

DATE 07/22/2004

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022117

APPLICANT EARL SAVAGE/AGENT PHONE \_\_\_\_\_  
 ADDRESS \_\_\_\_\_ FL \_\_\_\_\_  
 OWNER LEON & DAURICE SPENCER PHONE 941.809.3811  
 ADDRESS 2272 SW BRIM STREET LAKE CITY FL 3204  
 CONTRACTOR STEPHEN E. WEEKS PHONE 904.219.9801  
 LOCATION OF PROPERTY 90- TO C-252 TO JAFUS ROAD, L, GO TO STOP SIGN, R, ON BRIM  
100 YARDS ON THE LEFT.

TYPE DEVELOPMENT SFD & UTILITY ESTIMATED COST OF CONSTRUCTION .00  
 HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT .00 STORIES \_\_\_\_\_  
 FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_  
 LAND USE & ZONING A-3 MAX. HEIGHT \_\_\_\_\_  
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
 NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 13-4S-15-00353-004 SUBDIVISION \_\_\_\_\_  
 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 5.04

\_\_\_\_\_ IH0000594 Earl Savage  
 Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor \_\_\_\_\_  
 EXISTING \_\_\_\_\_ 04-0678-N \_\_\_\_\_ BLK \_\_\_\_\_ JDK \_\_\_\_\_ Y \_\_\_\_\_  
 Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: 1 FOOT ABOVE ROAD.  
SEE ATTACHED LETTER OF AUTHORIZATION FROM MR. WEEKS.

Check # or Cash 4783

### FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_  
 M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
 date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ .00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00  
 MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 17.01 WASTE FEE \$ 36.75  
 FLOOD ZONE DEVELOPMENT FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 303.76  
 INSPECTORS OFFICE [Signature] CLERKS OFFICE CA

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION. IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE. PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PREPARED BY  
LEE R. PERRY

WARRANTY DEED

THIS WARRANTY DEED, Made the 21<sup>st</sup> day of June 2004, by  
DANIEL A. FLATT (A SINGLE PERSON, THIS IS NOT HIS HOMESTEAD)  
hereinafter called the GRANTOR, to LEON A. SPENCER AND HIS WIFE DAURICE J. SPENCER whose post office address is 2463 AMANDA LN. SEVIERVILLE, TN. 37876 hereinafter called the GRANTEE.

(Wherever used herein the terms GRANTOR and GRANTEE include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH, That the GRANTOR, for and in consideration of the sum of THIRTY THOUSAND DOLLARS (\$30,000.) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the GRANTEE all that certain land situate in Columbia County, State of Florida, VIZ: A PART OF THE NW 1/4 OF THE NW 1/4 OF SECTION 13, TOWNSHIP 4 SOUTH, RANG 15 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULAR DESCRIBED AS FOLLOWS: COMMENCE AT THE NW CORNER OF SAID NW 1/4 OF THE NW 1/4 AND RUN THENCE N 89 deg 20' 09" E ALONG THE NORTH LINE OF SAID NW 1/4 OF THE NW 1/4 A DISTANCE OF 496.90 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 89 deg 20' 09" E ALONG SAID NORTH LINE OF NW 1/4 OF THE 1/4 A DISTANCE OF 248.45 FEET, THENCE S 00 deg 16' 47" W 885.28 FEET, THENCE S 89 deg 22' 41" W 247.88 FEET, THENCE N 00 deg 14' 34" E 885.08 FEET TO THE POINT OF BEGINNING. CONTAINING 5.04 ACRES MORE OR LESS.

SUBJECT TO EXISTING COUNTY ROAD RIGHT-OF-WAY ALONG THE NORTH SIDE THEREOF  
SUBJECT TO UTILITY EASEMENTS OF RECORD  
SUBJECT TO OUSTANDING MINERAL INTERESTS OF RECORD  
SUBJECT TO AN OUTSTANDING HAY LEASE ON ALL OF THE ABOVE PROPERTY EXCEPT FOR A ONE ACRE HOMESITE FOR THE YEAR OF 2004.

