

APPLICANT NADEAN MCINTOSH PHONE 754-8678  
ADDRESS 289 NW CORINTH DR LAKE CITY FL 32055  
OWNER PAUL & MOLLY FRAZIER PHONE 754-8678  
ADDRESS 231 SW SELLERS WAY LAKE CITY FL 32025  
CONTRACTOR MICHAEL DELALTOZ PHONE 754-8678  
LOCATION OF PROPERTY 441S, TL ON SELLERS WAY, 1ST HOUSE ON LEFT

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 8715.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 28-4S-17-08810-001 SUBDIVISION  
LOT BLOCK PHASE UNIT TOTAL ACRES

SCC056689  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING X08-211 CS WR N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 3679

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 95.00  
INSPECTORS OFFICE Arue Tedder CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

## Columbia County Building Permit Application

CIC# 3679

For Office Use Only Application # 0806-41 Date Received 6/23/08 By GT Permit # 27118  
Zoning Official aka Date 6/25/08 Flood Zone --- FEMA Map # --- Zoning A-3  
Land Use A-3 Elevation --- MFE --- River --- Plans Examiner (WR) Date ---  
Comments ---  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # ---  
☐ Dev Permit # --- ☐ In Floodway ☐ Letter of Authorization from Contractor  
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. --- Fax 386-755-1751  
Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8678  
Address 289 NW Corinth Dr Lake City FL 32055  
Owners Name Frazier, Paul & Molly Phone ---  
911 Address 231 SW Sellers Way Lake City FL 32025  
Contractors Name Michael A Delatoy Phone 386-754-8678  
Address 927 Hickory St Altamonte Springs FL 32701  
Fee Simple Owner Name & Address n/a  
Bonding Co. Name & Address n/a  
Architect/Engineer Name & Address Do Kim & Ass 3300 Henderson Blvd Tampa FL 33684  
Mortgage Lenders Name & Address n/a

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 28-45-17-08810-001 HX Estimated Cost of Construction \$8715.00  
Subdivision Name --- Lot --- Block --- Unit --- Phase ---  
Driving Directions 2 US HWY 441, 1st Street past Oasis lounge on left  
SW Sellers Way, 1st House on left  
Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage 2.7 Lot Size ---  
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height ---  
Actual Distance of Structure from Property Lines - Front 223.6' Side 203' Side 103' Rear 50'  
Number of Stories 1 Heated Floor Area --- Total Floor Area --- Roof Pitch ---

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

left message  
6/26/08

## NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 28-48-17-08810-001 H1

THI: UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Comm SE cor of NW 1/4 of SE 1/4, Runkle 67.53, N 875.73 088671-675  
a) Street (job) Address: 231 SW Sellers Way, Lake City, FL 32025
2. General description of improvements: Pool Enclosure
3. Owner Information  
a) Name and address: Frazier, Paul & Molly 231 SW Sellers Way Lake City FL  
b) Name and address of fee simple titleholder (if other than owner) N/A  
c) Interest in property Owner
4. Contractor Information  
a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City FL  
b) Telephone No.: 386-754-8678 Fax No. (Opt.): 32055
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
6. Lender  
a) Name and address: N/A  
b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: \_\_\_\_\_  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b).  
Florida Statutes:  
a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): Lake City FL 32055
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Paul Frazier  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Paul Frazier  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 17<sup>th</sup> day of June, 2008, by:

\_\_\_\_\_ as \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification ☒ Type Photo

Notary Signature Nadean G. McIntosh Notary Stamp or Seal:



Nadean G. McIntosh  
Commission #00371494  
Expires November 14, 2008  
Bonded Tray Fain - Insurance, Inc. 800-385-7018

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

**Columbia County Property Appraiser**

DB Last Updated: 4/15/2008

Parcel: 28-4S-17-08810-001 HX

**2008 Proposed Values**

Tax Record

Property Card

Interactive GIS Map

Print

**Owner & Property Info**

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Search Result: 16 of 31

Next &gt;&gt;

<b>Owner's Name</b>	FRAZIER PAUL T & MOLLY J		
<b>Site Address</b>	SELLERS		
<b>Mailing Address</b>	231 SW SELLERS WAY LAKE CITY, FL 32025		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	28417.00	<b>Tax District</b>	2
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	2.700 ACRES		
<b>Description</b>	COMM SE COR OF NW1/4 OF SE1/4, RUN W 667.53 FT, N 875.73 FT, NE 28.6 FT FOR POB, CONT NE 384.25 FT, NW 322.54 FT, W 57.34 FT, CONT W 193.7 FT, S 451.90 FT TO POB. ORB 671-675, 826-1488, 840-2208, 840-2210, 953-2414,		

**GIS Aerial****Property & Assessment Values**

<b>Mkt Land Value</b>	cnt: (1)	\$35,640.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$89,675.00
<b>XFOB Value</b>	cnt: (3)	\$9,373.00
<b>Total Appraised Value</b>		\$134,688.00

<b>Just Value</b>	\$134,688.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$103,859.00
<b>Exempt Value</b>	(code: HX) \$25,000.00
<b>Total Taxable Value</b>	\$78,859.00

**Sales History**

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
5/15/2002	953/2414	WD	I	Q	99	\$82,000.00
5/28/1997	840/2210	WD	I	Q		\$95,000.00
8/9/1996	826/1488	WD	I	Q		\$81,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1984	Average (05)	1736	3528	\$89,675.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	0	\$1,600.00	1.000	0 x 0 x 0	(.00)
0280	POOL R/CON	1992	\$7,373.00	512.000	32 x 16 x 0	(.00)
0120	CLFENCE 4	1993	\$400.00	1.000	0 x 0 x 0	(.00)

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	2.700 AC	1.00/1.00/1.00/1.00	\$13,200.00	\$35,640.00

