

Columbia County New Building Permit Application

\$172.75

For Office Use Only Application # 44252 Date Received 12/30 By MG Permit # 39148
Zoning Official LW/CH Date 12-31-19 Flood Zone X Land Use Ag Zoning A-3
FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner T.C. Date 1-3-20
Comments non habitable structure
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well Letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 19-0937 OR City Water ☐ Fax _____Applicant (Who will sign/pickup the permit) Christopher Leavit Phone 863-206-1314Address 355 Backwood Glenn, Fort White, FL 32038Owners Name Christopher Ellis Leavit Phone 863-206-1314

911 Address _____

Contractors Name Steel Buildings and Structures, Inc Phone 877-272-8276Address 820 Beeves Drive, Mt. Airy, NC 27030Contractor Email sbspermitting@sbsihq.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Wayne S. Moore : 401 S. Main St, Mt. Airy, NC 27030

Mortgage Lenders Name & Address _____

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke EnergyProperty ID Number 05-75-16-04138-113 Estimated Construction Cost 4575.00Subdivision Name Briar Patch Estates Unr. Lot 13 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road _____

Construction of 24x36 accessory structure. Commercial OR ☒ ResidentialProposed Use/Occupancy Storage / Carport Number of Existing Dwellings on Property _____

Is the Building Fire Sprinkled? _____ If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☐ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories _____ Heated Floor Area 0 Total Floor Area _____ Acreage 10.02

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

1/3-MG sent emailLT Spoke to Mr. Leavit 1/13/20 Page 1 of 2 (Both Pages must be submitted together.)

Revised 7-1-15

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Revised 7-1-17

Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 11/27/2019

Parcel: << 05-7S-16-04138-113 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	LEAVIT CHRISTOPHER ELLIS 349 VILLA SORRENTO CIR HAINES CITY, FL 33844		
Site	355 BACKWOODS GLN, FORT WHITE		
Description*	COMM SW COR, RUN N 1254.69 FT, E 584.48 FT FOR POB, CONT E 692.65 FT, S 635.45 FT, W 692.64 FT, N 624.94 FT TO POB. (AKA PRC 13 BRIAR PATCH ESTATES S/D UNREC). 896-1381, WD 1116-1052, WD 1297-961, DC 1380-1254, WD 1380-1259		
Area	10.02 AC	S/T/R	05-7S-16E
Use Code**	MISC RES (000700)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$44,706	Mkt Land (1)	\$44,706
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (1)	\$800	XFOB (1)	\$800
Just	\$45,506	Just	\$45,506
Class	\$0	Class	\$0
Appraised	\$45,506	Appraised	\$45,506
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$45,506	Assessed	\$45,506
Exempt	\$0	Exempt	\$0
Total	county:\$45,506	Total	county:\$45,506
Taxable	city:\$45,506	Taxable	city:\$45,506
	other:\$45,506		other:\$45,506
	school:\$45,506		school:\$45,506



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
3/12/2019	\$68,000	1380/1259	WD	V	Q	01
6/26/2015	\$40,000	1297/0961	WD	V	Q	01
4/5/2007	\$24,000	1116/1052	WD	V	U	08

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0040	BARN,POLE	2008	\$800.00	1.000	0 x 0 x 0	(000.00)

Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000700	MISC RES (MKT)	10.020 AC	1.00/1.00 1.00/1.00	\$4,462	\$44,706

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____ JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/> CC# _____	Print Name <u>No electrical</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/> CC# _____	Print Name <u>No mechanical</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/> CC# _____	Print Name <u>No Plumbing</u> Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

↑
NORTH

355 SW BACKWOODS GLENN
FORT WHITE, FL

ENTRANCE

663.88

624.94

492.26

EXISTING
SHED



635.45



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0987
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____

APPLICATION FOR:

[] New System [☒] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary [] _____

APPLICANT: CHRIS LEAVITT

AGENT: _____ TELEPHONE: _____

MAILING ADDRESS: 349 VILLA SORRENTO CIRCLE, HAINES CITY, FL 33844

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 05-78-16-04138-113 ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 10.02 ACRES WATER SUPPLY: [☒] PRIVATE PUBLIC [☒] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / ☒ N] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 355 BACKWOODS GLENN, FORT WHITE, FL 32038

DIRECTIONS TO PROPERTY: _____

BUILDING INFORMATION

[☒] RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>CARPORT</u>	<u>0</u>	<u>36x24'</u>	
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify) _____

SIGNATURE: [Signature] DATE: 12/30/19

Permit Application Number.

19-0937

Scale: Each block represents 10 feet and 1 inch = 40 feet.

