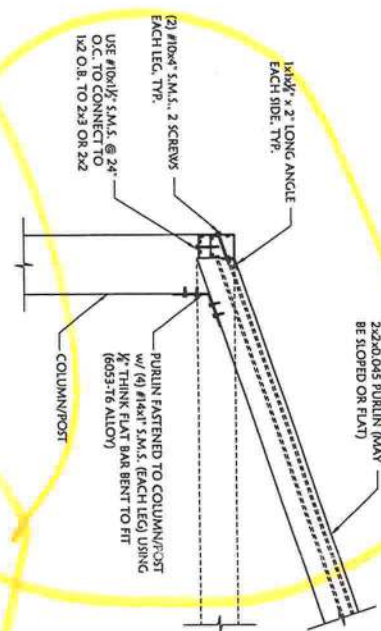
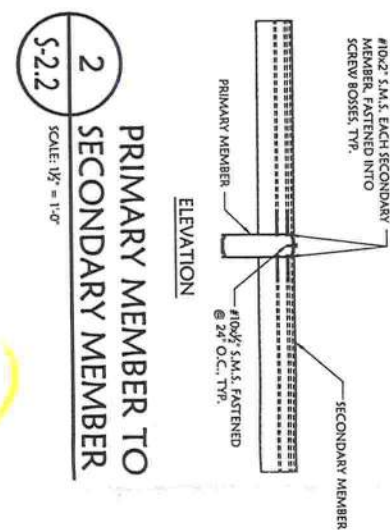
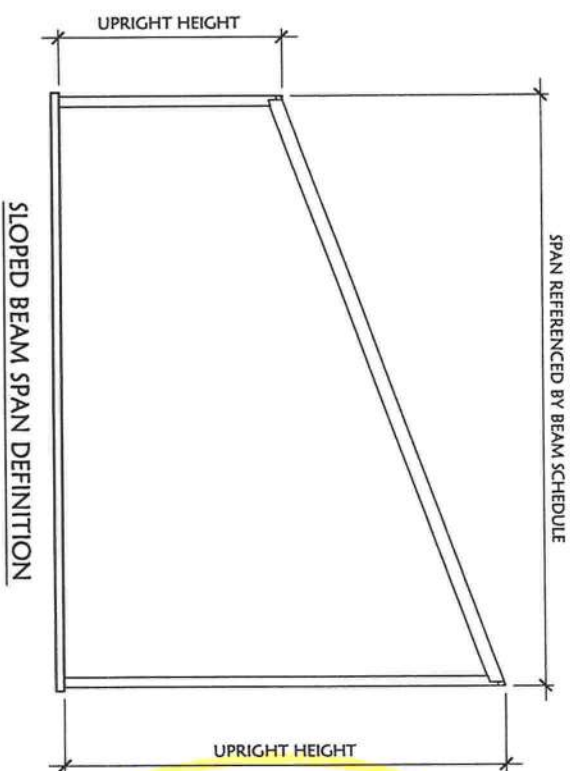
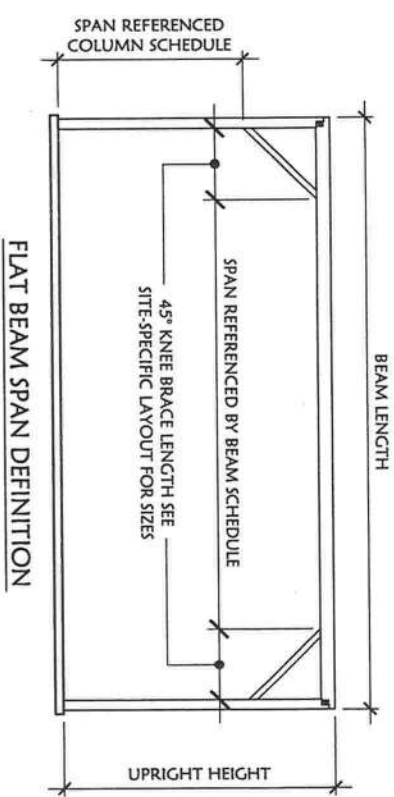
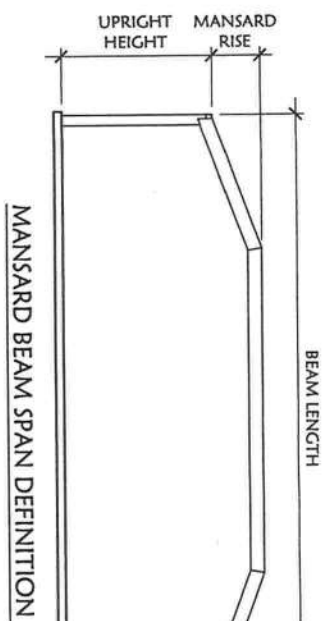
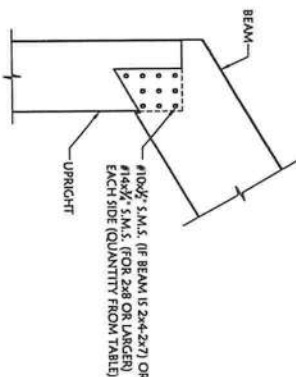
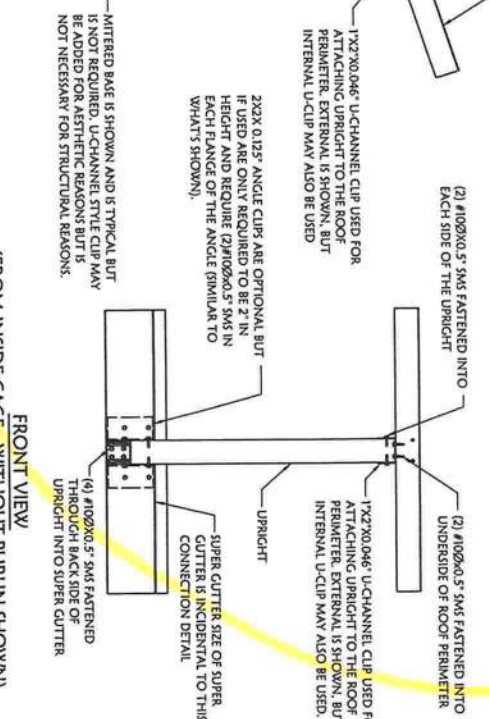
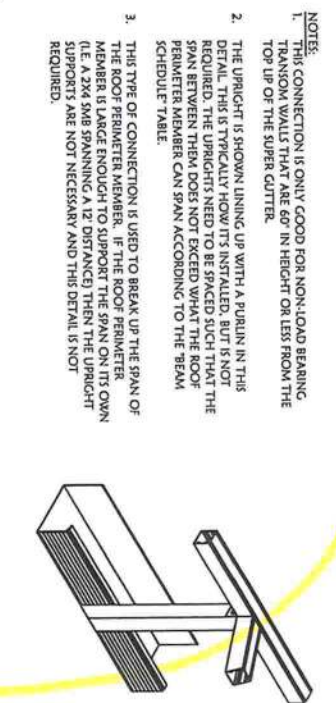
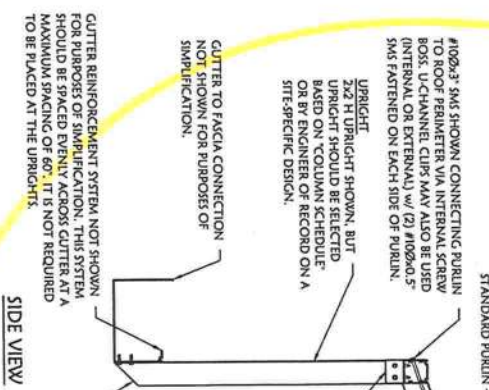
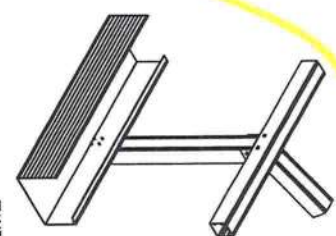
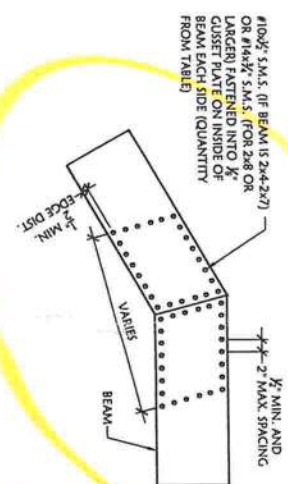




BEAM SIZE	# SCREWS
2x4-2x6	12
2x7	16
2x8	18
2x9	20
2x10	22

BEAM SIZE	LENGTH
2x4	8 IN.
2x5	10 IN.
2x6	12 IN.
2x7	14 IN.
2x8	16 IN.
2x9	18 IN.
2x10	18 IN.



QUANTITY OF #10 FASTENERS REQUIRED		UPRIGHT SIZE							
		2x4	2x5	2x6	2x7	2x8	2x9	2x10	
BEAM SIZE		2x4	2x5	2x6	2x7	2x8	2x9	2x10	
2x4	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
2x5	3	4	4	4	4	4	4	4	
2x6	5	7	8	9	9	9	9	9	
2x7	7	10	12	14	14	14	14	14	
2x8	9	13	16	18	18	19	20	21	
2x9	11	16	20	22	22	25	27	28	
2x10	13	19	24	27	27	31	34	36	

		UPRIGHT SIZE								
		2x4	2x5	2x6	2x7	2x8	2x9	2x10		
BEAM SIZE		2x4	2x5	2x6	2x7	2x8	2x9	2x10		
2x4	2x4	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
2x5	2x5	3	3	3	3	3	3	3		
2x6	2x6	5	6	6	7	6	6	7		
2x7	2x7	7	9	9	11	10	12	12		
2x8	2x8	7	10	9	12	11	13	14		
2x9	2x9	9	13	12	15	15	17	19		
2x10	2x10	11	16	16	19	19	22	25		

PROFESSIONAL ENGINEER
STATE OF FLORIDA

ROBERT C. SCROGGINS
LICENSE
No. 56158

06/22/11

Robert C. Scroggins, P.E.
FL Registration No. 56158

To the best of the Design Engineer's knowledge, the plans and specifications for this project comply with the applicable minimum building codes as determined by the local authority in accordance with the Florida Statutes.