Columbia County Property Appraiser

DB Last Updated: 4/15/2008

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16 of 31

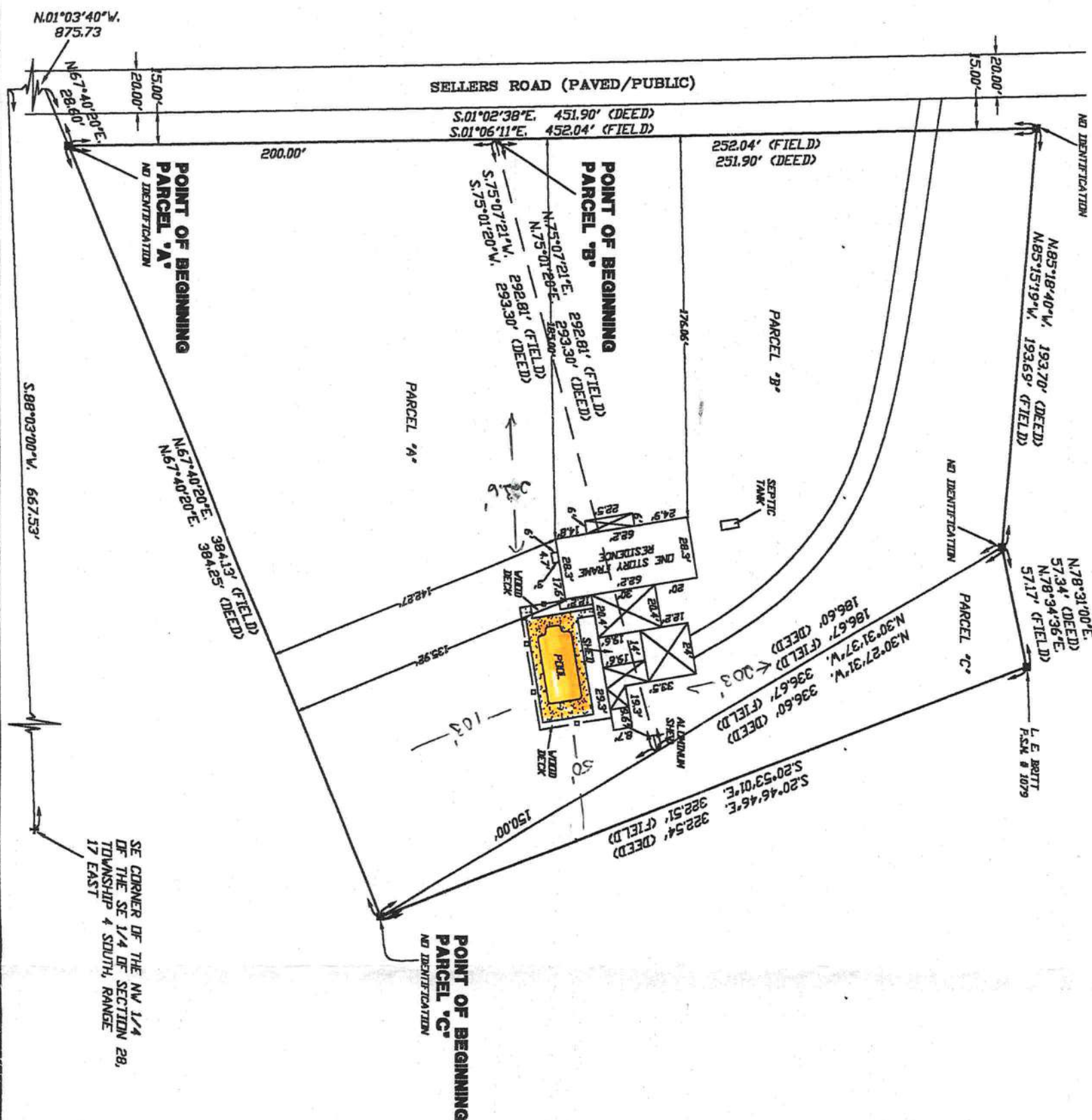
Next &gt;&gt;

NO IDENTIFICATION

N.85°18'40"W. 193.70' (DEED)  
N.85°15'19"W. 193.69' (FIELD)

N.78°31'00"E.  
N.78°34' (DEED)  
N.78°34'36"E.  
57.17' (FIELD)

L. E. BRITT  
P.S.M. # 1075



SYMBOL LEGEND

■	4'x4' CONCRETE MONUMENT FOUND
□	4'x4' CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊗	POWER POLE
▲	WATER METER
Ⓔ	CENTERLINE
*	WELL
⊙	SATELLITE DISH
⊕	TELEPHONE BOX
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—Φ—	CHAIN LINK FENCE
—B—	WOODEN FENCE

ALSO PARCEL "B" BEGIN AT THE SE CORNER OF NW 1/4 OF SE 1/4 OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 17 EAST AND RUN S.88°03'00"W., 667.53 FEET, THENCE N.01°03'40"W., 875.3 FEET, THENCE RUN N.67°40'20"E., 28.60 FEET, MORE OR LESS, TO EAST RIGHT-OF-WAY LINE OF GRADED ROAD, THENCE RUN N.07°14'00"E., 100.00 FEET TO RIGHT-OF-WAY LINE, 2000.00 FEET FOR A POINT OF BEGINNING, THENCE RUN N.75°01'20"E., 253.30 FEET, THENCE RUN N.30°44'00"W., 186.60 FEET, THENCE RUN N.85°18'40"W., 193.70 FEET, THENCE RUN SOUTH, 251.90 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF A PREVIOUS SURVEY BY THIS OFFICE, DATED 05/12/97.
2. BEARINGS ARE BASED ON SAID PREVIOUS SURVEY.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOODED RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0200 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

PAUL & MULLY KRAZIER  
SUN STATE FEDERAL CREDIT UNION  
TITLE OFFICES, LLC  
FIRST AMERICAN TITLE INSURANCE COMPANY

FIELD BOOK: 238 PAGE(S): 73

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

04/26/02	04/30/02
FIELD SURVEY DATE	DRAWING DATE

✓ K. SCOTT BRIDGES, P.S.M.  
CERTIFICATION # 5737

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAN OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