SAE
ATTACHED

Notes: _____

Site Plan submitted by: C. J. [Signature] TITLE OWNER DATE: 12/30/19

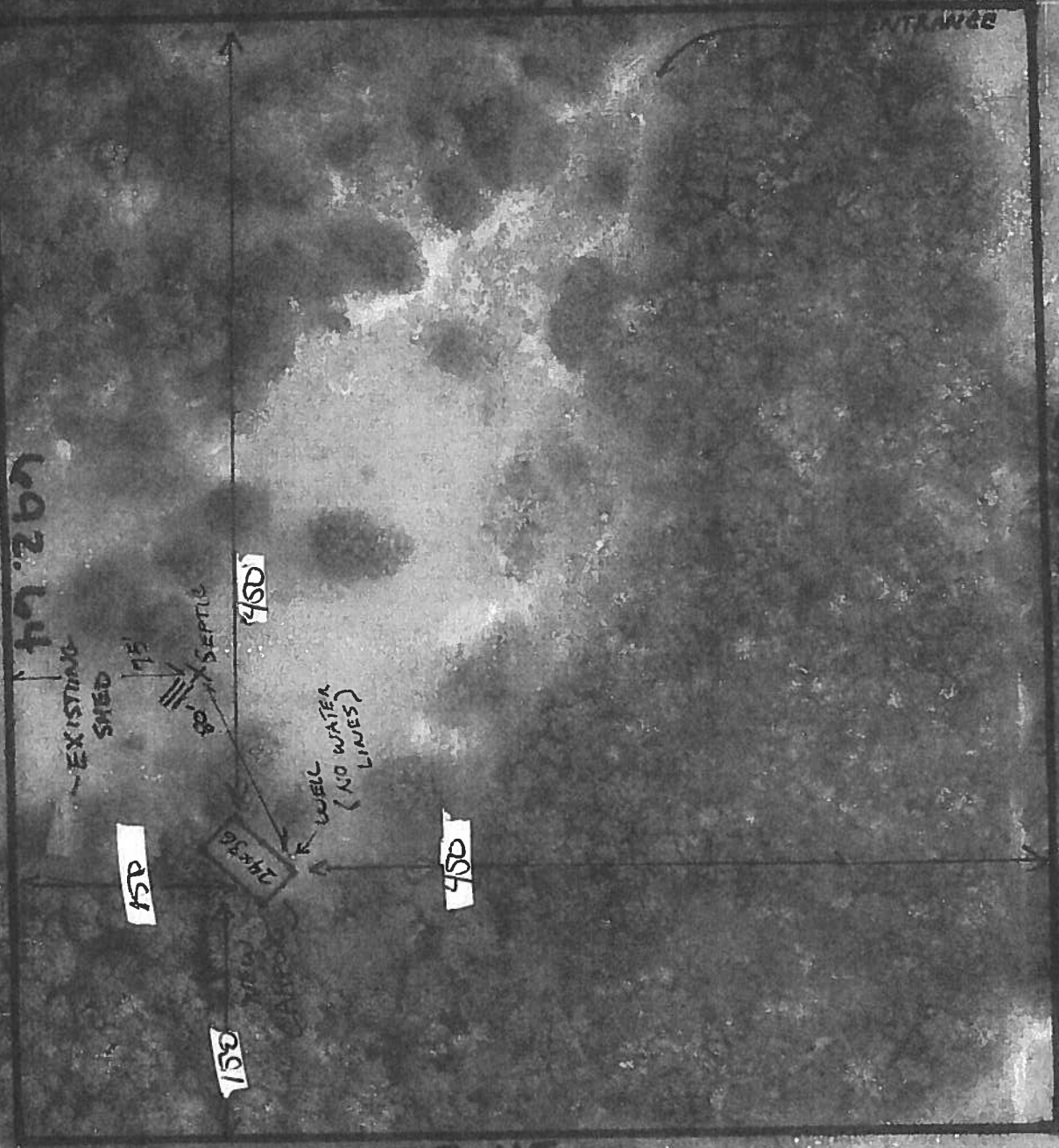
Plan Approved _____ Not Approved _____ Date 11/20/15

By [Signature] County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

↑
NORTH

355 SW BACKWOODS GLENN
FORT WHITE, FL



As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS	Steel Buildings	Ag metal Roof	22561.1
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

NOTES: _____



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

Florida Statutes Chapter 489.103:

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or **<http://www.myfloridalicense.com/>** for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

355 SW BARKWOODS GLENN, FORT WHITE, FL 32038

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Florida Statutes Chapter 489.503:

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

TYPE OF CONSTRUCTION

☐ Single Family Dwelling ☐ Two-Family Residence ☐ Farm Outbuilding

☐ Addition, Alteration, Modification or other Improvement ☐ Electrical

☒ Other CARPORT

☐ Contractor substantially completed project, of a _____

☐ Commercial, Cost of Construction _____ for construction of _____

I CHRIS LEAVITT, have been advised of the above disclosure
(Print Property Owners Name)

statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature: [Signature] Date: 12/26/2019
(Signature of property owner)

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FL DRIVER LICENSE

Notary Signature [Signature] Date 12/7/23 (Seal)



NORMAN RUSCETTE
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG933291
Expires 12/7/2023

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/29/2015 DATE ISSUED: 7/31/2015

ENHANCED 9-1-1 ADDRESS:

355 SW BACKWOODS GLN
FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

05-7S-16-04138-113

Remarks:

ADDRESS FOR PROPOSED STRUCTURE ON PARCEL.

Address Issued By: SIGNED:/ RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

05-75-16E-04138-113

Clerk's Office Stamp

Inst: 201912030472 Date: 12/30/2019 Time: 3:01PM
Page 1 of 1 B: 1402 P: 748, P. DeWitt Cason, Clerk of Court Colum
County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):
a) Street (job) Address: 355 Backwoods GLN, Fort White, FL 32038
2. General description of improvements: 24 x 36 detached accessory structure
3. Owner information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Christopher Ellis Leavitt
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: Storage / Carport
4. Contractor Information
a) Name and address: Javier Lara-Steel Buildings 820 Reeves Dr, Mt Airy, NC
b) Telephone No.: 877-272-8276
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond:
c) Telephone No.:
6. Lender
a) Name and address:
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: OF
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

CHRIS LEAVITT OWNER

Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 26th day of DEC, 2019, by:

CHRISTOPHER LEAVITT as OWNER for
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification ☒ Type FL DRIVER LICENSE

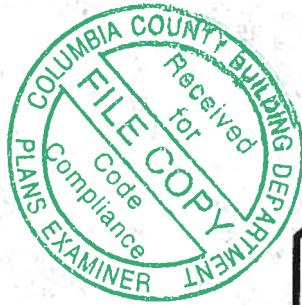
Notary Signature

Norman Ruscette

Notary Stamp or Seal:



NORMAN RUSCETTE
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG933291
Expires 12/7/2023



STRUCTURAL DESIGN **FULLY OPEN (CARPORT) BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

14 December 2018

Revision 7

M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S

Prepared for:

**Steel Buildings and Structures, Inc.
P.O. Box 1287
Mt. Airy, NC 27030**

Prepared by:


