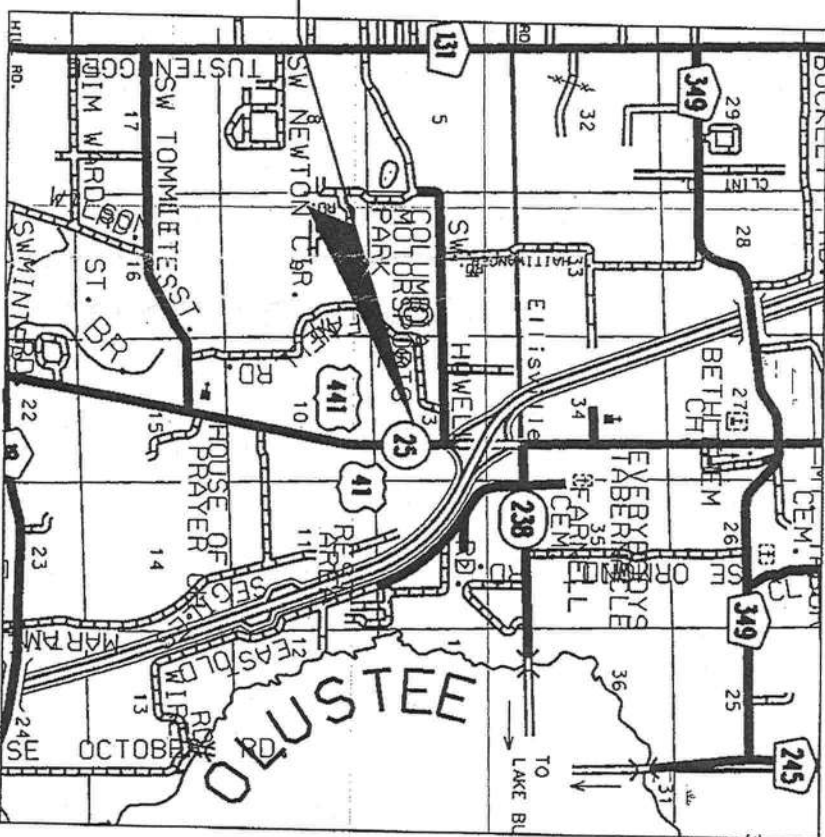
ABBREVIATIONS

PL	PROPERTY LINE	IP	IRON PIPE
CL	CENTER LINE	MH	MANHOLE
BL	BASE LINE	G	GAS
SS	SANITARY SEWER	UC	UNDERGROUND CABLE
ST	STORM SEWER	OC	OVERHEAD CABLE
E	ELECTRIC	W	WATER LINE
OHE	OVERHEAD ELECTRIC	HOPE	HIGH-DENSITY POLYETHYLENE
UG	UNDERGROUND ELECTRIC	RCP	REINFORCED CONCRETE PIPE-ROUND
OHT	OVERHEAD TELEPHONE	RCPA	REINFORCED CONCRETE PIPE-ARC
UT	UNDERGROUND TELEPHONE	RCPB	REINFORCED CONCRETE PIPE-BELL
R	RADIUS	CMP	CORRUGATED METAL PIPE-ROUND
CO	CLEANOUT	CMPA	CORRUGATED METAL PIPE-ARC
BM	BENCH MARK	BCCMP	BUTYRUS COATED CORRUGATED METAL PIPE
IE	INVERT ELEVATION	BCCSP	BUTYRUS COATED CORRUGATED STEEL PIPE
LF	LINEAR FEET		

RECEIVED  
SEP 09 2009

DEPT OF TRANSPORTATION  
LAKE CITY  
MAINTENANCE

PROJECT LOCATION



LOCATION MAP

SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST  
COLUMBIA COUNTY, FLORIDA

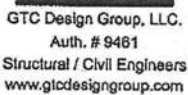


The contractor shall verify all existing conditions and dimensions at the job site to insure that all new work will fit in the manner intended on the plans. Should any conditions exist that are contrary to those shown on the plans, the contractor shall notify the engineer and Columbia County, Florida (Department of Growth Management) of such differences immediately & prior to proceeding with the work.

24. Contractor shall contact Columbia County, Florida, Department of Growth Management to perform the following site inspections: erosion & sediment control inspection (prior to commencing construction), Site Compliance inspection (once building foundation is poured & improvements are being laid out), and Final Site Compliance inspection (once all improvements are finalized). no Certificate of Occupancy will be issued for any developments that do not receive the above mentioned site inspections.



- ## GENERAL NOTES



P.O. BOX 187  
130 W HOWARD ST  
LIVE OAK FL, 32064  
PHONE: (386) 362-3678  
FAX: (386) 362-6133

NW LAKE JEFFREY RD  
LAKE CITY, FL 32055  
Phone: (386) 719-9985  
Fax: (386) 719-8828

[illegible]



COMENCE  
NW Cor.  
of Sec 1/4  
of Sec 3

SW HOWELL ST.

STORM ROAD DRAINAGE  
BY SEWER 1 IN. DIA.

P.D.B.  
NO. 1  
BROKEN

EXISTING ASPHALT

EXISTING CONCRETE

EXISTING GRASSED AREA

DATE	REVISION NOTES

P.O. BOX 187  
130 W HOWARD ST  
LIVE OAK FL, 32064  
PHONE: (386) 362-3678  
FAX: (386) 362-6133

**GTC**  
GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
Auth. # 9461 LAKE CITY, FL 32065  
Structural / Civil Engineers Phone: (386) 719-9985  
www.gtcdesigngroup.com Fax: (386) 719-8828

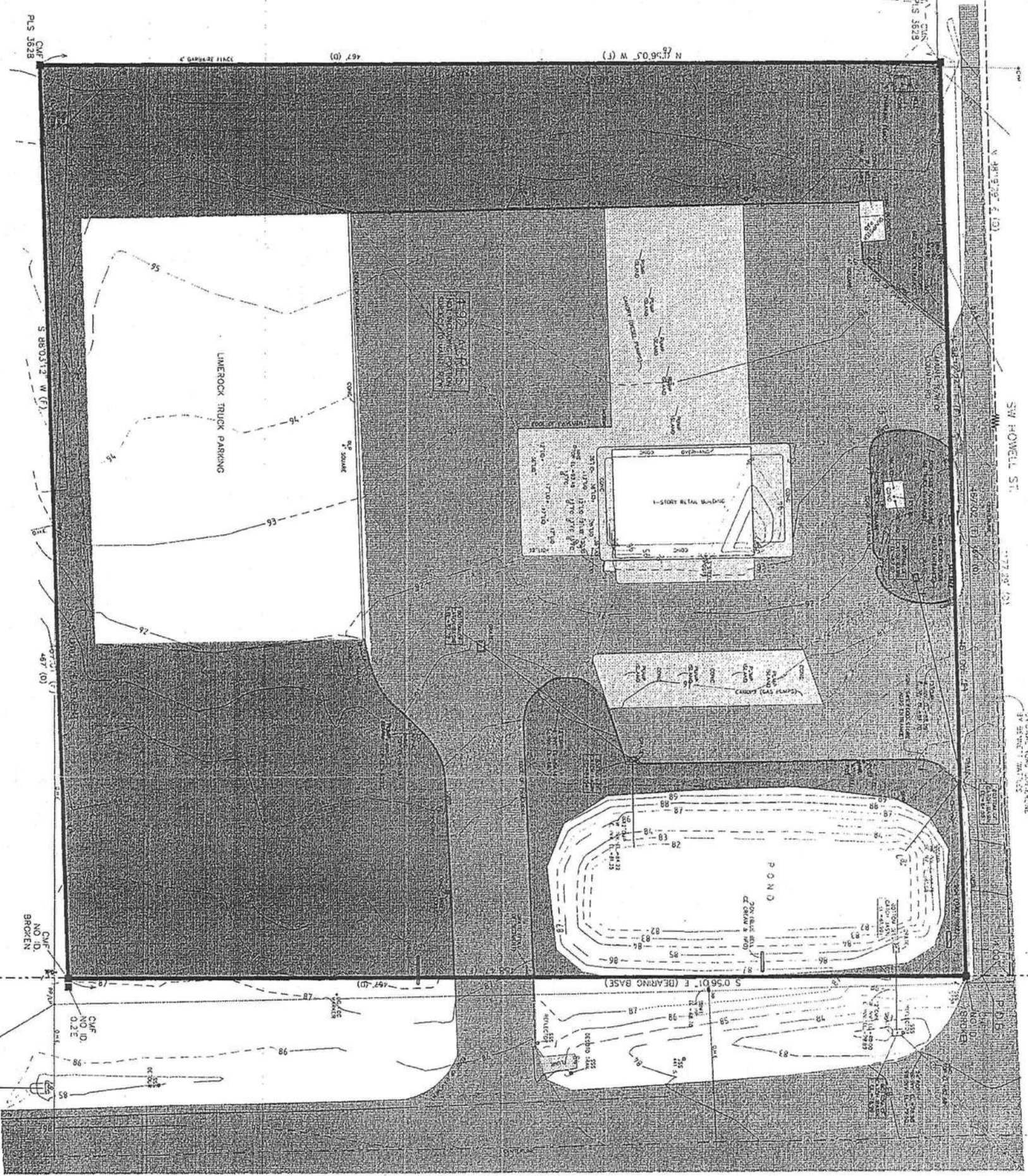
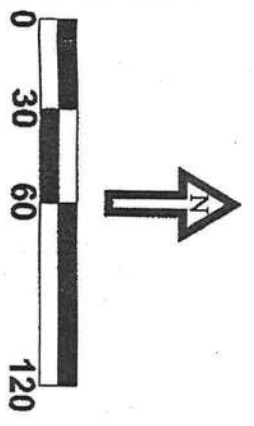
**S&S #38 ELLISVILLE**  
**EXISTING CONDITIONS**

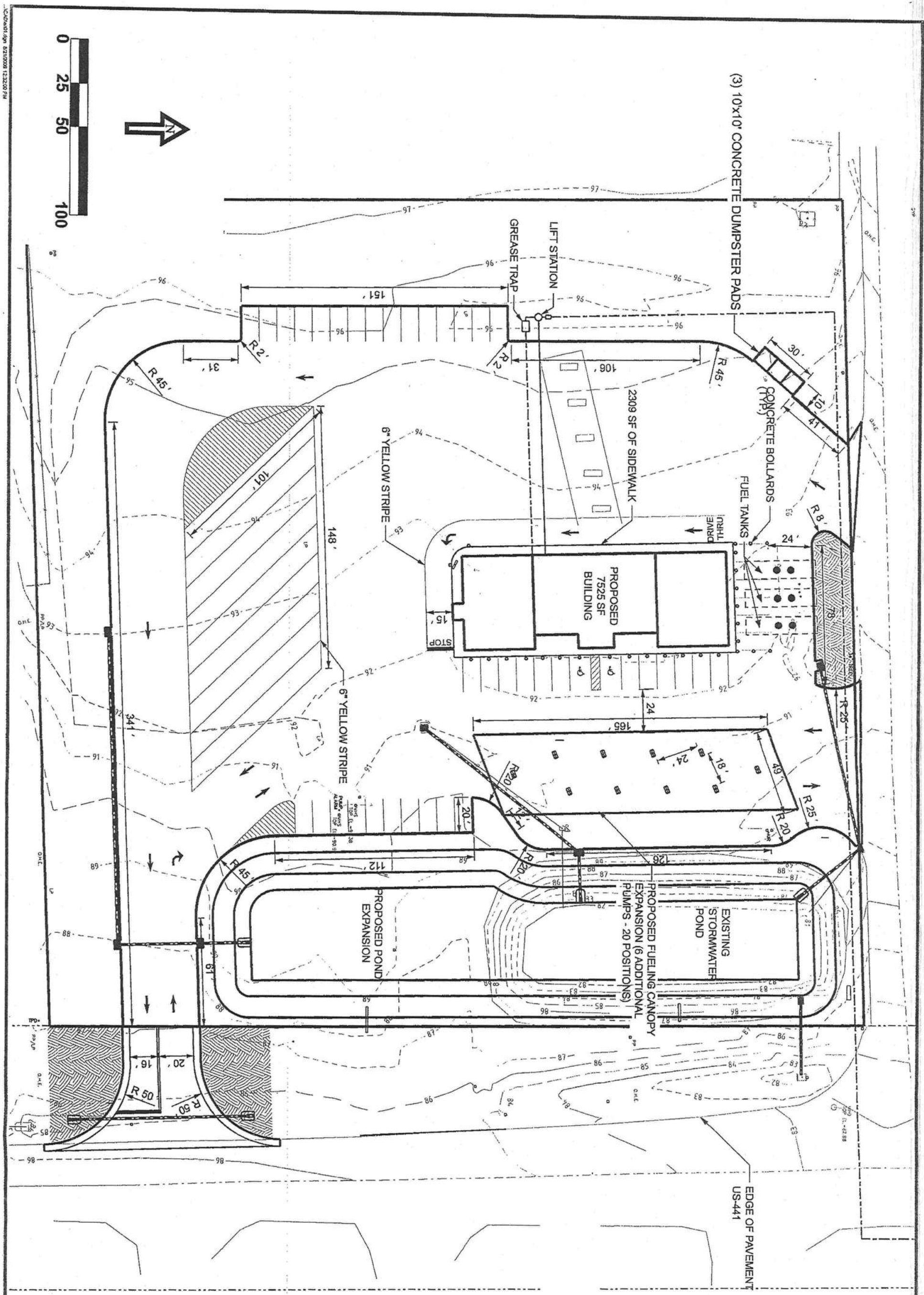
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PROJECT NUMBER  
**PF08-143**

SHEET  
**2**





S&S #38 ELLISVILLE

SITE PLAN



GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
LAKE CITY, FL 32055  
Auth. # 9461  
Structural / Civil Engineers  
www.gtcdesigngroup.com

