

DATE 01/24/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022727

APPLICANT ROBERT CLARK PHONE 352-538-9697

ADDRESS 20074 NW 258 DR HIGH SPRINGS FL 32643

OWNER THOMAS & REBECCA STOKES PHONE 941-794-2504

ADDRESS 146 SW DINGO WAY FORT WHITE FL 32038

CONTRACTOR ROBERT CLARK PHONE 352-538-9697

LOCATION OF PROPERTY 47 S, R 27, L RIVER WAY, L MONTANA, R DINGO WAY,
2ND ON RIGHT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 67200.00

HEATED FLOOR AREA 1344.00 TOTAL AREA 1376.00 HEIGHT 19.00 STORIES 1

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 5/12 FLOOR SLAB

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE AE DEVELOPMENT PERMIT NO. 05-005

PARCEL ID 26-6S-15-00789-001 SUBDIVISION THREE RIVERS EST

LOT 57/58 BLOCK PHASE UNIT 10 TOTAL ACRES 1.00

00000514 Y CRC1326557

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

WAIVER 04-0904-N BK JK N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT RISE LETTER RECIEVED - MIN. FLOOR ELEVATION 35'

NOC ON FILE

NEED FINISHED FLOOR ELEVATION CERTIFICATE Check # or Cash 1114

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by

Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 340.00 CERTIFICATION FEE \$ 6.88 SURCHARGE FEE \$ 6.88

MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ WASTE FEE \$

FLOOD ZONE DEVELOPMENT FEE \$ 50.00 CULVERT FEE \$ TOTAL FEE 453.76

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



22727

13618 NW 270th Ave.
Alachua, FL 32615
(386) 418-4387

CERTIFICATE OF COMPLIANCE FOR TERMITE PROTECTION
(As required by Florida Building Code (FBC) 1816.1.7)

Address of treatment or lot/block of treatment:

146 SW Dingo Way Fort White, FL 32038

Describe method of termite prevention treatment:

Trench & Treat around structure

The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws, established by the Florida Department of Agriculture and Consumer Services.



Authorized Signature

COLUMBIA COUNTY OFFICIAL C A L V E R

O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 26-6S-15-00789-001

Building permit No. 000022727

Use Classification SFD, UTILITY

Fire: .00

Permit Holder ROBERT CLARK

Waste: .00

Owner of Building THOMAS & REBECCA STOKES

Total: .00

Location: 146 SW DINGO WAY, LOTS 57/58 UNIT 10, 3 RIVERS EST



Date: 09/02/2005



Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

Columbia County Building Department
Flood Development Permit

Development Permit
F 023- 05-005

DATE 01/24/2005 BUILDING PERMIT NUMBER 000022727
APPLICANT ROBERT CLARK PHONE 352-538-9697
ADDRESS 20074 NW 258 DR HIGH SPRINGS FL 32643
OWNER THOMAS & REBECCA STOKES PHONE 941-794-2504
ADDRESS 146 SW DINGO WAY FORT WHITE FL 32038
CONTRACTOR ROBERT CLARK PHONE 352-538-9697
ADDRESS _____ FL _____
SUBDIVISION THREE RIVERS EST Lot 57/58 Block _____ Unit _____ Phase _____
TYPE OF DEVELOPMENT SFD, UTILITY PARCEL ID NO. 26-6S-15-00789-001

FLOOD ZONE AE BY BK 1-6-88 FIRM COMMUNITY #. 120070 - PANEL #. 225 B
FIRM 100 YEAR ELEVATION 34' PLAN INCLUDED YES or (NO)
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 35'
IN THE REGULATORY FLOODWAY YES or (NO) RIVER Santa Fe
SURVEYOR / ENGINEER NAME Sergio Reyes LICENSE NUMBER 47311

☒ ONE FOOT RISE CERTIFICATION INCLUDED 1-24-05

☐ ZERO RISE CERTIFICATION INCLUDED

☐ SRWMD PERMIT NUMBER _____
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED _____

INSPECTED DATE _____ BY _____

COMMENTS need finished floor elevation cert

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160



PERMIT EXPIRES ONE YEAR FROM THE DATE OF ISSUANCE



ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS

ONE FOOT RISE CERTIFICATION

Property Description: Lots 57 & 58 of Three Rivers Estates, Unit 10

Owner: Thomas Stokes

Base Flood Elevation: 34.0

Project: Min. Finished Floor 35.0

I hereby certify that construction of the proposed house will cause less than one foot increase in flood elevations of the Ichetucknee River floodplain.

A handwritten signature in blue ink, appearing to read 'Sergio Reyes', is written over a horizontal line.

Sergio Reyes, P.E.

Date: January 20, 2005

BASE FLOOD ELEVATION = 34.0

BASIN AREA AT 35' BASE FLOOD > 2000 ACRES

PROPOSED BUILDING TYPE = RESIDENTIAL HOME

PROPOSED BUILDING ENCROACHMENT = 1,376 S.F.

GROUND ELEVATION AT BUILDING = 29.6'

PERCENT FLOODPLAIN AREA REMOVED = $\frac{1376/43560}{2000} = .0016\%$

FLOODPLAIN LEVEL INCREASE = $\frac{1376 \times 4.4}{2000 \times 43560} = .01 \text{ FT.}$

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION		For Insurance Company Use:
BUILDING OWNER'S NAME Thomas Stokes		Policy Number
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.		Company NAIC Number
CITY	STATE	ZIP CODE

PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
Lot 57 & 58 of Three Rivers Estates, Unit 10BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.)
ResidentialLATITUDE/LONGITUDE (OPTIONAL)
(##° - ##' - ###" or ###.####)HORIZONTAL DATUM:
☐ NAD 1927 ☐ NAD 1983SOURCE: ☐ GPS (Type):
☐ USGS Quad Map ☐ Other:

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER Columbia County, Florida 120070		B2. COUNTY NAME Columbia	B3. STATE FL		
B4. MAP AND PANEL NUMBER 0225	B5. SUFFIX B	B6. FIRM INDEX DATE 01/16/1988	B7. FIRM PANEL EFFECTIVE/REVISED DATE	B8. FLOOD ZONE(S) AE	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) 34

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.

☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other (Describe):B11. Indicate the elevation datum used for the BFE in B9: ☒ NGVD 1929☐ NAVD 1988 ☐ Other (Describe):B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

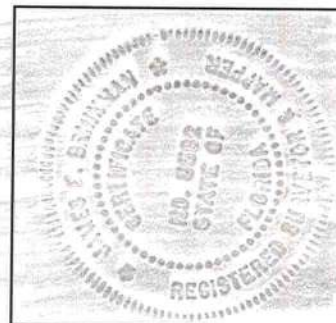
C2. Building Diagram Number 6 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO

Complete Items C3.-a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.

Datum NGVD29 Conversion/CommentsElevation reference mark used RM13 Does the elevation reference mark used appear on the FIRM? ☒ Yes ☐ No

- o a) Top of bottom floor (including basement or enclosure) 35.01 ft.(m)
- o b) Top of next higher floor NA ft.(m)
- o c) Bottom of lowest horizontal structural member (V zones only) NA ft.(m)
- o d) Attached garage (top of slab) NA ft.(m)
- o e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area) NA ft.(m)
- o f) Lowest adjacent (finished) grade (LAG) 29.5 ft.(m)
- o g) Highest adjacent (finished) grade (HAG) 30.1 ft.(m)
- o h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade 0
- o i) Total area of all permanent openings (flood vents) in C3.h NA sq. in. (sq. cm)

License Number, Embossed Seal,
Signature, and Date

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.

I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.

I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME James E. Brinkman

LICENSE NUMBER 5582

TITLE Surveyor

COMPANY NAME Brinkman Surveying & Mapping, Inc.

ADDRESS
4607 NW 6th Street, Suite CCITY
GainesvilleSTATE
FLZIP CODE
32609

SIGNATURE

DATE

7/19/05

TELEPHONE
(352)374-7707

IMPORTANT: In these spaces, copy the corresponding information from Section A.			For Insurance Company Use:	
BUILDING STREET ADDRESS (Including Apt, Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.			Policy Number	
CITY	STATE	ZIP CODE	Company NAIC Number	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

C3,e: No machinery installed at this time.

☐ Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1 through E4. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is ___ ft.(m) ___ in.(cm) ☐ above or ☐ below (check one) the highest adjacent grade. (Use natural grade, if available).
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ___ ft.(m) ___ in.(cm) above the highest adjacent grade. Complete items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is ___ ft.(m) ___ in.(cm) ☐ above or ☐ below (check one) the highest adjacent grade. (Use natural grade, if available).
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?
☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

James E. Brinkman

ADDRESS

4607 NW 6th Street, Suite C

SIGNATURE

COMMENTS

CITY

Gainesville

STATE

FL

ZIP CODE

32609

DATE

7/19/2005

TELEPHONE

(352)374-7707

☐ Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
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G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is:

___ ft.(m)

Datum: ___

G9. BFE or (in Zone AO) depth of flooding at the building site is:

___ ft.(m)

Datum: ___

LOCAL OFFICIAL'S NAME

TITLE

COMMUNITY NAME

TELEPHONE

SIGNATURE

DATE

COMMENTS

☐ Check here if attachments

Columbia County Building Permit Application

Revised 9-23-04

514/

For Office Use Only Application # 0411-78 Date Received 11-19-04 By G Permit # 22727

Application Approved by - Zoning Official _____ Date _____ Plans Examiner _____ Date _____

Flood Zone AE Development Permit YES Zoning ESA-2 Land Use Plan Map Category ESA

Comments _____

FEMA MAP # 225 Elevation 34' Finished Floor 35' River San Fe In Floodway NO

Applicants Name R+M Construction + Development LLC Phone 352-538-9697

Address 20074 NW 258 DR High sprigs Fl 32643

Owners Name thomas + Rebecca Stokes Phone 941-794-2504

911 Address 146 SW Pingo way fort white Fl 32038

Contractors Name Robert Clark Phone _____

Address _____

Fee Simple Owner Name & Address thomas + Rebecca stokes

Bonding Co. Name & Address NA

Architect/Engineer Name & Address NA

Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 00789-001 26-6-15 Estimated Cost of Construction 78,000.00

Subdivision Name Three Rivers Estates Lot 57/58 Block _____ Unit 10 Phase _____

Driving Directions 27 North From fort white turn Left on Riverway turn Left on montana turn Right on Pingo way 2nd Lot on Right

Type of Construction New Home Number of Existing Dwellings on Property 0

Total Acreage _____ Lot Size 200x40 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 100'30 Side 75'65 Side 75'85 Rear 270'30

Total Building Height 19' Number of Stories 1 Heated Floor Area 1344 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____.

Personally known _____ or Produced Identification _____

Contractor Signature

Contractors License Number CRC1326557

Competency Card Number _____

NOTARY STAMP/SEAL

Notary Signature



Letter as one foot rise -

ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS

January 11, 2005

Columbia County Building & Zoning Department
John Kerce, Building & Zoning Coordinator
P.O. Box 1529
Lake City, FL 32056-1529

Re: Stokes Property - Lots 57 & 58 of Three River Estates, Unit 10 - Ft. White, Florida

Dear Mr. Kerce:

Please find attached the proposed location for the residential unit for the above referenced property. This letter is to indicate that the base flood elevation of 34.00 ft. msl, as determined by FEMA FIRM map on panel 225 of 290 for Columbia County, Florida, will not be impacted by the placement of the residential dwelling unit because a compensation area will be provided within the limits of the Owner's property. Please find the attached sketch showing the proposed compensation with its minimum area and volume. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sergio Reyes'.

Sergio Reyes, P.E.
Florida License #47311
Vice President
Eng, Denman & Associates, Inc.

xc: Robert Clark, R&M Construction

**NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA**

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 00789-001

1. Description of property: (legal description of the property and street address or 911 address)

See Attachment

Inst:2005000923 Date:01/13/2005 Time:15:15

YMK DC,P.DeWitt Cason,Columbia County B:1035 P:1402

2. General description of improvement: New Residence

3. Owner Name & Address Thomas + Rebecca Stokes 116 68th St NW Bradenton
FL 34209 Interest In Property owner

4. Name & Address of Fee Simple Owner (if other than owner):

5. Contractor Name RTM Construction + Development LLC Phone Number 352-538-9697
Address 2007 NW 258 DR High Springs FL 32643

6. Surety Holders Name NA Phone Number

Address

Amount of Bond

7. Lender Name NA Phone Number

Address

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name Phone Number

Address

9. In addition to himself/herself the owner designates _____ of

_____ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

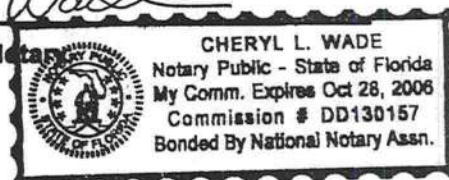
State of Florida / County of Manatee

Thomas Stokes
Signature of Owner

Rebecca Stokes

Sworn to (or affirmed) and subscribed before
day of December, 2004
by Thomas + Rebecca Stokes who
NOTARY STAMP/SEAL are personally known
to me.