TAX I.D. NUMBER 173 09 13 4S 15 RO0353-004

TOGETHER, with all the tenements, hereditaments appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the GRANTOR hereby covenants with said GRANTEE that the GRANTOR has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except those mentioned above and except taxes accruing subsequent to December 31, 2003

IN WITNESS WHEREOF, the said GRANTOR has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Donna Kenney  
WITNESS  
(print) Donna Kenney

Daniel A. Flatt  
DANIEL A. FLATT (GRANTOR)

Shirley Jernigan  
WITNESS  
(print) \_\_\_\_\_

Inst:2004015684 Date:07/07/2004 Time:10:10  
Doc Stamp-Deed : 210.00  
MK DC, P. DeWitt Cason, Columbia County B:1020 P:529

STATE OF FLORIDA  
COUNTY OF COLUMBIA

I HEREBY CERTIFY THAT ON THIS DAY, BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, PERSONALLY

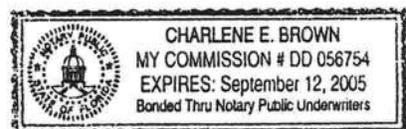
APPEARED DANIEL A. FLATT KNOWN TO ME TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FORGOING INSTRUMENT, WHO ACKNOWLEDGED BEFORE ME THAT HE EXECUTED THE SAME, AND AN OATH WAS NOT TAKEN. (CHECK ONE)

( ) SAID PERSON(S) IS/ARE PERSONALLY KNOWN TO ME  
(  ) SAID PERSON(S) PROVIDED THE FOLLOWING TYPE OF IDENTIFICATION

Dr. L.C. F430161 & S 4150

WITNESS MY HAND AND OFFICIAL SEAL IN THE COUNTY AND STATE LAST AFORESAID THIS 21 DAY OF June A.D. 2004.

Charlene E. Brown  
NOTARY PUBLIC



**PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION**

<b>For Office Use Only</b>		Zoning Official <u>BLK 19.07.04</u>	Building Official <u>JK</u>
AP# <u>0407-42</u>	Date Received <u>7/15/04</u>	By <u>JW</u>	Permit # <u>2217</u>
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>
Comments _____ _____ (10:00 AM) _____ - (OK #4783) - _____			
<input checked="" type="checkbox"/> Site Plan with Setbacks shown	<input checked="" type="checkbox"/> Environmental Health Signed Site Plan	<input checked="" type="checkbox"/> Env. Health Release	
<input checked="" type="checkbox"/> Need a Culvert Permit	<input checked="" type="checkbox"/> Need a Waiver Permit	<input type="checkbox"/> Well letter provided	<input checked="" type="checkbox"/> Existing Well

- Property ID ~~Part of~~ 13-45-15-00353-004 Must have a copy of the property deed
- New Mobile Home Clayton Used Mobile Home \_\_\_\_\_ Year 2004
- Subdivision Information \_\_\_\_\_
- Applicant Leon Spencer Phone # 941-809-3811  
TENNESSEE, 865-774-9073 Hm
- Address 2272 SW Brim St Lake City, FL 32024
- Name of Property Owner Leon Spencer, Daurice SPENCER Phone # 941-809-3811
- 911 Address 2272 SW Brim St. Lake City, FL. 32024
- Name of Owner of Mobile Home SAME AS APT. / owner Phone # \_\_\_\_\_
- Address \_\_\_\_\_
- Relationship to Property Owner SELF
- Current Number of Dwellings on Property 0
- Lot Size 5.04 Total Acreage 5.04
- Explain the current driveway Existing
- Driving Directions P-252 to VA FUS RD - (L) Go to Vtop (Sign R) on Brim, 100 yds on the left.
- Is this Mobile Home Replacing an Existing Mobile Home NO (owe Assessments)
- Name of Licensed Dealer/Installer Stephen E Weeks Phone # 904-219-9801
- Installers Address PO Box 274 Green Cove Springs FL 32043
- License Number IH-0000594 Installation Decal # 221484