P.O. BOX 187  
130 W HOWARD ST  
LIVE OAK FL, 32064  
PHONE: (386) 362-3678  
FAX: (386) 362-6133

DATE	REVISION NOTES

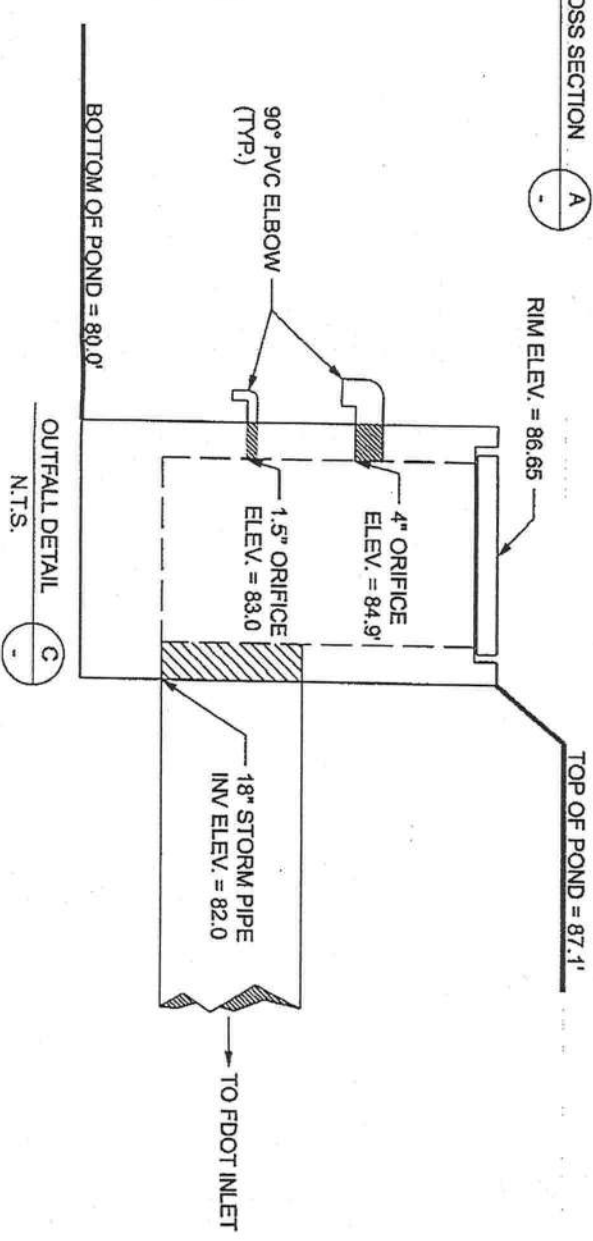
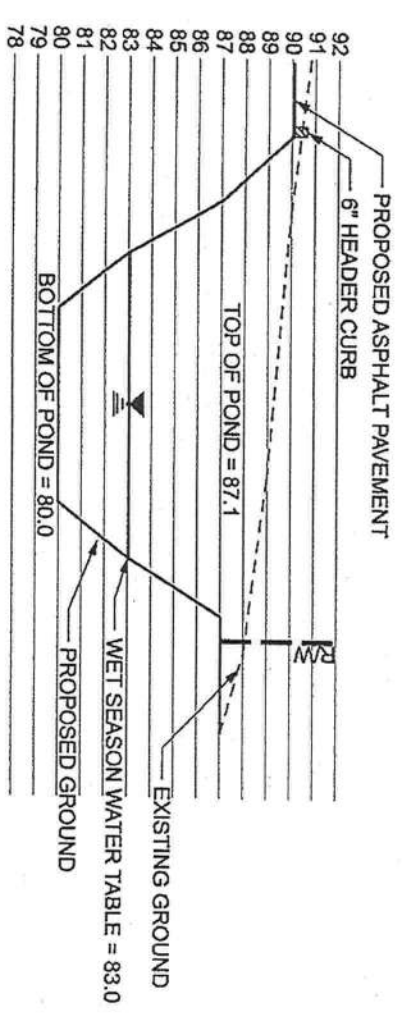
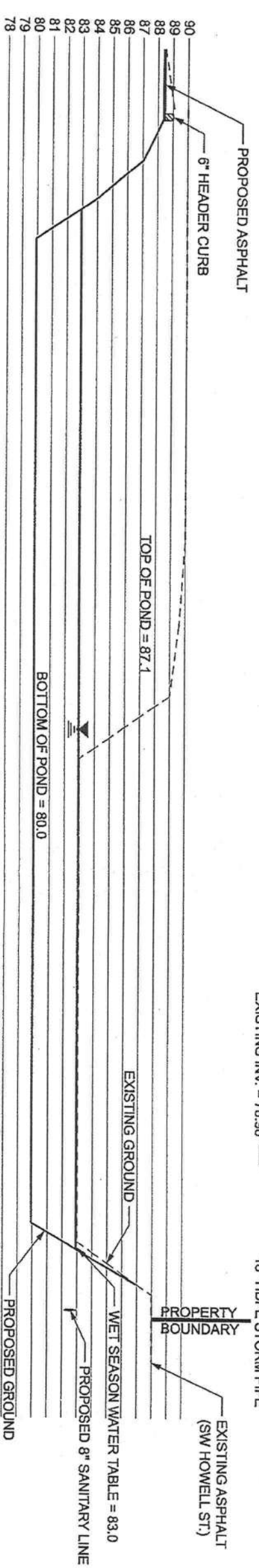
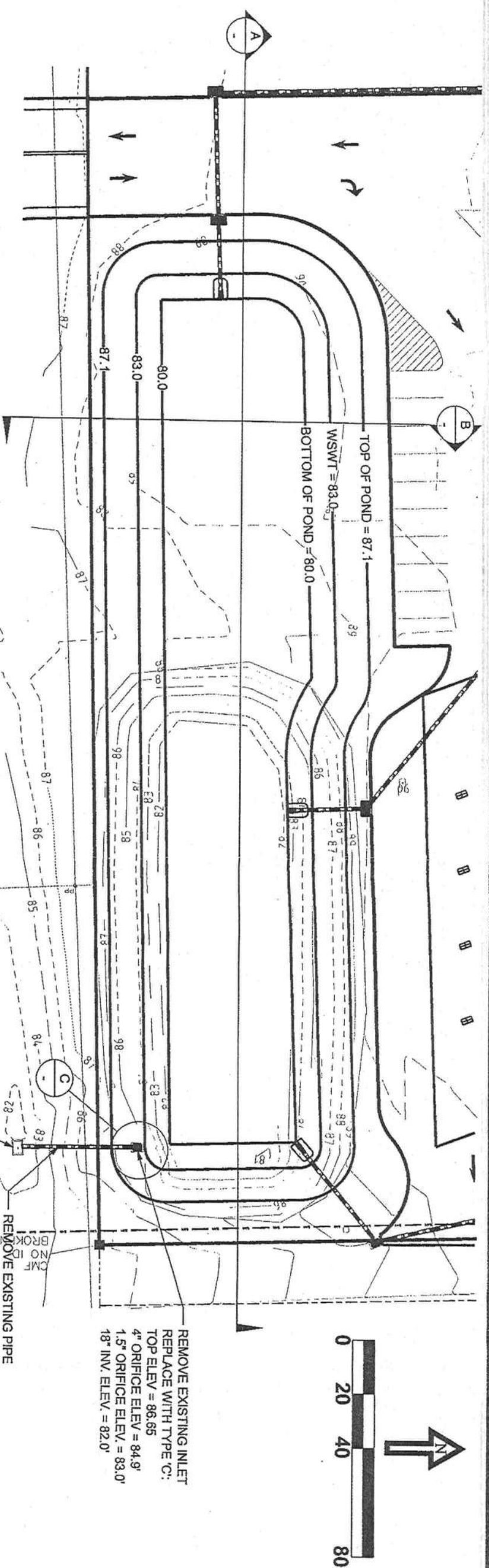
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PROJECT NUMBER  
PF08-143

SHEET



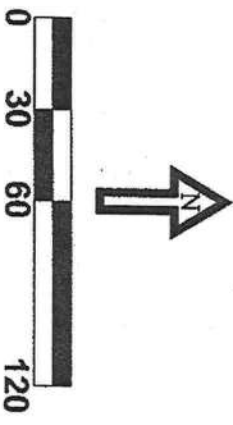


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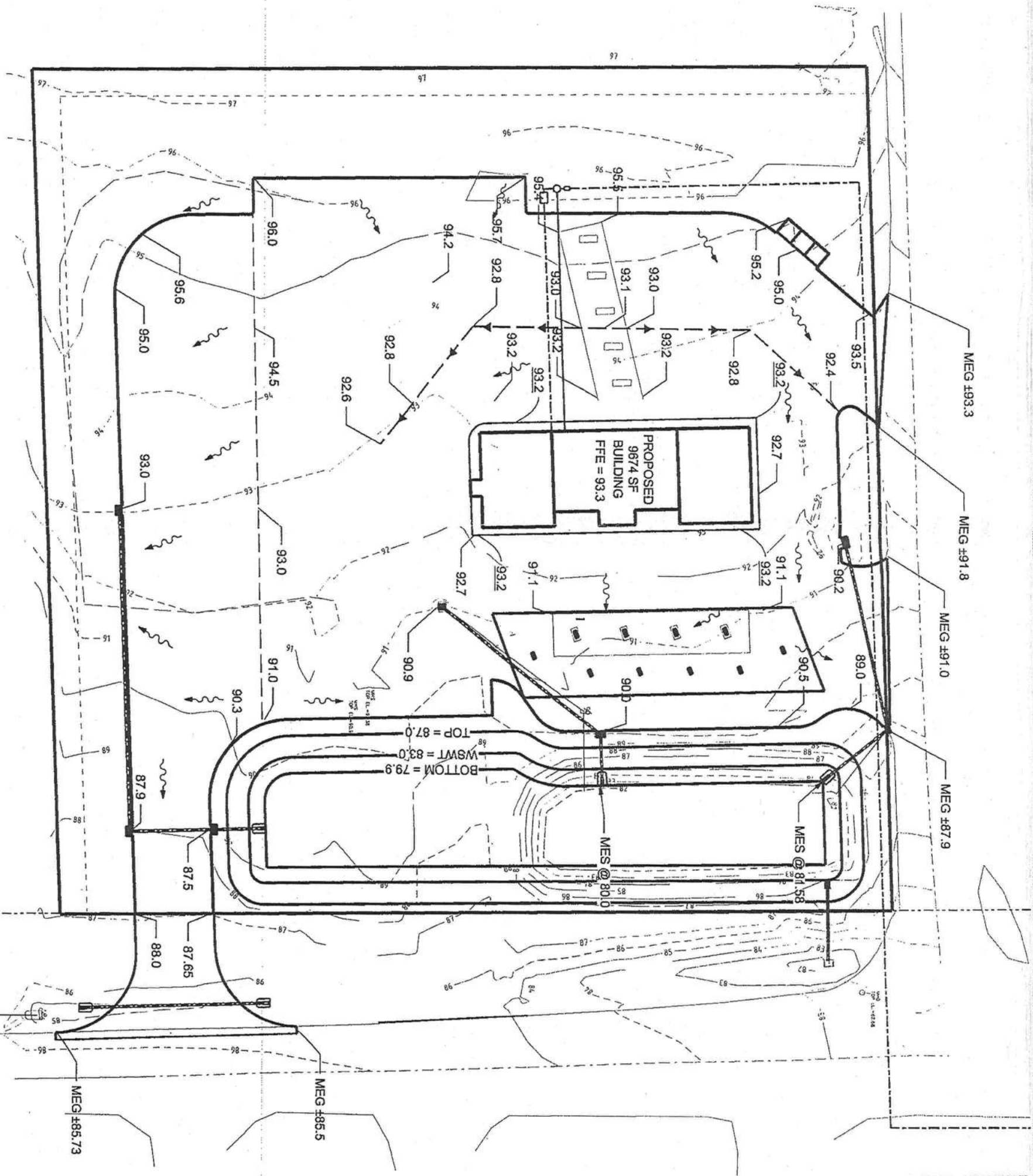
P.O. BOX 187  
 130 W HOWARD ST  
 LIVE OAK FL, 32064  
 PHONE: (386) 362-3878  
 FAX: (386) 362-6133  
  
 GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
 Auth. # 9461  
 Structural / Civil Engineers  
 www.gtcdesigngroup.com  
 Phone: (386) 719-9985  
 Fax: (386) 719-6628

**S&S #38 ELLISVILLE**  
  
**STORMWATER PLAN**

DRAWN BY: **AS** CHECKED BY: **CW**  
 PROJECT NUMBER: **PF08-143**  
 SHEET: **4**



- MEG± MATCH EXISTING GRADE
- 93.0 ELEVATION AT TOP OF SIDEWALK
- 93.0 ELEVATION AT TOP OF PAVEMENT



**S&S #38 ELLISVILLE**  
**GRADING PLAN**



GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
Auth. # 9451  
Structural / Civil Engineers  
www.gtcdesigngroup.com

P.O. BOX 187  
130 W HOWARD ST  
LIVE OAK FL, 32064  
PHONE: (386) 382-3678  
FAX: (386) 382-6133  
LAKE CITY, FL 32055  
Phone: (386) 719-9985  
Fax: (386) 719-8828

DATE	REVISION NOTES

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PROJECT NUMBER  
**PF08-143**

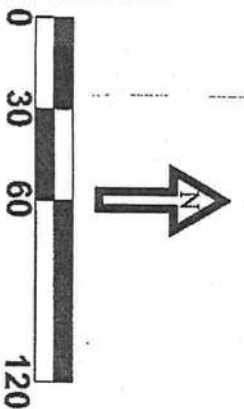
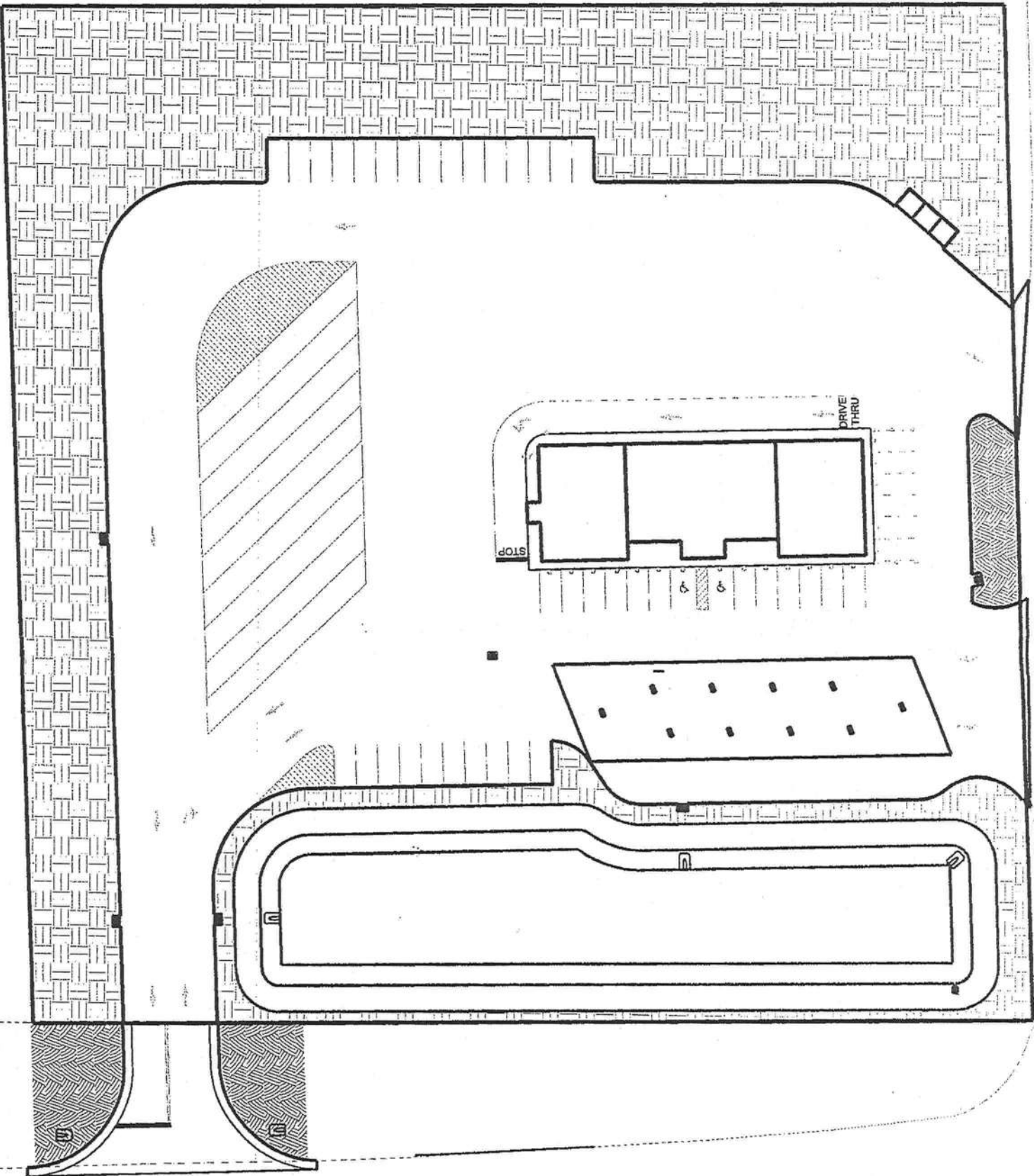
SHEET  
**5**



10/20/08 12:38 PM

GRASSED AREA

HATCH DENOTES AREA TO BE LANDSCAPED WITH GRASS, GROUND COVER, OR OTHER LANDSCAPED TREATMENT



**S&S #38 ELLISVILLE**

**LANDSCAPING PLAN**



GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
Auth. # 9461 LAKE CITY, FL 32055  
Structural / Civil Engineers Phone: (386) 719-9985  
www.gtcdesigngroup.com Fax: (386) 719-8828