Cheryl L. Wade
Signature of Notary



Name:

Address:

This instrument Prepared by: **David Roberts**
P.O. Box 1036
High Springs, FL 32655

Property Appraisers Parcel Identification (Folio) Number(s):
00000000 789001
Grantee(s) S.S. #s):

WARRANTY
INDIVID. TO

Inst: 2005000923 Date: 01/13/2005 Time: 15:15
DC, P. DeWitt Cason, Columbia County B: 1035 P: 1403

Inst: 2004012049 Date: 05/25/2004 Time: 10:05
Doc Stamp-Deed: 77.00

DC, P. DeWitt Cason, Columbia County B: 1016 P: 1257

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made the 17 day of MAY A.D. 2004 by
DAVID D. ROBERTS AND MARTHA J. ROBERTS
hereinafter called the grantor, to THOMAS K. STOKES AND REBECCA S. STOKES (his wife)
whose post office address is 116-68th ST. NW
hereinafter called the grantee: BRADENTON FL 34209

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 11,000.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Columbia County, State of FLA, viz:

LOTS 57 AND 58 UNIT 10 THREE RIVERS ESTATES

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing is a true copy of the original filed in this office.
P. DEWITT CASON, CLERK OF COURTS

By Maria Kean Deputy Clerk
Date Jan 13 2005

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 19

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Signature Theresa Nesti

Printed Signature Theresa Nesti

Signature Dorothy Spencer

Printed Signature Dorothy Spencer

Signature Theresa Nesti

Printed Signature Theresa Nesti

Signature Dorothy Spencer

Printed Signature Dorothy Spencer

Signature Theresa Nesti

Printed Signature Theresa Nesti

Signature Dorothy Spencer

Printed Signature Dorothy Spencer

STATE OF FLA

COUNTY OF Alachua

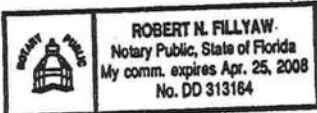
David D. Roberts and Martha J. Roberts

known to me to be the person S described in and who executed the foregoing instrument, who acknowledged before me that

executed the same, that I rolled upon the following form of identification of the above-named person: FL DL R163-559-35-608

and that an oath (was) was not taken.

NOTARY RUBBER STAMP SEAL



Witness my hand and official seal in the County and State last aforesaid this 17th day of May, A.D. 2004

Signature Robert N. Fillyaw

Printed Notary Signature Robert N. Fillyaw



This Warranty Deed Made the 17 day of MAY A.D. 2004 by
DAVID D. ROBERTS AND MARTHA J. ROBERTS
hereinafter called the grantor, to THOMAS K. STOKES AND REBECCA S. STOKES (his wife)
whose post office address is 116-68th ST. NW
hereinafter called the grantee: BRADENTON FL 34209

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)
Witnesseth: That the grantor, for and in consideration of the sum of \$ 11,000.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in COLUMBIA County, State of FLA, viz:

LOTS 57 AND 58 UNIT 10 THREE RIVERS ESTATES

Together, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 19

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Signature <u>Theresa Nesti</u> Printed Signature <u>Theresa Nesti</u> Signature <u>Dorothy Spencer</u> Printed Signature <u>Dorothy Spencer</u>	Signature <u>David D. Roberts</u> Printed Signature <u>David D. Roberts</u> Post Office Address <u>P.O. Box 1036 High Springs FL 32655</u>
Signature <u>Theresa Nesti</u> Printed Signature <u>Theresa Nesti</u> Signature <u>Dorothy Spencer</u> Printed Signature <u>Dorothy Spencer</u>	Signature <u>Martina J. Roberts</u> Printed Signature <u>Martina J. Roberts</u> Post Office Address <u>P.O. Box 1036 High Springs FL 32655</u>

STATE OF FLA
COUNTY OF Alachua
David D. Roberts and MARTHA J. Roberts

I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgments, personally appeared
known to me to be the person S described in and who executed the foregoing instrument, who acknowledged before me that they executed the same, that I relied upon the following form S of identification of the above-named person S: FL DL R163-164-321451-0
FL DL R163-559-35-608 and that an oath (was) was not taken.