LAND SURVEYORS AND MAPPERS

**(386)752-7163 FAX (386)752-5573**

**WORK ORDER # L-12523**

DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

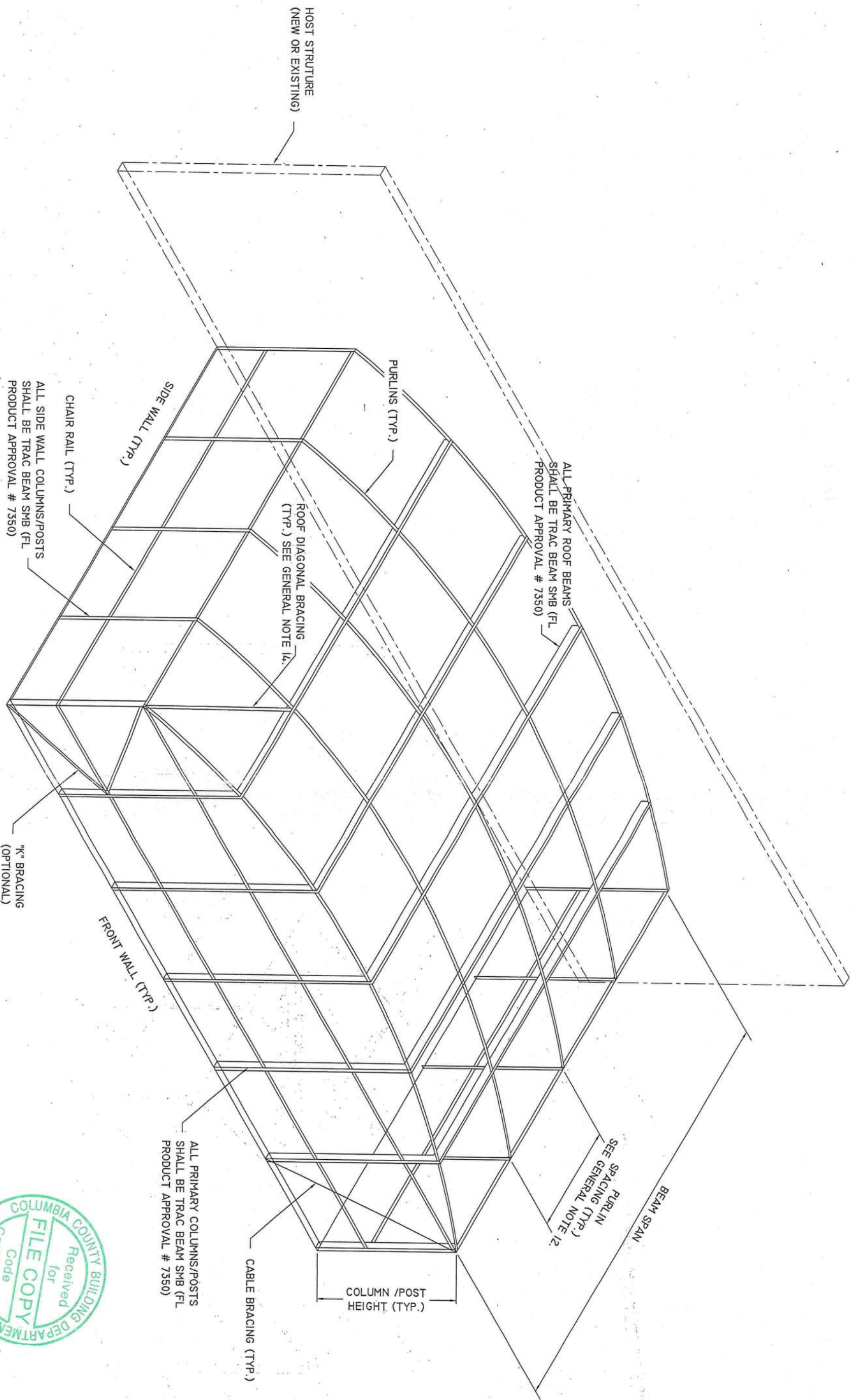
3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev./Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPLICE CONNECTION
10/31 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.  
FLA. LICENSE NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
C/A# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.  
Contractor shall provide detailed layout drawings.



CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DO KIM & ASSOCIATES, LLC  
CA# 26837  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of f'c=2500 psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
  - Clean and scabble all connecting edges.
  - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

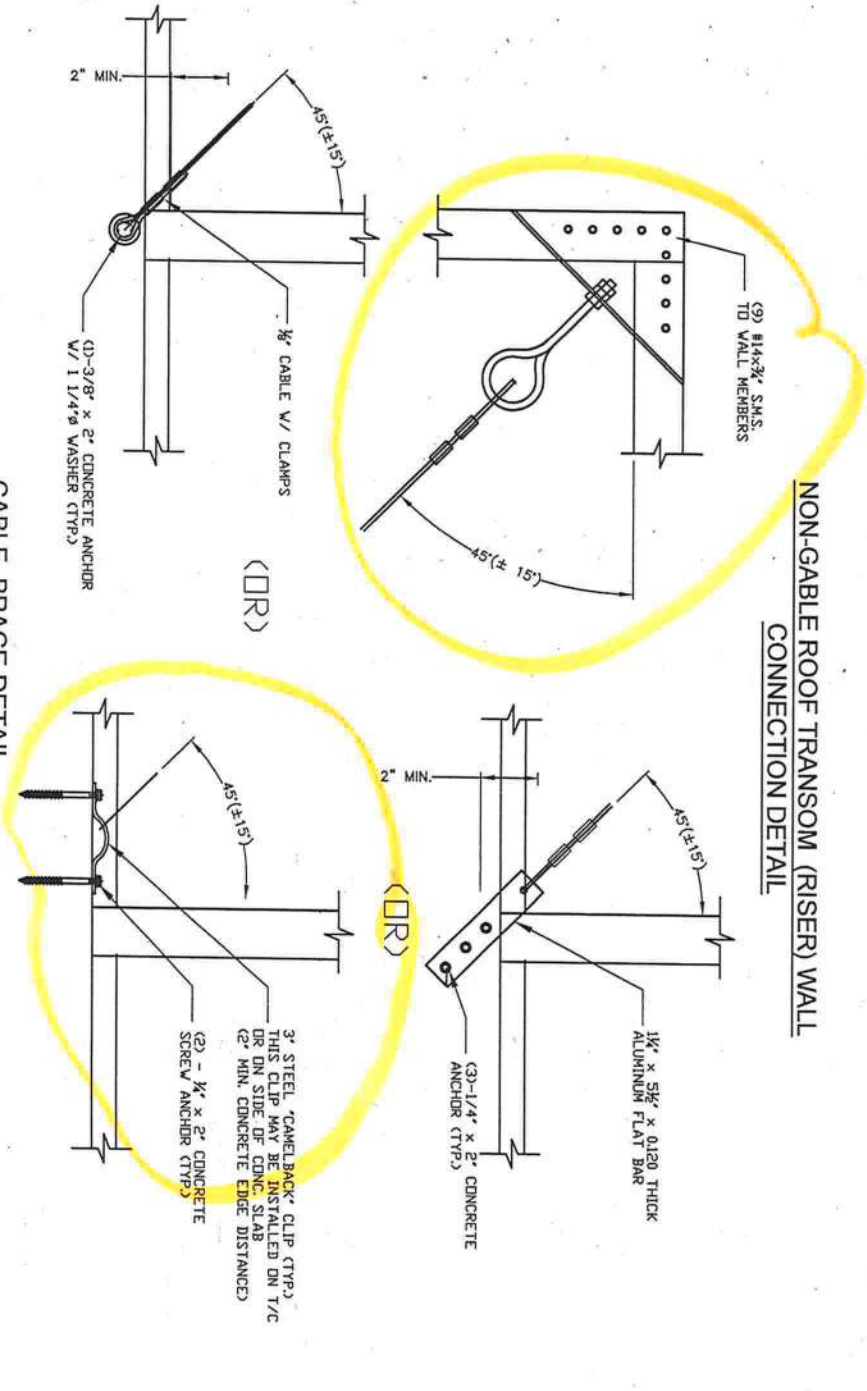
C-1022 Low Carbon Steel SMS & Self-Drilling (TEX) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	5/8"	1 1/2"
#12	0.219	3/4"	1 3/4"
#14 (1 1/4")	0.250	1 1/2"	2 1/8"
- Structure has been designed to meet the 2004, FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust), I=0.77 for screen enclosures. Exposure B. Design wind pressures are from 2004, FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, GCp, of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.