P.O. BOX 187  
130 W HOWARD ST  
LIVE OAK FL, 32064  
PHONE: (386) 362-3678  
FAX: (386) 362-6133

DATE	REVISION NOTES

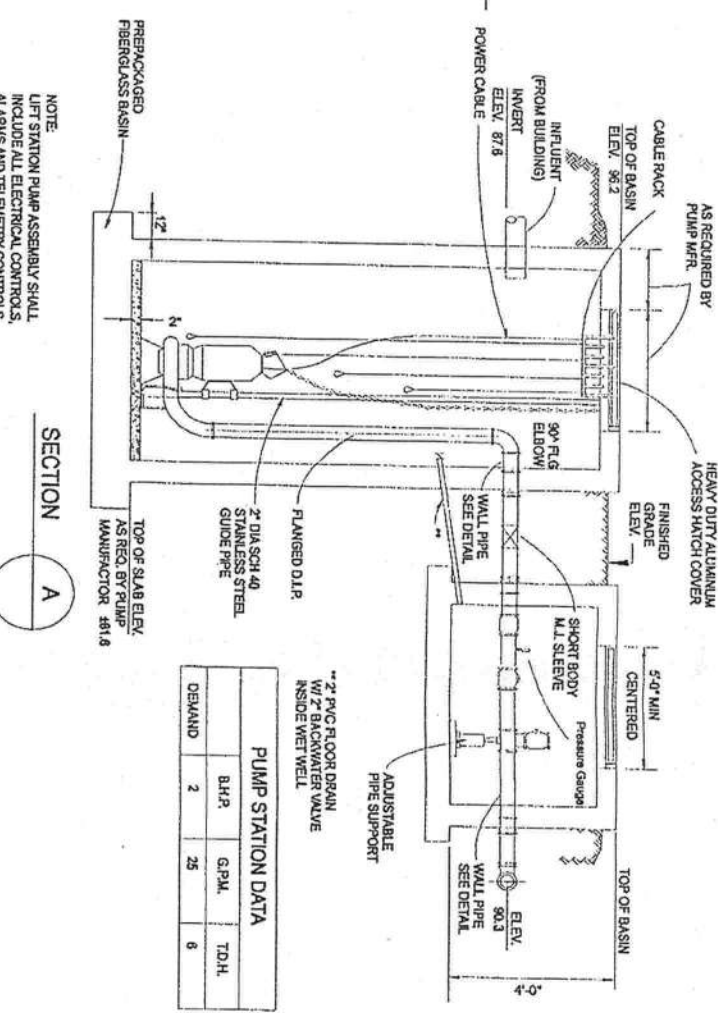
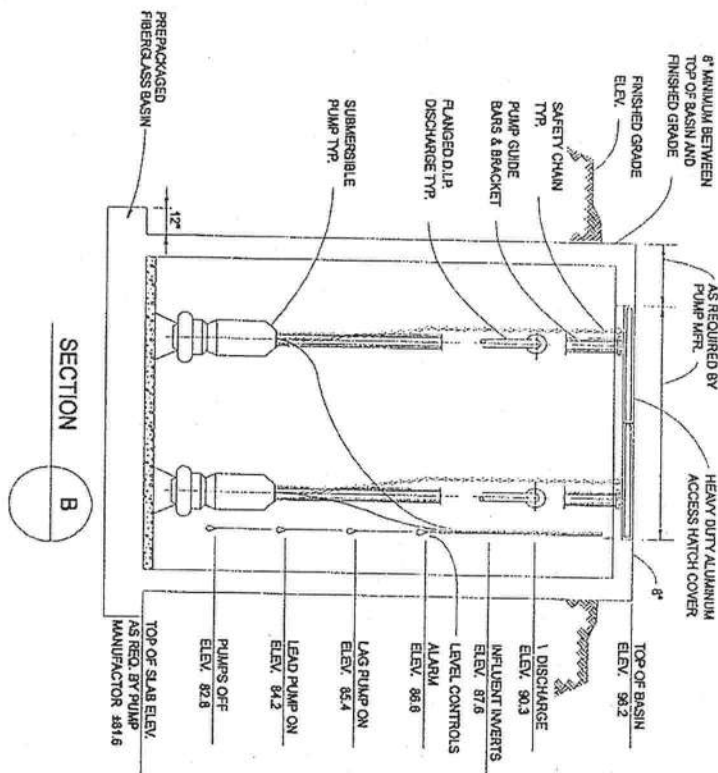
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PROJECT NUMBER  
**PF08-143**

SHEET

**6**



PUMP STATION DATA

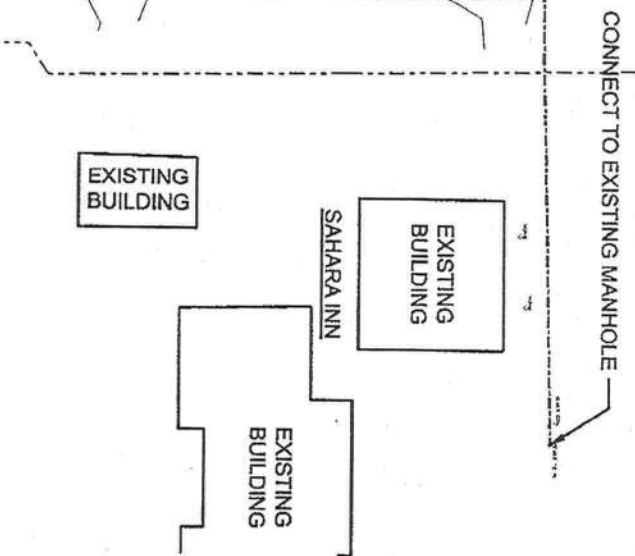
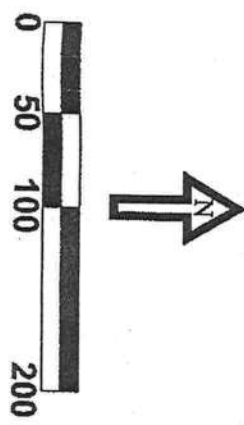
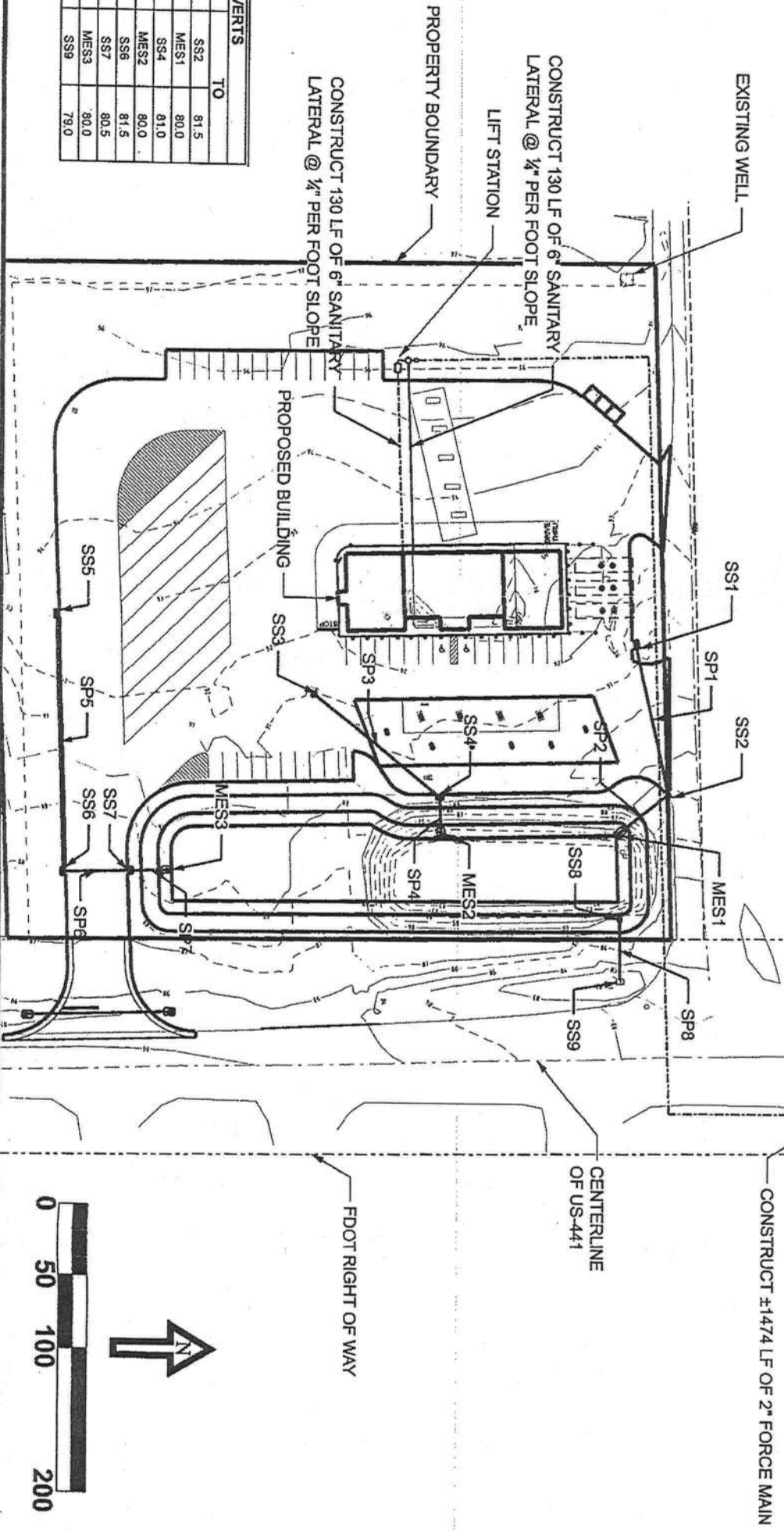
DEMAND	BAH	GPM	TOTL
2	25	6	

STORM STRUCTURE TABLE

STRUCTURE	TYPE	RIM ELEV	INV ELEV
SS1	TYPE 'C' INLET	80.20	83.5
SS2	TYPE 'C' INLET	87.90	81.5
SS3	TYPE 'C' INLET	90.90	83.5
SS4	TYPE 'C' INLET	90.00	81.0
SS5	TYPE 'C' INLET	93.00	85.5
SS6	TYPE 'C' INLET	87.90	81.5
SS7	TYPE 'C' INLET	87.50	80.5
SS8	TYPE 'C' INLET	86.65	81.5
SS9	FDOT INLET	n/a	78.96

STORMWATER PIPE TABLE

PIPE NUMBER	LENGTH (FT)	SLOPE (%)	SIZE (IN)	MATERIAL	FROM	INVERTS TO
SP1	102.00	2.0	18	HDPE	SS1	SS2 81.5
SP2	44.00	3.4	18	HDPE	SS2	MES1 80.0
SP3	107.00	2.3	18	HDPE	SS3	SS4 81.0
SP4	27.00	3.7	18	HDPE	SS4	MES2 80.0
SP5	172.00	2.3	18	HDPE	SS5	SS6 81.5
SP6	42.00	2.4	18	HDPE	SS6	SS7 80.5
SP7	27.00	1.9	18	HDPE	SS7	MES3 80.0
SP8	40	7.6	18	HDPE	SS8	SS9 79.0



PROJECT NUMBER  
**PF08-143**

SHEET  
**7**

**S & S #38 ELLISVILLE**

**UTILITY PLAN**

DATE

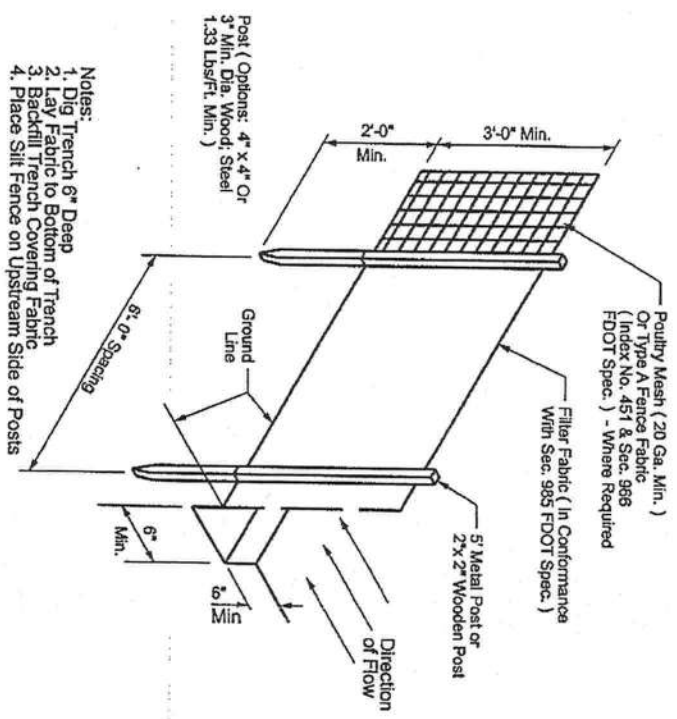
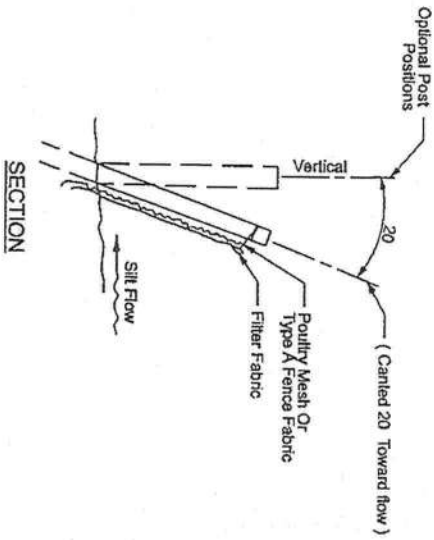
REVISION NOTES

GTC Design Group, LLC. 178 NW LAKE JEFFREY RD  
LAKE CITY, FL 32055  
Phone: (386) 719-9885  
Fax: (386) 719-8828



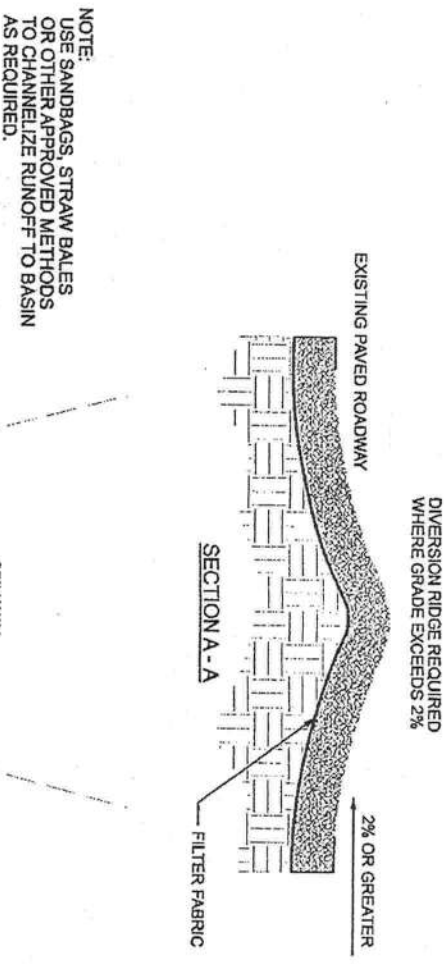
EROSION CONTROL NOTES

- Contractor shall adhere to Columbia County, SRWMD and other governing authorities for erosion and sediment control regulations. Contractor shall use BMP's from "The Florida Development Manual".
- Sediment and erosion control facilities, storm drainage facilities and detention basins shall be installed prior to any other construction.
- Erosion control measures shall be inspected weekly and after each rainfall and replaced as necessary.
- Sediment and erosion control measures shall not be removed until all construction is complete and until a permanent ground cover has been established.
- All open drainage swales shall be grassed and riprap shall be placed as required to control erosion.
- Silt fences shall be located on site to prevent sediment and erosion from leaving right-of-way limits.
- Additional erosion control devices shall be used as required.
- Silt fence shall be cleaned or replaced when silt builds up to within one foot of top of silt fence.
- During construction and after construction is complete, all structures shall be cleaned of all debris and excess sediment.
- All grades areas shall be stabilized immediately with a temporary fast-growing cover and/or mulch.
- A pad of rubble riprap shall be placed at the bottom of all collection flumes and collection pipe outlets.
- All disturbed areas not sodded shall be seeded with a mixture of long-term vegetation and quick-growing short-term vegetation for the following conditions. For the months from September through March, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of winter rye. For the months of April through August, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of millet.
- Staked silt fences shall be placed near all box culvert extensions in accordance with FDOT Standard Index 102.
- Disturbed areas shall be stabilized with sodding and grassing and mulching. All side slopes steeper than 3:1 shall be adequately protected from erosion through the use of hay bales or sodding.
- All stabilization practices shall be initiated as soon as practicable in areas of the job where construction activities have temporarily or permanently stopped, but in no case shall the disturbed area be left unprotected for more than three (3) days.
- If the proposed erosion control plan does not work, the contractor should use the BMP's in the Florida Erosion and Sediment Control Inspector's manual to implement a plan that will work and meet actual field conditions.
- All waste generated on the project shall be disposed of by the contractor in areas provided by contractor.
- Loaded haul trucks shall be covered with tarps.
- Excess dirt shall be removed daily.
- Fertilizer shall be applied as specified in the plans and specifications.
- This project shall comply with all water quality standards. Permit required from SRWMD has been obtained.
- All pollution controls shall be maintained at all times.
- Straw bales shall be placed to remove sediment. Straw bales shall be replaced after three (3) months or when sediment reaches one-half (1/2) the height of the bales.
- Qualified personnel shall inspect the area used for storage of stockpiles, the silt fence and straw bales, the location where vehicles enter or exit the site, and the disturbed areas that have not been finally stabilized, at least once every seven (7) calendar days and within 24 hours of the end of a storm of 0.2 inches or greater.
- Sites that have been finally stabilized with sod or grassing shall be inspected at least once every week.
- Contractor is responsible for the construction and maintenance of all erosion and sedimentation controls during proposed construction.