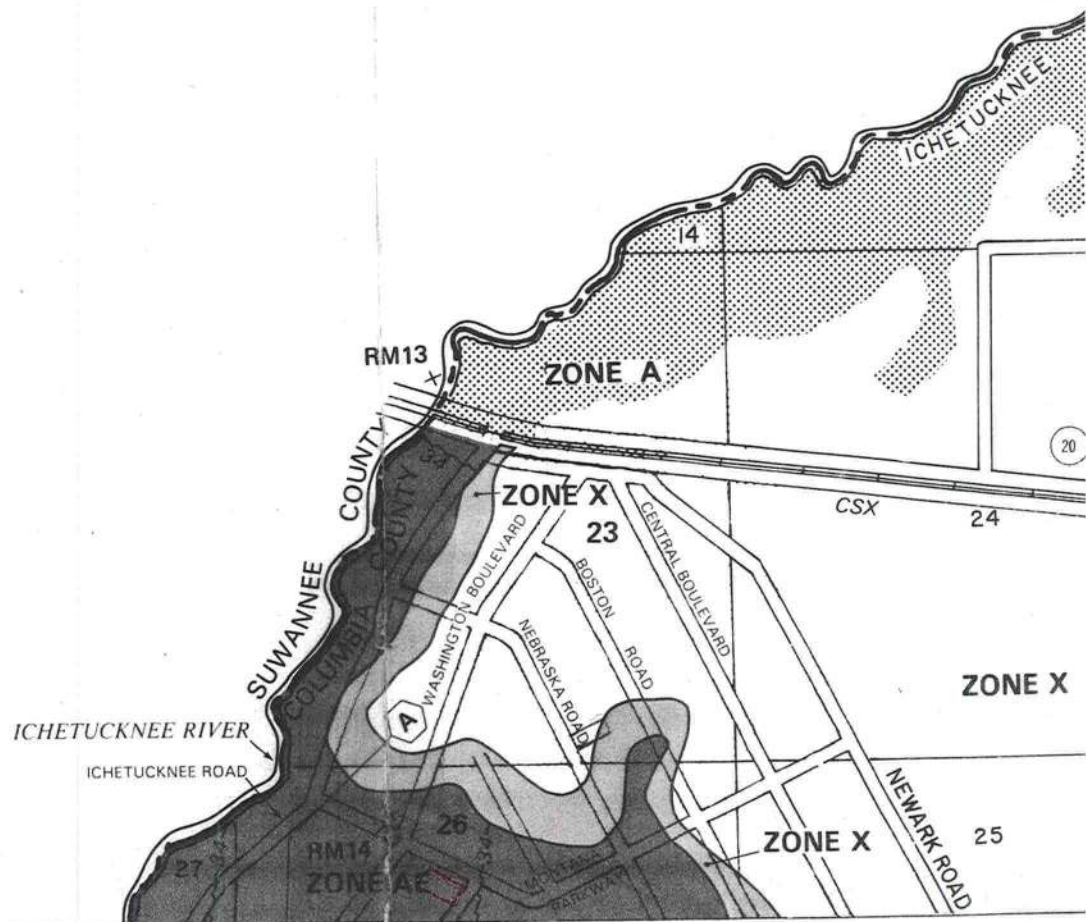
NOTARY RUBBER STAMP SEAL
ROBERT N. FILLIYAW
Notary Public, State of Florida
My comm. expires Apr. 25, 2008
No. DD 313164

Witness my hand and official seal in the County and State last aforesaid this
17th day of May, A.D. 2004
Signature
Robert N. Fillyaw
Printed Notary Signature

COUNTY

2

0411-78





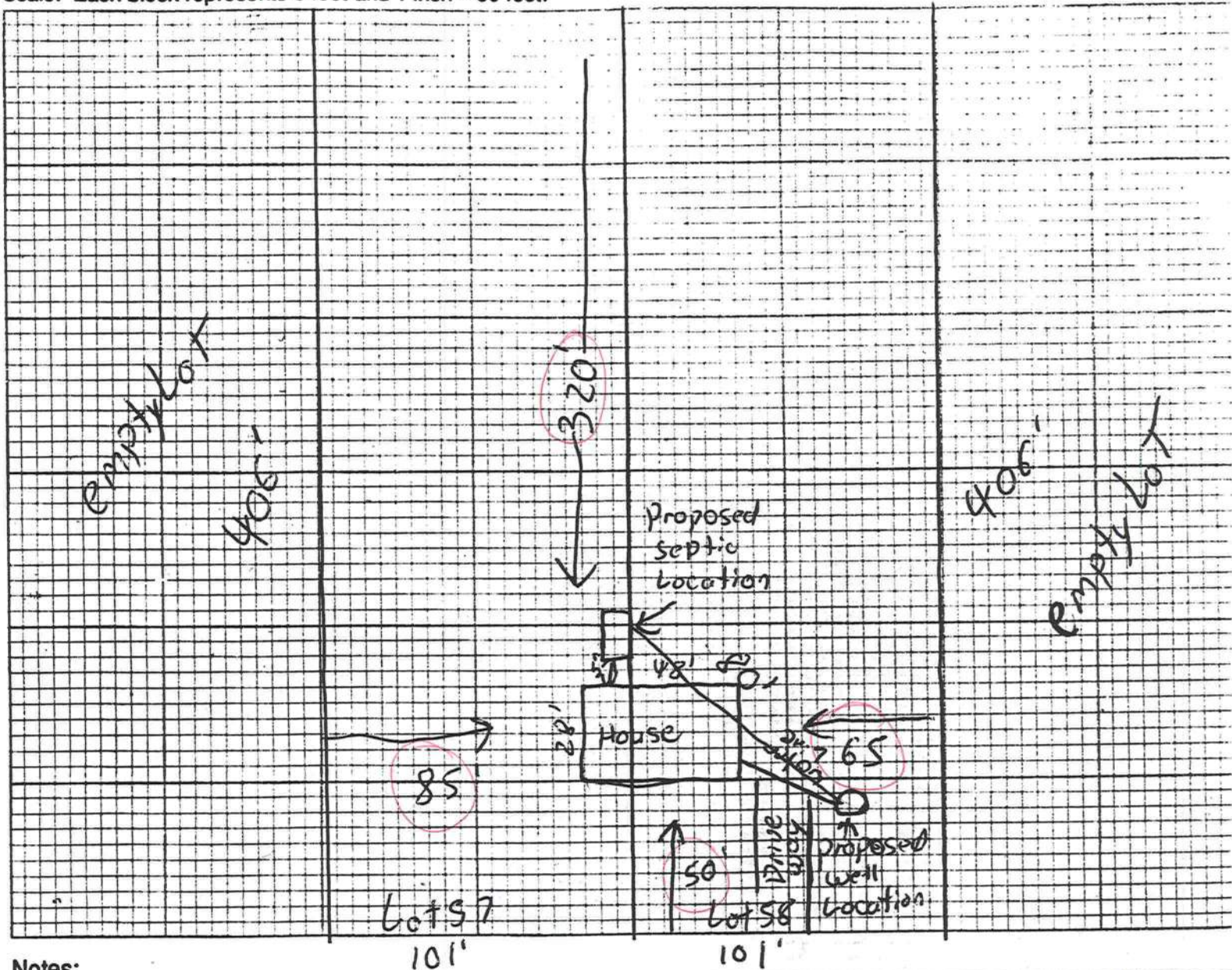
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 04-0904N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: _____

Site Plan submitted by: [Signature]

Signature

Plan Approved ☒

Not Approved ☐

By Salhi A. Gaddy - ESI - COLUMBIA

Agent

Title

Date 10-7-04

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

FLORIDA ENERGY EFFICIENCY CODE
FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A