\*26-Deadline  
 ADVISED with ei  
 MDA 7-20-04  
 AM

PERMIT NUMBER \_\_\_\_\_

Installer Stephen E Wark License # IH-0000594

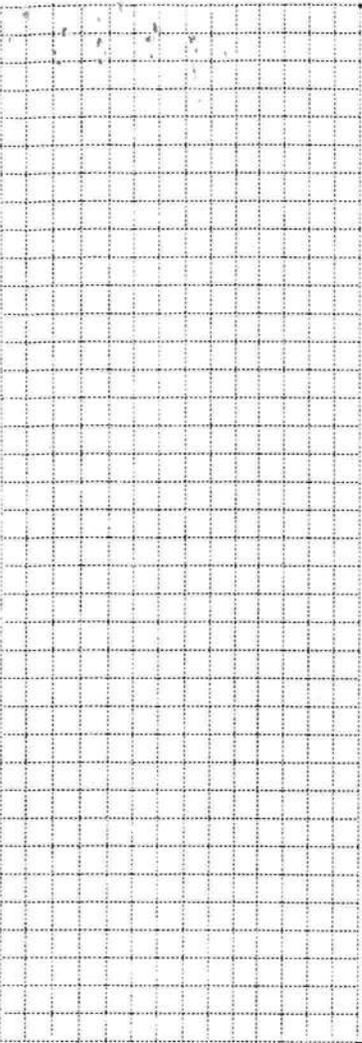
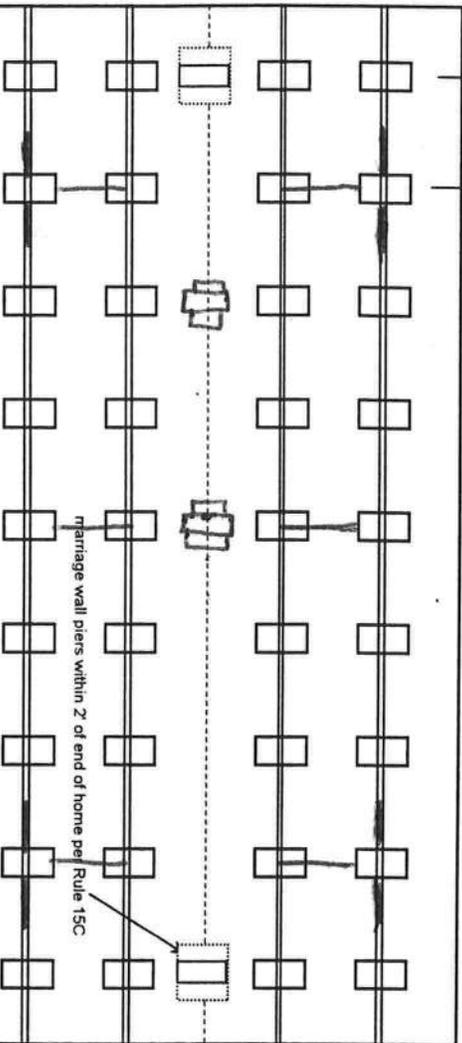
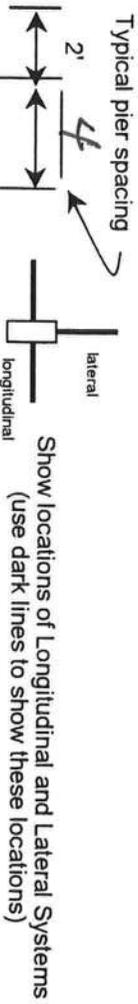
Address of home being installed \_\_\_\_\_

Manufacturer Clayton Length x width 28x26

NOTE: **if home is a single wide fill out one half of the blocking plan**  
**if home is a triple or quad wide sketch in remainder of home**

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials SEW



New Home  Used Home

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

Single wide  Wind Zone II  Wind Zone III

Double wide  Installation Decal # 221484

Triple/Quad  Serial # WHC013999GRAB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'		4'	5'	6'	7'	8'
1500 psf	4'6"		6'	7'	8'	8'	8'
2000 psf	6'		8'	8'	8'	8'	8'
2500 psf	7'6"		8'	8'	8'	8'	8'
3000 psf	8'		8'	8'	8'	8'	8'
3500 psf	8'		8'	8'	8'	8'	8'

\* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 12x23  
 Perimeter pier pad size 12x23

Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Pier pad size

10 23x34

10 23x34

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer \_\_\_\_\_

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer Minute Man

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft  5 ft \_\_\_\_\_

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number \_\_\_\_\_

Sidewall \_\_\_\_\_

Longitudinal \_\_\_\_\_

Marriage wall \_\_\_\_\_

Shearwall \_\_\_\_\_

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil          without testing.