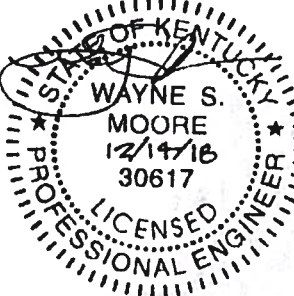




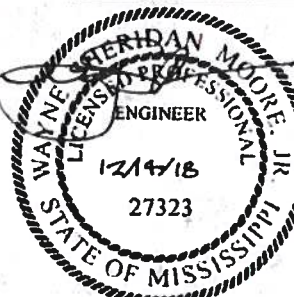
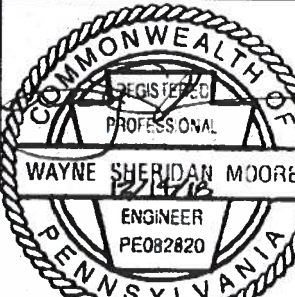
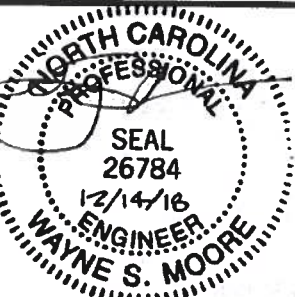
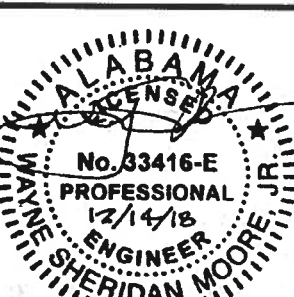
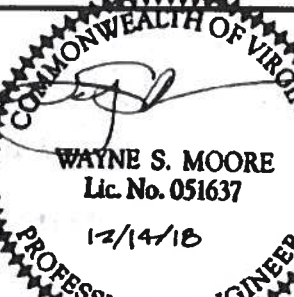
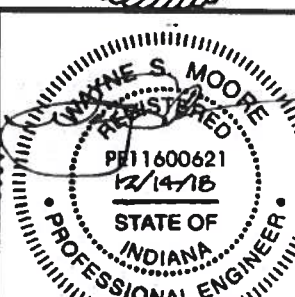
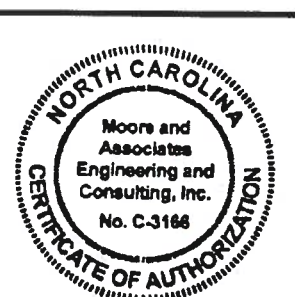
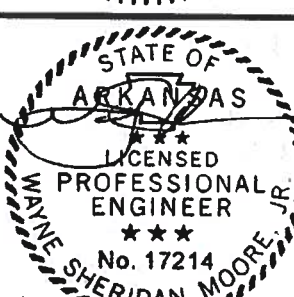
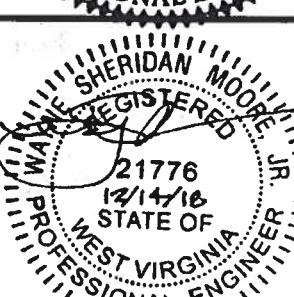
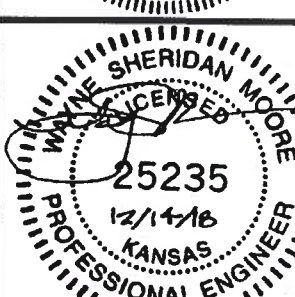
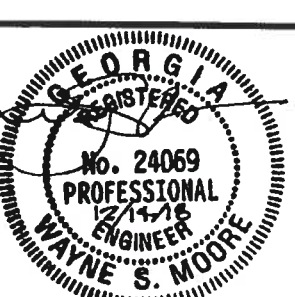
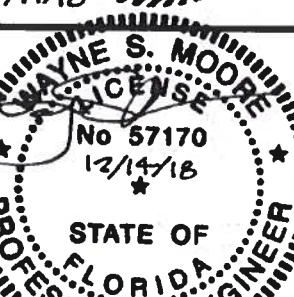
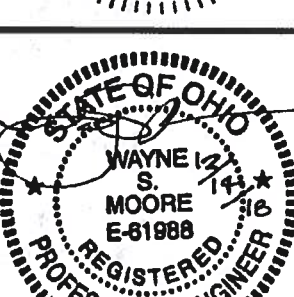
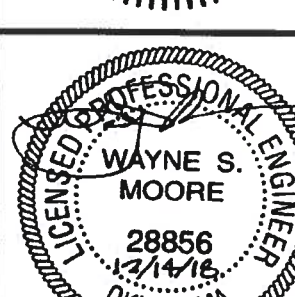
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and Consulting, Inc.**

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main St., Suite 200
Mount Airy, NC 27030**



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30'-0" x 20'-0" FULLY OPEN STRUCTURE

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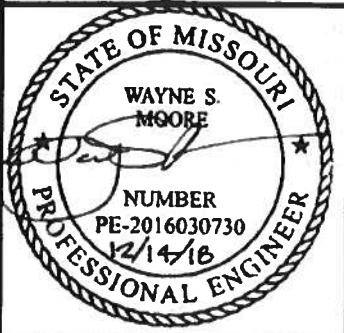
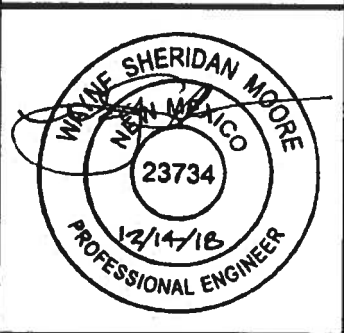
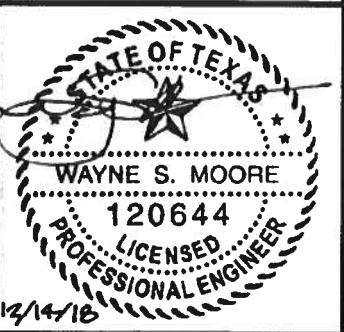
SCALE: NTS

DWG. NO: SK-1

JOB NO: 180665/182905

REV: 7

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	Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49744, Expiration Date <u>8/8/20</u>		
			
			
			
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DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET (1 OF 2)
SHEET 1A	PE SEAL COVER SHEET (2 OF 2)
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 3A	TYPICAL SIDE AND END ELEVATIONS
SHEET 4	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4A	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4B	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4C	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4D	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 4E	TYPICAL RAFTER/COLUMN END AND SIDE FRAMING SECTION (BOX EAVE STRUCTURE)
SHEET 5	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 5A	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 6	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 6A	COLUMN CONNECTION DETAILS (BOX EAVE STRUCTURE)
SHEET 7	BASE RAIL ANCHORAGE OPTIONS
SHEET 8	CONNECTION DETAILS
SHEET 9	GABLE END OPTION (BOX EAVE STRUCTURE)
SHEET 9A	GABLE END OPTION (BOX EAVE STRUCTURE)
SHEET 10	EXTRA SIDE PANEL OPTION
SHEET 10A	EXTRA SIDE PANEL OPTION
SHEET 10B	EXTRA SIDE PANEL OPTION
SHEET 10C	EXTRA SIDE PANEL OPTION
SHEET 10D	EXTRA SIDE PANEL OPTION
SHEET 11	EXTRA SIDE PANEL OPTION
SHEET 11A	EXTRA SIDE PANEL OPTION
SHEET 11B	EXTRA SIDE PANEL OPTION
SHEET 11C	EXTRA SIDE PANEL OPTION
SHEET 11D	EXTRA SIDE PANEL OPTION
SHEET 12	VERTICAL ROOF OPTION END AND SIDE ELEVATION AND SECTION
SHEET 13	ADDITIONAL BASE RAIL ANCHORAGE OPTION
SHEET 14	BASE RAIL ON GRADE APPLICATION
SHEET 15	OPTIONAL BASE RAIL ON TIMBER BEAM
SHEET 16	OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL
SHEET 17	OPTIONAL CONCRETE STRIP FOOTING