Project Name:	New Project STOKES	Builder:	R & M CONST
Address:		Permitting Office:	Columbia
City, State:	,	Permit Number:	22727
Owner:		Jurisdiction Number:	221000
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 10.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	1344 ft²		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear glass, default U-factor	0.0 ft² 113.0 ft²	a. Electric Heat Pump	Cap: 28.0 kBtu/hr
b. Default tint	0.0 ft² 0.0 ft²		HSPF: 7.00
c. Labeled U or SHGC	0.0 ft² 0.0 ft²	b. N/A	
8. Floor types		c. N/A	
a. Slab-On-Grade Edge Insulation	R=0.0, 152.0(p) ft		
b. N/A		14. Hot water systems	
c. N/A		a. Electric Resistance	Cap: 40.0 gallons
9. Wall types			EF: 0.88
a. Frame, Wood, Exterior	R=13.0, 1216.0 ft²	b. N/A	
b. N/A		c. Conservation credits	
c. N/A		(HR-Heat recovery, Solar	
d. N/A		DHP-Dedicated heat pump)	
e. N/A		15. HVAC credits	
10. Ceiling types		(CF-Ceiling fan, CV-Cross ventilation,	
a. Under Attic	R=30.0, 1344.0 ft²	HF-Whole house fan,	
b. N/A		PT-Programmable Thermostat,	
c. N/A		MZ-C-Multizone cooling,	
11. Ducts		MZ-H-Multizone heating)	
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 90.0 ft		
b. N/A			

Glass/Floor Area: 0.08

Total as-built points: 20937
Total base points: 23090

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.	Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.
PREPARED BY: SUNCOAST INSULATORS	
DATE: 9/2/04	
I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.	
OWNER/AGENT:	BUILDING OFFICIAL:
DATE:	DATE:

Code Compliance Checklist
Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

WATER HEATING & CODE COMPLIANCE STATUS
Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING				Tank	EF	Number of	X	Tank X	X
Number of		Multiplier	=	Volume		Bedrooms		Ratio	Multiplier
Bedrooms			Total						Credit = Total
									Multiplier
3		2746.00	8238.0	40.0	0.88	3		1.00	2746.00
				As-Built Total:					8238.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling	+	Heating	+	Cooling	+	Heating	+
Points		Points		Points		Points	
			Hot Water				Hot Water
			Points				Points
			=				=
			Total				Total
			Points				Points
7553		7299	8238	23090	5964	6735	8238
							20937

PASS



WINTER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT								
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Point				
.18	1344.0	12.74	3082.1	Double, Clear	E	2.0	6.0	39.0	18.79	1.06	777.3	
				Double, Clear	W	2.0	6.0	54.0	20.73	1.04	1167.1	
				Double, Clear	N	2.0	6.0	20.0	24.58	1.00	493.9	
				As-Built Total:			113.0			2438.3		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points					
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		1216.0		3.40		4134.4	
Exterior	1216.0	3.70	4499.2									
Base Total:		1216.0	4499.2	As-Built Total:		1216.0		4134.4				
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Insulated	60.0		8.40		504.0			
Exterior	60.0	12.30	738.0									
Base Total:		60.0	738.0	As-Built Total:		60.0		504.0				
CEILING TYPESArea X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points					
Under Attic	1344.0	2.05	2755.2	Under Attic	30.0		1344.0	2.05 X 1.00		2755.2		
Base Total:		1344.0	2755.2	As-Built Total:		1344.0		2755.2				
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points					
Slab	152.0(p)	8.9	1352.8	Slab-On-Grade Edge Insulation	0.0		152.0(p)		18.80		2857.6	
Raised	0.0	0.00	0.0									
Base Total:		1352.8		As-Built Total:		152.0		2857.6				
INFILTRATION Area X BWPM = Points				Area X WPM = Points								
		1344.0	-0.59					1344.0		-0.59	-793.0	
Winter Base Points:			11634.3	Winter As-Built Points:			11896.5					
Total Winter X System = Heating Points Multiplier Points			Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Multiplier Points (DM x DSM x AHU)									
11634.3	0.6274	7299.4	11896.5	1.000	(1.069 x 1.169 x 0.93)	0.487	1.000	6735.2				
			11896.5	1.00	1.162	0.487	1.000	6735.2				

SUMMER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X SPM X SOF = Points			
.18	1344.0	20.04	4848.1	Double, Clear	E	2.0	6.0	39.0	42.06	0.85	1391.2
				Double, Clear	W	2.0	6.0	54.0	38.52	0.85	1767.0
				Double, Clear	N	2.0	6.0	20.0	19.20	0.90	345.6
				As-Built Total:			113.0			3503.8	
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	13.0		1216.0		1.50		1824.0
Exterior	1216.0	1.70	2067.2								
Base Total:		1216.0	2067.2	As-Built Total:		1216.0		1824.0			
DOOR TYPES Area X BSPM = Points				Type	Area X SPM = Points						
Adjacent	0.0	0.00	0.0	Exterior Insulated	60.0 4.10 246.0						
Exterior	60.0	6.10	366.0								
Base Total:		60.0	366.0	As-Built Total:		60.0		246.0			
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	1344.0	1.73	2325.1	Under Attic	30.0		1344.0		1.73 X 1.00		2325.1
Base Total:		1344.0	2325.1	As-Built Total:		1344.0		2325.1			
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	152.0(p)	-37.0	-5624.0	Slab-On-Grade Edge Insulation	0.0		152.0(p)		-41.20		-6262.4
Raised	0.0	0.00	0.0								
Base Total:		-5624.0		As-Built Total:		152.0		-6262.4			
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
1344.0 10.21 13722.2				1344.0 10.21 13722.2							
Summer Base Points: 17704.6				Summer As-Built Points: 15358.8							
Total Summer X System = Cooling Points Multiplier Points				Total X Cap X Duct X System X Credit = Cooling Component Ratio Multiplier Multiplier Multiplier Points (DM x DSM x AHU)							
17704.6	0.4266	7552.8		15358.8	1.000	(1.090 x 1.147 x 0.91)		0.341	1.000	5963.8	
				15358.8	1.00	1.138		0.341	1.000	5963.8	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 84.5

The higher the score, the more efficient the home.