X 1800      X 2000      X 2200

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500      X 1600      X 1800

TORQUE PROBE TEST

The results of the torque probe test is          inch pounds or check here if you are declaring 5' anchors without testing         . A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. 1 understrand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

SEW Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name Stephan E Weeks

Date Tested                                 

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 8

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 8

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 8

Site Preparation

Debris and organic material removed  Swale  Pad  Other

Fastening multi wide units

Floor: Type Fastener: Wash Length: 6" Spacing: 16"  
 Walls: Type Fastener: Bolt Length: 8" Spacing: 4"  
 Roof: Type Fastener: Bolt Length: 6" Spacing: 2"  
 For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials SEW

Type gasket Fabryk Installed Installed:           
Pg. 18 Foam Between Floors Yes   
Between Walls Yes   
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes  Pg. 26  
Siding on units is installed to manufacturer's specifications. Yes   
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes  No   
Dryer vent installed outside of skirting. Yes  N/A   
Range downflow vent installed outside of skirting. Yes  N/A   
Drain lines supported at 4 foot intervals. Yes   
Electrical crossovers protected. Yes   
Other:         

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Stephan E Weeks Date 7-14-08

# COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. \* P. O. Box 2949 \* Lake City, FL 32056-2949  
PHONE: (386) 752-8787 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