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	CLIENT: SSSI	SHT. 2	DWG. NO: SK-1	REV: 7
	30'-0" x 20'-0" FULLY OPEN STRUCTURE			

INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT OPEN CARPORT STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 30 PSF ($\leq 26'-0"$), 35 PSF ($26'-0" < W \leq 30'-0"$)
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED.)
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH); MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 R = 3.25 $I_E = 1.0$
 S_{DS} = 2.039 $V = C_s W$
 S_{D1} = 1.258

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SHT. 3

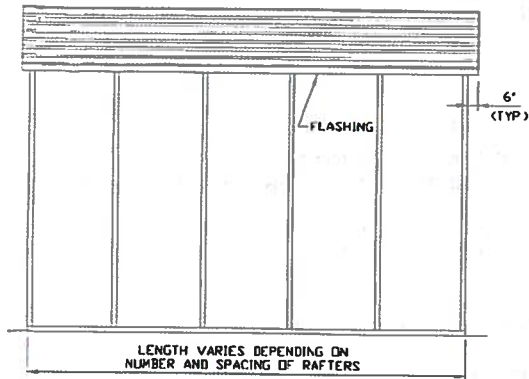
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JOB NO. 180605/180606

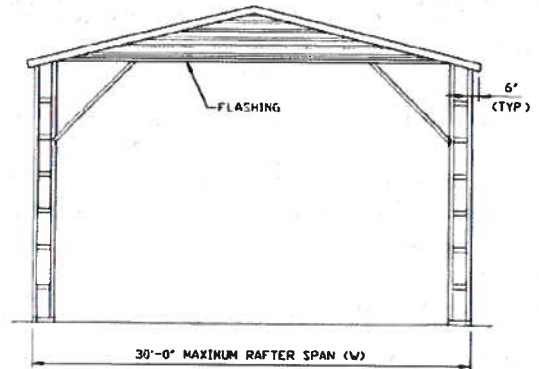
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BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