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 30.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 10.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft ²)	1344 ft ²		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear - single pane	0.0 ft ² 113.0 ft ²	a. Electric Heat Pump	Cap: 28.0 kBtu/hr
b. Clear - double pane	0.0 ft ² 0.0 ft ²		HSPF: 7.00
c. Tint/other SHGC - single pane	0.0 ft ² 0.0 ft ²	b. N/A	
d. Tint/other SHGC - double pane		c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 152.0(p) ft	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.88
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=13.0, 1216.0 ft ²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 1344.0 ft ²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 90.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

EnergyGauge® (Version: FL.RCSB v3.30)



ENG, DENMAN & ASSOCIATES, INC.

ENGINEERS • SURVEYORS

January 11, 2005

Columbia County Building & Zoning Department
John Kerce, Building & Zoning Coordinator
P.O. Box 1529
Lake City, FL 32056-1529

Re: Stokes Property – Lots 57 & 58 of Three River Estates, Unit 10 – Ft. White, Florida

Dear Mr. Kerce:

Please find attached the proposed location for the residential unit for the above referenced property. This letter is to indicate that the base flood elevation of 34.00 ft. msl, as determined by FEMA FIRM map on panel 225 of 290 for Columbia County, Florida, will not be impacted by the placement of the residential dwelling unit because a compensation area will be provided within the limits of the Owner's property. Please find the attached sketch showing the proposed compensation with its minimum area and volume. If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Sergio Reyes', is written over a horizontal line.

Sergio Reyes, P.E.
Florida License #47311
Vice President
Eng, Denman & Associates, Inc.

xc: Robert Clark, R&M Construction

Attention Weegie

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000000514**

DATE: 01/24/2005

BUILDING PERMIT NO. 22727

APPLICANT ROBERT CLARK

PHONE 352-538-9697

ADDRESS 20074 NW 258 DR

HIGH SPRINGS

FL 32643

OWNER THOMAS & REBECCA STOKES

PHONE 941-794-2504

ADDRESS 146 SW DINGO WAY

FORT WHITE

FL 32038

CONTRACTOR R&M CONSTRUCTION& DDEVELOPMENT

PHONE 352-538-9697

LOCATION OF PROPERTY 47 S, R 27, L RIVER WAY, L MONTANA, R DNGO WAY, 2ND LOT ON R

SUBDIVISION/LOT/BLOCK/PHASE/UNIT THREE RIVERS

57

10

PARCEL ID # 26-6S-15-00789-001

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: [Signature]

A SEPARATE CHECK IS REQUIRED

MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

☒ APPROVED

☐ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS:

No Culvert Needed Existing Roadway Flat
Lot Flat No Ditches Water Gravity Flow

SIGNED:

[Signature]

DATE:

02/03/05

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



- 22727 -

**UNIVERSAL
ENGINEERING SCIENCES**Consultants in: Geotechnical Engineering • Threshold Inspection
Environmental Sciences • Construction Materials Testing

OFFICES IN:

- Orlando
- Gainesville
- Fort Myers
- Rockledge
- St. Augustine
- Daytona Beach
- West Palm Beach
- Jacksonville
- Ocala
- Tampa
- Debary

January 19, 2005

R & M Construction and Development, LLC
20074 NW 258th Drive
High Springs, FL 32643

Attention: Mr. Robert Clark

Reference: Stokes Residence, Dingo Avenue
Fort White, Columbia County, FL
Project No: 27286-002-02 Report No: 18907.1

Dear Mr. Clark:

Per your request, Universal Engineering Sciences, Inc., has proceeded to the subject project to determine the existing soil bearing capacity within the proposed locations of the shallow foundations for the residential structure. Based upon our conversations, it is our understanding that the shallow foundations designed for the proposed residential structure have the dimensions of 12" by 24" with approximately 12 inches of embedment.

The bearing capacity of a soil is the ability of the soil to carry a load without failure within the soil. Bearing capacity failure occurs usually as a shear failure of the soil supporting the footing. Bearing capacity failures are usually sudden and catastrophic. Analytical techniques for soil bearing capacity estimation generally apply to sands, clays and silts. Foundation allowable bearing pressures and bearing elevations must be adjusted so as to provide appropriate margins of safety against bearing capacity failure. With this in mind and due to limited access, we used a Dynamic Cone Penetrometer for evaluation of the allowable net soil bearing capacity of the foundation subgrade soils.

The Dynamic Cone Penetrometer test was performed for a depth of one foot according to the procedures developed by Professor G. F. Sowers and Charles S. Hedges (ASCE, 1966). The basic procedure for the Dynamic Cone Penetrometer test is as follows: A standard 1.5-inch diameter conical point is driven into the soil by a 16-pound steel hammer falling 20-inches. Following the seating of the point to a depth of 2-inches, the number of blows required to drive the sampler an additional 3.5-inches, is designated the penetration resistance, providing an index to soil strength and density.

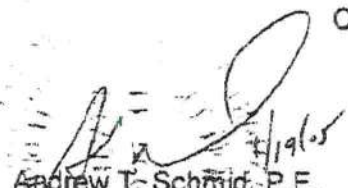
From the results of our evaluation, we estimate that the proposed foundation subgrade soils have an existing average net soil bearing pressure of approximately 1,800 psf with 0.2 inches of settlement. Net bearing pressure is defined as the soil bearing pressure at the base of the foundation in excess of the natural overburden pressure.

4475 S.W. 35th Terrace • Gainesville, FL 32608 • (352) 372-3392 • Fax (352) 336-7914

Page No: 2
Project No: 27286-002-02
Report No: 18907.1
Date: January 19, 2005

We appreciate this opportunity to provide service to you on this project. If you should have any questions, or if we can be of further assistance, please contact us.

Sincerely,
UNIVERSAL ENGINEERING SCIENCES, INC.
Certificate of Authorization No. 549


Andrew T. Schmid, P.E.
Branch Manager
Florida P.E. No. 56022

ATS:as (2)

Permit # 22727

MARTY R. ESKRIDGE & ASSOCIATES

14952 MAIN STREET ALACHUA FL 32615 PH: 386-462-1340

January 25, 2005

Job: R & M Construction

Re: 1800# psf soil borings.