MAXIMUM SPANS FOR CARRIER BEAMS  
(SUPPORTING SCREEN ROOF ONLY)

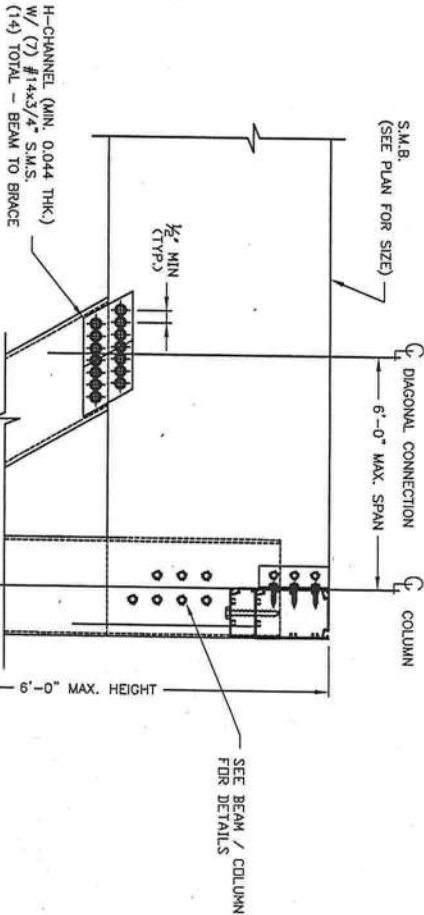
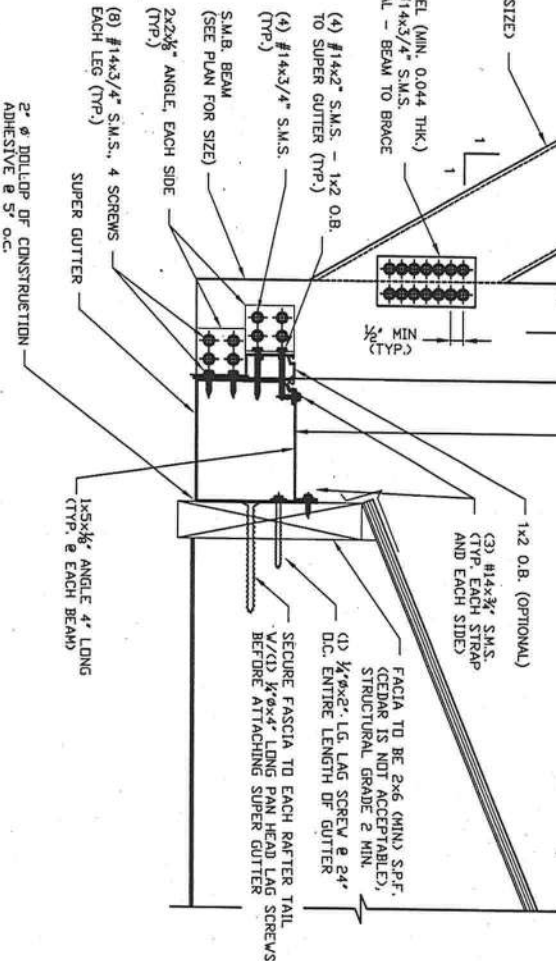
BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	28.2'

Design wind speed up to 120 mph. Exposure B.

Beam Splicing Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size	Beam Splicing Screw @ 24" o.c.	Beam Splicing Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1 1/2"	#8 x 1 1/2"
2" x 5" x 0.050 x 0.116	#8 x 1 1/2"	#8 x 1 1/2"
2" x 6" x 0.050 x 0.120	#10 x 1 3/4"	#10 x 1 3/4"
2" x 7" x 0.055 x 0.120	#10 x 1 3/4"	#10 x 1 3/4"
2" x 8" x 0.072 x 0.224	#12 x 1 3/4"	#12 x 1 3/4"
2" x 9" x 0.072 x 0.224	#12 x 1 3/4"	#12 x 1 3/4"
2" x 9" x 0.082 x 0.306	#14 x 1 3/4"	#14 x 1 3/4"
2" x 10" x 0.092 x 0.389	#14 x 1 3/4"	#14 x 1 3/4"



NON-CABLE ROOF TRANSOM (RISER) WALL  
CONNECTION DETAIL



DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5600  
Fax: (813) 874-5659

Rev/Date Description

9/05	ISSUED
10/01	REVISED DETAILS AS SHOWN
9/7	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