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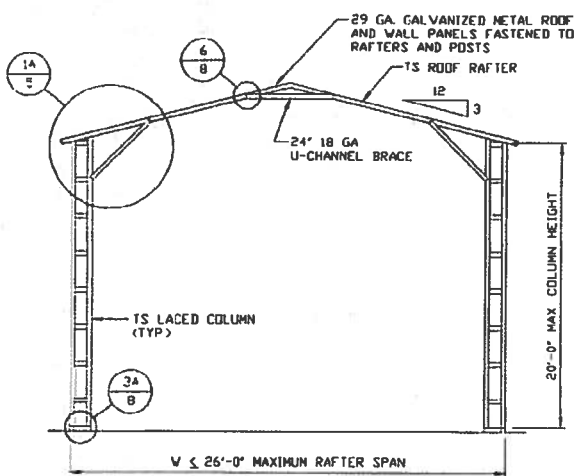
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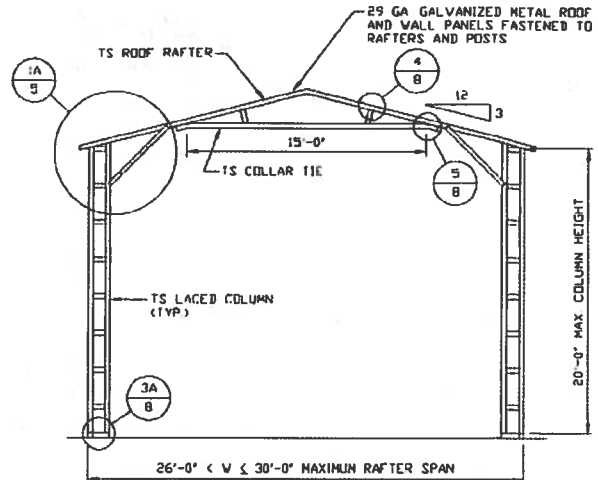
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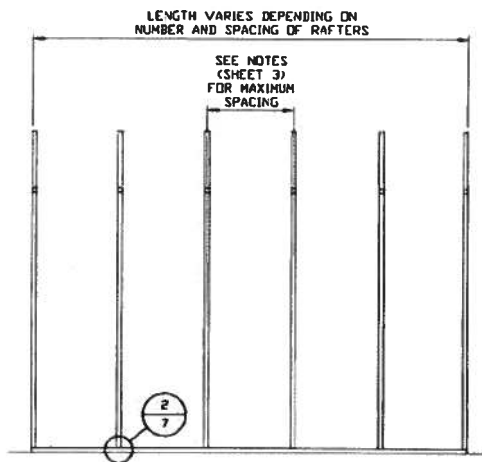
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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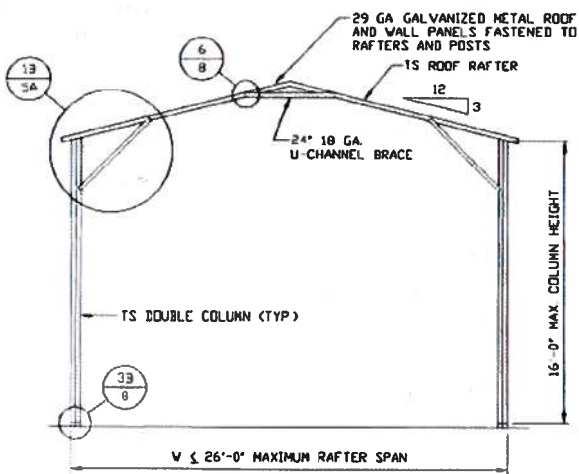
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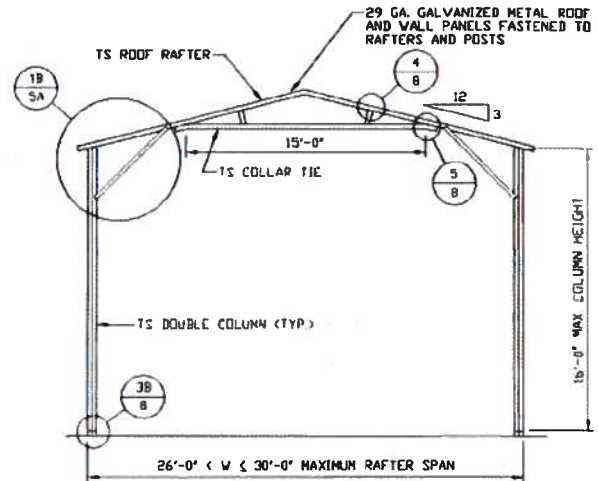
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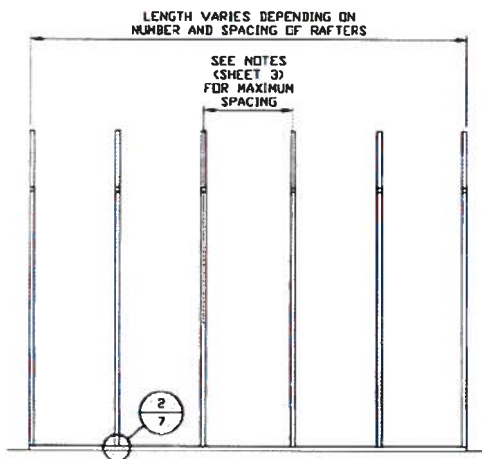
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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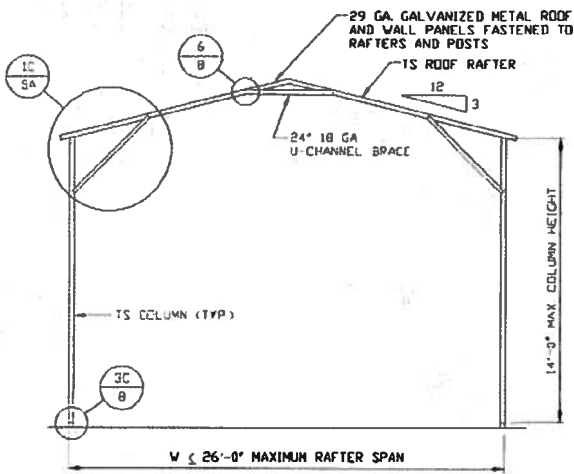
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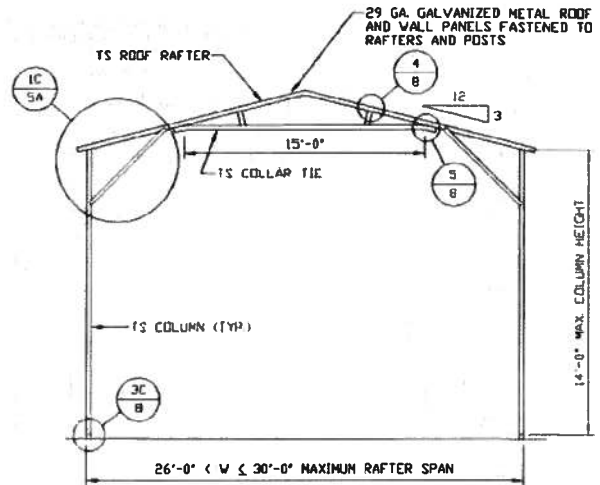
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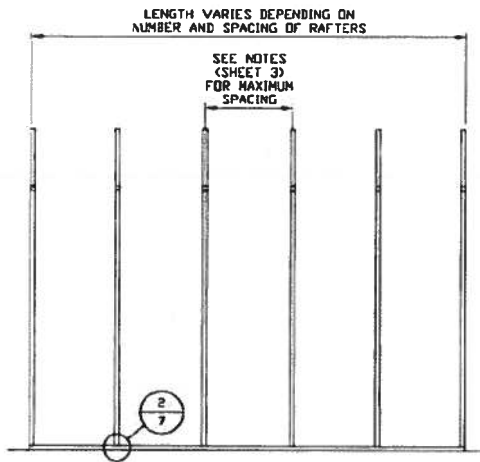
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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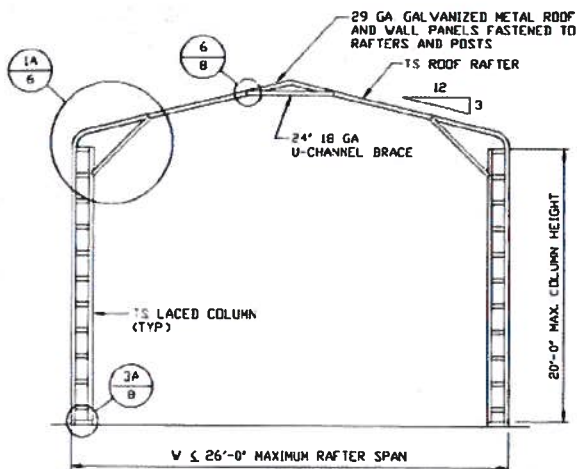
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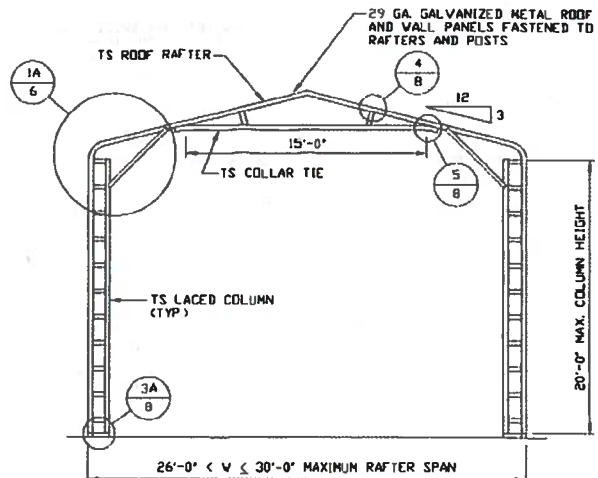
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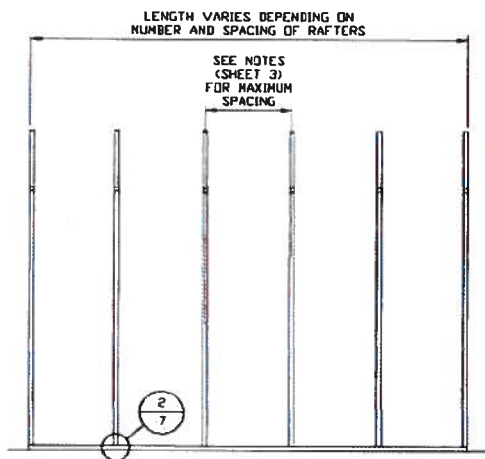
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
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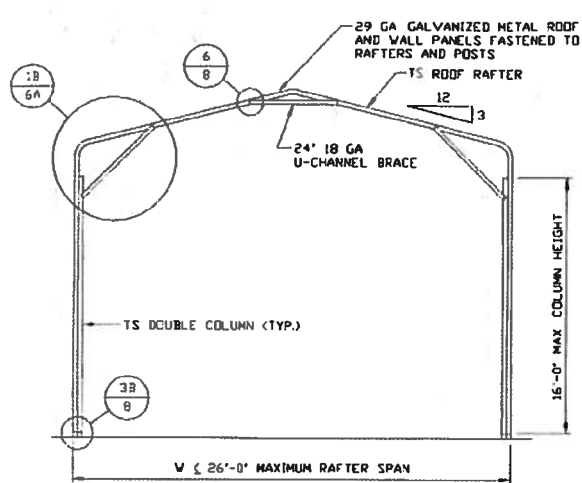
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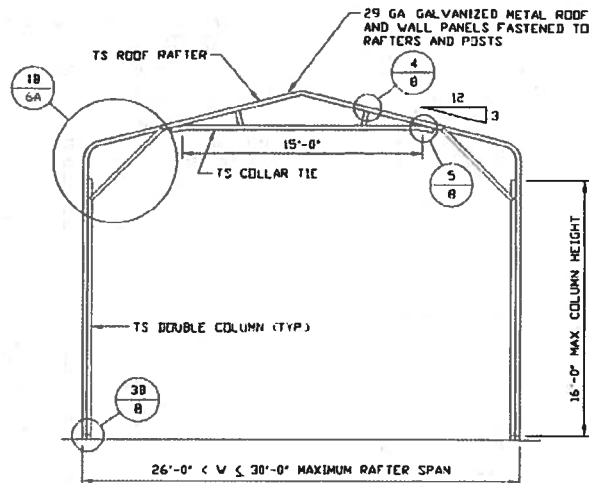
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180683/
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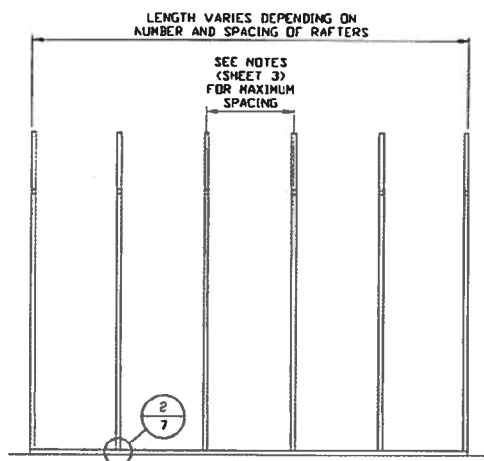
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SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