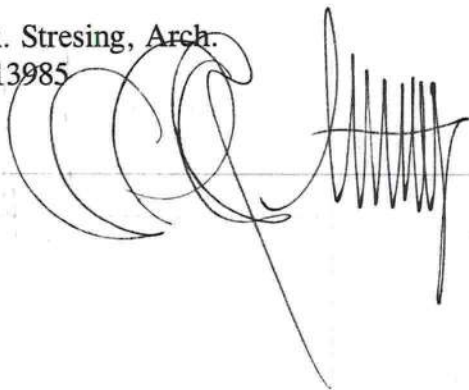
Dear Mr. Clark:

The windload analysis has been reviewed, because the soil boring testing capacities were found to be a 0.2 settlement rate with 1800# psf instead of 2000# psf.

After further review this was found to be acceptable in providing the necessary uplift, lateral and compressive resistance.

If you have any questions or if we can be any further assistance, please feel free to contact us at your convenience.

Paul R. Stresing, Arch.
AR0013985

A handwritten signature in black ink, consisting of a series of loops and a final vertical stroke, positioned over the typed name and title.

UNIVERSAL

ENGINEERING SCIENCES

Consultants In: Geotechnical Engineering •
Environmental Sciences • Construction Materials Testing

REPORT ON IN-PLACE DENSITY TESTS

4475 S.W. 35th Terrace • Gainesville, Florida 32608 • (352) 372-3392

CLIENT: R + M Construction (Color Co.) Permit # 600022737

PROJECT: Three Rivers Estates (East White)
(146 S.W. Dixon Hwy)

AREA TESTED: Full b prop bldg pad

COURSE: F16 DEPTH OF TEST: 0.1

TYPE OF TEST: ASTM D-2922 DATE TESTED: 3-22-05

NOTE: The below tests DO/~~DO NOT~~ meet the minimum 95 % compaction requirements of maximum density.

REMARKS: _____

[illegible]TECH. DM

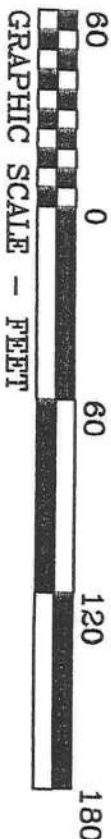
4404

LEGAL DESCRIPTION:
LOTS 57 AND 58 OF THREE RIVERS ESTATES UNIT
No. 10 AS PER PLAT THEREOF, AS RECORDED IN
PLAYBOOK '93, PAGE 10 OF THE PUBLIC RECORDS OF
COLUMBIA COUNTY, FLORIDA.



BOUNDARY SURVEY

IN SECTION 26, TOWNSHIP 6 SOUTH, RANGE
15 EAST, COLUMBIA COUNTY, FLORIDA



CERTIFIED TO:

- 1) THOMAS & REBECCA STOKES
- 2) R & M CONSTRUCTION

BEARING NOTE:

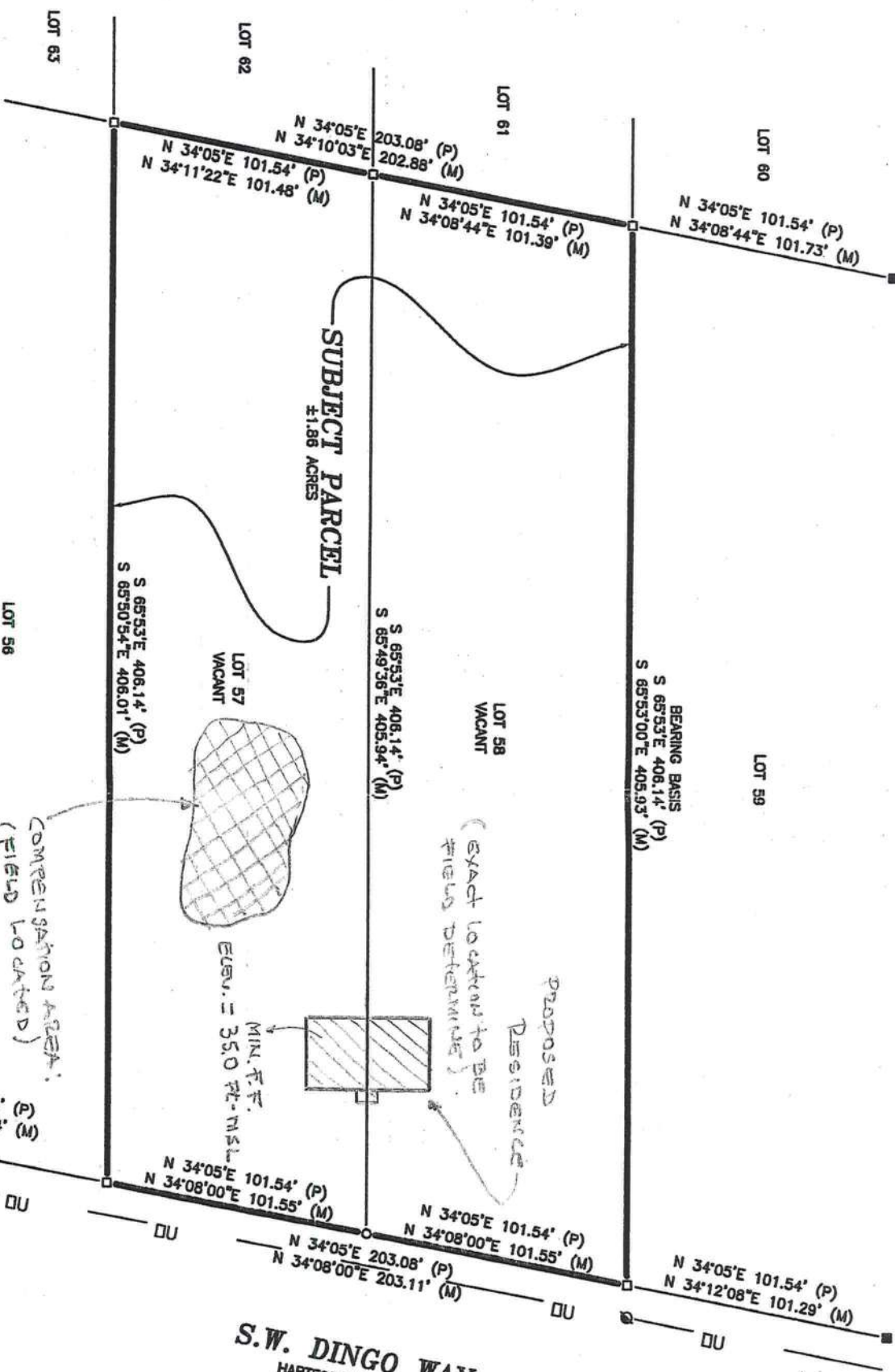
BEARINGS SHOWN HEREON ARE REFERRED TO
AN ASSUMED VALUE OF S. 65°53'00" E. FOR
THE NORTHEAST PROPERTY LINE OF LOT 58 OF
THREE RIVERS ESTATES UNIT No. 10.