TYPE IV SILT FENCE  
NTS

AS COMPARED TO TYPE III SILT FENCE, TYPE IV FENCE HAS GREATER STRENGTH AND HEIGHT WHICH REDUCES THE POSSIBILITY OF SEDIMENT AND WATER FROM OVERTOPPING THE FENCE AS A RESULT AVOID USING TYPE IV FENCE IN AREAS WHERE THE DETAINED WATER WOULD BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE  
NTS

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

DATE	REVISION NOTES

GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
Auth. # 9461  
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6-6-06

**S & S #38 ELLISVILLE**

**EROSION CONTROL**

**NOTES & DETAILS**

PROJECT NUMBER  
**PF08-143**

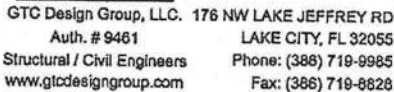
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**8**

1. The driveway connection is to be constructed in accordance with the Florida Department of Transportation Standard Specifications for Road and Bridge Construction (Current Edition) and the Roadway and Traffic Design Standards (Current Edition).

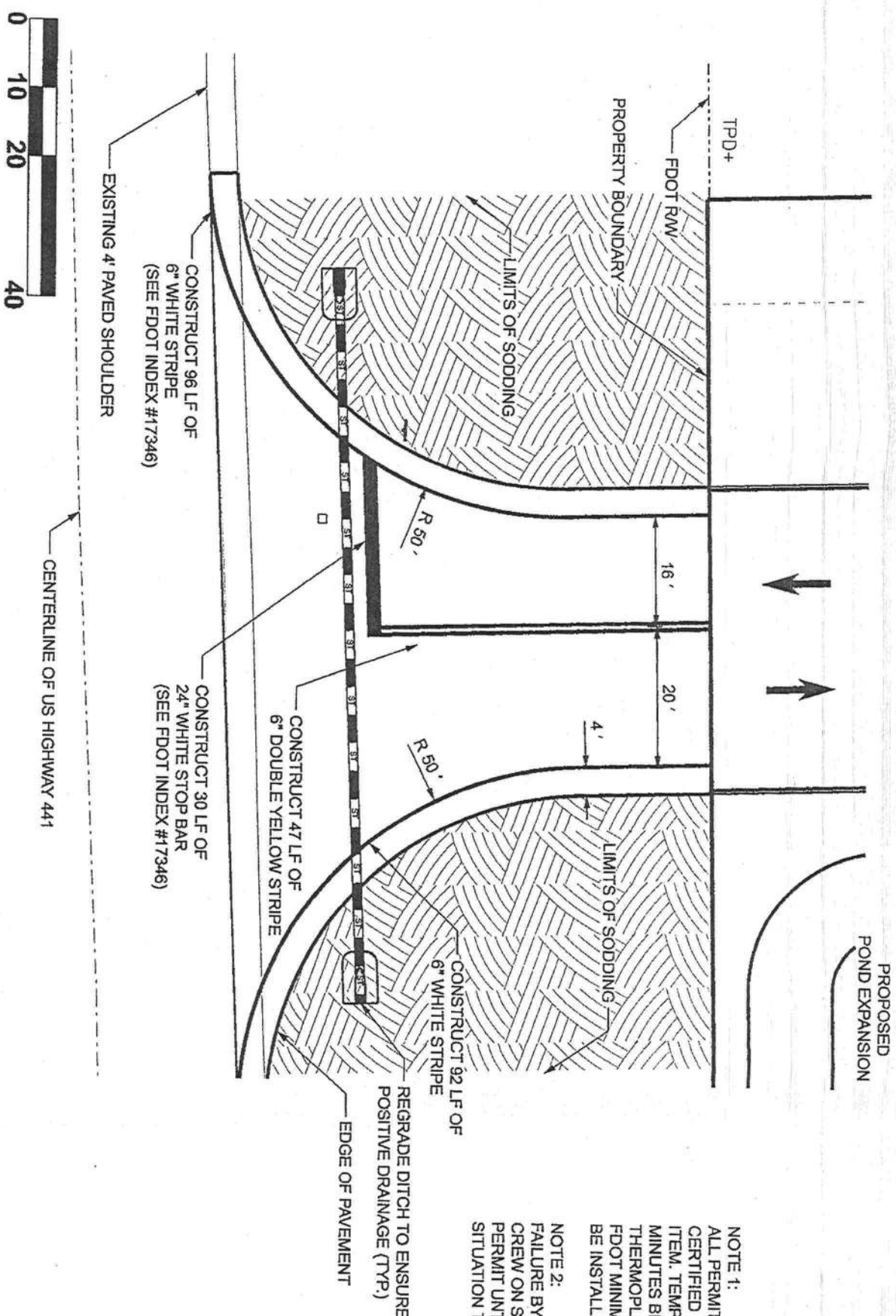
2. The traffic signs and pavement markings shall conform to the requirements of the Manual on Uniform Traffic Control Devices (Current Edition) and the Florida Department of Transportation Roadway and Traffic Design Standards (Current Edition). According to State Indexes 17302 & 17346, all pavement markings pertaining to the driveway access permitted through FDOT shall be constructed with certified lead-free, thermoplastic material. This requirement shall include any driveway(s) "Special Pavement Markings" shown to the permitted access connection and shall include those markings lying both ON and OFF the State Right-of-Way.
3. Maintenance of traffic shall be performed in accordance with the Florida Department of Transportation Roadway and Traffic Design Standard indexes 600 & 625.
4. The contractor shall obtain three (3) density tests according to the FDOT Standard Specifications for Road and Bridge Construction (Current Edition). Limerock T shall be compacted to 98% of the maximum density as determined by AASHTO T 180. A copy of the tests shall be submitted to FDOT before starting any paving operations.
5. All areas disturbed within FDOT right-of-way shall be resodded with "Certified Coastal Bermuda Grass Sod". All sod shall be installed to FDOT satisfaction before paving may commence.

6. All FDOT right-of-way restoration, grass seed placement and/or seeding and straw mulch required under this approved state access permit shall be in place and have received two (2) waterings and also have received a passing inspection for permit compliance for this item before any type of asphalt paving or concrete driveways can commence upon state FDOT right-of-way property. Be aware that no paving or concrete pours can commence until all of the above restoration over seed project.
7. All areas of the State right-of-way within the limits of construction with a proposed finished grade slope of 1:4 or steeper shall be completely covered with Certified Coastal Bermuda Grass or an FDOT approved alternative grass seed. This provision shall be met a minimum of 24 hours in advance of any planned paving or concrete pour that is approved under the FDOT access or drainage permit. Refer to the attached permit cover letter and/or approved site plan or plan notes on R/W restoration for additional restoration provisions and other sodding specifications.
8. The permittee or legal representative shall contact the local State of Florida FDOT Maintenance Permits Office having jurisdiction over this approved permit. A minimum of 48 hours in advance of the planned activation of said access permit for the explicit purpose of setting up the mandatory pre-construction meeting with all parties involved in the construction of this project. Contact can be made by calling 386-561-7180 or 7193 or 7148 Tuesday through Friday 7:00 A.M. to 5:00 P.M. Failure on the permittee's or his general construction contractor's part to make advance contact for a mutually agreed to pre-construction meeting shall be reason for suspension of the approved FDOT Access Permit.
9. All permitted and proposed work/construction upon State FDOT right-of-way shall conform to the State of Florida's most current Roadway and Traffic Design Standards Manual, the State FDOT's Standard Specification for Road and Bridge Construction, the approved permit provisions, cover letter, general and special permit provisions.

10. If drainage connection has been permitted and is required as a provision of the approved FDOT site plan and physical drainage connection is required into existing FDOT structure(s). Then the actual entry shall be made by smooth core method only, with no more than maximum of 0.500 of an inch overbore allows. The permittee shall make advance preparations to have the FDOT permits inspector on site at the time of commencement of entry to ensure water tight seal is made to FDOT standards. Neither the permittee nor any representative of the permittee shall conduct this phase of the project without a FDOT inspector on site. All permitted and approved or required pavement markings shall be constructed with lead-free, thermoplastic materials in accordance with FDOT Index No. 17346 under special pavement markings.
11. All permitted aboveground signage shall conform to FDOT Index No. 11860 and 17302. Aboveground posted signs and sign bracket attachments shall be installed prior to the final driveway construction in accordance with FDOT Indexes 11860 and 17302.
12. Failure to abide by the attached general, special permit provisions, as well as the attached cover letter (a legal part of the permit) shall be reason to suspend any or all FDOT approved permitted activities until such time that the situation has been corrected to FDOT satisfaction.
13. No paving shall commence until all required density test have been delivered to the FDOT Lake City Maintenance, Access Permits Office and have met the minimum FDOT specifications
14. Contractor shall coordinate with FDOT Inspector on site to determine exact location of stop bar.
15. All asphalt pavement within FDOT right of way shall consist of 2" of SP 12.5 and 8" linerrock base with 12" stabilized subgrade (LBR40).
16. Mill and resurface as required to provide smooth intersection of state road and proposed driveway connection.

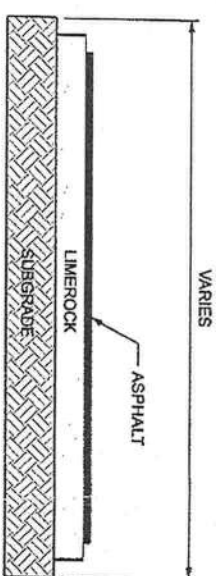
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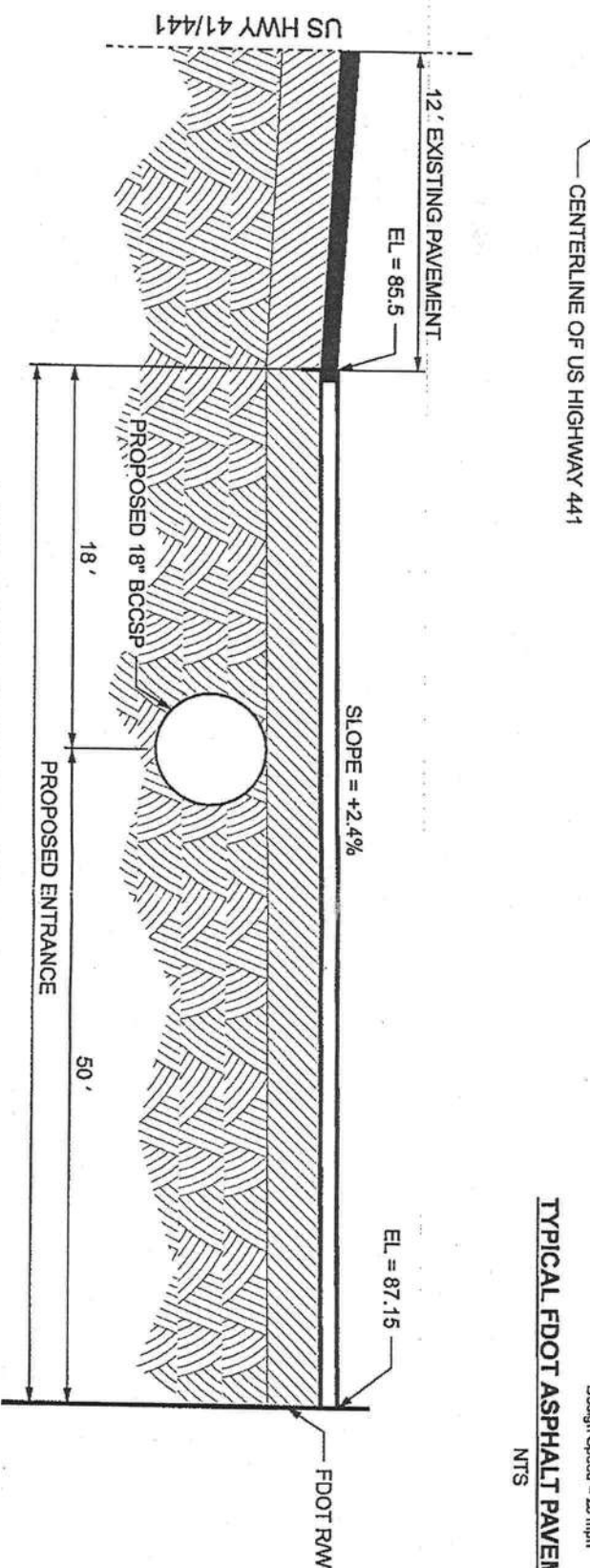
NOTE 1:  
ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS SHALL REQUIRE CERTIFIED LEAD FREE, THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING PAINT SHALL BE REQUIRED TO BE IN PLACE 30 MINUTES BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FDOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY. TEMPORARY RPM'S SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES.

NOTE 2: FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FDOT PERMITS PERSONNEL/INSPECTOR



**NOTES:**  
SUBGRADE SHALL BE COMPACTED TO  
100% OF MAXIMUM DRY DENSITY AS ESTABLISHED  
BY ASTM T-99.  
THIS TYPICAL SECTION IS FOR ALL  
ROADWAY CONSTRUCTION INSIDE FDOT  
RIGHT-OF-WAY.

2" Super Pave 12.5 (Virgin Mix) Structural Course  
0.1 Gal/SY Prime Coat  
8" Limerock Base Course  
12" Subgrade  
Design Speed = 25 mph



**FDOT ACCESS CONNECTION PROFILE**

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NTS

**S&S #38 ELLISVILLE**  
**FDOT STRIPING PLAN**  
**US HIGHWAY 41/441**



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9-6-00

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**PF08-143**

**SHEET**

10



# S & S #38 Ellisville

## Site Plan

FOR:  
Lester Scaff  
134 S.E. Colburn Avenue  
Lake City, FL 32025  
Phone: (386) 752-7344

**JTG**  
STRUCTURAL/CIVIL ENGINEERS  
GTC Design Group

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Chadwick W. Williams, PE 63144  
Auth. #: 9461

### SHEET INDEX

- 1 GENERAL NOTES AND DETAILS
- 2 EXISTING CONDITIONS
- 3 SITE PLAN
- 4 STORMWATER PLAN
- 5 GRADING PLAN
- 6 LANDSCAPING PLAN
- 7 UTILITY PLAN
- 8 EROSION CONTROL DETAILS
- 9 FDOT CONNECTION PLAN
- 10 FDOT STRIPING PLAN
- 11 MISCELLANEOUS DETAILS

2

### LEGEND

#### EXISTING

- CONCRETE MONUMENT FOUND
- IRON PIPE FOUND
- ELECTRIC METER
- ELECTRIC MANHOLE
- LIGHT STANDARD
- POWER POLE
- SHARED POWER POLE W/ TRANSFORMER
- SHARED POWER POLE
- TELEPHONE POLE
- REDUCER
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- SANITARY SEWER VALVE
- SANITARY MANHOLE
- STORMWATER MANHOLE
- FDOT STORMWATER MANHOLE
- GROUND CONTOUR
- D.O.T. MARKER FOUND
- GAS METER
- GAS VALVE
- SOIL BORING LOCATION
- SINGLE POST SIGN
- BENCH MARK
- SECTION CORNER