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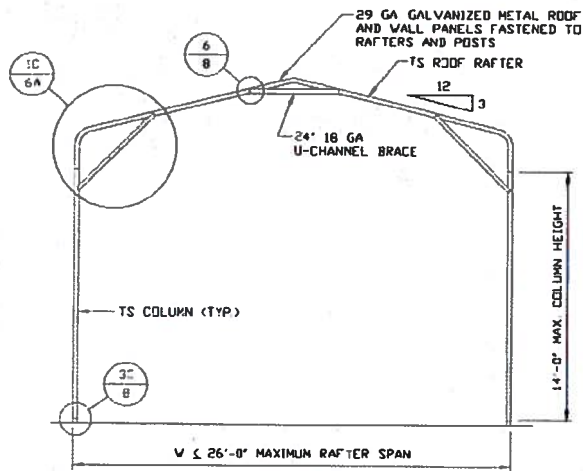
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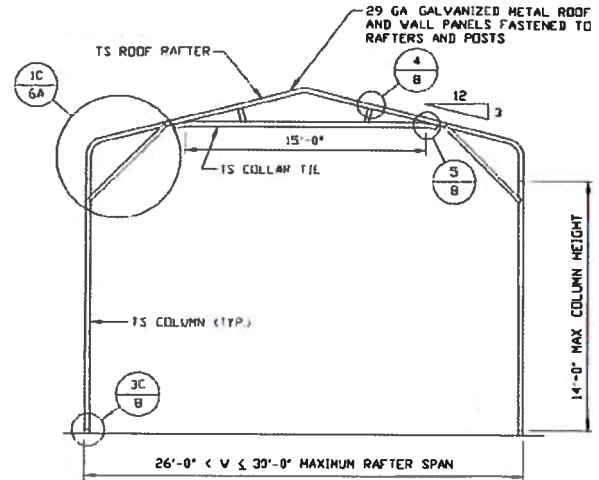
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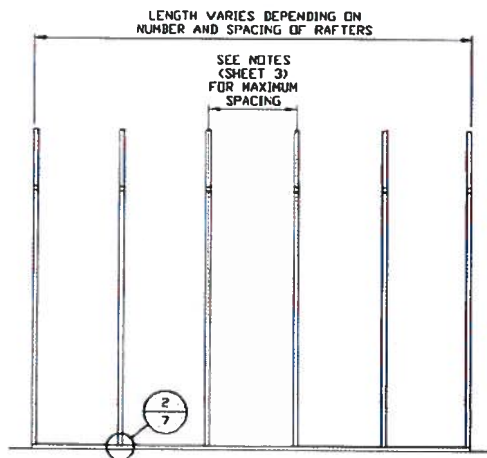
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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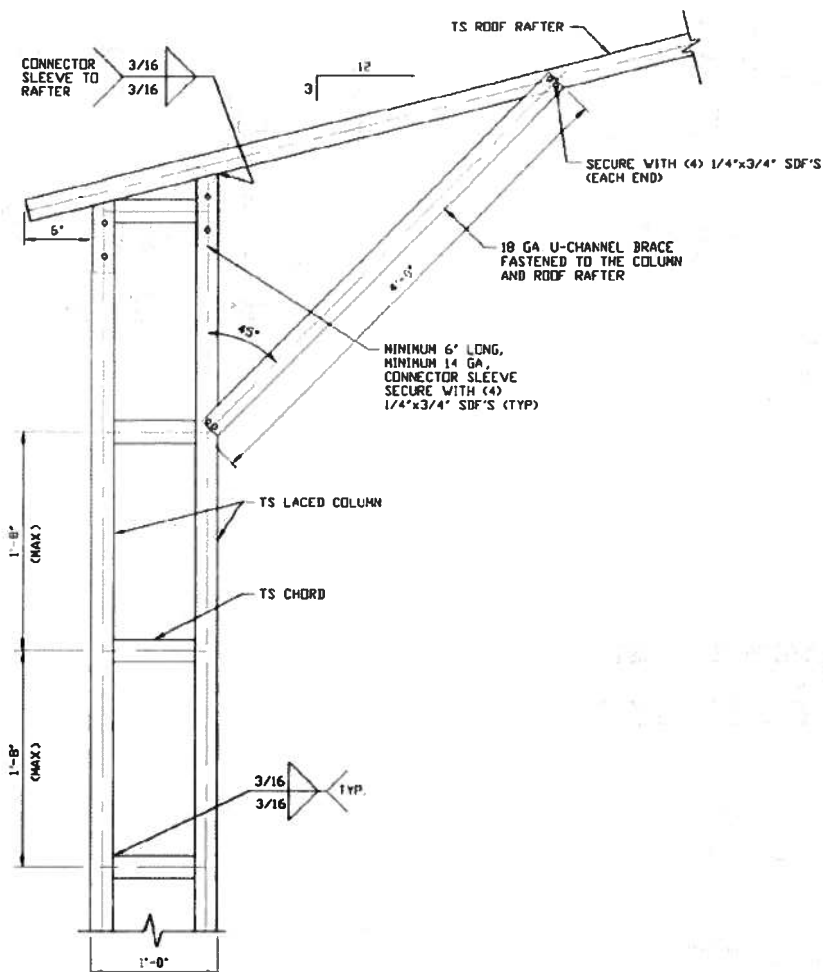
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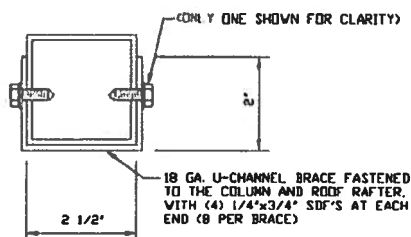
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**