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& ASSOCIATES, LLC  
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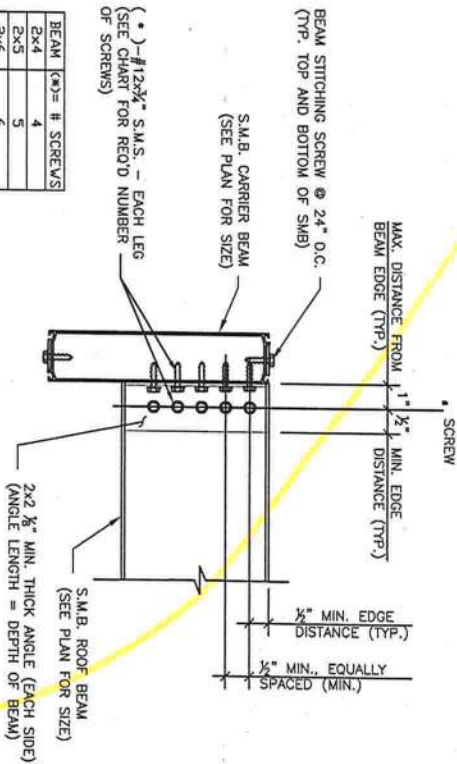
Rev./Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPICE CONNECTION
10/31 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC  
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DRAWN BY:	DVK
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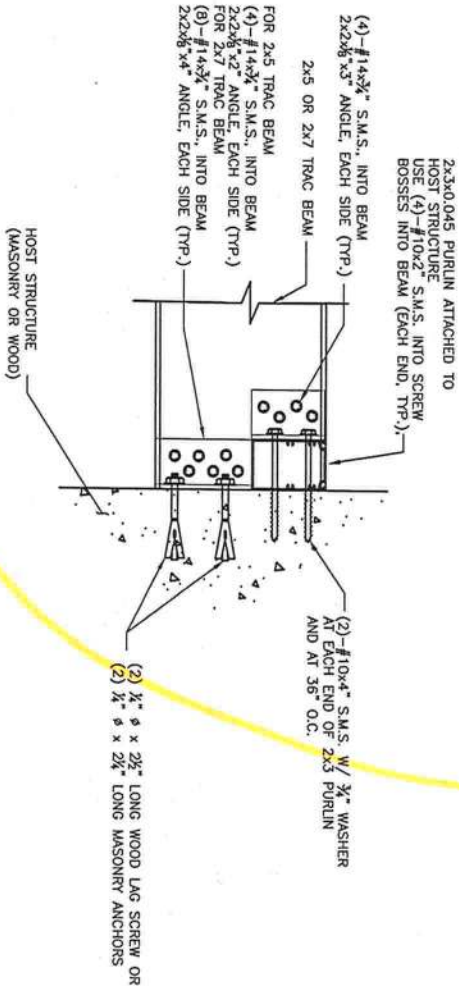
DO KIM, P.E.  
FL REG. NUMBER 49497  
DO KIM & ASSOCIATES, LLC  
C# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684