#### PROPOSED

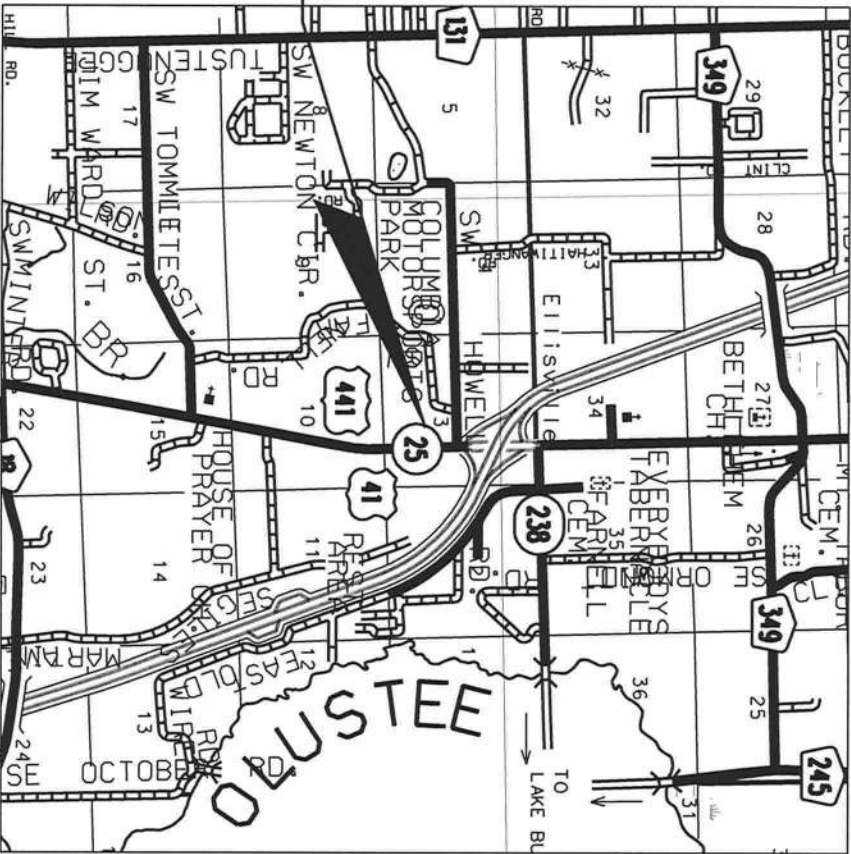
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- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- LIGHT
- STANDARD POWER POLE
- POWER POLE SHARED
- POWER POLE SHARED W/ TRANSFORMER
- GAS METER
- GAS VALVE
- WATER METER
- WATER VALVE
- WATER REDUCER
- WATER TEE
- WATER 90° BEND
- SINGLE WATER SERVICE
- DOUBLE WATER SERVICE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- SANITARY MANHOLE
- SANITARY VALVE
- SANITARY SINGLE SERVICE
- SANITARY DOUBLE SERVICE
- GROUND CONTOUR
- DITCH BLOCK
- STORMWATER MANHOLE
- FLOW ARROW
- HANDICAP PARKING
- MITERED END
- SIGN

### ABBREVIATIONS

- |     |                       |       |   |
|-----|-----------------------|-------|---|
| PL  | PROPERTY LINE         | IP    | IRON PIPE                               |
| CL  | CENTER LINE           | MH    | MANHOLE                                 |
| BL  | BASE LINE             | G     | GAS                                     |
| SN  | SANITARY SEWER        | UC    | UNDERGROUND CABLE                       |
| ST  | STORM SEWER           | OC    | OVERHEAD CABLE                          |
| E   | ELECTRIC              | W     | WATER LINE                              |
| OHE | OVERHEAD ELECTRIC     | HOPE  | HIGH-DENSITY POLYETHYLENE               |
| UG  | UNDERGROUND ELECTRIC  | RCP   | REINFORCED CONCRETE PIPE-ROUND          |
| OHT | OVERHEAD TELEPHONE    | RCPPA | REINFORCED CONCRETE PIPE-ARC            |
| UT  | UNDERGROUND TELEPHONE | RCPE  | REINFORCED CONCRETE PIPE-ELLIPTICAL     |
| R   | RADIUS                | CMP   | CORRUGATED METAL PIPE-ROUND             |
| CO  | CLEANOUT              | CMPA  | CORRUGATED METAL PIPE-ARC               |
| BM  | BENCH MARK            | BCMP  | BITUMINOUS COATED CORRUGATED METAL PIPE |
| IE  | INVERT ELEVATION      | BCSP  | BITUMINOUS COATED CORRUGATED STEEL PIPE |
| LF  | LINEAR FEET           |       |   |



(Scaled Copy)



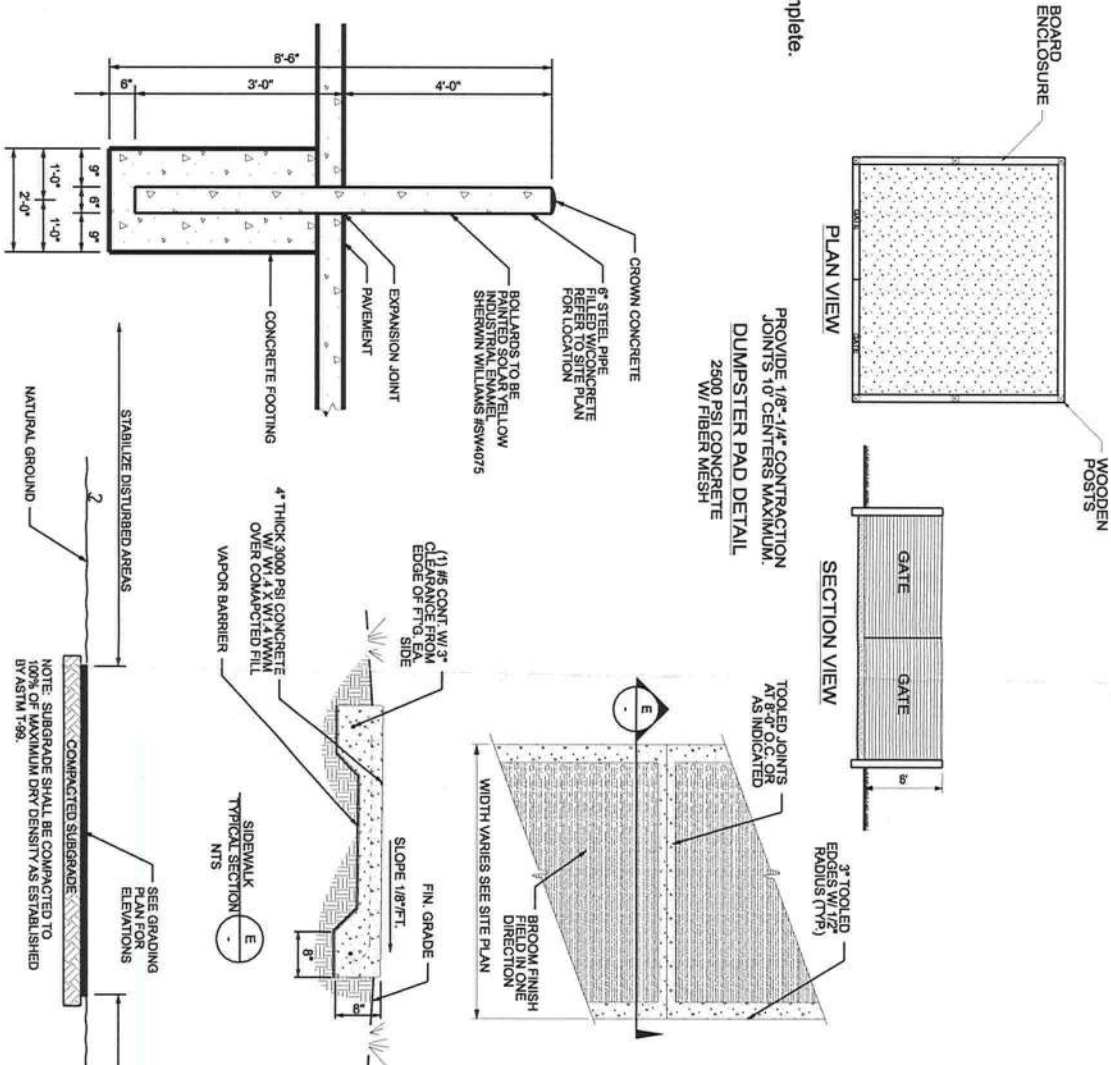
SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST  
COLUMBIA COUNTY, FLORIDA



GENERAL NOTES

1. The contractor shall verify all existing conditions and dimensions at the job site to insure that all new work will fit in the manner intended on the plans. Should any conditions exist that are contrary to those shown on the plans, the contractor shall notify the engineer and Columbia County, Florida (Department of Growth Management) of such differences immediately & prior to proceeding with the work.
2. The contractor shall maintain the construction site at all times in a secure manner. All open trenches and excavated areas shall be protected from access by the general public.
3. Boundary and topographical information shown was obtained from a survey performed by Donald F. Lee & Associates, Inc., P.S.M. Florida Certificate #7042.
4. Any public land corner within the limits of construction is to be protected. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the engineer.
5. The site is located in Section 3, Township 6 South, Range 17 East, Columbia County, Florida.
6. Contractors shall adhere to the Erosion Control Plan. All erosion control measures shall be implemented prior to construction and be continued until construction is complete.
7. The stormwater system is designed in accordance with SRWMD.
8. All disturbed areas not sodded shall be seeded with a mixture of long-term vegetation and quick-growing short-term vegetation for the following conditions. For the months from September through March, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of winter rye. For the months of April through August, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of millet.
9. A pad of rubble riprap shall be placed at the bottom of all collection flumes and collection pipe outlets.
10. Existing drainage structures within the construction limits shall be removed, unless otherwise specified in the plans.
11. The location of the utilities shown in the plans is approximate only. The exact location shall be determined by the contractor during construction.
12. The contractor shall waste all excess earth on site as directed by the engineer.
13. All site construction shall be in accordance with the Columbia County Land Development Regulations.
14. Contractor shall provide an as-built survey meeting the requirements of Chapter 61G17 F.A.C. for the stormwater management systems. Include horizontal and vertical dimensional data so that improvements are located and delineated relative to the boundary. Provide sufficient detailed data to determine whether the improvements were constructed in accordance with the plans. Submit the survey to the engineer on reproducible 20 lb. Vellum.
15. Contractor shall review and become familiar with all required utility connections prior to bidding. Contractor shall provide all work and materials required to complete connection to the existing utilities. This includes, but is not limited to, manhole coring, wet taps, pavement repairs and directional boring.
16. Contractor shall coordinate all work with other contractors within project limits.
17. Contractor shall sod all slopes of 4' horizontal to 1' vertical and staple sod all slopes of 2' horizontal to 1' vertical.
18. Minimum finish floor elevation of each lot is given on Sheet 3. In addition, on sloping lots, the natural drainage shall be directed around structures with swales and specifications.
19. All construction of armament shown in these plans shall conform to FDOT indexes and specifications.
20. All stormwater pipes shall have a minimum cover of 6". Use Limerock backfill if pipe under pavement has less than 12" cover.
21. Potable water will be supplied by an existing onsite water system and sanitary sewer will be supplied by Ellisville Investments Wastewater Treatment Plant.
22. All swales, depression areas and retention ponds shall be inspected monthly for sinkhole occurrence. Should a sinkhole occur, the area should be repaired as soon as possible. If a solution pipe sinkhole does form in the stormwater system, then the sinkhole shall be repaired by backfilling with a lower permeability material. A 2-foot cap that extends 2 feet beyond the perimeter of the sinkhole shall be constructed with clayey soils. The clayey soil should have at least 20% passing the number 200 sieve, compacted to 95% of Standard Proctor, and compacted in a wet condition with moisture 2%-4% above optimum. The clay soil cap shall be re-graded to prevent ponding and re-vegetated.
23. A copy of the As-Built plans (in paper & digital AutoCAD format) must be submitted to Columbia County, Florida (Department of Growth Management). As-Built's shall be in state plane coordinates (NAD\_1983\_StatePlane\_Florida\_North\_FIPS\_0903\_Feet).

24. Contractor shall contact Columbia County, Florida, Department of Growth Management to perform the following site inspections: erosion & sediment control inspection (prior to commencing construction), Site Compliance Inspection (once building foundation is poured & improvements are being laid out), and Final Site Compliance Inspection (once all improvements are finalized). no Certificate of Occupancy will be issued for any developments that do not receive the above mentioned site inspections.



PIPE BOLLARD DETAIL  
NTS

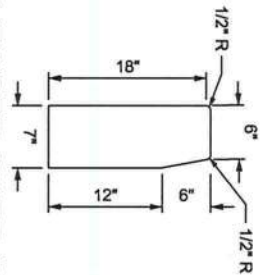
INSPECTIONS BY COUNTY ENGINEER OR REPRESENTATIVES

1. Completion of clearing and grubbing. Visual only – no test requirements.
2. Rough graded and drainage structures in place. Test results L.B.R. – pipe backfill density.
3. Subgrade complete. Test results – density.
4. Limerock placed and finished. Test results – thickness, cross-section and density.
5. Asphaltic concrete in place. Test results – thickness and density.
6. Final inspection for acceptance to be performed by GTC Design Group's Engineer, public works director and city counselmen (should he/she desire to attend).
7. The developer/contractor shall be responsible for notifying GTC and the director of public works representative when each construction phase is ready for inspection.

COLUMBIA COUNTY CONSTRUCTION REQUIREMENTS FOR DEVELOPERS

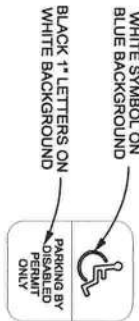
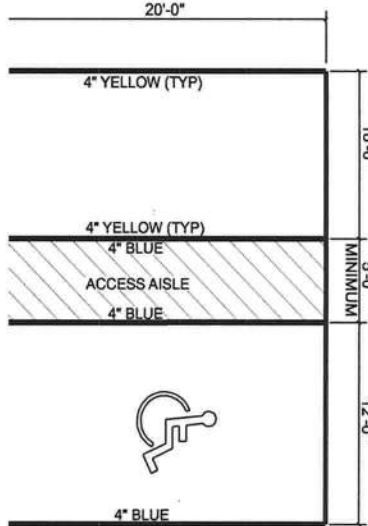
1. The roadway construction plans must be reviewed and approved prior to commencing construction.
2. All materials and construction shall conform to the requirements of the FDOT Standard Specifications for Road and Bridge Construction.
3. The materials and construction shall be certified by a testing laboratory retained by the developer or contractor. Copies of all test results shall be provided prior to acceptance.
4. All traffic control and safety items (striping, stop bars, regulatory signs, etc.) shall be in place.
5. The temporary grass shall be sufficient to control erosion.
6. Final inspection for acceptance to be performed by GTC Design Group's engineer, public works director and city counselmen (should he/she desire to attend).

6" HEADER CURB DETAIL  
NTS



PARKING STALL DETAIL  
NTS

SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH AND BLUE IN COLOR. SEE SITE PLAN FOR ADDITIONAL PARKING STALL DIMENSIONS.



S & S #38 ELLISVILLE

GENERAL NOTES



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REVISION NOTES

DATE	REVISION NOTES

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PROJECT NUMBER  
PF08-143

SHEET

1



COMMENCE  
NW COR  
of SE 1/4  
of Sec. 3

SW HOWELL ST.