3x3x0.060 COLUMN SCHEDULE FOR SOLID ROOF/SCREEN ENCLOSURE COMBO													8	10	12	14	16	18	20	22	24	26
SCREEN ROOF TRIBURARY WIDTH (FT.)													MAXIMUM HEIGHT (FT.)									
8													20.0	19.8	19.6	19.4	19.2	19.0	18.8	18.6	18.4	18.2
10													19.6	19.4	19.2	19.0	18.8	18.6	18.4	18.2	18.0	17.8
12													19.2	19.0	18.8	18.6	18.4	18.2	18.0	17.8	17.6	17.4
14													18.8	18.6	18.4	18.2	18.0	17.8	17.6	17.4	17.2	17.0
16													18.4	18.2	18.0	17.8	17.6	17.4	17.2	17.0	16.8	16.6
18													18.0	17.8	17.6	17.4	17.2	17.0	16.8	16.6	16.4	16.2
20													17.6	17.4	17.2	17.0	16.8	16.6	16.4	16.2	16.0	15.8
22													17.2	17.0	16.8	16.6	16.4	16.2	16.0	15.8	15.6	15.4
24													16.8	16.6	16.4	16.2	16.0	15.8	15.6	15.4	15.2	15.0
26													16.4	16.2	16.0	15.8	15.6	15.4	15.2	15.0	14.8	14.6
COL. TRIBURARY WIDTH SPACING (FT.)													COMPOSITE ROOF SPAN OF 6'-0"									

HEIGHTS MAY BE INTERPOLATED, BUT NOT EXTRAPOLATED

3x3x0.060 COLUMN SCHEDULE FOR SOLID ROOF/SCREEN ENCLOSURE COMBO													8	10	12	14	16	18	20	22	24	26
SCREEN ROOF TRIBURARY WIDTH (FT.)													MAXIMUM HEIGHT (FT.)									
8													17.8	17.6	17.4	17.2	17.0	16.8	16.6	16.4	16.2	16.0
10													16.8	16.6	16.4	16.2	16.0	15.8	15.6	15.4	15.2	15.0
12													15.9	15.7	15.5	15.3	15.1	14.9	14.7	14.5	14.3	14.1
14													14.9	14.7	14.5	14.3	14.1	13.9	13.7	13.5	13.3	13.1
16													14.0	13.8	13.6	13.4	13.2	13.0	12.8	12.6	12.4	12.2
18													13.0	12.8	12.6	12.4	12.2	12.0	11.8	11.6	11.4	11.2
20													12.0	11.8	11.6	11.4	11.2	11.0	10.8	10.6	10.4	10.2
22													11.1	10.9	10.7	10.5	10.3	10.1	9.9	9.7	9.5	9.3
24													10.1	9.9	9.7	9.5	9.3	9.1	8.9	8.7	8.5	8.3
26													9.1	8.9	8.7	8.5	8.3	8.1	7.9	7.7	7.5	7.3
COL. TRIBURARY WIDTH SPACING (FT.)													COMPOSITE ROOF SPAN OF 14'-0"									

HEIGHTS MAY BE INTERPOLATED, BUT NOT EXTRAPOLATED

3x3x0.092 COLUMN SCHEDULE FOR SOLID ROOF/SCREEN ENCLOSURE COMBO													8	10	12	14	16	18	20	22	24	26
SCREEN ROOF TRIBURARY WIDTH (FT.)													MAXIMUM HEIGHT (FT.)									
8													20.9	20.7	20.6	20.5	20.3	20.2	20.1	19.9	19.8	19.7
10													20.6	20.5	20.3	20.2	20.1	19.9	19.8	19.7	19.5	19.4
12													20.3	20.2	20.0	19.9	19.8	19.7	19.5	19.4	19.3	19.1
14													20.0	19.9	19.8	19.6	19.5	19.4	19.2	19.1	19.0	18.9
16													19.8	19.6	19.5	19.4	19.2	19.1	19.0	18.8	18.7	18.6
18													19.5	19.4	19.2	19.1	19.0	18.8	18.7	18.6	18.4	18.3
20													19.2	19.1	19.0	18.8	18.7	18.6	18.4	18.3	18.2	18.0
22													19.0	18.8	18.7	18.6	18.4	18.3	18.2	18.0	17.9	17.8
24													18.7	18.5	18.4	18.3	18.2	18.0	17.9	17.8	17.6	17.5
26													18.4	18.3	18.1	18.0	17.9	17.8	17.7	17.6	17.4	17.2
COL. TRIBURARY WIDTH SPACING (FT.)													COMPOSITE ROOF SPAN OF 6'-0"									

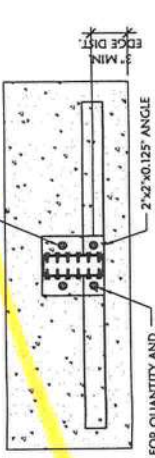
HEIGHTS MAY BE INTERPOLATED, BUT NOT EXTRAPOLATED

3x3x0.092 COLUMN SCHEDULE FOR SOLID ROOF/SCREEN ENCLOSURE COMBO													8	10	12	14	16	18	20	22	24	26
SCREEN ROOF TRIBURARY WIDTH (FT.)													MAXIMUM HEIGHT (FT.)									
8													19.4	19.3	19.1	19.0	18.9	18.7	18.6	18.5	18.4	18.2
10													18.8	18.6	18.5	18.4	18.2	18.1	18.0	17.8	17.7	17.6
12													18.1	18.0	17.9	17.7	17.6	17.5	17.3	17.2	17.1	17.0
14													17.5	17.4	17.2	17.1	17.0	16.8	16.7	16.6	16.5	16.3
16													16.9	16.7	16.6	16.5	16.2	16.1	15.9	15.8	15.7	15.5
18													16.2	16.1	16.0	15.8	15.7	15.6	15.4	15.3	15.2	15.1
20													15.6	15.5	15.3	15.2	15.1	14.9	14.8	14.7	14.5	14.4
22													15.0	14.8	14.7	14.6	14.4	14.3	14.2	14.0	13.9	13.8
24													14.3	14.2	14.1	13.9	13.8	13.7	13.5	13.4	13.3	13.1
26													13.7	13.6	13.4	13.3	13.2	13.0	12.9	12.8	12.6	12.5
COL. TRIBURARY WIDTH SPACING (FT.)													COMPOSITE ROOF SPAN OF 14'-0"									

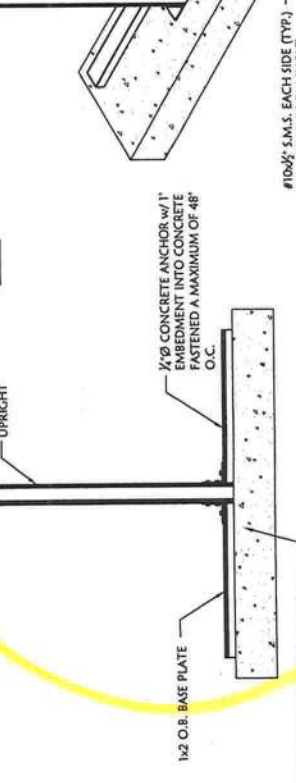
HEIGHTS MAY BE INTERPOLATED, BUT NOT EXTRAPOLATED

3x3x0.125 COLUMN SCHEDULE FOR SOLID ROOF/SCREEN ENCLOSURE COMBO													8	10	12	14	16	18	20	22	24	26
SCREEN ROOF TRIBURARY WIDTH (FT.)													MAXIMUM HEIGHT (FT.)									
8													20.7	20.6	20.5	20.4	20.3	20.2	20.1	20.0	19.9	19.8
10													20.4	20.3	20.2	20.1	20.0	19.9	19.8	19.7	19.6	19.5
12													20.0	19.9	19.8	19.7	19.6	19.5	19.4	19.3	19.2	19.1

SEE TABLE FOR QUANTITY AND EMBEDMENT OF FASTENERS



SEE TABLE FOR QUANTITY AND EMBEDMENT OF FASTENERS



SCREEN ENCLOSURE MAY SIT ON TOP OF PAVERS AS LONG AS THE MINIMUM CONCRETE EMBEDMENT SPECIFIED IN THIS DETAIL IS ACHIEVED

MAIN COLUMN UNDER BEAM CONNECTION

ISOMETRIC

SCREEN ENCLOSURE MAY SIT ON TOP OF PAVERS AS LONG AS THE MINIMUM CONCRETE EMBEDMENT SPECIFIED IN THIS DETAIL IS ACHIEVED

1 COLUMN CONNECTION

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

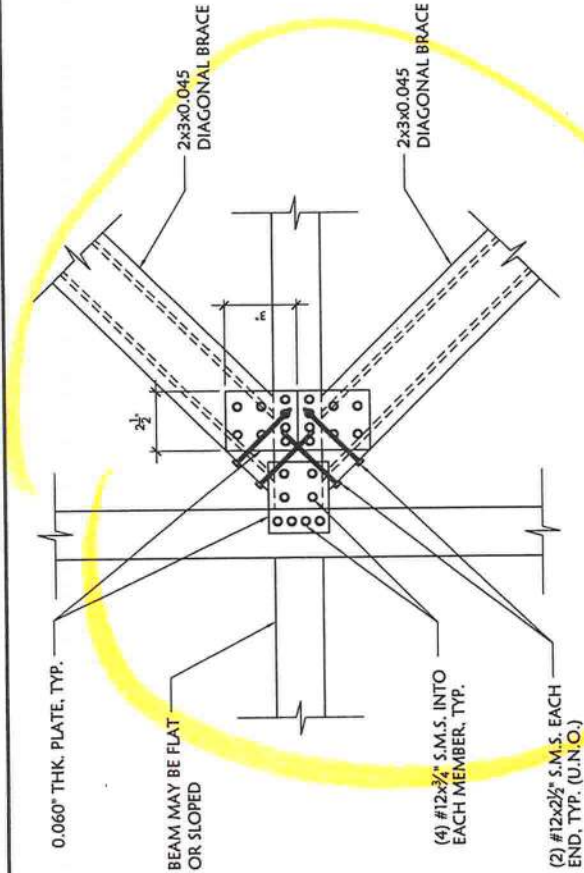
COLUMN @ SIDE WALL CONNECTION

SCALE: 1/2" = 1'-0"

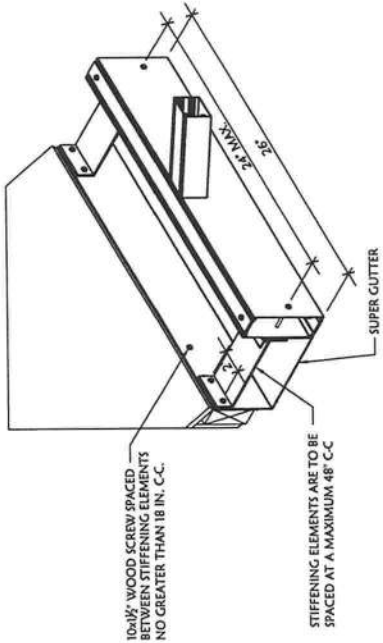
2 COLUMN TO DECK w/ BRICK PAVERS

SCALE: 1/2" = 1'-0"

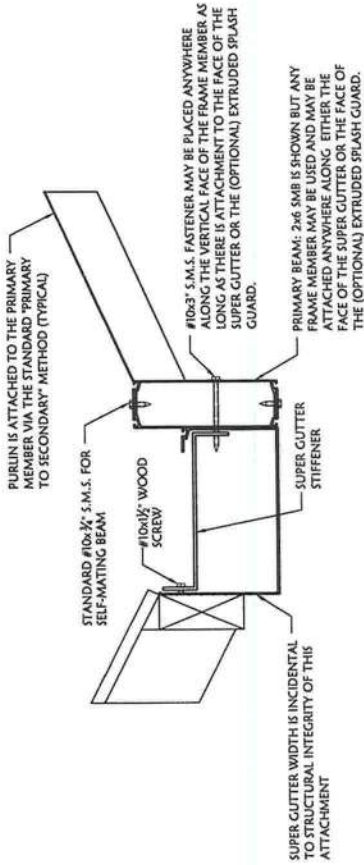
MIN. QUANTITY OF SPECIFIED FASTENERS		MIN. QUANTITY OF SPECIFIED FASTENERS	
FASTENERS TO UPRIGHT		FASTENERS TO DECK	
UPRIGHT SIZE	#10 S.M.S.	1/4" TAPCONS	3/8" TAPCONS
2x2 H	2	2	1
2x3 H	3	2	1
2x4 H	4	4	1
2x4 S.M.B.	4	4	2
2x5 S.M.B.	5	4	2
2x6 S.M.B.	6	4	2
2x7 S.M.B.	7	6	3
2x8 S.M.B.	N/A	8	4
2x9 S.M.B.	N/A	9	4
2x10 S.M.B.	N/A	10	N/A
	N/A	N/A	5
	N/A	N/A	5