**DATE ISSUED:** July 14, 2004

**ENHANCED 9-1-1 ADDRESS:**

2272 SW BRIM ST (LAKE CITY, FL 32024)

**Addressed Location 911 Phone Number:** NOT AVAIL.

**OCCUPANT NAME:** NOT AVAIL.

**OCCUPANT CURRENT MAILING ADDRESS:** \_\_\_\_\_

**PROPERTY APPRAISER MAP SHEET NUMBER:** 8

**PROPERTY APPRAISER PARCEL NUMBER:** 13-4S-15-00353-004

**Other Contact Phone Number (If any):** \_\_\_\_\_

**Building Permit Number (If known):** \_\_\_\_\_

**Remarks:**

Address Issued By: \_\_\_\_\_

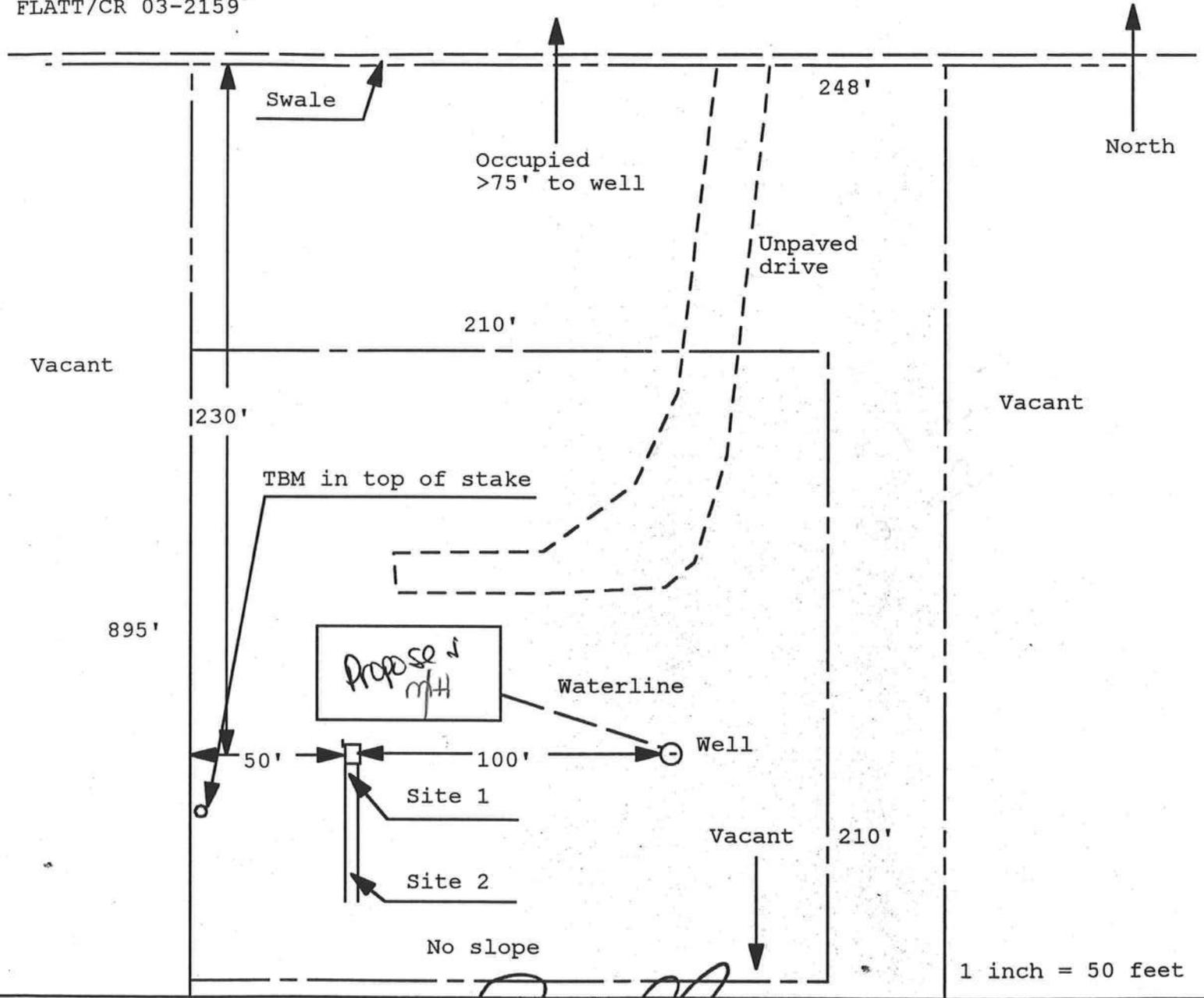
Columbia County 9-1-1 Addressing Department

**COLUMBIA COUNTY  
9-1-1 ADDRESSING  
APPROVED**

**Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan**  
 Permit Application Number: 04-0678N

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT**

FLATT/CR 03-2159



Site Plan Submitted By Paul Lloyd Date 6/18/04  
 Plan Approved Paul Lloyd Not Approved \_\_\_\_\_ Date 6/18/04  
 By Paul Lloyd deborah book C CPHU 6-24-04

Notes: \_\_\_\_\_

I Stephen E Weeks Licence  
# IH0000594

Give Earl Savage & Leon Spencer  
Permission To Pull A Permitt under  
my Licence # IH0000594

Stephen E Weeks

ATTN # Janice

- 904.219.9801 ;

0407-42



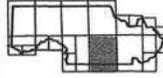
NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 175 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0175 B