ORIGINAL ROAD CENTERLINE  
BY HOWELL ST. 94' TIES

PLS 3628

PLS 3628

4.92 ACRES  
NOT INCLUDING PORTION  
SUBJECT TO VANT R/W

LIMEROCK TRUCK PARKING

1-STORY METAL BUILDING

CWF  
NO ID.  
BROKEN

CWF  
NO ID.  
BROKEN

CWF  
NO ID.  
0.2E

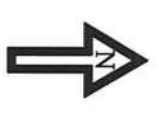
W. P/V LINE  
OF US41/441

US HWY. 41 & 441 (SR-25)

EXISTING ASPHALT

EXISTING CONCRETE

EXISTING GRASSED AREA



DATE	REVISION NOTES

P.O. BOX 187  
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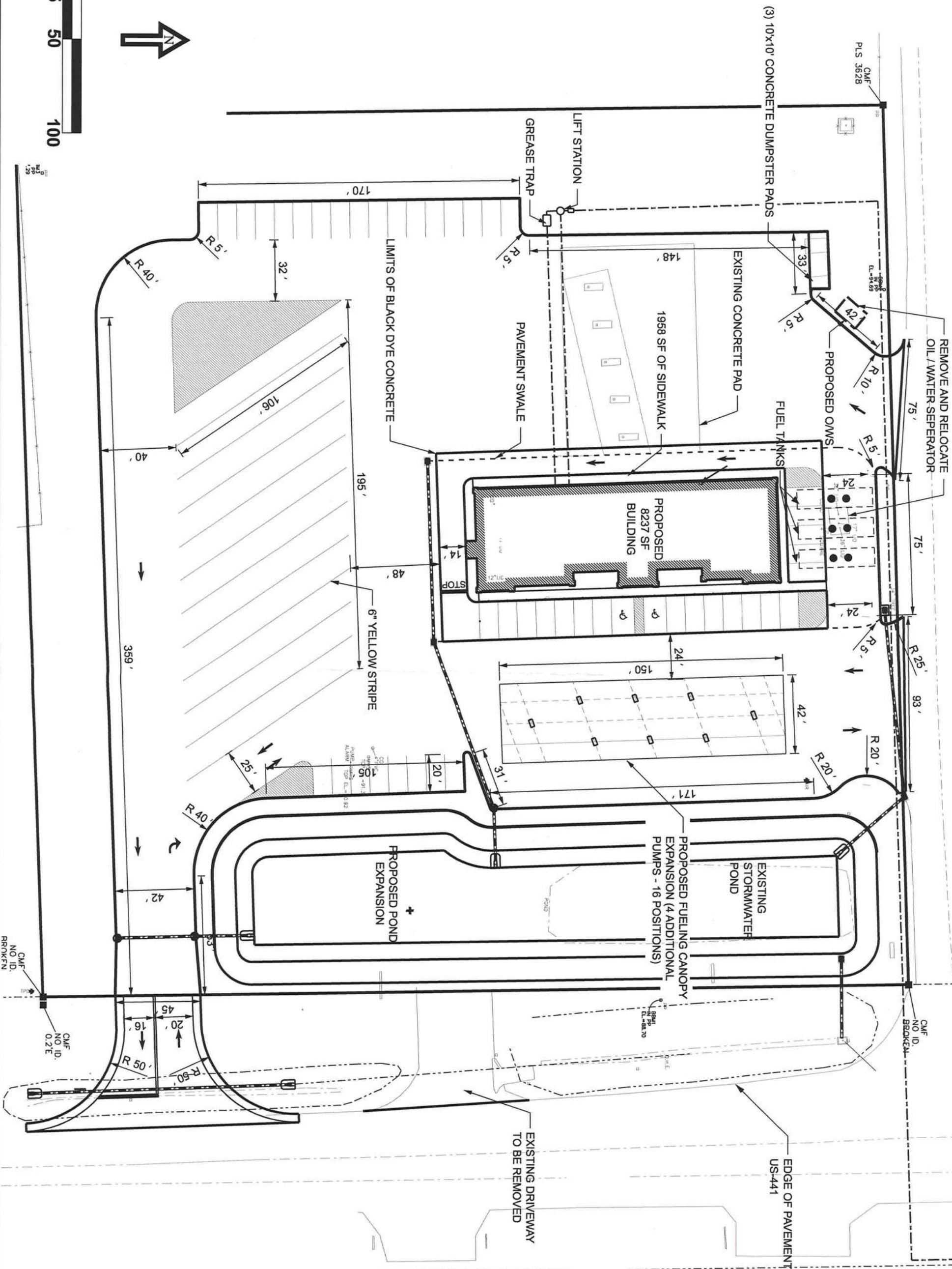
**GTG**  
GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
Auth. # 9461 LAKE CITY, FL 32055  
Structural / Civil Engineers Phone: (386) 719-9985  
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**S&S #38 ELLISVILLE**  
**EXISTING CONDITIONS**

*6-24-09*

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PROJECT NUMBER <b>PF08-143</b>	
SHEET <b>2</b>	





S&S #38 ELLISVILLE

SITE PLAN



GTC Design Group, LLC. 176 NW LAKE JEFFREY RD  
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DATE REVISION NOTES

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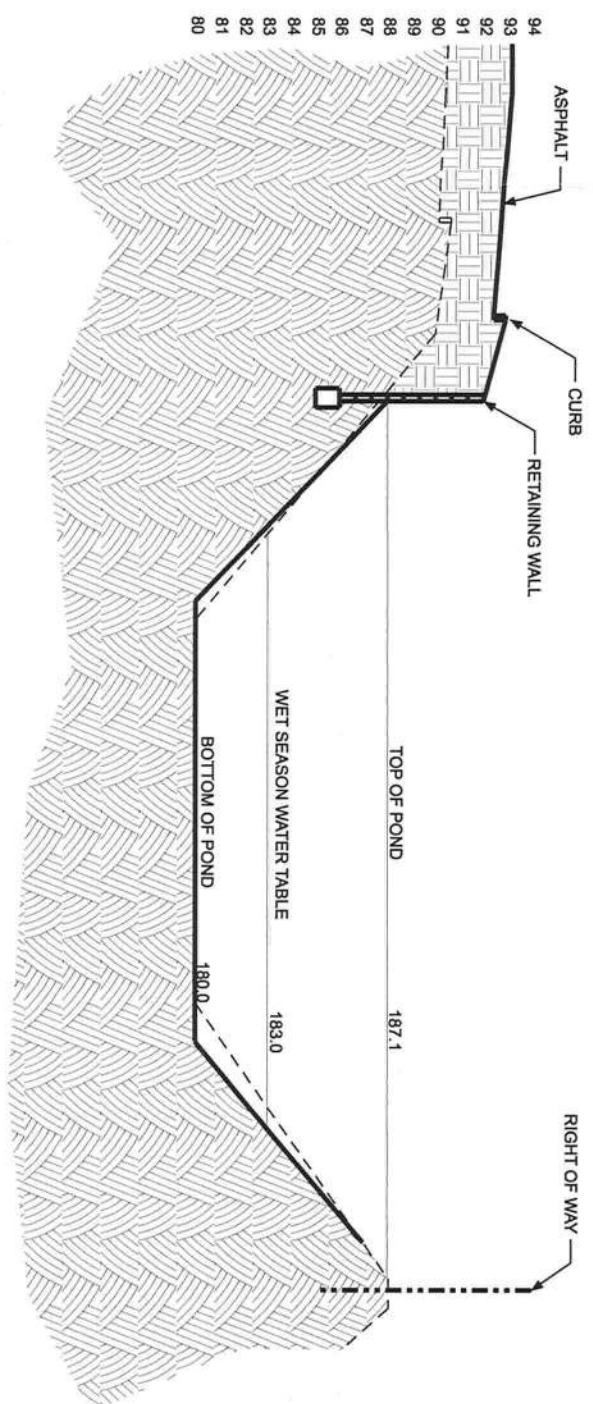
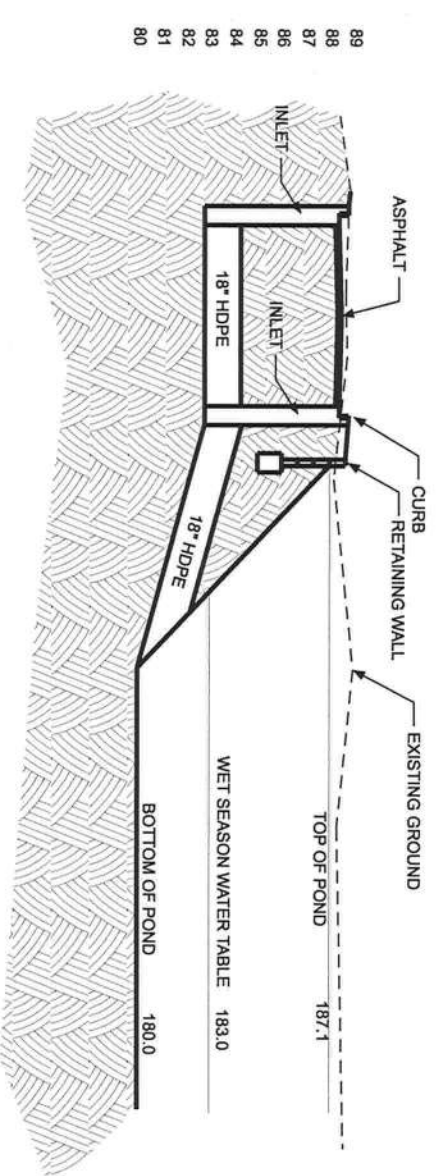
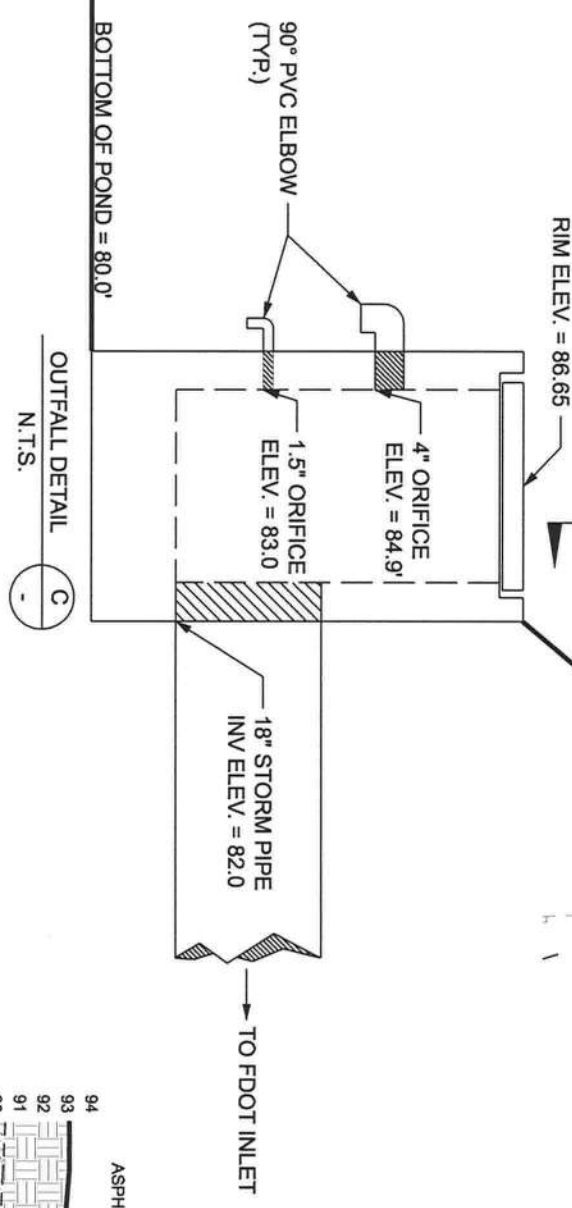
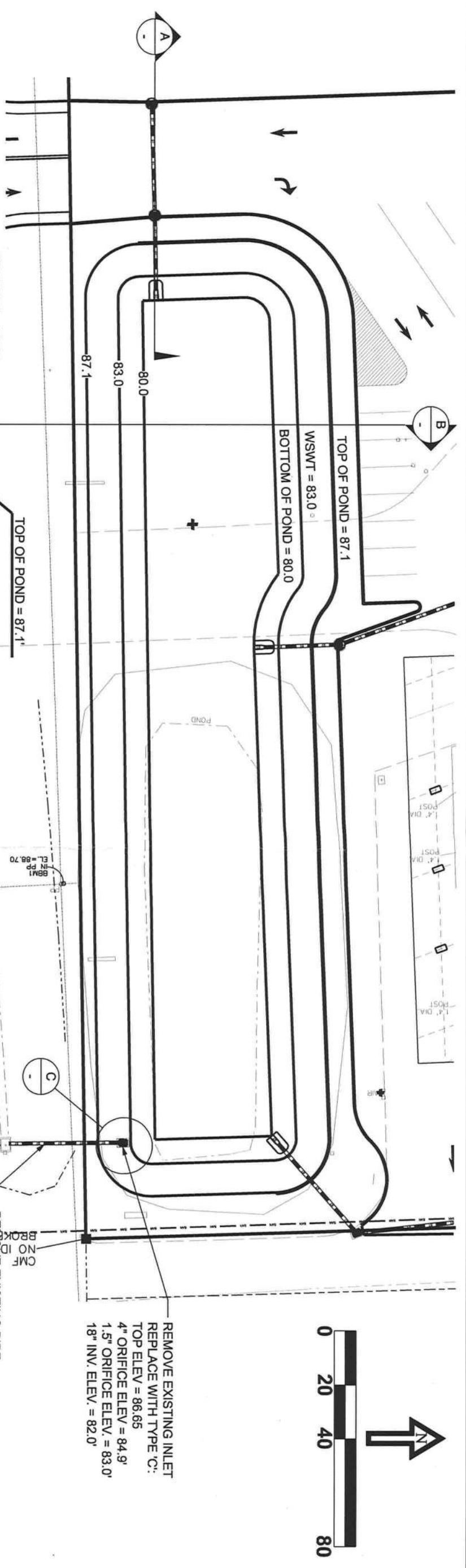
PROJECT NUMBER

PF08-143

SHEET

3





DATE	REVISION NOTES



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**S&S #38 ELLISVILLE**

**STORMWATER PLAN**



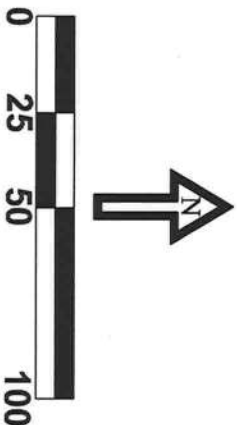
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PROJECT NUMBER **PF08-143**