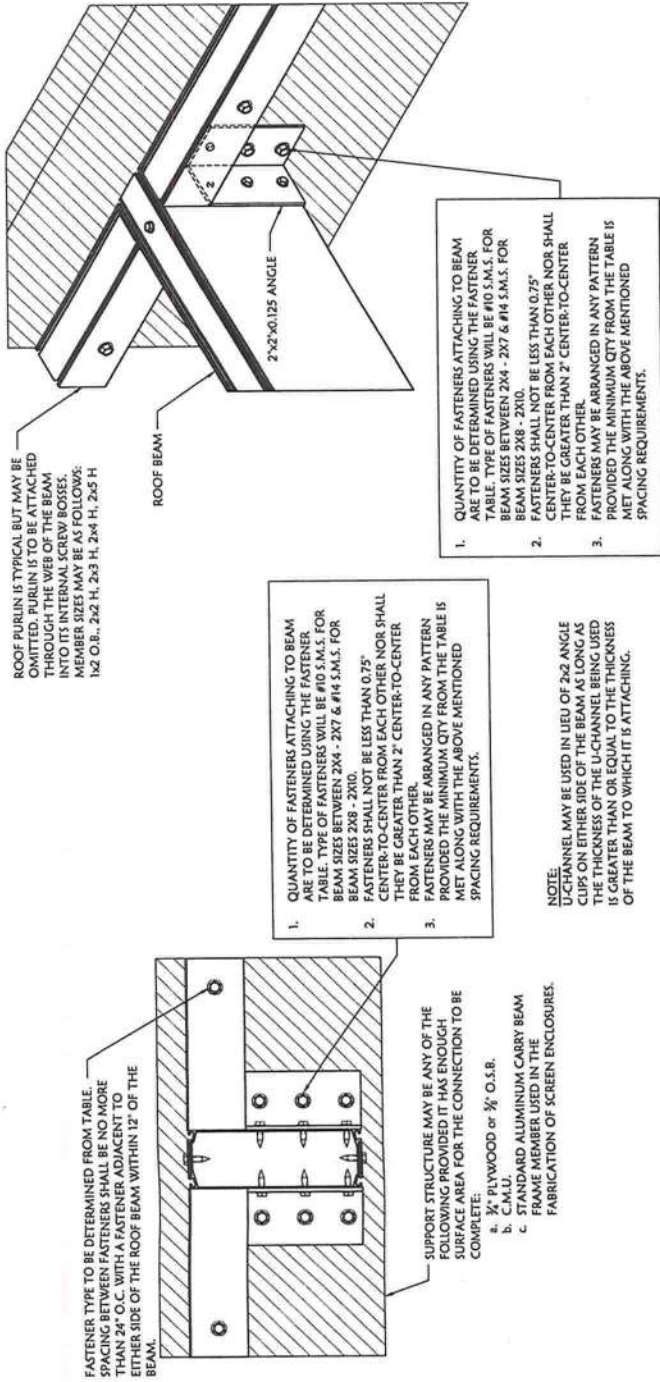
1 TYPICAL ROOF BRACE TO BEAM CONNECTION
SCALE: 1/8" = 1'-0"



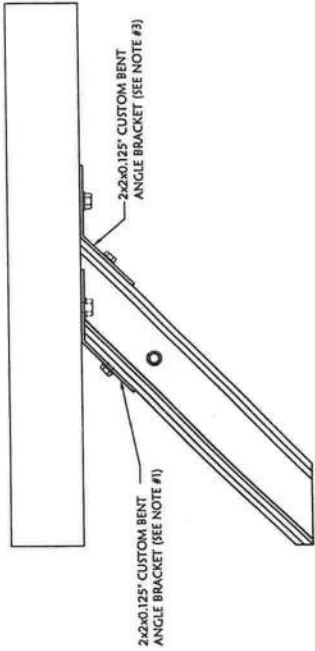
- NOTES:
- 2"x2"x0.125" ANGLE MAY BE USED IN LIEU OF (OR IN ADDITION TO) THE #10x3" S.M.S. ATTACHMENT. THE ANGLE MUST BE ON TOP OR BOTTOM OF THE ATTACHING FRAME MEMBER. THE SPACING AND TYPE OF FASTENERS WILL REMAIN THE SAME AS STATED IN THIS DETAIL. EACH FASTENER WILL BE ON THE SAME PLANE FOR EACH OPPOSING FACE (FLANGE) OF THE 2x2 ANGLE.
 - SUPER GUTTER IS SHOWN AS THE COMPONENT BEING FASTENED TO, BUT THIS DETAIL CAN BE USED IN THE CASE WHERE SUPER GUTTER IS SUBSTITUTED FOR A DIFFERENT ALUMINUM STRUCTURAL COMPONENT (I.E. SELF-MATING BEAM ETC.) PROVIDED THE PRIMARY STRUCTURAL COMPONENT IS SUPPORTED PROPERLY IN ACCORDANCE WITH THE DETAILS IN THE SEALED ENGINEERING PACKAGE.



2 PARALLEL FRAME MEMBER TO SUPER GUTTER
SCALE: 1/8" = 1'-0"

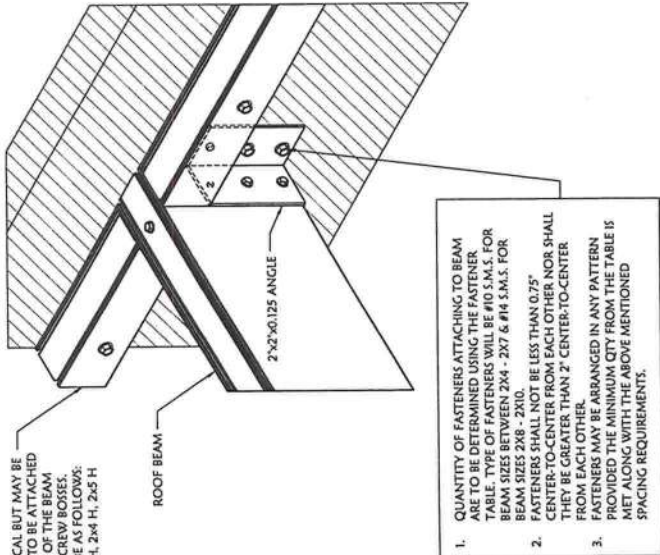


3 STRAIGHT BEAM TO SUPPORT STRUCTURE
SCALE: 1/8" = 1'-0"



4 ANGLE BEAM TO SUPPORT STRUCTURE
SCALE: 1/8" = 1'-0"

- NOTES:
- ACUTE SIDE OF BEAM MAY BE NOTCHED TO ALLOW FOR THE 2x2x0.125" CUSTOM BENT ANGLE BRACKET TO SLIDE IN BETWEEN THE BEAM AND SUPPORT STRUCTURE. THE FABRICATION METHOD TO ACHIEVE THIS WOULD BE TO SIMPLY ATTACH THE ANGLE BRACKET TO THE BEAM PRIOR TO INSTALLING THE BEAM HALF-SHELL. PROVIDED THE ACUTE SIDE OF THE BEAM IS INSTALLED FIRST. THIS WOULD ALLOW FOR THE FASTENERS TO BE INSTALLED INTO THE SUPPORT STRUCTURE PRIOR TO THE INSTALLATION OF THE OBVERSE SIDE OF THE BEAM.
 - IF THE FABRICATION METHOD SHOWN HERE CANNOT BE ACHIEVED, THEN A SECONDARY 2x2x0.125" ANGLE MUST BE INSTALLED BENEATH THE BEAM. TYPE AND QTY OF FASTENERS SHOULD REFERENCE THE ROW LABELED 2x2 H IN THE "FASTENER REQUIREMENTS" TABLE.
 - A CUSTOM BENT 2x2x0.125" ANGLE MUST ALWAYS BE INSTALLED ON THE OBVERSE SIDE OF THE BEAM. 4) ALL OTHER NOTES AND SPECIFICATIONS FROM THE "STRAIGHT BEAM TO SUPPORT STRUCTURE" DETAIL APPLY TO THIS DETAIL.



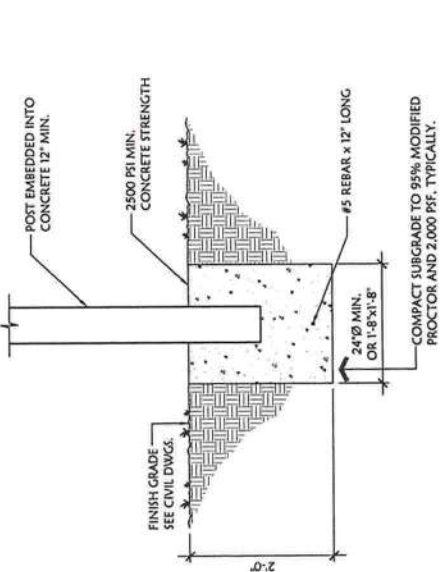
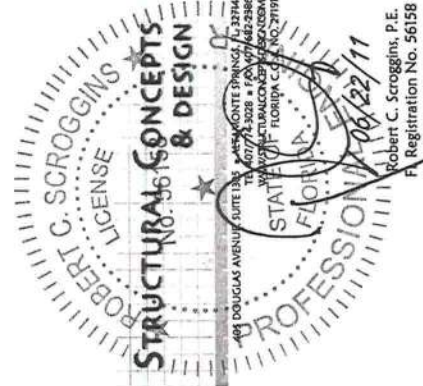
5 ROOF PURLIN TO SUPPORT STRUCTURE
SCALE: 1/8" = 1'-0"

FASTENERS TO BEAM		FASTENERS TO CMU		FASTENERS TO WOOD	
UPRIGHT SIZE	#10 S.M.S.	1/4" Ø TAPCONS	3/8" Ø TAPCONS	#10 WOOD SCREW	#14 WOOD SCREW
2x2 H	2	1	1	2	1
2x3 H	3	1	1	3	1
2x4 H	4	1	1	4	2
2x4 S.M.B.	4	1	1	4	2
2x5 S.M.B.	5	2	1	5	3
2x6 S.M.B.	6	3	2	6	4
2x7 S.M.B.	7	4	2	7	5
2x8 S.M.B.	8	4	3	8	6
2x9 S.M.B.	9	5	4	9	7
2x10 S.M.B.	10	6	5	10	8
2x12 S.M.B.	N	N	N	N	N
		MIN. EMBEDMENT DEPTH (INCHES)			

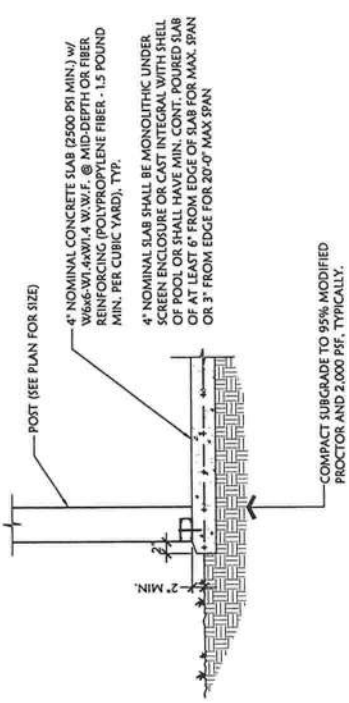
DATE:	06/22/11	APPROVED BY:	RCS	CHECKED BY:	RCS	DRAWN BY:	TLW	JOB NO. : #11-034
REV.		DATE		DESCRIPTION				