CARRIER BEAM TO BEAM  
CONNECTION DETAIL

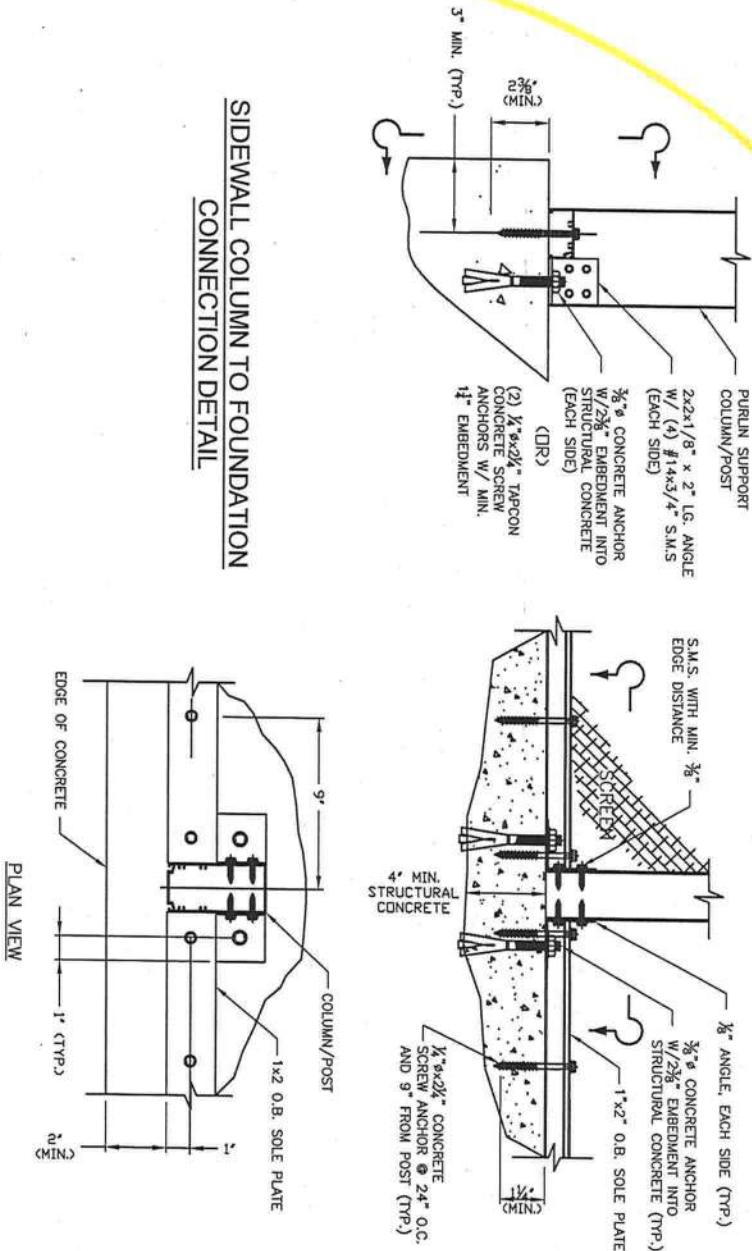


BEAM	(*)= # SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10

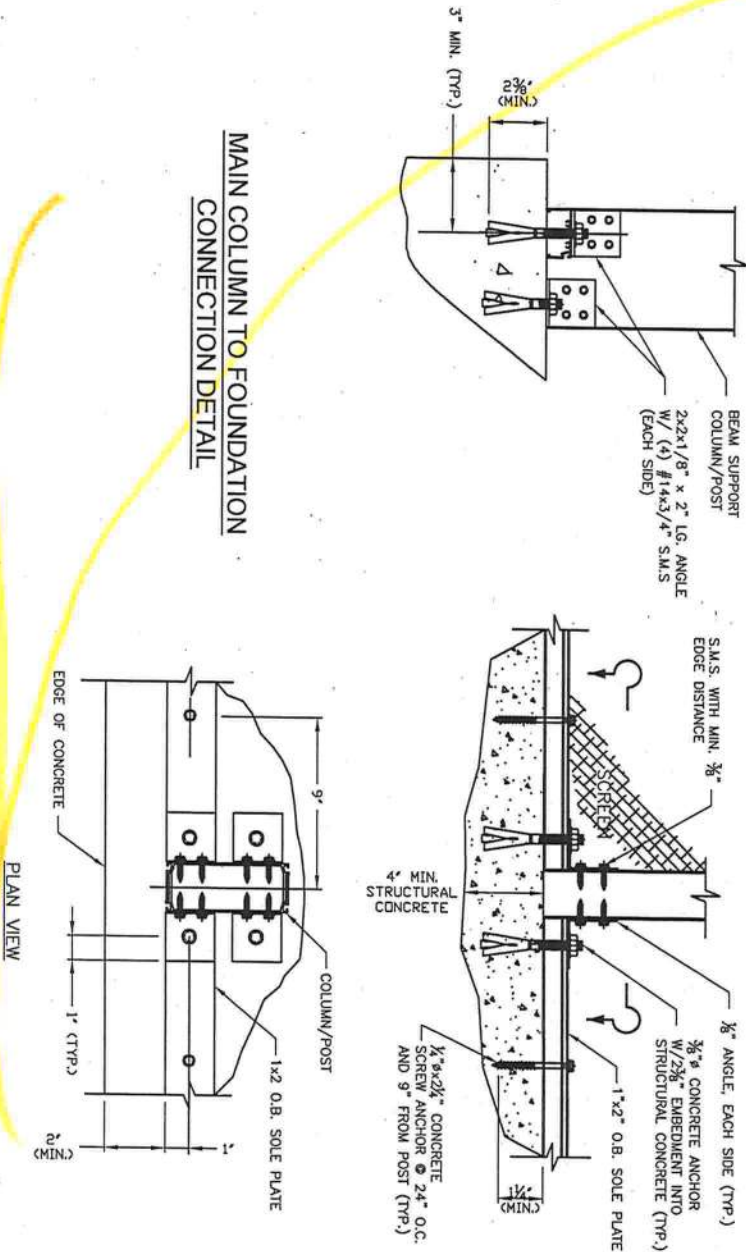
BEAM TO HOST  
STRUCTURE DETAIL



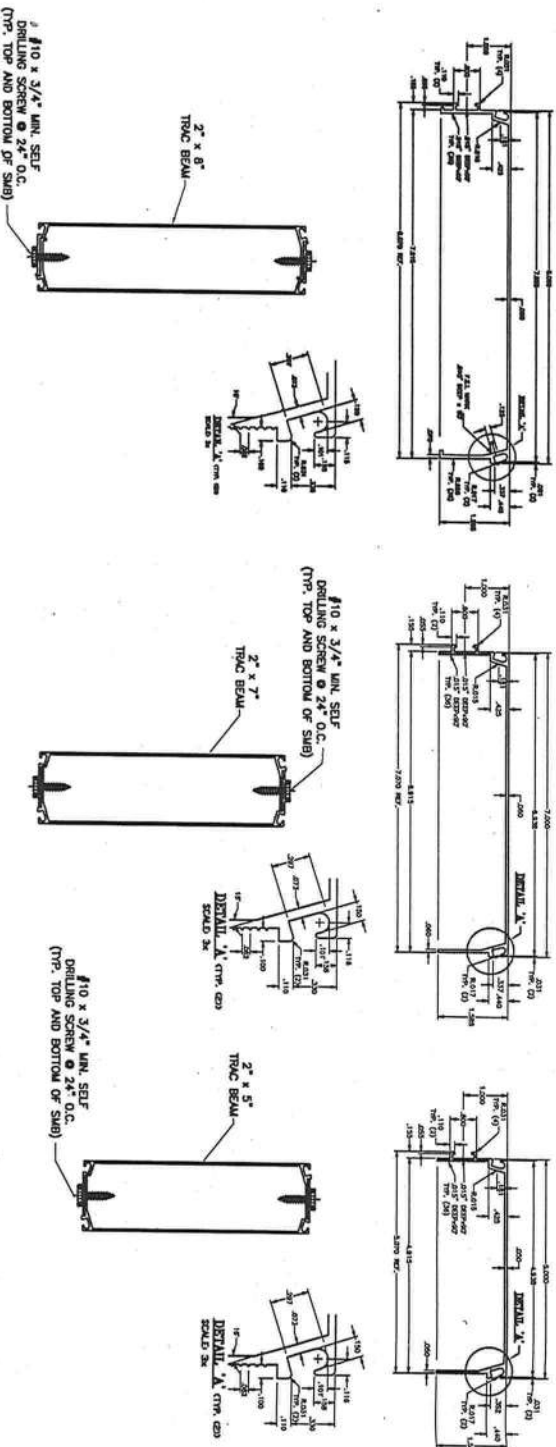
SIDEWALL COLUMN TO FOUNDATION  
CONNECTION DETAIL



MAIN COLUMN TO FOUNDATION  
CONNECTION DETAIL



Pool Enclosure Collective, LLC  
Trac Beam (FL State Product Approval #7350 & #9328)



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
2. Drawings are illustrative purposes only.
3. Toggles developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet well height. For well heights exceeding ten feet, allowable column spans shall be reduced 7% for each five feet increment.
4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
6. Consult a licensed design professional for use of this product information.
7. Maximum allowable deflections limits of L/80 shall be considered by design professional. L/80 in HHVZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TD BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev/Date Description