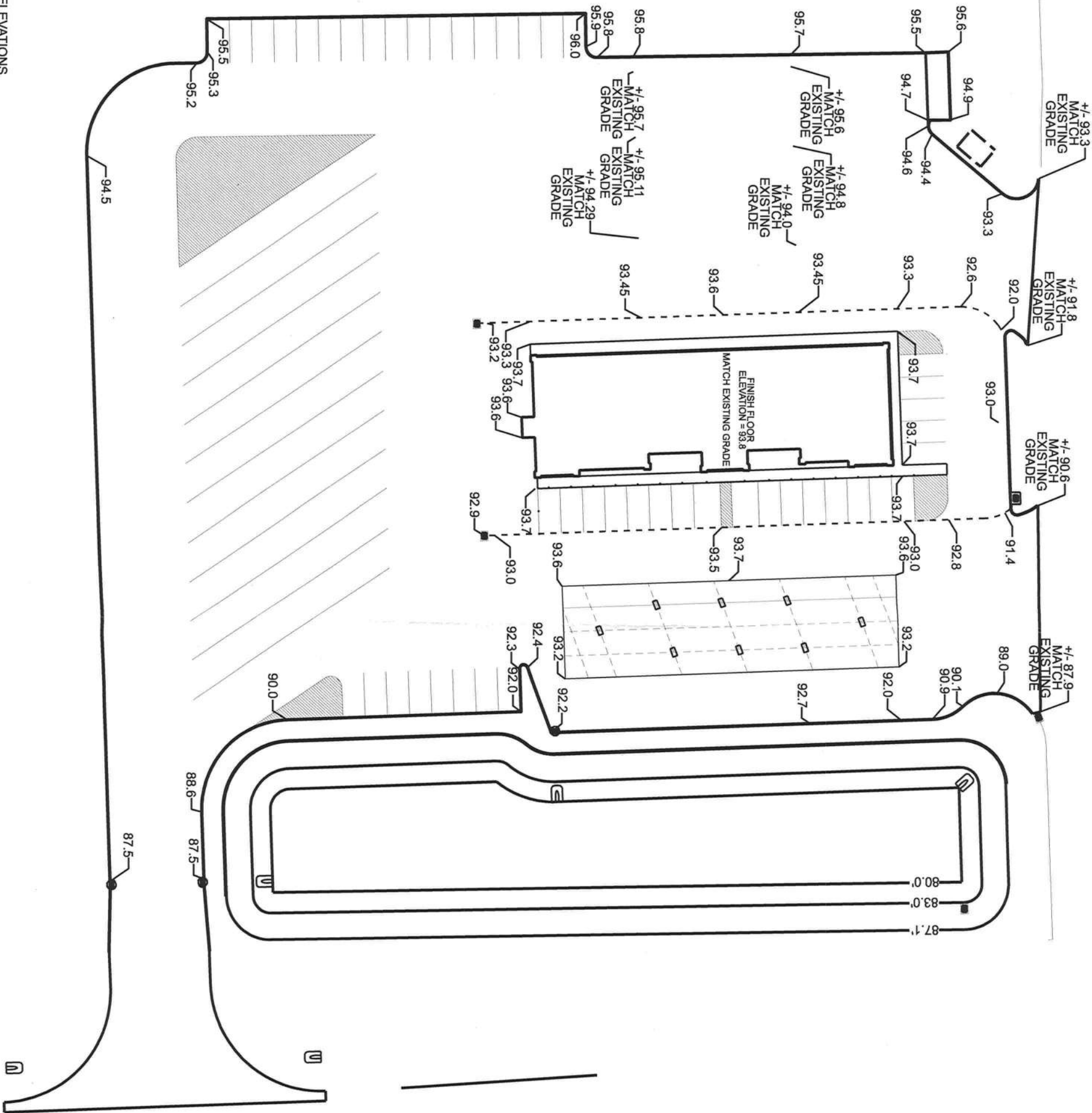
SHEET **4**

**4**





94.9 PROPOSED ELEVATIONS  
+/- 94.0 MATCH EXISTING GRADE  
MATCH EXISTING GRADE ELEVATIONS



S & S #38 ELLISVILLE  
GRADING PLAN



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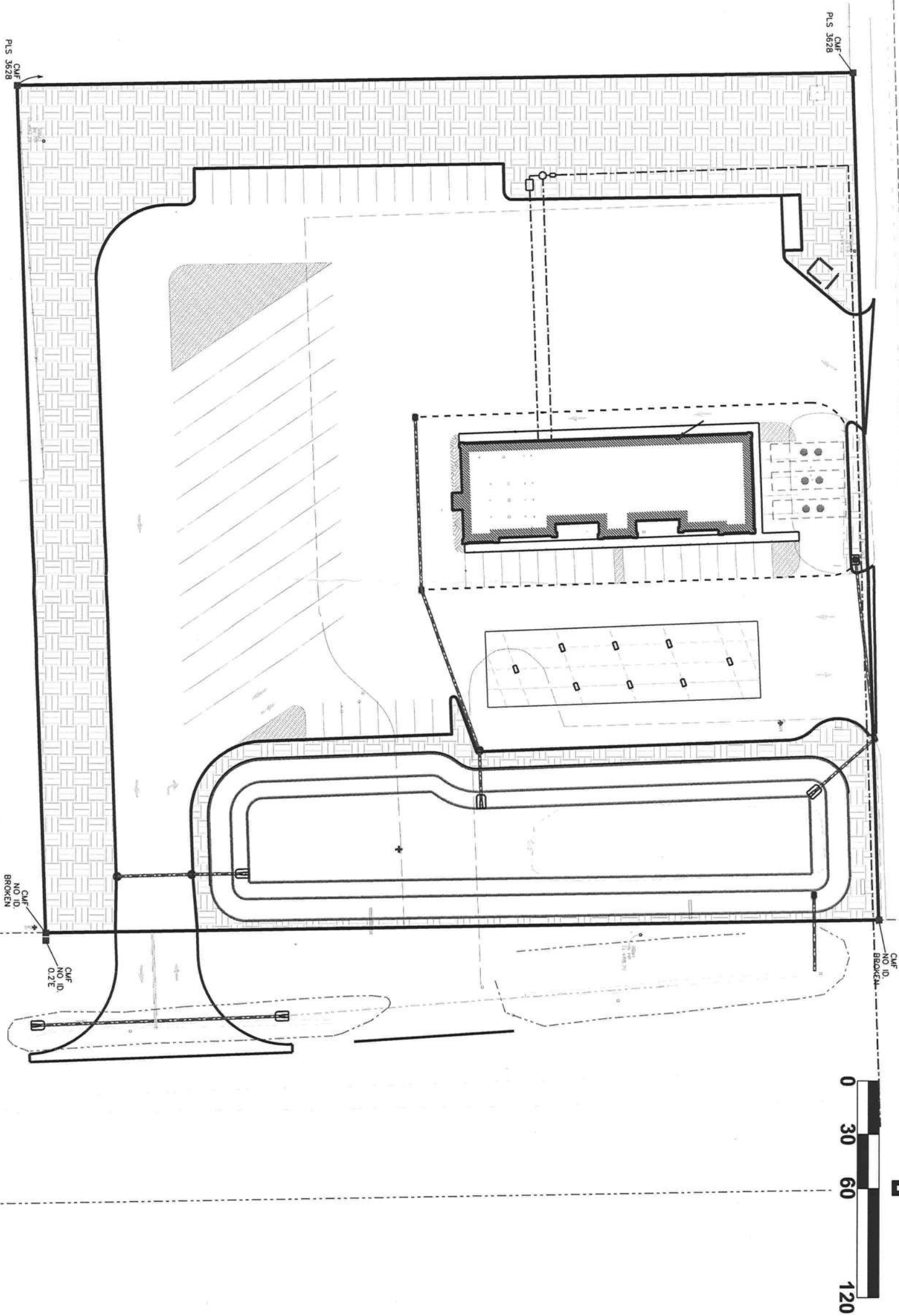
PROJECT NUMBER  
PF08-143

SHEET  
5



GRASSED AREA

HATCH DENOTES AREA TO BE LANDSCAPED WITH GRASS, GROUND COVER, OR OTHER LANDSCAPED TREATMENT



**S&S #38 ELLISVILLE**

**LANDSCAPING PLAN**



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LAKE CITY, FL 32055  
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Fax: (386) 719-8828

DATE	REVISION NOTES

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*Handwritten signature and date: 9-24-09*

PROJECT NUMBER

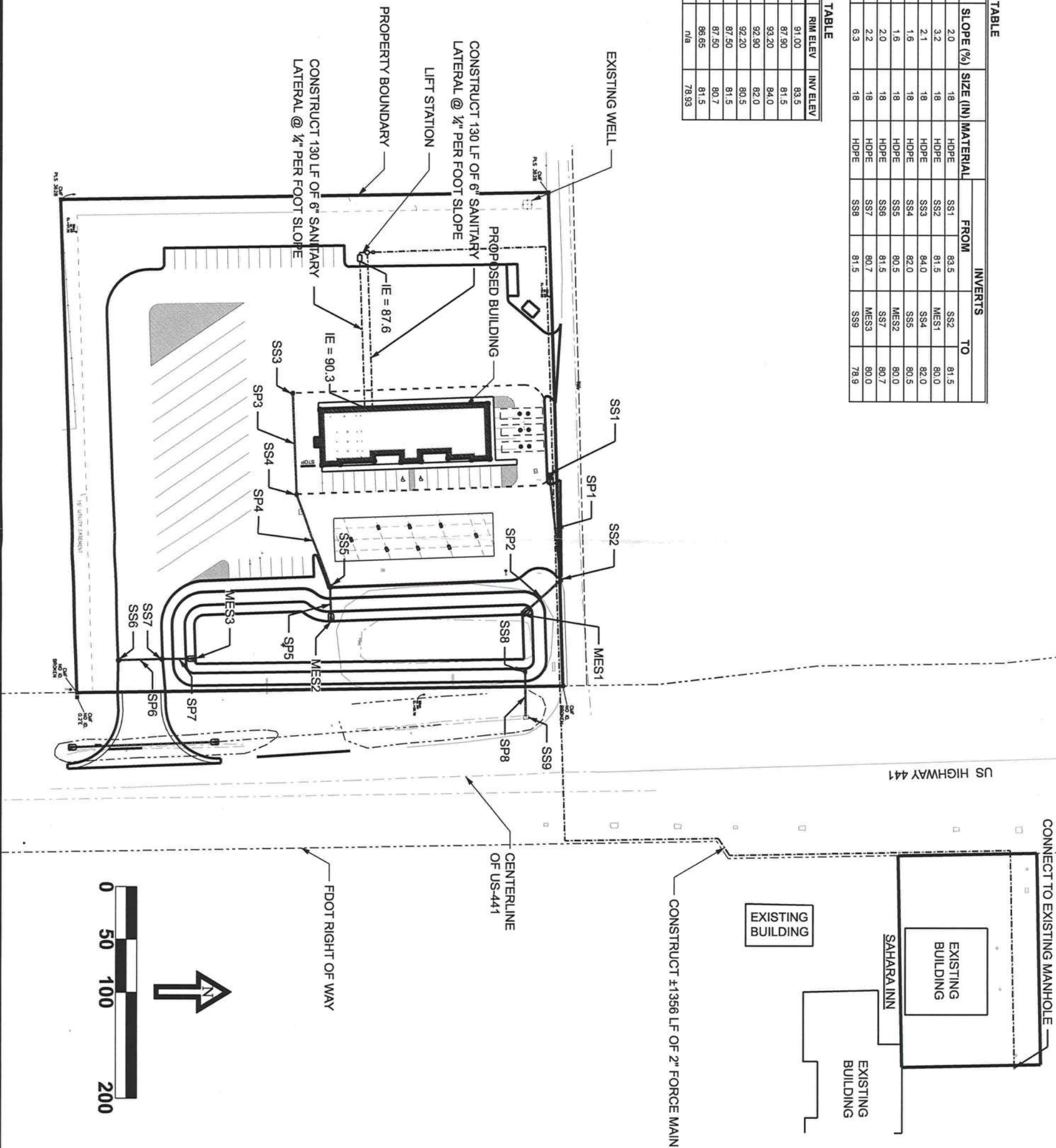
**PF08-143**

SHEET

**6**

STORMWATER PIPE TABLE						
PIPE NUMBER	LENGTH (FT)	SLOPE (%)	SIZE (IN)	MATERIAL	INVERTS	
					FROM	TO
SP1	99.00	2.0	18	HDPE	SS1	SS2
SP2	47.00	3.2	18	HDPE	SS2	MES1
SP3	95.50	2.1	18	HDPE	SS3	SS4
SP4	94.00	1.6	18	HDPE	SS4	SS6
SP5	31.50	1.6	18	HDPE	SS5	MES2
SP6	41.00	2.0	18	HDPE	SS6	SS7
SP7	31.50	2.2	18	HDPE	SS7	MES3
SP8	41	6.3	18	HDPE	SS8	SS9

STORM STRUCTURE TABLE			
STRUCTURE	TYPE	RIM ELEV	INV ELEV
SS1	TYPE C INLET	91.00	83.5
SS2	TYPE C INLET	87.90	81.5
SS3	TYPE C INLET	93.20	84.0
SS4	TYPE C INLET	92.90	82.0
SS5	TYPE 9 INLET	92.20	80.5
SS6	TYPE 9 INLET	87.50	81.5
SS7	TYPE 9 INLET	87.50	80.7
SS8	TYPE C INLET	86.65	81.5
SS9	FDOT INLET	n/a	78.93



DATE	REVISION NOTES

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Structural / Civil Engineers  
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Fax: (386) 719-8828

**S & S #38 ELLISVILLE**

**UTILITY PLAN**

*AS*

*9-24-09*

DRAWN BY AS

CHECKED BY CW

PROJECT NUMBER

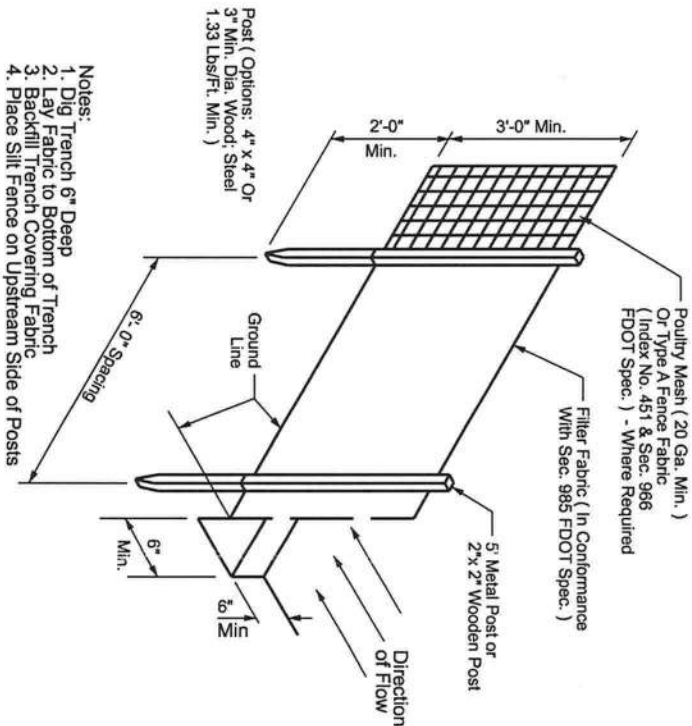
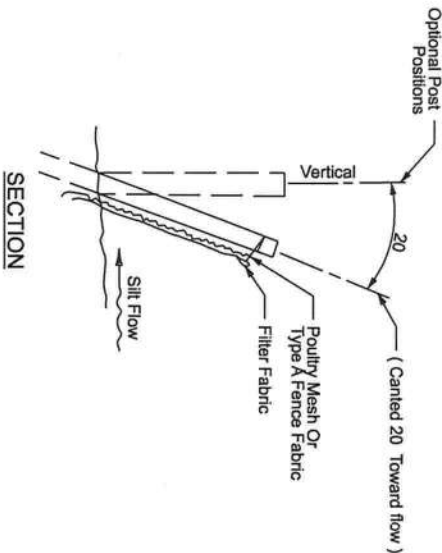
**PF08-143**

SHEET



EROSION CONTROL NOTES

- Contractor shall adhere to Columbia County, SRWMD and other governing authorities for erosion and sediment control regulations. Contractor shall use BMP's from "The Florida Development Manual".
- Sediment and erosion control facilities, storm drainage facilities and detention basins shall be installed prior to any other construction.
- Erosion control measures shall be inspected weekly and after each rainfall and replaced as necessary.
- Sediment and erosion control measures shall not be removed until all construction is complete and until a permanent ground cover has been established.
- All open drainage swales shall be grassed and riprap shall be placed as required to control erosion.
- Silt fences shall be located on site to prevent sediment and erosion from leaving right-of-way limits.
- Additional erosion control devices shall be used as required.
- Silt fence shall be cleaned or replaced when silt builds up to within one foot of top of silt fence.
- During construction and after construction is complete, all structures shall be cleaned of all debris and excess sediment.
- All grades areas shall be stabilized immediately with a temporary fast-growing cover and/or mulch.
- A pad of rubble riprap shall be placed at the bottom of all collection flumes and collection pipe outlets.
- All disturbed areas not sodded shall be seeded with a mixture of long-term vegetation and quick-growing short-term vegetation for the following conditions. For the months from September through March, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of winter rye. For the months of April through August, the mix shall consist of 70 pounds per acre of long-term seed and 20 pounds per acre of millet.
- Staked silt fences shall be placed near all box culvert extensions in accordance with FDOT Standard Index 102.
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- If the proposed erosion control plan does not work, the contractor should use the BMP's in the Florida Erosion and Sediment Control Inspector's manual to implement a plan that will work and meet actual field conditions.
- All waste generated on the project shall be disposed of by the contractor in areas provided by contractor.
- Loaded haul trucks shall be covered with tarps.
- Excess dirt shall be removed daily.
- Fertilizer shall be applied as specified in the plans and specifications.
- This project shall comply with all water quality standards. Permit required from SRWMD has been obtained.
- All pollution controls shall be maintained at all times.
- Straw bales shall be placed to remove sediment. Straw bales shall be replaced after three (3) months or when sediment reaches one-half (1/2) the height of the bales.
- Qualified personnel shall inspect the area used for storage of stockpiles, the silt fence and straw bales, the location where vehicles enter or exit the site, and the disturbed areas that have not been finally stabilized, at least once every seven (7) calendar days and within 24 hours of the end of a storm of 0.2 inches or greater.
- Sites that have been finally stabilized with sod or grassing shall be inspected at least once every week.
- Contractor is responsible for the construction and maintenance of all erosion and sedimentation controls during proposed construction.