S-2.6

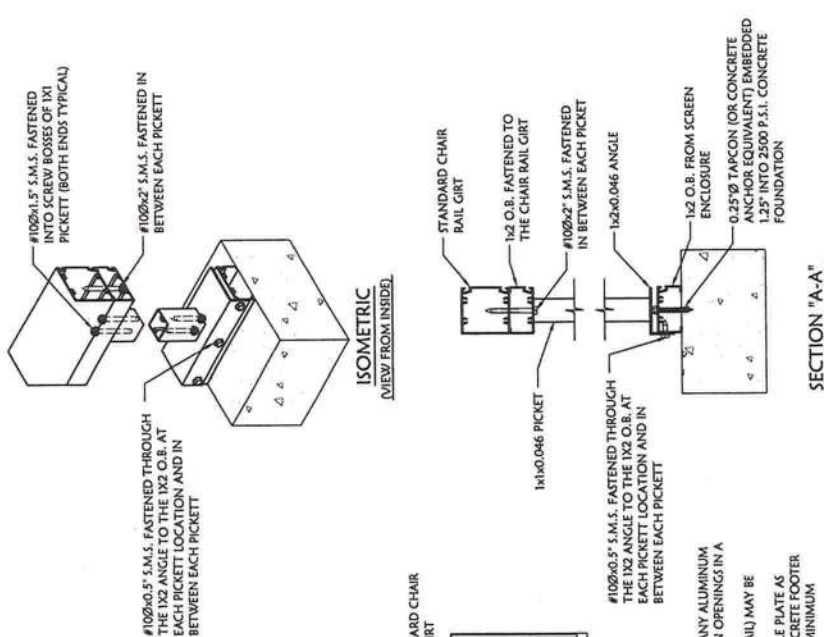
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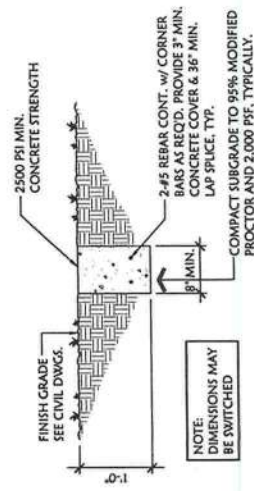
3 TYPICAL ISOLATED FOOTING
S-2.6 SCALE 1/4"



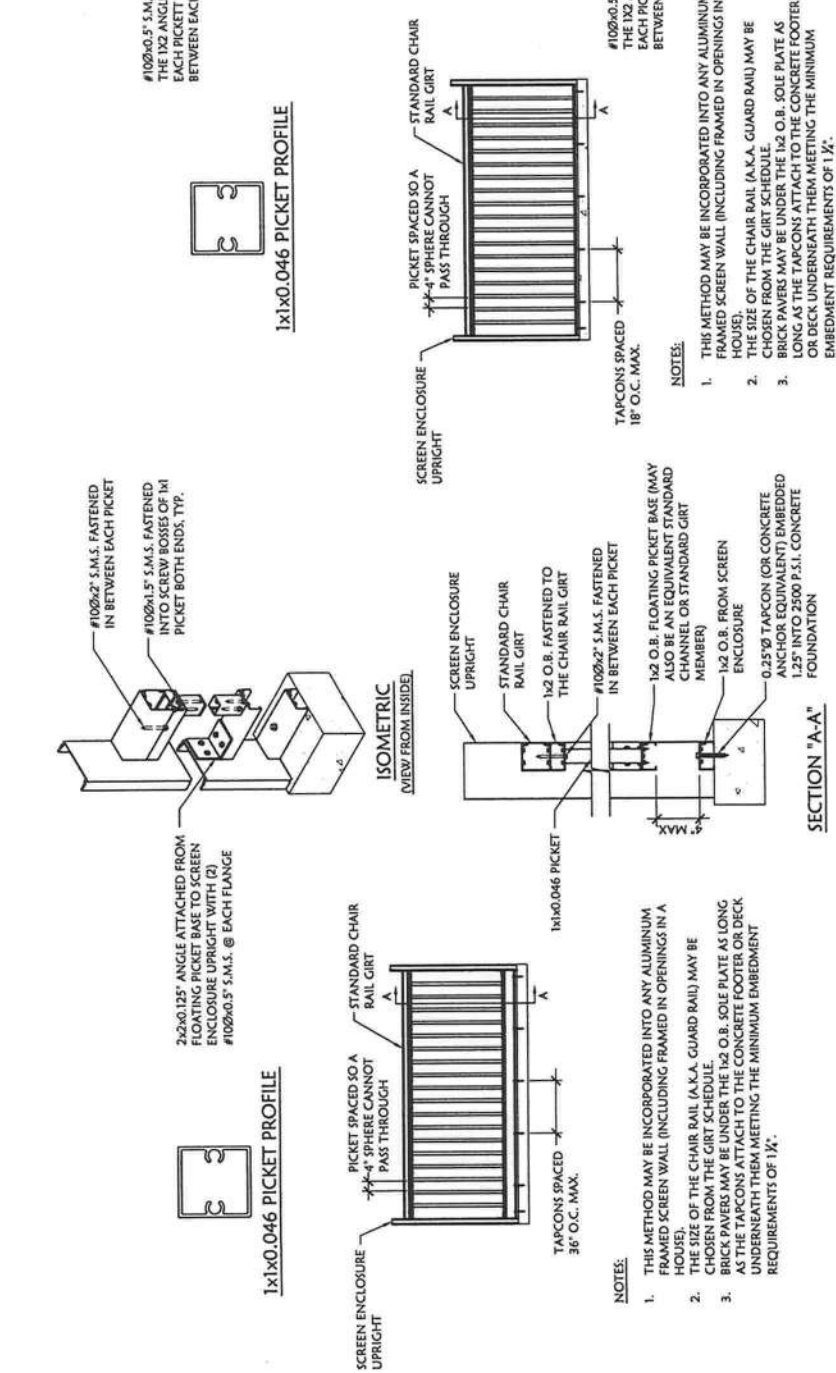
4 POST/CONCRETE SLAB DETAIL



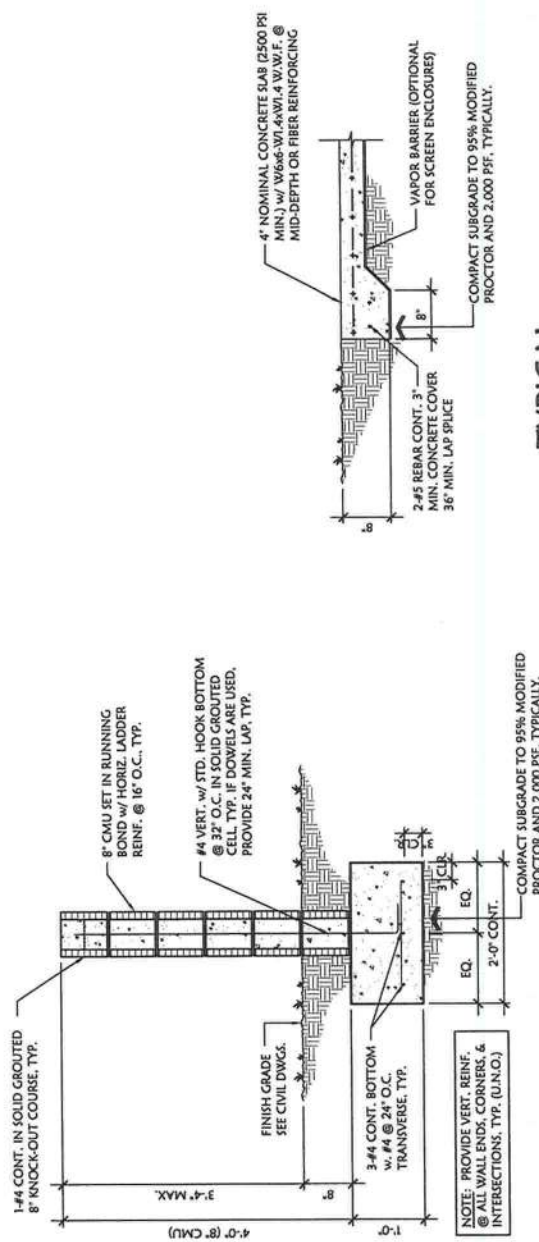
RETRO-FIT PICKET INTO
SCREEN WALL (1x2 ANGLE BASE)



7
5-2.6



RETRO-FIT PICKET INTO SCREEN WALL (FLOATING PICKET BASE)

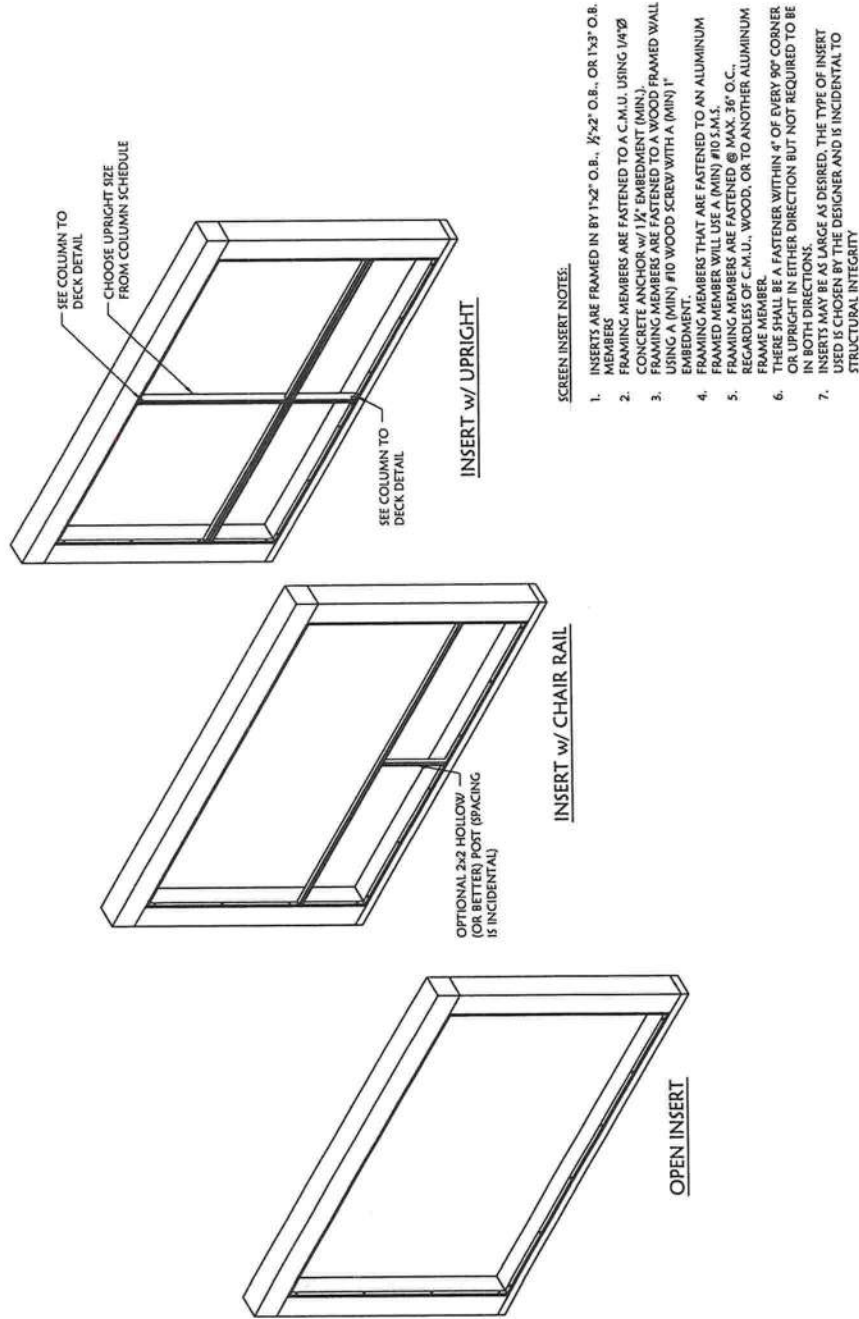
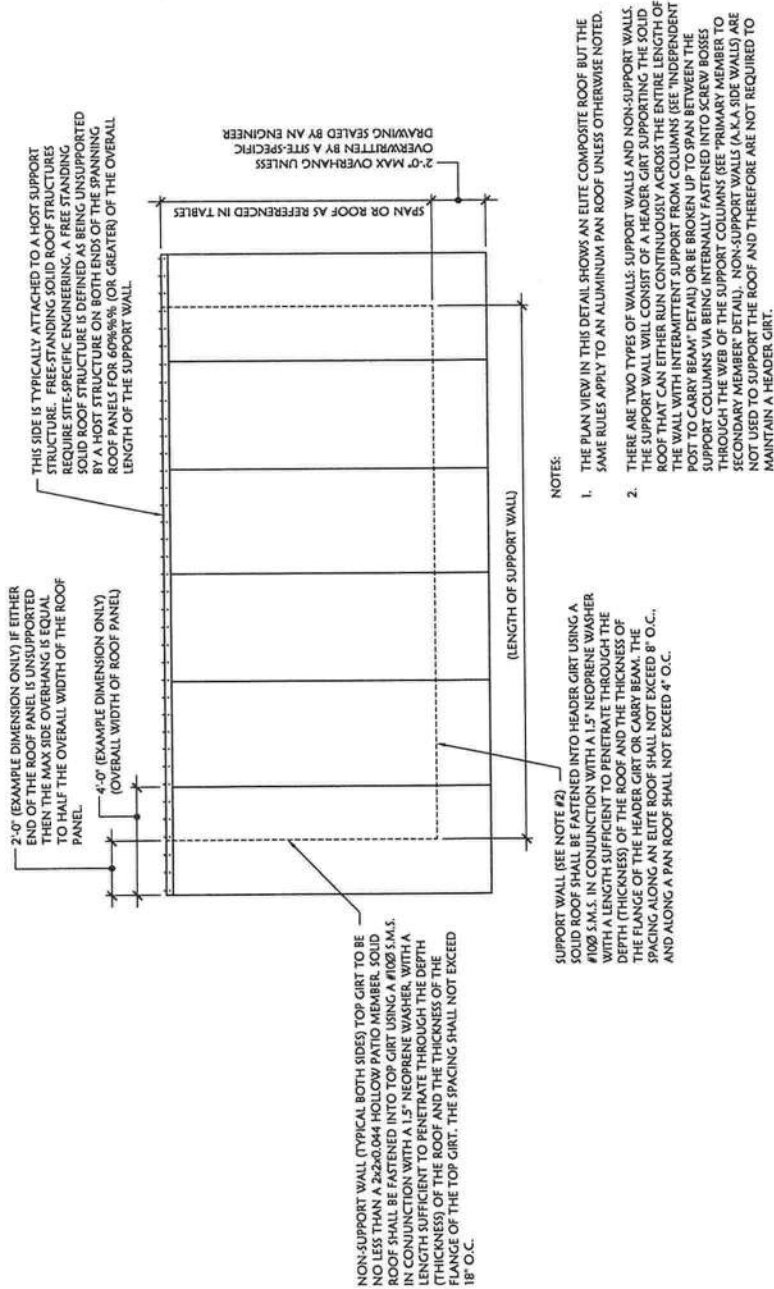