9/05 ISSUED

9/07 2x8 Trac Added

△

△

CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY: DYK

CHECKED BY: DYK

SCALE: AS SHOWN

DATE: 9/05/06

DO KIM  
3300 HENDERSON BLVD.,  
SUITE 106  
TAMPA, FL 33604

Drawing No. - 060905

SHEET 5 OF 7

DO KIM  
& ASSOCIATES, LLC  
CONSULTING  
STRUCTURAL  
ENGINEERS

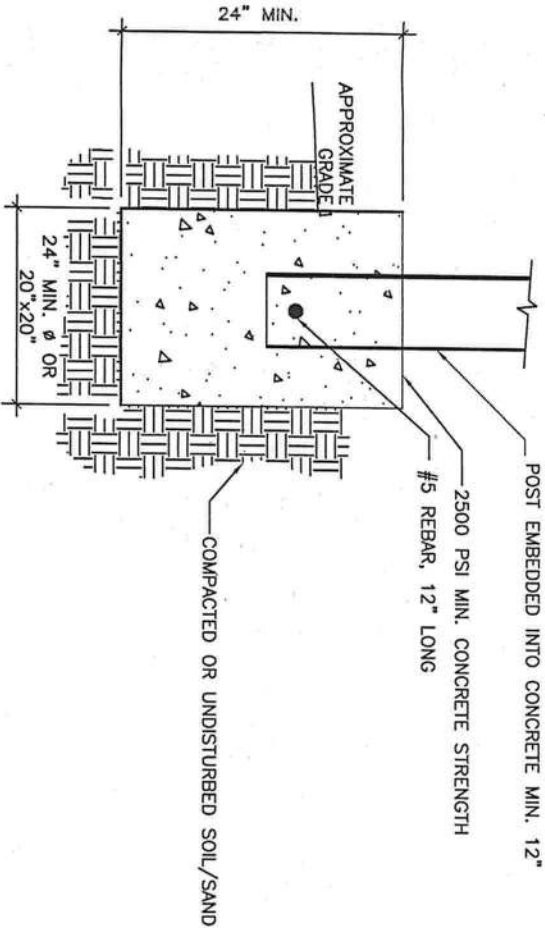
3300 Henderson Blvd., Suite 106  
Tampa, FL 33609  
Tel: (813) 874-5900  
Fax: (813) 874-5959

Rev./Date	Description
905 2006	ISSUED
109 2006	ADDED MANSARD SPLICE CONNECTION
10031 2006	REVISED DETAILS

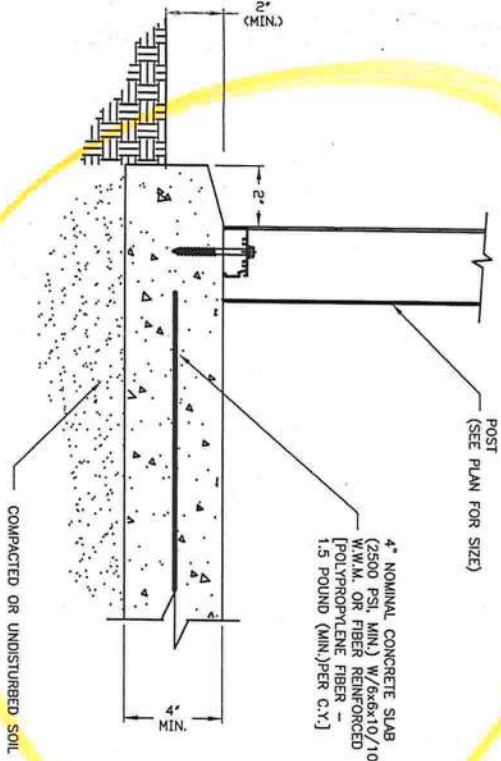
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

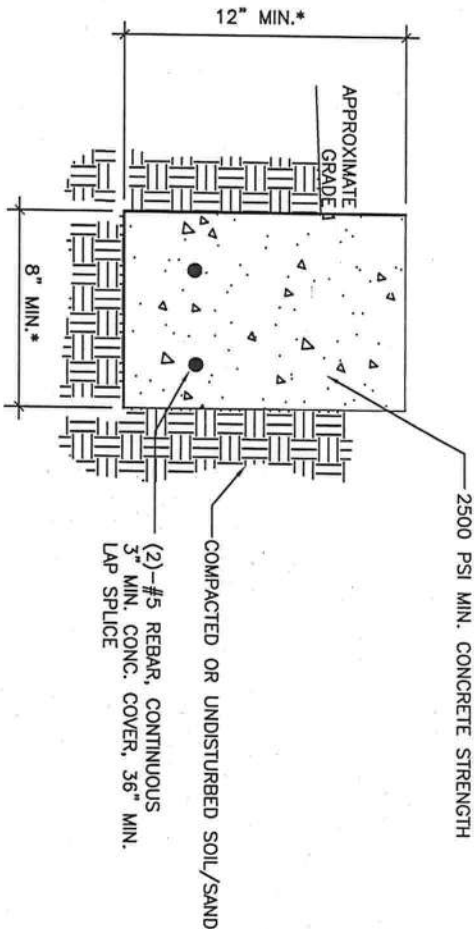
DO KIM & ASSOCIATES, LLC  
CA# 26887  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



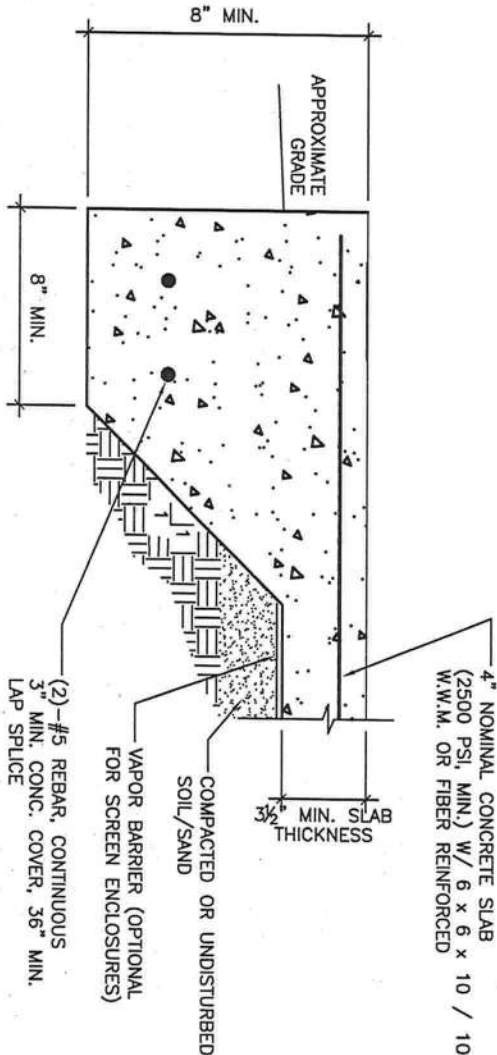
STANDARD TYP. ISOLATED FOOTER



POST / CONCRETE SLAB DETAIL  
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



STANDARD TYP. CONTINUOUS PERIMETER FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