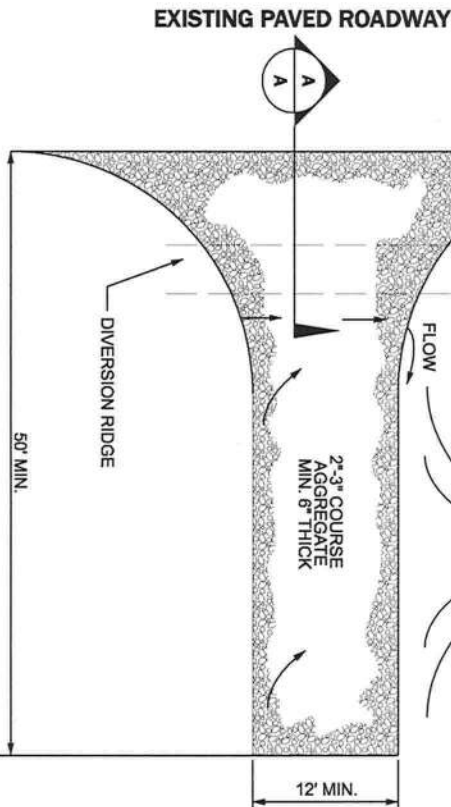
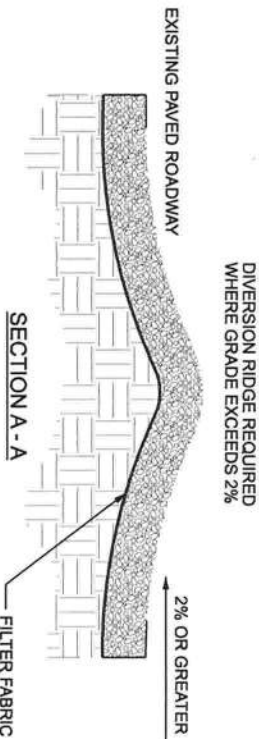


TYPE IV SILT FENCE

NTS

AS COMPARED TO TYPE III SILT FENCE, TYPE IV FENCE HAS GREATER STRENGTH AND HEIGHT WHICH REDUCES THE POSSIBILITY OF SEDIMENT AND WATER FROM OVERTOPPING THE FENCE. AS A RESULT, AVOID USING TYPE IV FENCE IN AREAS WHERE THE DETAINED WATER WOULD BACK INTO TRAVEL LANES OR OFF THE RIGHT-OF-WAY.

NOTE:  
USE SANDBAGS, STRAW BALES OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS

NOTES:  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.  
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



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REVISION NOTES

DATE	REVISION NOTES

S & S #38 ELLISVILLE

EROSION CONTROL  
NOTES & DETAILS

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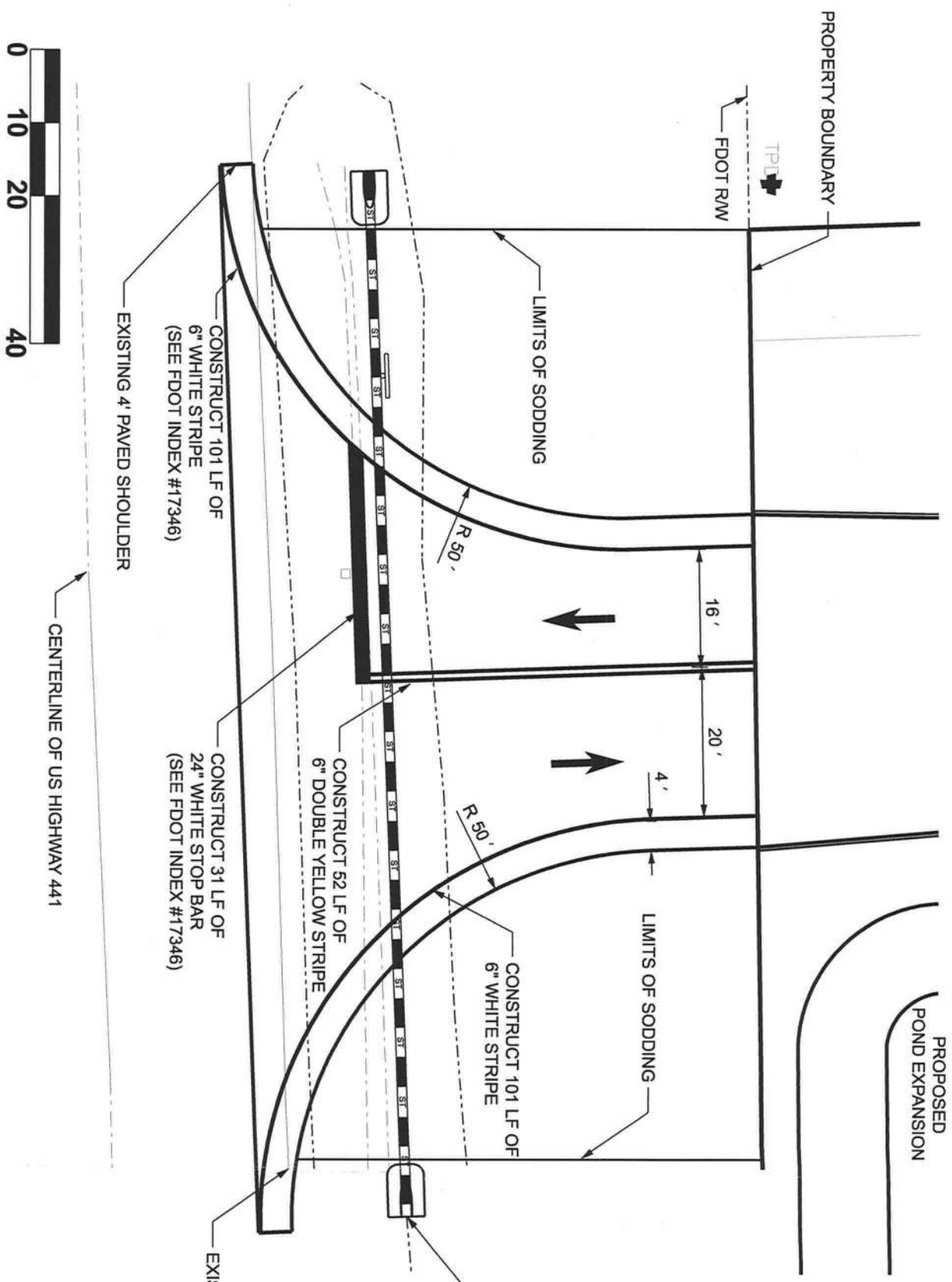
PROJECT NUMBER

PF08-143

SHEET

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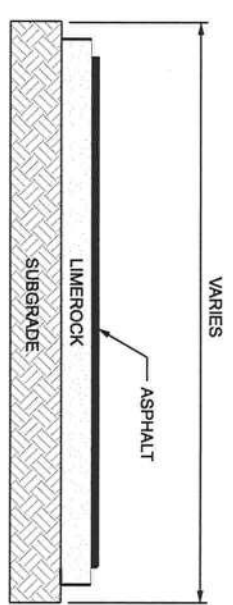




NOTE 1:  
ALL PERMITTED PAVEMENT STRIPING PERTAINING TO THIS ACCESS SHALL REQUIRE CERTIFIED LEAD FREE, THERMOPLASTIC MARKING MATERIALS AS THE FINAL PLACEMENT ITEM. TEMPORARY TRAFFIC BEARING PAINT SHALL BE REQUIRED TO BE IN PLACE 30 MINUTES BEFORE OFFICIAL SUNDOWN. BOTH TEMPORARY TRAFFIC BEARING PAINTS AND THERMOPLASTIC MARKING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FDOT MINIMUM SPECIFICATIONS FOR NIGHT REFLECTIVITY. TEMPORARY RPM'S SHALL BE INSTALLED DURING BOTH TEMPORARY AND PERMANENT STRIPING PHASES.

NOTE 2:  
FAILURE BY THE PERMITTEE AND/OR HIS/HER CONTRACTOR TO HAVE A CERTIFIED STRIPING CREW ON SITE BEFORE THE START OF PAVING CAN BE REASON TO SUSPEND THE APPROVED PERMIT UNTIL SUCH TIME AS THE PERMITTEE AND/OR HIS/HER CONTRACTOR CORRECTS THE SITUATION TO THE SATISFACTION OF THE ON-SITE STATE FDOT PERMITS PERSONNEL/INSPECTOR.

REGRADE DITCH TO ENSURE POSITIVE DRAINAGE (TYP.)

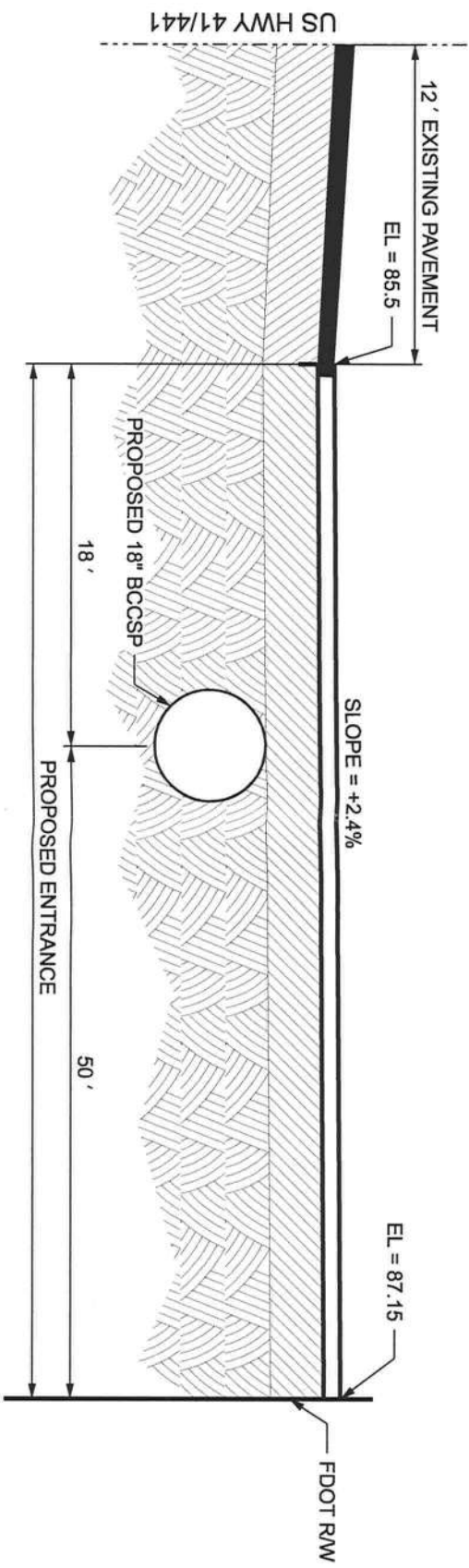


NOTES:  
SUBGRADE SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM T-99.  
THIS TYPICAL SECTION IS FOR ALL ROADWAY CONSTRUCTION INSIDE FDOT RIGHT-OF-WAY.

2" Super Pave 12.5 (Virgin Mix) Structural Course  
0.1 Gal/SY Prime Coat  
8" Limerock Base Course  
12" Subgrade  
Design Speed = 25 mph

TYPICAL FDOT ASPHALT PAVEMENT SECTION

NTS



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S&S #38 ELLISVILLE

FDOT STRIPING PLAN

US HIGHWAY 41/441

*Signature*

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PROJECT NUMBER PF08-143	
SHEET 10	

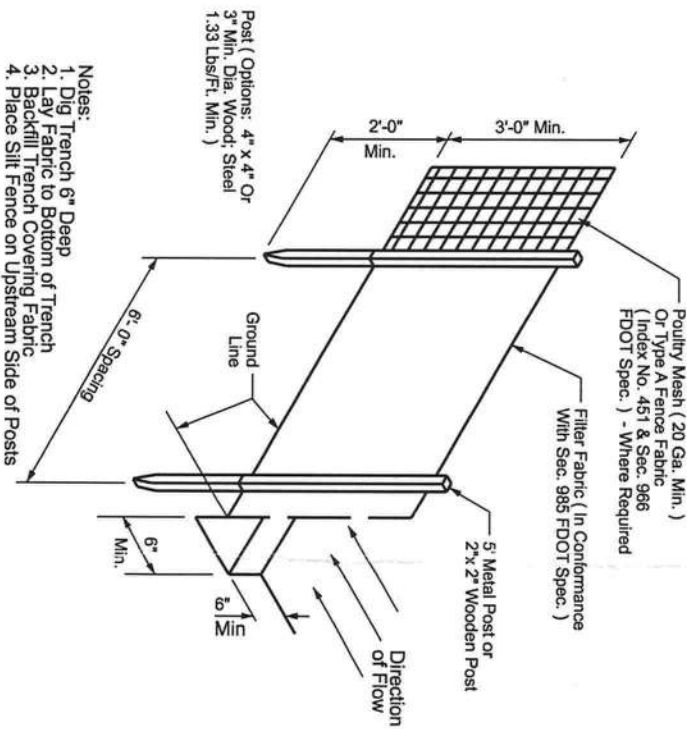
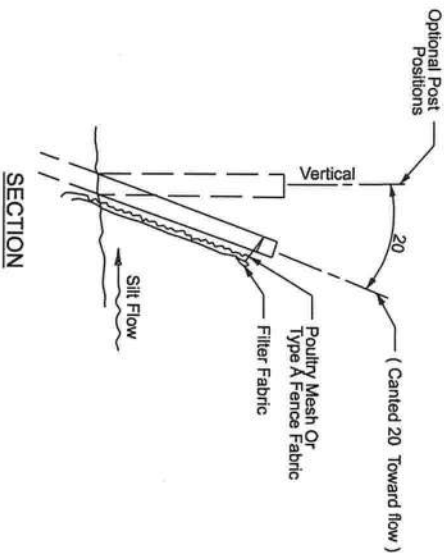






EROSION CONTROL NOTES

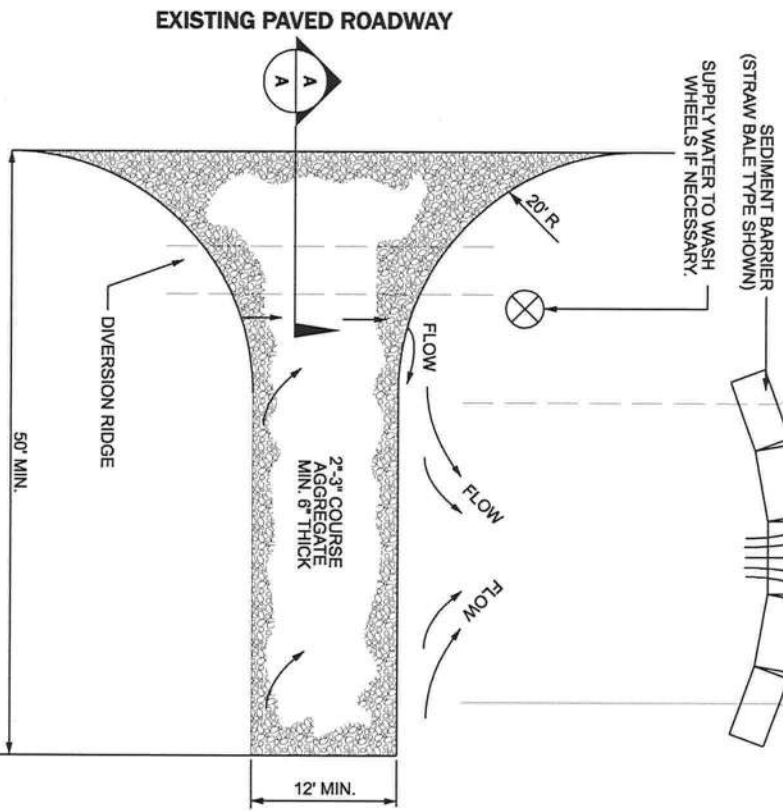
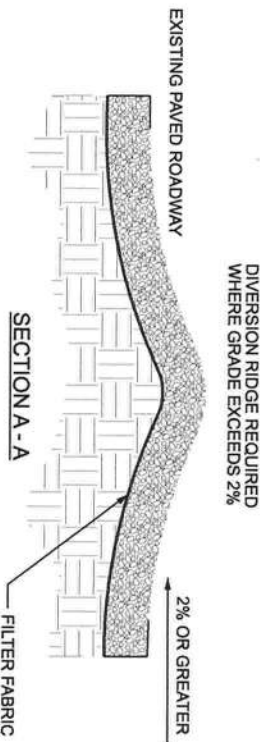
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**S & S #38 ELLISVILLE**

**EROSION CONTROL  
NOTES & DETAILS**

**PROJECT NUMBER**  
**PF08-143**

**SHEET**  
**8**

**DRAWN BY**  
**AS**

**CHECKED BY**  
**CW**





**NOTICE OF INSPECTION  
AND/OR TREATMENT**

Date of Inspection

11/19/09 TH

Date of Treatment

28150

Date of Spot Treatment

Premise Pro

Pesticide Used

subterranean Termites

Wood-Destroying Organisms Treated

**\*\*Notice\*\***

It is a violation of Florida State Law (Chap. 482.226) for anyone other than the property owner to remove this notice.

Address:

**Pestmaster Services of Lake City**

187 SE Country Club Rd., Suite 101 • Lake City, FL 32025



**NOTICE OF INSPECTION  
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11/9/09

TH

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752-7779