6 TURNDOWN SLAB FOOTING

SCALE $N' = 1'-0"$
(MAX. POOL ENCLOSURE ROOF SPAN OF 50'-0")

1
S-2.6

5 SECTION @ CMU WALL
SCALE: $\frac{3}{4}" = 1'-0"$
S-2.6



1	SOLID ALUMINUM ROOF PLAN
S-2.7	N.T.S.

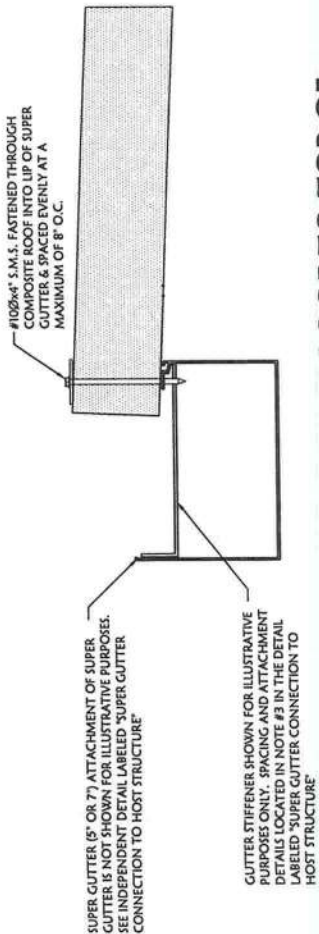
ALUMINUM PAN (3" RISE) SPAN TABLE			
PAN TYPE	3"x12"x0.024"	3"x12"x0.030"	3"x12"x0.050"
	EFFECTIVE SPAN (FT.)		
100	11.0	11.9	15.1
110	10.8	11.7	13.7
120	9.8	10.9	12.8
123	9.5	10.8	12.6
130	9.2	10.5	12.2

BEAM SIZE	CARRY BEAM/HEADER GIRT SCHEDULE FOR COMPOSITE ROOFS ONLY																	
	COMP. ROOF SPAN		4	5	6	7	8	EFFECTIVE SPAN (F.T.)					9	10	11	12	14	16
2x2 H	7.6	7.1	6.5	6.0	5.8	5.6	5.4	5.2	5.0	4.6	4.3	4.0						
2x3 H	10.7	9.9	9.1	8.4	8.2	7.8	7.5	7.3	6.9	6.4	6.0	5.6						
2x4 H	11.6	10.7	9.9	9.1	8.9	8.5	8.2	7.9	7.5	7.0	6.5	6.1						
2x5 H	14.4	13.4	12.5	12.0	11.4	11.1	10.6	10.3	9.9	9.1	8.6	8.1						
2x6 SMB	12.4	11.6	10.9	10.2	9.5	9.0	8.6	8.2	7.8	7.2	6.7	6.3						
2x6 SMB	15.4	13.2	13.5	12.5	11.7	11.0	10.5	10.0	9.5	8.9	8.3	7.8						
2x6 SMB	18.0	16.6	15.1	13.9	13.1	12.5	11.7	11.2	10.6	9.9	9.2	8.8						
2x7 SMB	20.1	17.9	16.4	15.2	14.1	13.4	12.7	12.1	11.6	10.7	10.0	9.4						
2x8 SMB	25.5	23.6	22.3	21.2	20.2	19.6	18.8	18.1	17.2	15.9	14.9	14.0						
2x9 SMB	30.8	25.9	24.5	23.3	22.1	21.0	19.8	18.9	18.0	16.8	15.6	14.8						
2x10 SMB	34.0	32.4	30.4	28.9	27.1	26.7	25.7	25.0	24.2	23.0	21.9	20.9						

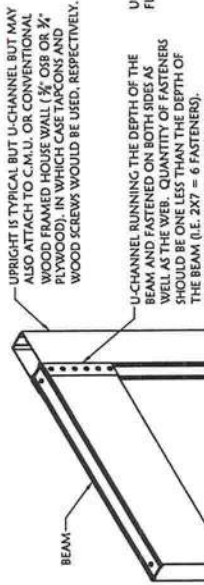
ELITE ALUMINUM CORPORATION COMPOSITE ROOF SPAN TABLE (#1 CORE DENSITY FOAM)						FLORIDA PRODUCT APPROVAL #F7641-R11	
ROOF & SKIN THICKNESS	3"x48"x0.024"	3"x48"x0.030"	4"x48"x0.024"	4"x48"x0.030"	6"x48"x0.024"	6"x48"x0.030"	
100 B	21.1"	24.9"	23.1"	26.7"	28.7"	31.3"	
110 C, 110 B	19.5"	22.9"	21.3"	24.5"	26.5"	30.6"	
110 C, 120 B	18.2"	21.1"	19.7"	22.6"	24.6"	28.3"	
120 C, 130 B	15.6"	19.3"	18.2"	20.1"	22.6"	26.8"	
130 C, 140 B	12.7"	15.0"	14.0"	16.3"	17.9"	20.2"	

ELITE ALUMINUM CORPORATION ROOF SPAN TABLE (#2 CORE DESIGN FOAM)		[FLORIDA PRODUCT APPROVAL #F7518R.1]	
ROOF & SKIN THICKNESS	3"x48"x0.024"	4"x48"x0.024"	6"x48"x0.024"
100 B	23.1"	27.2"	29.3"
100 C, 110 B	23.2"	24.11"	26.11"
110 C, 120 B	19.7"	23.2"	25.1"
120 C, 130 B	18.1"	19.11"	22.9"
130 C, 140 B	14.0"	16.3"	17.8"
140 C		15.3"	16.3"
WIND ZONE			
A & CATEGORY			
			6"x48"x0.030"
			36.4"
			33.5"
			31.1"
			28.3"
			26.3"
			22.1"

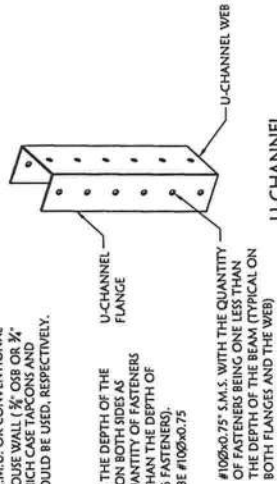
NOTE: THE ELITE ROOF SPAN TABLES WERE PRODUCED IN ACCORDANCE WITH THE ALLOWABLE LOADS GIVEN IN THE FLORIDA PRODUCT APPROVAL OF THE ELITE ALUMINUM CORPORATION'S COMPOSITE ROOF PANEL. THE FLORIDA PRODUCT APPROVAL NUMBER FOR THIS ROOF PANEL PRODUCT IS FL-#7561-R1.



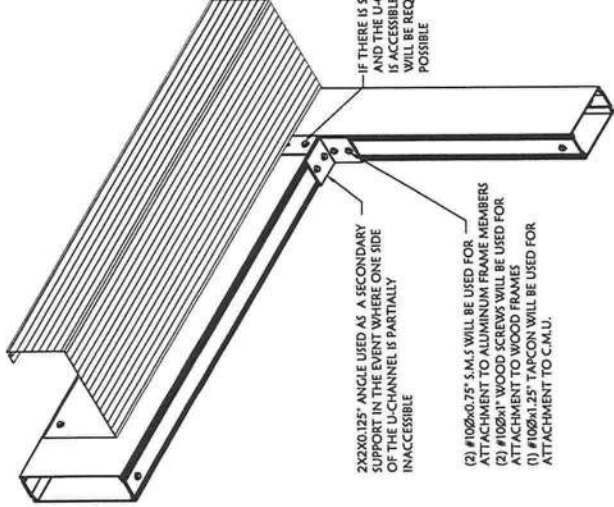
3 COMPOSITE ROOF TO TOP OF
SUPER GUTTER CONNECTION



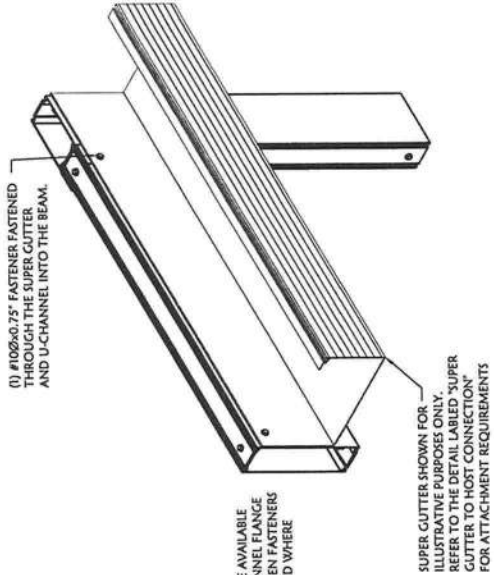
STANDARD BEAM TO U-CHANNEL CONNECTION
(SHOWN FROM ISOMETRIC TOP)



U-CHANNEL
(ISOMETRIC FOR CLARITY)



BEAM TO U-CHANNEL w/ GUTTER
(SHOWN FROM ISOMETRIC BOTTOM)



BEAM TO U-CHANNEL w/ GUTTER
(SHOWN FROM ISOMETRIC TOP)

1 BEAM TO U-CHANNEL CONNECTION

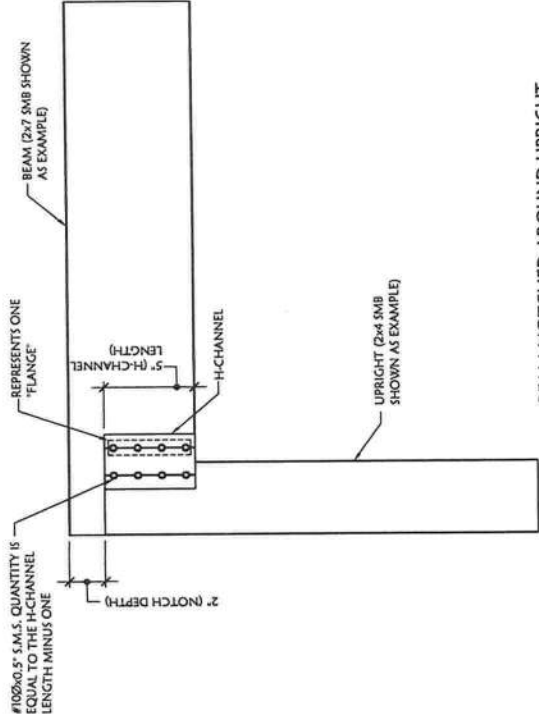
N.T.S.