1A

SCALE: NTS



BRACE SECTION

SCALE: NTS

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SHT. 5

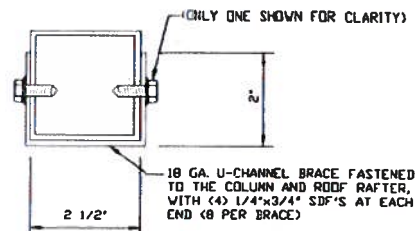
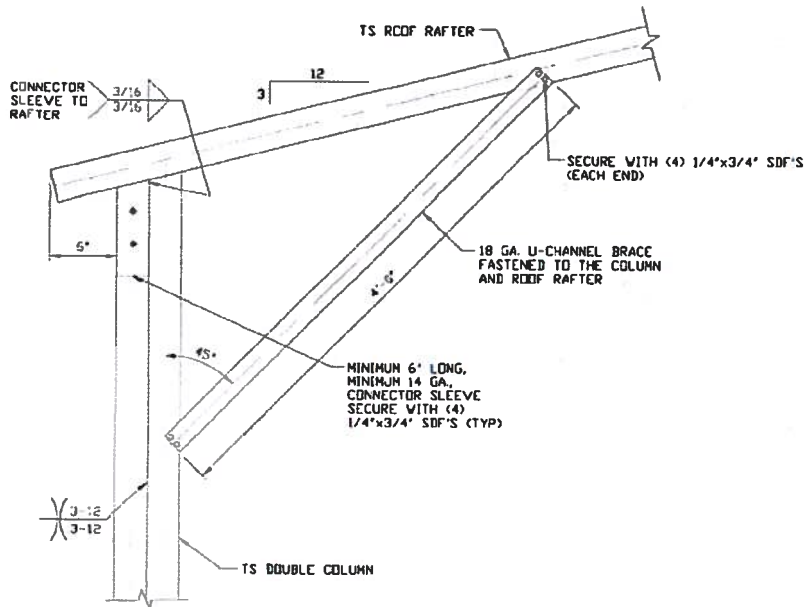
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JOB NO: 180405/182905

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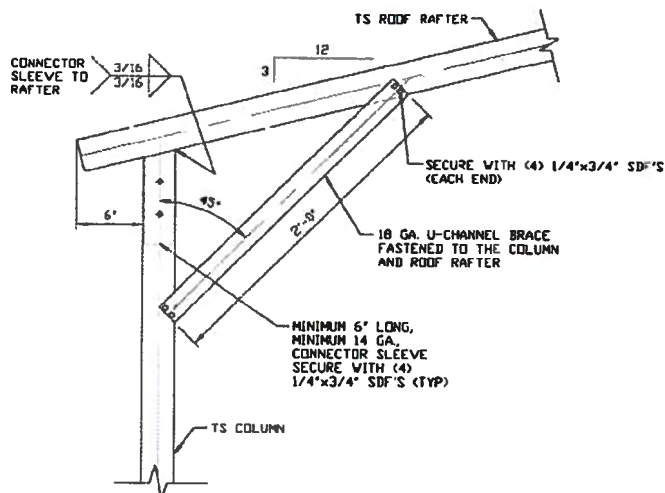
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BRACE SECTION
SCALE: NTS

1B

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"**
SCALE: NTS



1C

**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 14'-0"**
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DATE: 12-14-18