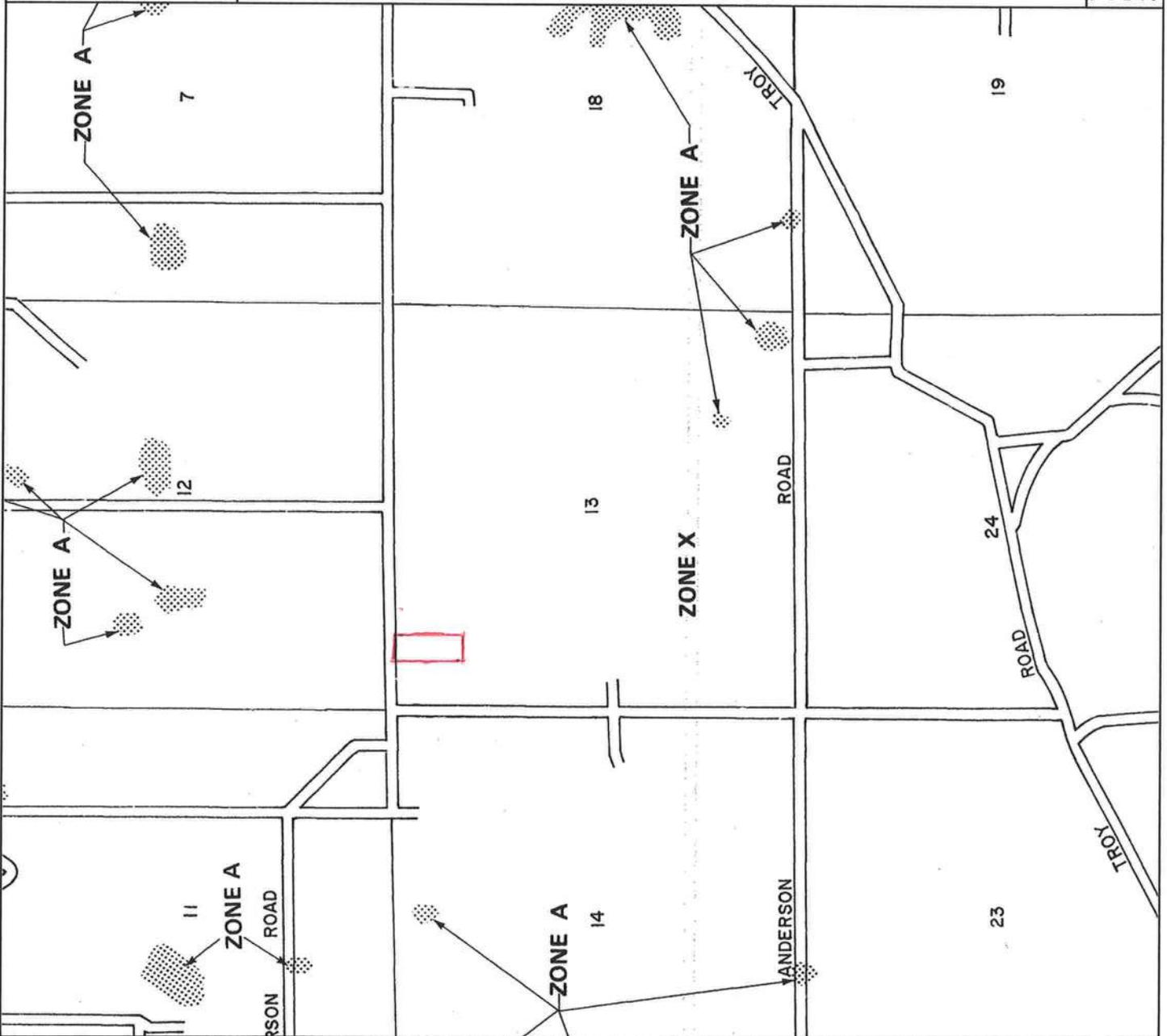
EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/mit/tsd](http://www.fema.gov/mit/tsd).



# RON E. BIAS

## WELL DRILLING

317 SW Brecken Ridge • Fort White, FL 32038  
(386) 497-1045 • Mobile: (386) 364-9233 • Fax: (386) 497-1045

No. \_\_\_\_\_

Date: July 04

Name: Daniel Platt

Address: Leow Spur

Phone: \_\_\_\_\_

<sup>Dig.</sup>  
DESCRIPTION: 4" deep well down to 100.  
1- Hp sub pump. 20 GPM  
82 gallon plus. Galv tank  
with cycle stop, back flow  
prevention checky valve - &  
pop off valve. 1 1/4 drop pipe  
system 1 1/4 gate valve.  
Complete.

with (sawnd) Permit

Total: \_\_\_\_\_

Deposit: \_\_\_\_\_

Balance: \_\_\_\_\_

Date Wanted: \_\_\_\_\_

Authorized By: Ron E Bias

Received By: \_\_\_\_\_