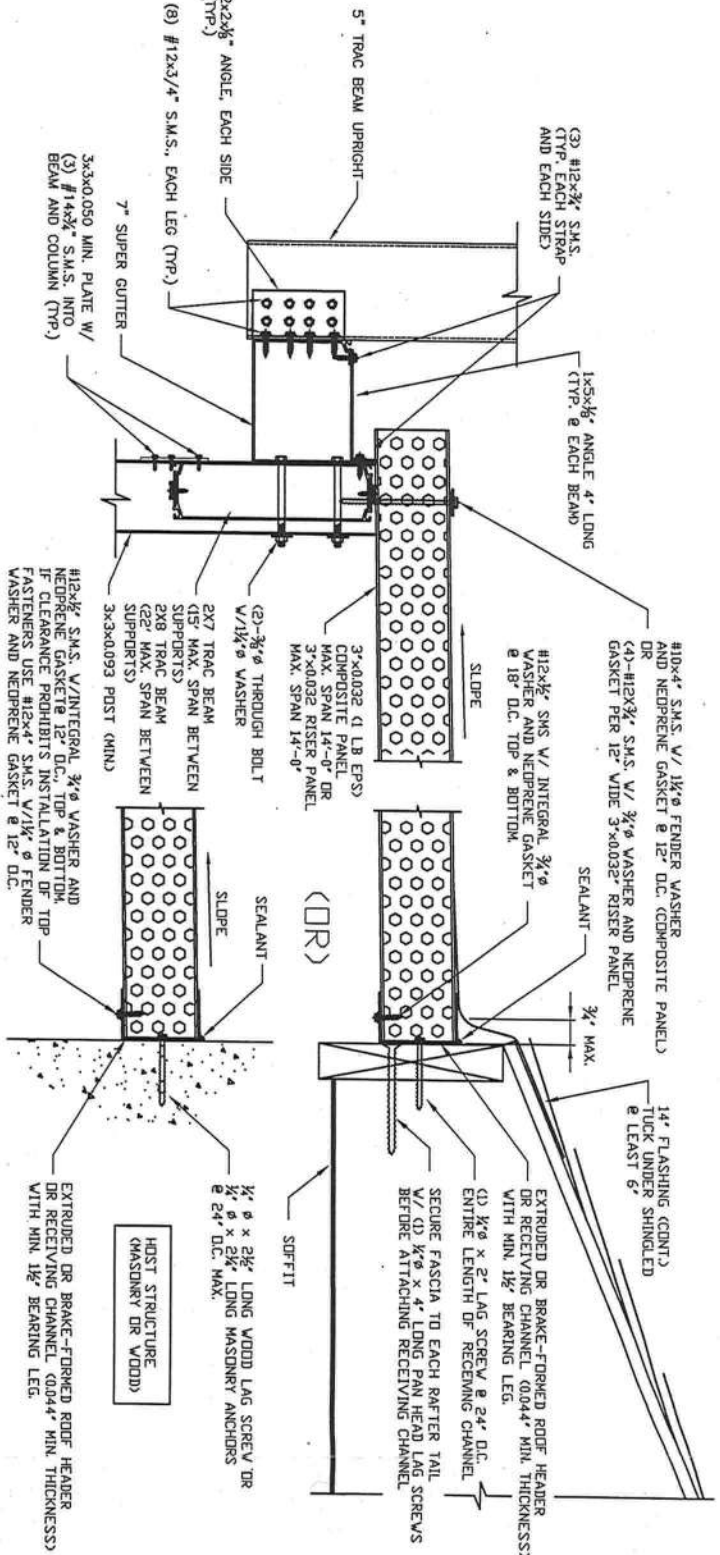
STANDARD TYP. TURNDOWN SLAB FOOTING  
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')

Rev/Date	Description
9/05/2006	ISSUED
10/9/2006	ADDED MANSARD SPICE CONNECTION
10/31/2006	REVISED DETAILS

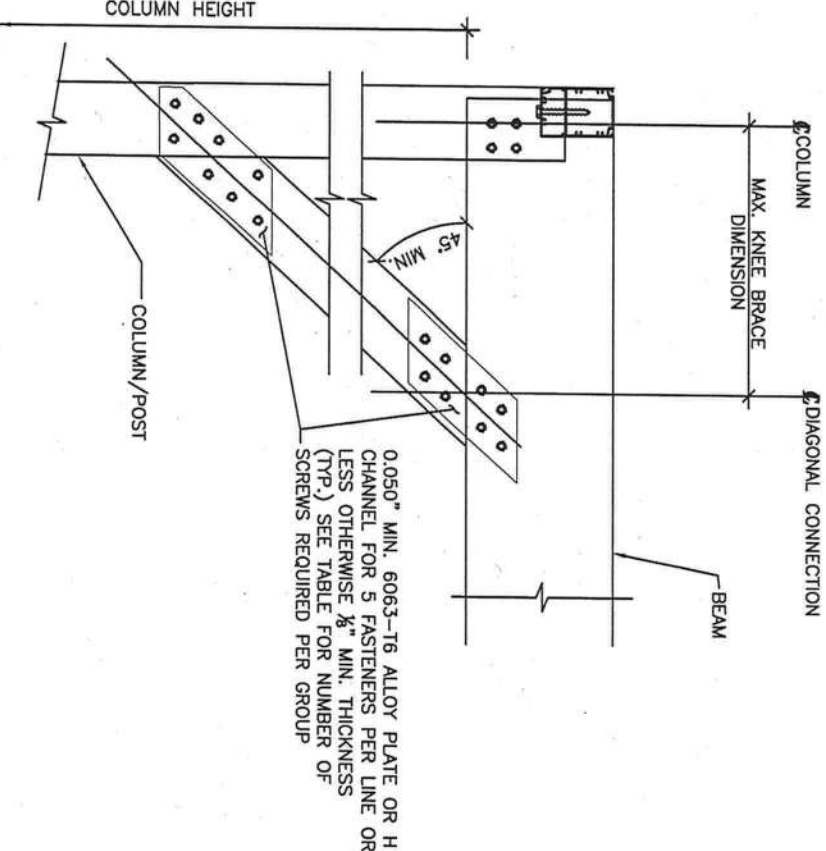
CLIENT: Florida Pool Enclosures, INC  
DESCRIPTION:  
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.  
FLA. REG. NUMBER 49497  
CA# 26887  
DO KIM & ASSOCIATES, LLC  
3300 HENDERSON BLVD.,  
SUITE 106  
Tampa, FL 33684



SCREEN ROOF TO  
PANEL OR COMPOSITE ROOF  
CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x $\frac{3}{2}$ " S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6

MA 16 4155

10 pieces 2x5 x 36  
3 pieces 2x5 x 24  
4 pieces 2x5 x 22'  
4 pieces 2x5 x 20'  
6 pieces 2x5 x 16'  
2-2x4 x 24' Part 10  
9-2x3 x 30'  
10-2x2 x 24'  
14-2x2 x 24'  
3-Duct Joints  
2-Ducts  
8-cables 11'

Bronze