S-2.9

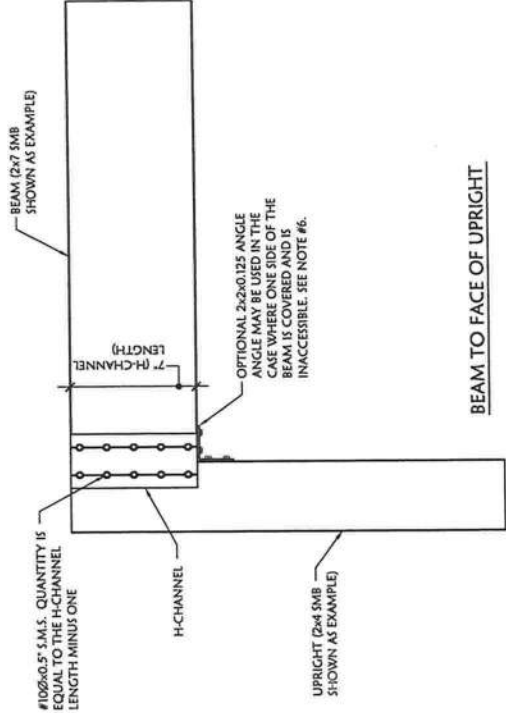
2 BEAM TO UPRIGHT (H-CHANNEL) CONNECTION

N.T.S.

S-2.9



BEAM NOTCHED AROUND UPRIGHT



BEAM TO FACE OF UPRIGHT

NOTES:

- H-CHANNEL LENGTH WILL BE EQUAL TO THE BEAM LENGTH MINUS THE NOTCH DEPTH.
- KNEE BRACES MAY BE USED IN ADDITION TO THIS CONNECTION BUT ARE OPTIONAL. FOR INFORMATION ABOUT A KNEE BRACE CONNECTION, PLEASE SEE THE DETAIL LABELED "KNEE BRACE CONNECTION".
- QUANTITY OF SCREWS ON EACH FLANGE MUST BE EQUAL TO THE H-CHANNEL LENGTH MINUS ONE (AS SHOWN IN THE DETAIL).
- FASTENERS IN H-CHANNEL MAY BE #140x0.5" ALSO.
- ANY COMBINATION OF FRAME MEMBERS FOR THE UPRIGHT AND BEAM MUST BE PROVIDED THEY ARE IN THE BEAM SCHEDULE AND UPRIGHT SCHEDULE RESPECTIVELY.
- H-CHANNEL CONFIGURATION AND FRAME NOTCH SHOWN IS IN A VERTICAL VECTOR WITH THE BEAM BEING NOTCHED. THE VECTOR MAY ALSO BE HORIZONTAL WITH THE UPRIGHT NOTCHED ONLY IF THE UPRIGHT DEPTH IS LARGER THAN THE BEAM DEPTH.
- AN OPTIONAL 2x2x0.125 ANGLE MAY BE USED IN CASES WHERE ONE SIDE OF THE BEAM IS INACCESSIBLE. SEE NOTE #6 IN THE DETAIL BELOW LABELED "BEAM TO FACE OF UPRIGHT".

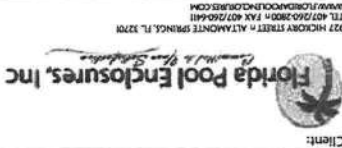
NOTES:

- KNEE BRACES MAY BE USED IN ADDITION TO THIS CONNECTION BUT ARE OPTIONAL. FOR INFORMATION ABOUT A KNEE BRACE CONNECTION, PLEASE SEE THE DETAIL LABELED "KNEE BRACE CONNECTION".
- QUANTITY OF SCREWS ON EACH FLANGE MUST BE EQUAL TO THE H-CHANNEL LENGTH MINUS ONE (AS SHOWN IN THE DETAIL).
- FASTENERS IN H-CHANNEL MAY BE #140x0.5" ALSO.
- ANY COMBINATION OF FRAME MEMBERS FOR THE UPRIGHT AND BEAM MAY BE USED PROVIDED THEY ARE IN THE BEAM SCHEDULE AND UPRIGHT SCHEDULE RESPECTIVELY.
- THE CONFIGURATION SHOWN IS THE BEAM BUTTING INTO THE UPRIGHT WITH THE FRAME MEMBERS "TIGHTLY" BEING DRIVEN BY THE BEAM. IF THE CONFIGURATION MAY BE SWITCHED TO HAVE THE UPRIGHT BUTTING INTO THE BOTTOM OF THE BEAM AND THE H-CHANNEL "LENGTH" BEING DRIVEN BY THE UPRIGHT DEPTH.
- THE 2x2x0.125 ANGLE IS USED IN LIEU OF ONE INACCESSIBLE SIDE OF BEAM. (2) #100x0.75 FASTENERS SHOULD BE USED ON EACH FLANGE OF THE ANGLE BRACKET. IF THE INACCESSIBLE SIDE IS ONLY PARTIALLY COVERED, THEN FASTENERS SHOULD BE INSTALLED WHERE POSSIBLE.



Robert C. Scroggins, P.E.
FL Registration No. 56158

Residential Pool Screen Enclosure
Project: _____, Florida

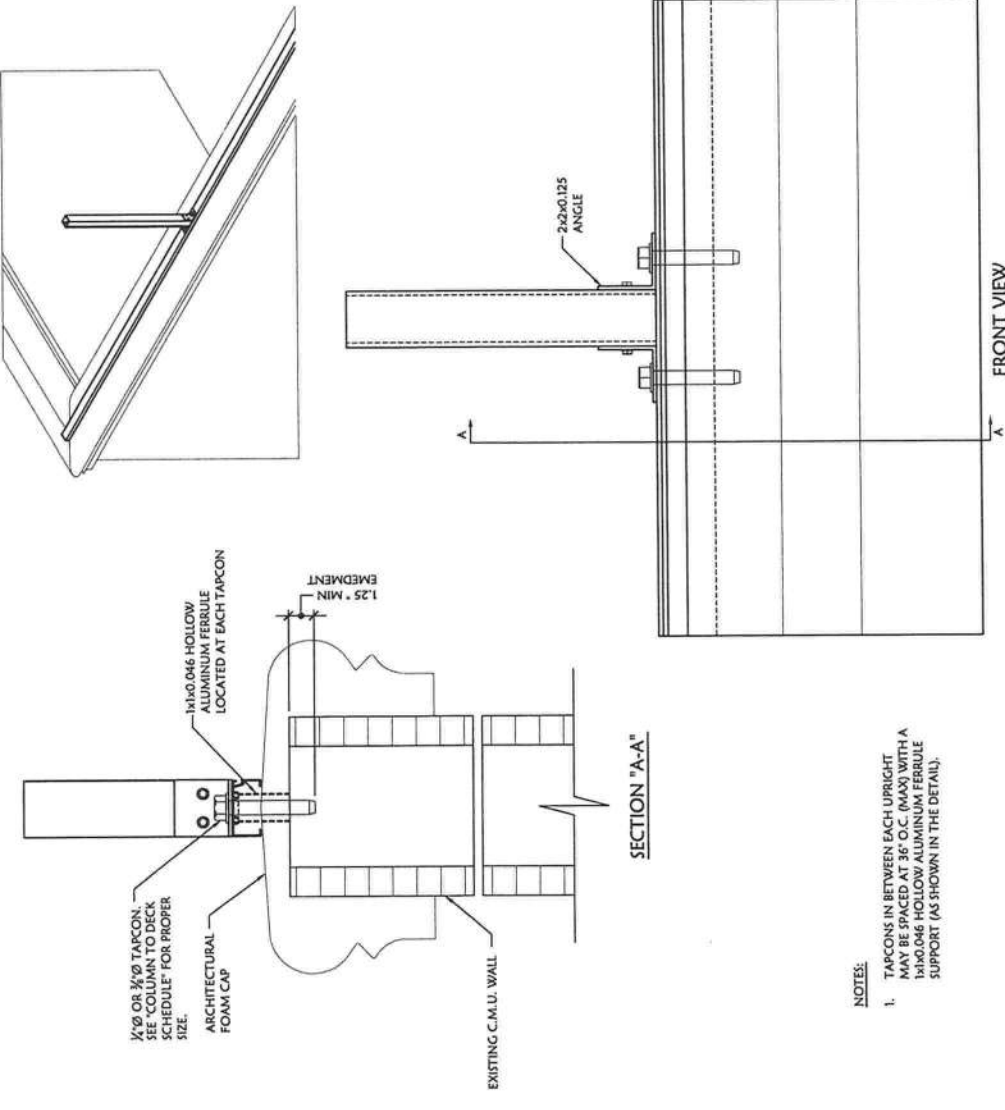


REV.	DATE	DESCRIPTION

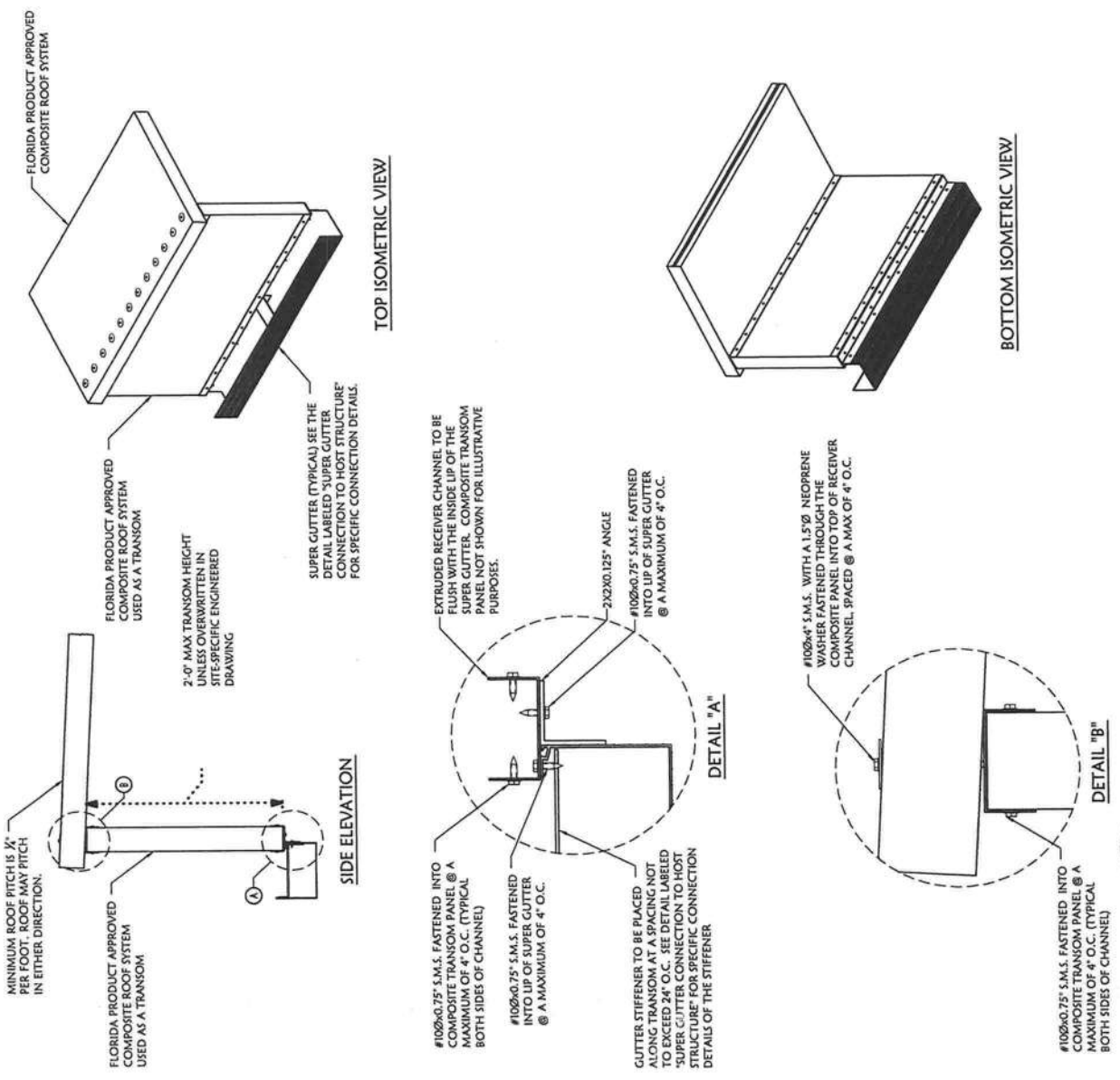
JOB NO. :	#11-034
DRAWN BY:	TLW
CHECKED BY:	RC5
APPROVED BY:	RC5
DATE:	06/22/11
SHEET	