FENCE NOTE:

SOME FENCE TIES AS SHOWN HEREON,
(IF APPLICABLE) HAVE BEEN DRAWN
EXAGGERATED FOR SAKE OF GRAPHIC
REPRESENTATION.

SURVEYOR NOTES:

- 1) TO THE BEST OF MY KNOWLEDGE, THERE ARE NO
ENCROACHMENTS, BOUNDARY LINE DISPUTES,
EASEMENTS, OR CLAIMS OF EASEMENTS, OTHER
THAN ARE DEPICTED ON THIS DRAWING.
- 2) ALL UTILITIES AND OR IMPROVEMENTS IF ANY MAY
NOT BE SHOWN ON THIS DRAWING.
- 3) IN THE OPINION OF THIS SURVEYOR THE BOUNDARY
SHOWN HEREON BEST REPRESENTS THE LOCATION OF
THE SUBJECT PROPERTY IN RELATION TO THE
DESCRIPTION AND THOSE PROPERTY CORNERS
FOUND TO BE ACCEPTABLE TO THIS SURVEYOR.
- 4) NO BUILDING SETBACK BUILDING SETBACK
INFORMATION HAS BEEN PROVIDED TO THE
SURVEYOR. PRIOR TO ANY NEW CONSTRUCTION,
THE APPROPRIATE GOVERNING AUTHORITY SHOULD
BE CONTACTED FOR THE CURRENT SETBACK
REQUIREMENTS.



FLOOD NOTE:

IN THE OPINION OF THIS SURVEYOR, ACCORDING TO THE
NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE
MAP COMMUNITY PANEL NO. 120070-0225-B, DATED
1-6-1988, THIS PROPERTY IS IN FLOOD ZONE 'AE' WHICH IS
AN AREA WHERE BASE FLOOD ELEVATIONS HAVE BEEN
DETERMINED, AS SCALED FROM SAID MAP. INFORMATION FROM
THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD
INSURANCE RATE MAPS, SHOWN ON THIS MAP, WAS CURRENT
AS OF THE REFERENCE DATE. MAP REVISIONS AND
AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT
BE REFLECTED ON THE MOST CURRENT MAP.

TITLE NOTE:

THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY
BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
THE SURVEYOR HAS NOT PERFORMED A SEARCH
OF THE PUBLIC RECORDS ON THIS PARCEL FOR
ANY CLAIMS OF TITLE, EASEMENTS, OR RESTRICTIONS
THAT MAY AFFECT THIS PARCEL. THE PRESENCE
OR ABSENCE OF ANY SUCH CLAIMS ARE NOT
CERTIFIED HEREON.

S.W. DINGO WAY
HARTFORD ROAD (P)
±10' DIRT ROAD

CERTIFICATE OF SURVEYOR:

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF
A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS
TO THIS MAP BY ANYONE OTHER THAN THIS SURVEYOR IS PROHIBITED.

I HEREBY CERTIFY THAT THE SURVEY DATA SHOWN HEREON, IS A
TRUE AND CORRECT REPRESENTATION OF A SURVEY PERFORMED UNDER
MY SUPERVISION OF THE HEREON DESCRIBED PROPERTY, AND IT MEETS
THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA
BOARD OF LAND SURVEYORS, PURSUANT TO SECTION 472.027, FLORIDA
STATUTES, AND CHAPTER 81G17-6, FLORIDA ADMINISTRATIVE CODE.

BY: JAMES E. BRINKMAN, PSM - FLA. CERT# 5582
DATE: 7/23/2004

BRINKMAN SURVEYING & MAPPING INC.
4607 NORTHWEST 6TH STREET SUITE C, GAINESVILLE, FL 32609
PHONE: (352) 374-7707 FAX: (352) 374-8757

SCALE: 1" = 60'

L.B. # 6894

DATE: 7-23-2004

DRAWN BY: AKO
CHECKED BY: J.B.

FIELD WORK COMPLETED ON 7-21-2004 FIELDBOOK 57, PAGE 42

PREPARED FOR: R & M CONSTRUCTION

DRAWING NUMBER
121-04

ABBREVIATIONS:

C = CALCULATED FROM MEASURED
CATV = CABLE TELEVISION
C/B = CONCRETE BLOCK
CONC = CONCRETE
(L) = PER LEGAL DESCRIPTION
LS = LICENSED SURVEYOR BUSINESS
(M) = LAND SURVEYOR
O.U. = OVERHEAD UTILITIES
P = PLAT
PB = PLAT BOOK
PRM = PERMANENT REFERENCE MONUMENT
PSM = PROFESSIONAL SURVEYOR & MAPPER
R/W = RIGHT OF WAY

LEGEND:

- = SET 1/2" REBAR & CAP
LB 6894
- = FOUND 4" X 4" CONC. MON.
- = NO IDENTIFICATION
- = FOUND 3" X 3" CONC. MON.
- = NO IDENTIFICATION
- ⊗ = WOOD POWER POLE

NOTICE OF INSPECTION AND/OR TREATMENT

Date of Inspection

3/23/05 (22727)

Date of Treatment

Summers TC 140941 60.5%

Pesticide Used

367EMWES

Wood-Destroying Organisms Treated

It is a violation of Florida State Law (Chap. 482-226)
for anyone other than the property owner
to remove this notice.

- Lawn Spraying
- Household Pest Control
- Tree & Shrub Spraying
- Termite Control



Pest Control, Inc.
13618 NW 270th Ave.
Alachua, FL 32615

Call: **386-418-4387**
for a free inspection & estimate