S-2.9

To the best of the Design Engineer's knowledge, the plans and specifications for this project comply with the applicable minimum building codes as determined by the local authority in accordance with the Florida Statutes.



1 SCREEN ENCLOSURE BASE ATTACHMENT TO FOAM CAPPED WALL
S-2.10 N.T.S.



2 COMPOSITE PANEL TRANSOM DETAIL
S-2.10 N.T.S.



To the best of the Design Engineer's knowledge, the plans and specifications for this project comply with the applicable minimum building codes as determined by the local authority in accordance with the Florida Statutes.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permitee)

Contractor's License Number SCC056689
Columbia County
Competency Card Number 442 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 1st day of July 2011.

Personally known ✓ or Produced Identification _____


State of Florida Notary Signature (For the Contractor)

SEAL



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp

Inst: 201112010061 Date: 7/5/2011 Time: 10:21 AM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1217 P: 972

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lots 35+36 Spring Hollow RD OFB 820-1064
a) Street (job) Address: 650 NW Spring Hollow Blvd Lake City, FL 32055
2. General description of improvements: Pool Enclosure
3. Owner Information
a) Name and address: Webb, Barry T
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: owner
4. Contractor Information
a) Name and address: Mike DelgHoz 289 NW Corinth Dr Lake City FL
b) Telephone No.: 386-754-8678 Fax No. (Opt.):
5. Surety Information
a) Name and address: N/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address: N/A
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address:
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr LC
b) Telephone No.: 386-754-8678 Fax No. (Opt.):
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Barry T. Webb
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Barry T Webb
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 16th day of June, 20 11, by:
as (type of authority, e.g. officer, trustee, attorney fact) for (name of party on behalf of whom instrument was executed).

Personally Known OR Produced Identification ☒ Type Photo

Notary Signature Nadean G. McIntosh Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

7:51:06 AM 7/11/2011

Licensee Details

Licensee Information

Name:	SCROGGINS, ROBERT CHRISTOPHER (Primary Name) (DBA Name)
Main Address:	405 DOUGLAS AVE, SUITE 1305 ALTAMONTE SPRINGS Florida 32714
County:	SEMINOLE
License Mailing:	405 DOUGLAS AVENUE SUITE 1305 ALTAMONTE SPRINGS FL 32714
County:	SEMINOLE
LicenseLocation:	

License Information

License Type:	Professional Engineer
Rank:	Prof Engineer
License Number:	56158
Status:	Current,Active
Licensure Date:	07/25/2000
Expires:	02/28/2013

Special Qualifications	Qualification Effective
Building Code Core	
Course Credit	

[View Related License Information](#)

[View License Complaint](#)

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 :: Call.Center@dbpr.state.fl.us :: Customer Contact Center: 850.487.1395

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Columbia County Property Appraiser

DB Last Updated: 5/3/2011

2010 Tax Year

Parcel: 24-3S-16-02273-029

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	WEBB BARRY T		
Mailing Address	650 NW SPRING HOLLOW BLVD LAKE CITY, FL 32055		
Site Address	650 NW SPRING HOLLOW BLVD		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	24316
Land Area	0.000 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOTS 35 & 36 SPRING HOLLOW S/D ORB 820-1064, 830-660, 957-975, WD 1170-2091			



Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	\$32,400.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$111,187.00
XFOB Value	cnt: (5)	\$13,583.00
Total Appraised Value		\$157,170.00
Just Value		\$157,170.00
Class Value		\$0.00
Assessed Value		\$67,079.00
Exempt Value	(code: HX)	\$42,079.00
Total Taxable Value		Cnty: \$25,000 Other: \$25,000 Schl: \$42,079

2011 Working Values

NOTE:
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
4/6/2009	1170/2091	WD	I	Q	01	\$205,000.00
7/8/2002	957/975	WD	I	Q		\$132,000.00
10/30/1996	830/660	WD	I	Q		\$124,500.00
4/12/1996	820/1064	WD	I	Q		\$116,000.00
3/1/1986	588/240	WF	V	U	01	\$11,500.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1987	COMMON BRK (19)	1695	2650	\$100,615.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$3,500.00	0000001.000	0 x 0 x 0	(000.00)
0180	FPLC 1STRY	0	\$2,000.00	0000001.000	0 x 0 x 0	(000.00)
0280	POOL R/CON	1989	\$6,758.00	0000512.000	32 x 16 x 0	(000.00)
0120	CLFENCE 4	1993	\$825.00	0000330.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2009	\$500.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	2 LT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$16,200.00	\$32,400.00

Columbia County Property Appraiser

DB Last Updated: 5/3/2011



24-3S-16-02273-029
WEBB BARRY T
4/6/2009 - \$205,000 - I/Q

NW SPRING HOLLOW BLVD

0 33 66 99 132 165 198 231 264 297 330 ft

Columbia County Property Appraiser
J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 24-3S-16-02273-029 - SINGLE FAM (000100)
LOTS 35 & 36 SPRING HOLLOW S/D ORB 820-1064, 830-660, 957-975, WD 1170-2091
Name: WEBB BARRY T
Site: 650 NW SPRING HOLLOW BLVD
Mail: 650 NW SPRING HOLLOW BLVD
LAKE CITY, FL 32055
Sales 4/6/2009 \$205,000.00 I / Q
Info 7/8/2002 \$132,000.00 I / Q

2010 Certified Values
Land \$32,400.00
Bldg \$111,187.00
Assd \$67,079.00
Exmpt \$42,079.00
Taxbl Cnty: \$25,000
Other: \$25,000 | Schl: \$42,079

NOTES:

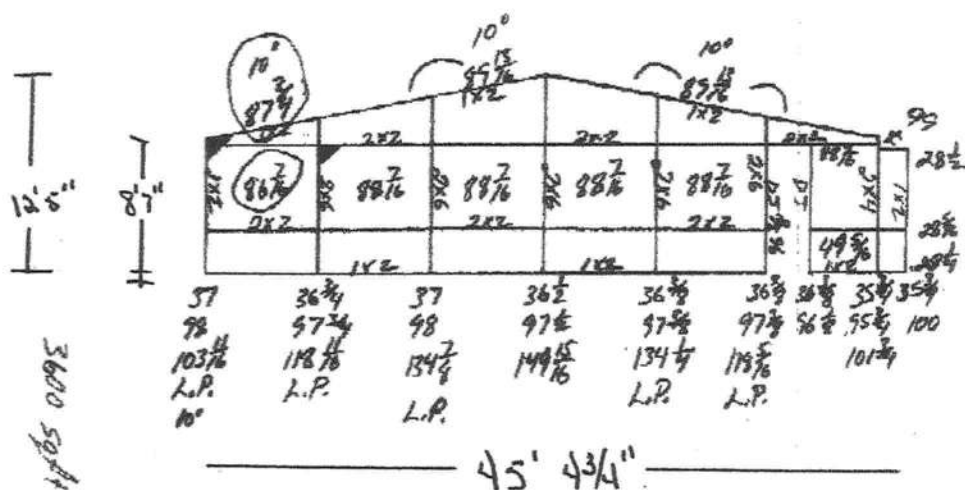
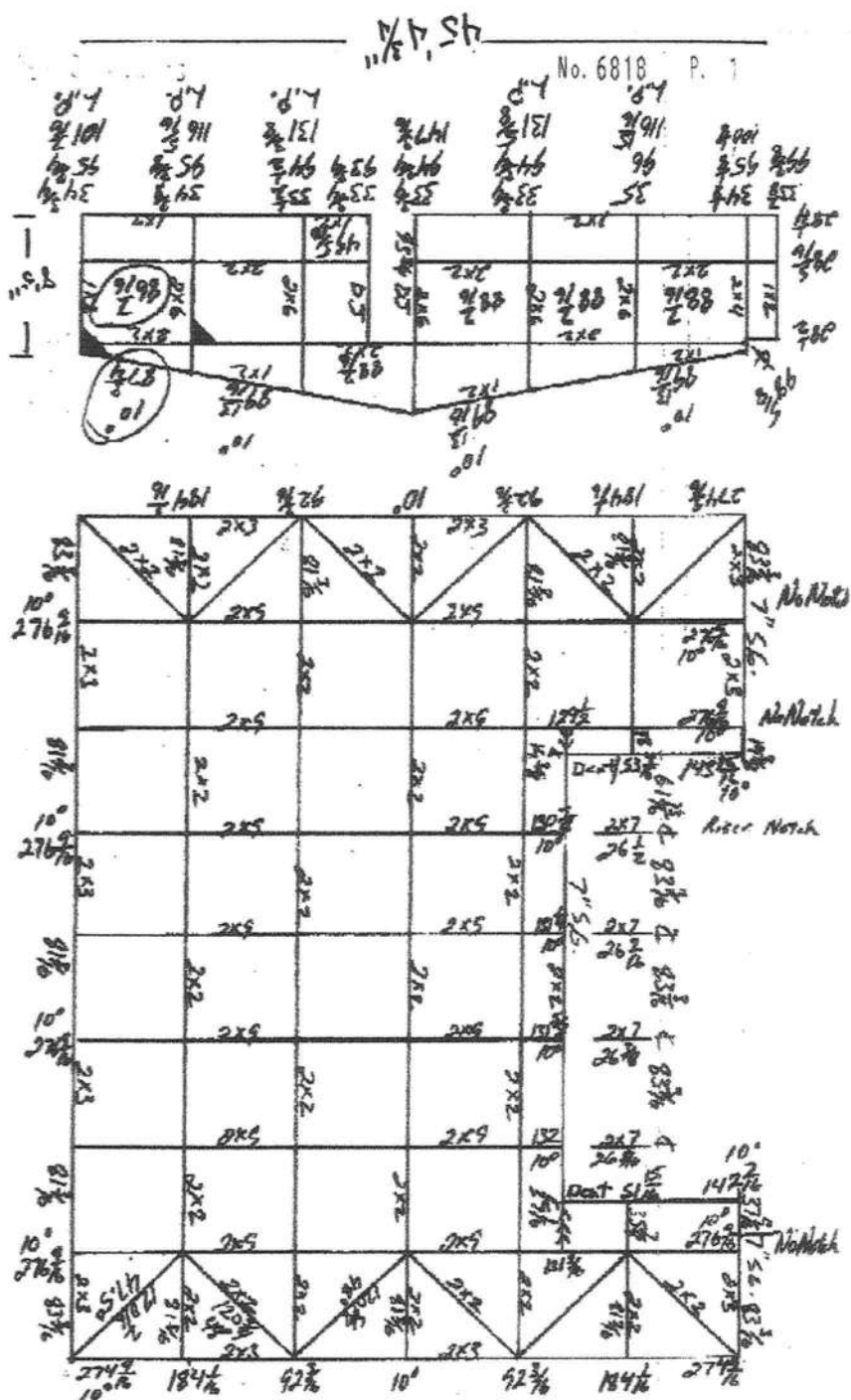
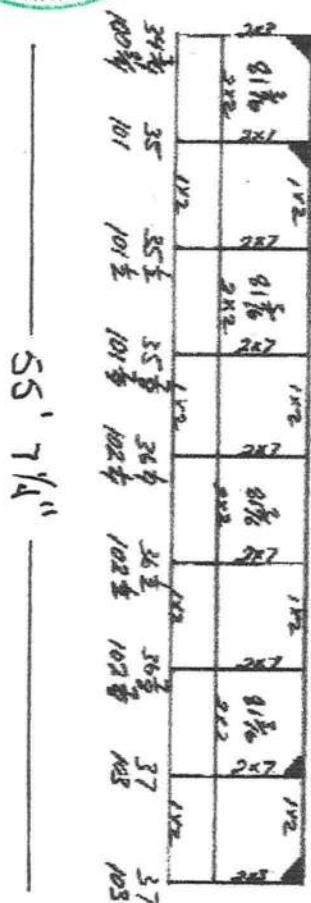
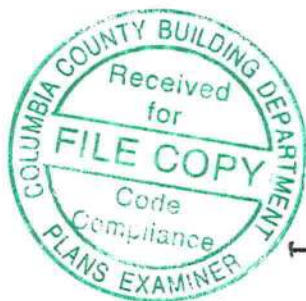


powered by:
GrizzlyLogic.com

This information, GIS Map Updated: 5/3/2011, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

ttp://g2.columbia.floridapa.com/GIS/Print_Map.asp?pjboiibchhjbnligcafceelbjemnolkjkmgaagmmfmfbecpamheeeegnckegjmdhccpli... 6/10/2011

Webb



CK# 4071-

Columbia County Building Permit Application

Current
442 ☒

For Office Use Only		Application #	1107-02	Date Received	7/5/11	By	LH	Permit #	29531
Zoning Official	BLK	Date	11 July 2011	Flood Zone	N/A	Land Use	RES. Low Den.	Zoning	RSF-2
FEMA Map #	N/A	Elevation	N/A	MFE	N/A	River	N/A	Plans Examiner	T.C.
Comments		Accessory Use							
☒ NOC	☒ DEH	☐ Deed or PA	☒ Site Plan	☒ State Road Info	☒ Well letter	☒ 911 Sheet	☐ Parent Parcel #		
☐ Dev Permit #		☐ In Floodway		☒ Letter of Auth. from Contractor		☒ F W Comp. letter			
IMPACT FEES:		EMS	Fire	Corr			☒ Sub VF Form		
		Road/Code	School	= TOTAL (Suspended)		☒ App Fee Paid			

Septic Permit No. N/A Fax 386-755-1751

Name Authorized Person Signing Permit Robert McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City, FL 32055

Owners Name Webb, Barry T Phone _____

911 Address 650 NW Spring Hollow Blvd Lake City, FL 32055

Contractors Name Michael DelaHoz Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, F 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 24-35-16-02273-029 Estimated Cost of Construction 12,900.00

Subdivision Name Spring Hollow Lot 35+36 Block _____ Unit _____ Phase _____

Driving Directions Right on Lake Jeffery Rd, Right on Spring Hollow Blvd (Spring Hollow S/D), House is on left at end.

Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage _____ Lot Size 250' x 176'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front 87' Side 73' Side 92' Rear 28'

Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

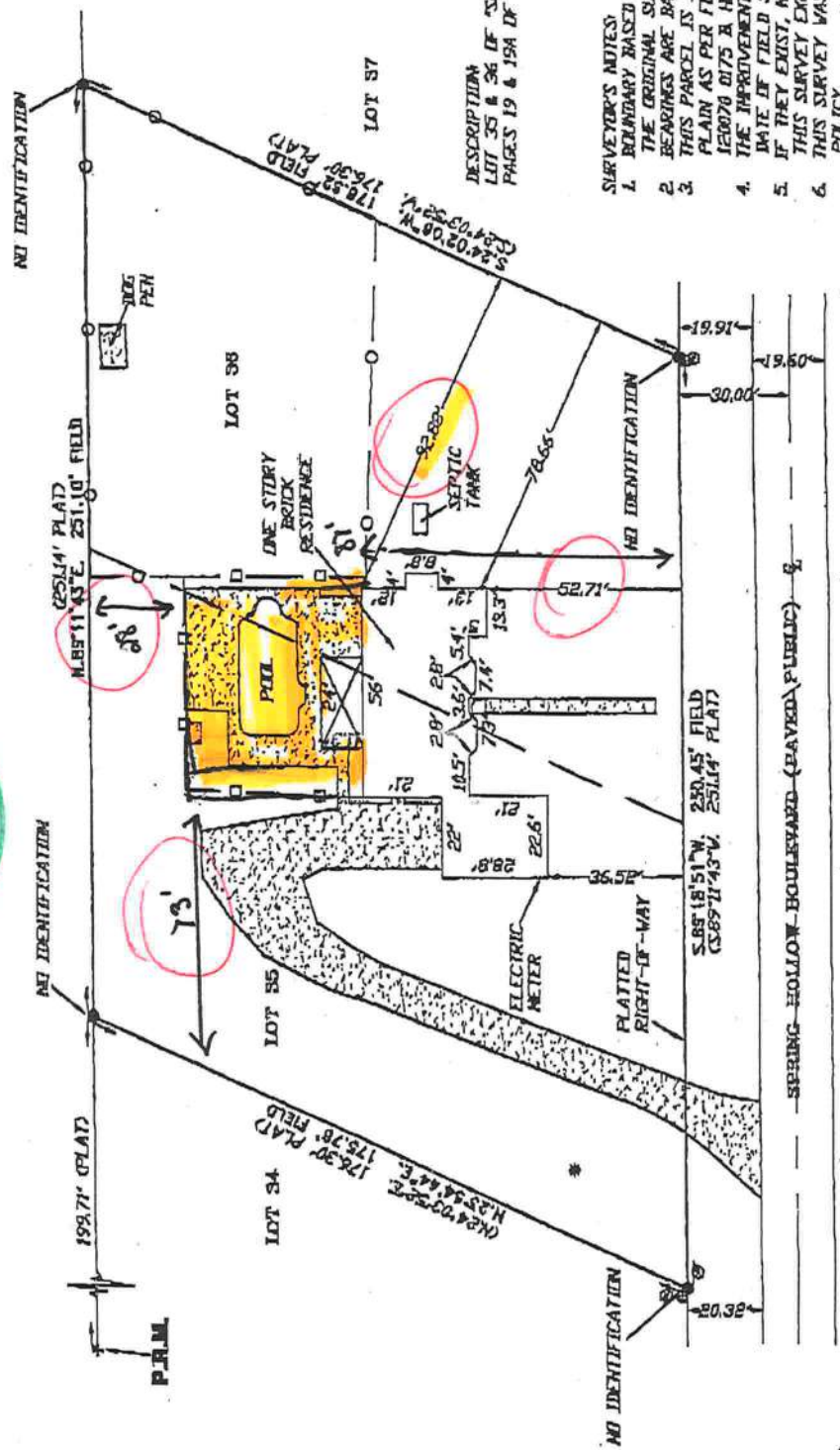
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.** Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

JW spoke w/ BEE on 7.11.11

BOUNDARY SURVEY IN SECTION 24, TOWNSHIP 3 SOUTH,
RANGE 16 EAST,
COLUMBIA COUNTY, FLORIDA.



- SYMBOL LEGEND
- 4"x4" CONCRETE MONUMENT FOUND
 - 4"x4" CONCRETE MONUMENT SET
 - IRON PIPE FLUARD
 - IRON PIN AND CAP SET
 - PUMPER PILE
 - WATER METER
 - CENTERLINE
 - WELL
 - SATELLITE DISH
 - TELEPHONE BOX
 - ELECTRIC LINES
 - WIRE FENCE
 - CHAIN LINK FENCE
 - WOODEN FENCE
- SCALE: 1" = 40'



DESCRIPTION
LOT 35 & 36 OF "SPRING HOLLOW" AS PER PLAT THEREIN RECORDED IN PLAT BOOK 4,
PAGES 19 & 19A OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

- SURVEYOR'S NOTES:
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
 2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
 3. THIS PARCEL IS IN ZONE "2" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 1E0070 D175 & HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREIN.
 4. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREIN.
 5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

CERTIFIED TO:
FRANK & JUDY K. WALLACE
BANK OF AMERICA N.A.
ABSTRACT AND TITLE SERVICES, INC.
CHICAGO TITLE INSURANCE COMPANY

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 1000-2, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SEVEN CHAPTERS, FLORIDA STATUTES.
DATE OF FIELD SURVEY: 07/02/02
DATE OF PREPARATION: 07/02/02
FIELD SURVEY BY: [Signature]
DATE OF PREPARATION: 07/02/02
NOTED: UNLESS IT BEARS THE SURVEYOR'S AND THE ORIGINAL UNDER SEAL OF A FLORENCE LICENSED SURVEYOR AND MAPPING THAT BEARING, SECTION, PLAT OR MAP IS FOR INFORMATION PURPOSES ONLY AND IS NOT VALID.

BRITT SURVEYING
LAND SURVEYORS AND MAPPERS
1428 WEST DONALD STREET LAKE CITY, FLORIDA 32058
(386) 732-7153 FAX (386) 732-5573
WORK ORDER # L-12738

DATE 07/11/2011

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029531

APPLICANT NADEAN MCINTOSH PHONE 386.754.8678
ADDRESS 289 NW CORINTH DRIVE LAKE CITY FL 32055
OWNER BARRY T. WEBB PHONE _____
ADDRESS 650 NW SPRING HOLLOW BLVD. LAKE CITY FL 32701
CONTRACTOR MICHAEL DELAHOZ PHONE 386.754.8678
LOCATION OF PROPERTY LAKE JEFFERY RD,TR TO SPRING HOLLOW BLVD.,TR AND
IT'S ON L @ THE VERY END.
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 12900.00
HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT _____ STORIES _____
FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 24-3S-16-02273-029 SUBDIVISION SPRING HOLLOW
LOT 35/36 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES _____

SCC056689
Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
EXISTING _____ BLK _____ TC _____ N _____
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: ACCESSORY USE. NOC ON FILE.

Check # or Cash 4071

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ Foundation _____ Monolithic _____
date/app. by _____ date/app. by _____ date/app. by _____
Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
date/app. by _____ date/app. by _____ date/app. by _____
Framing _____ Insulation _____
date/app. by _____ date/app. by _____
Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
date/app. by _____ date/app. by _____
Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
date/app. by _____ date/app. by _____ date/app. by _____
Permanent power _____ C.O. Final _____ Culvert _____
date/app. by _____ date/app. by _____ date/app. by _____
Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
date/app. by _____ date/app. by _____ date/app. by _____
Reconnection _____ RV _____ Re-roof _____
date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 65.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ _____ CULVERT FEE \$ _____ **TOTAL FEE** 115.00
INSPECTORS OFFICE _____ CLERKS OFFICE _____

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.