SHT. 5A

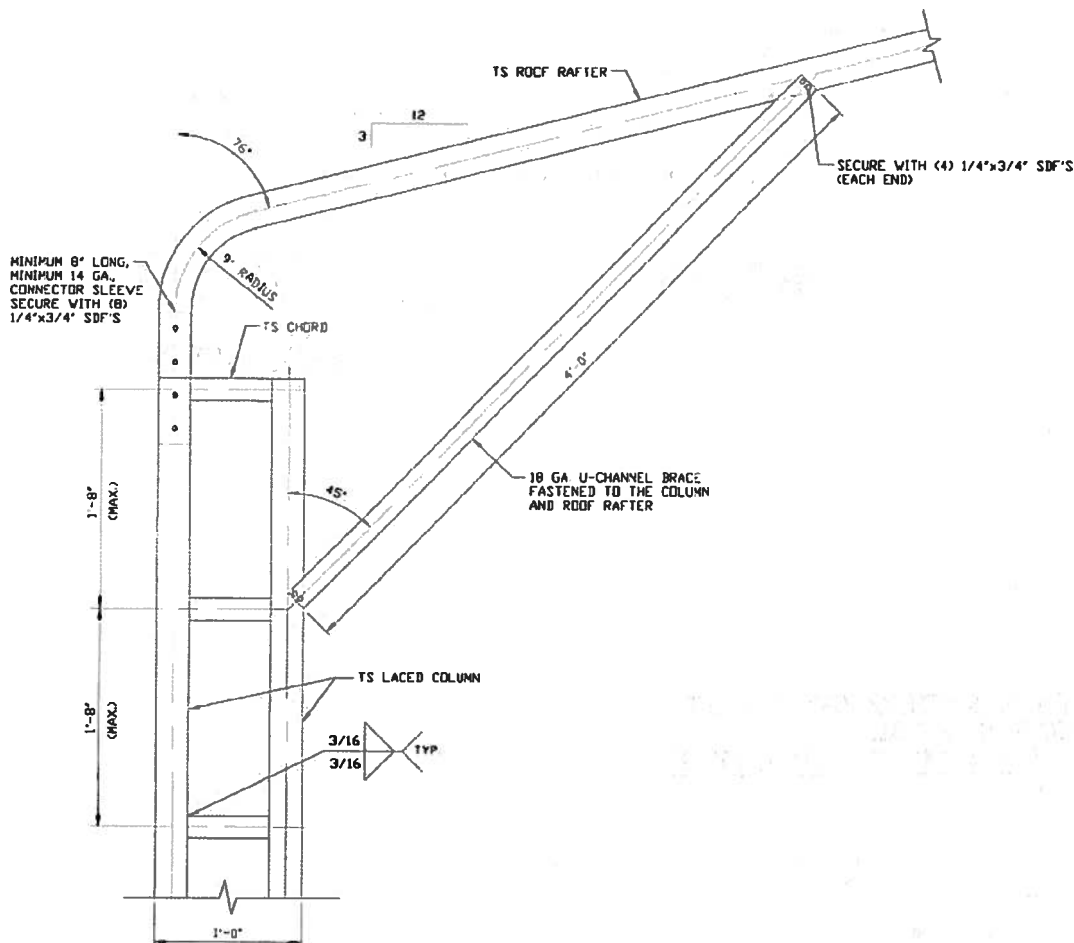
SCALE: NTS

DWG. NO. SK-1

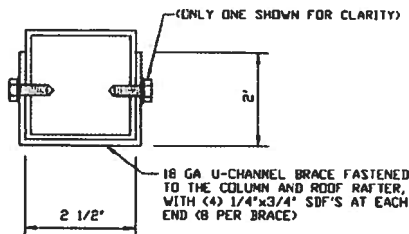
JOB NO. 180592/180593

REV. 7

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**BOW EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**
SCALE: NTS



BRACE SECTION
SCALE: NTS

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CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SRST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 6

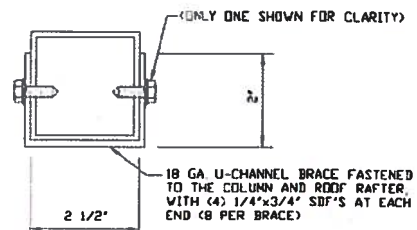
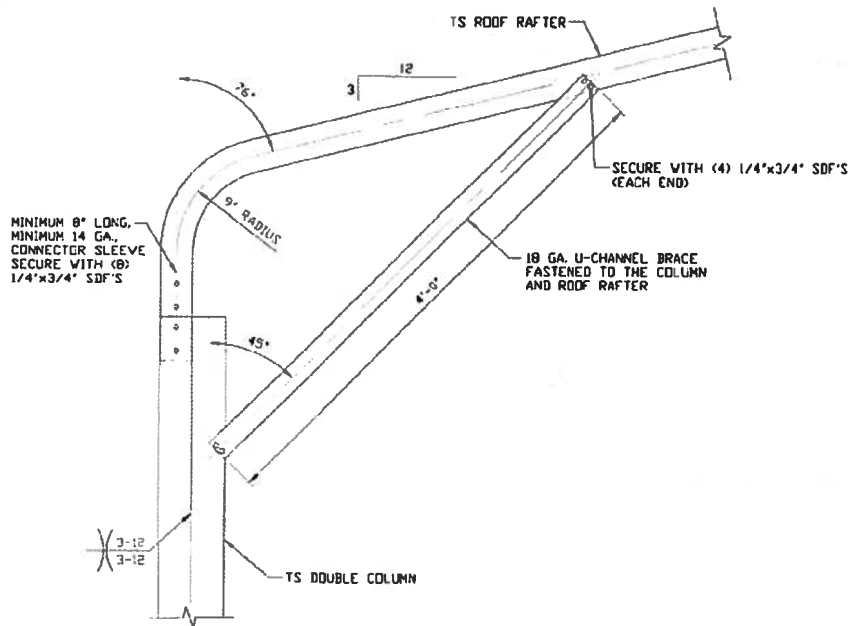
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DWG. NO: SK-1

JOB NO: 180682/181563/182908

REV: 7

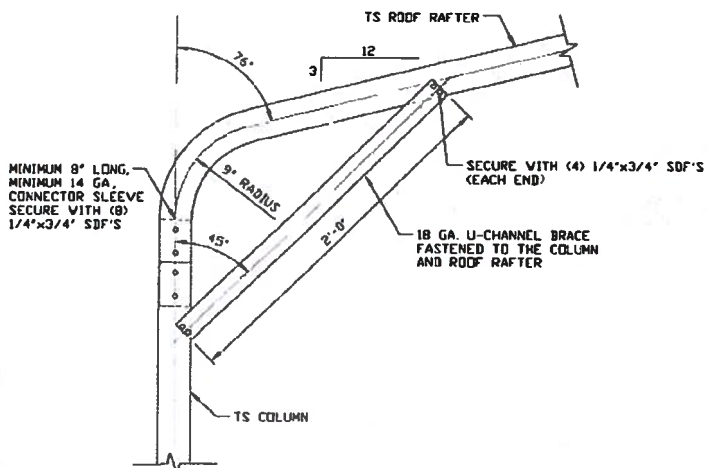
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BRACE SECTION
SCALE: NTS

1B

**BOW EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"**
SCALE: NTS



1C

**BOW EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 14'-0"**
SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

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PROJECT NO: VSH

CLIENT: SRST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-19

SHT. 6A

SCALE: NTS

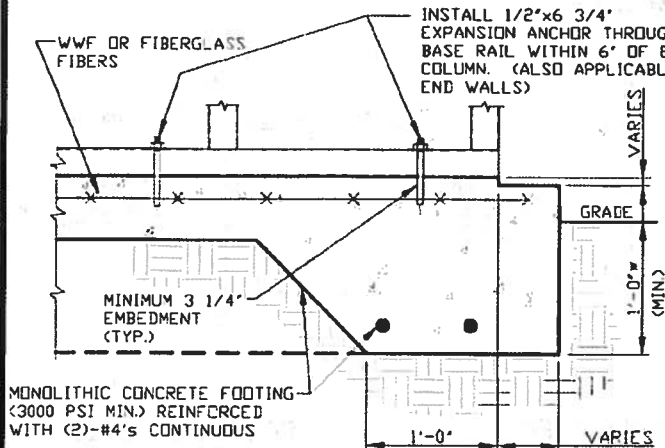
DWG. NO: SK-1

JOB NO: 180593/182205

REV: 7

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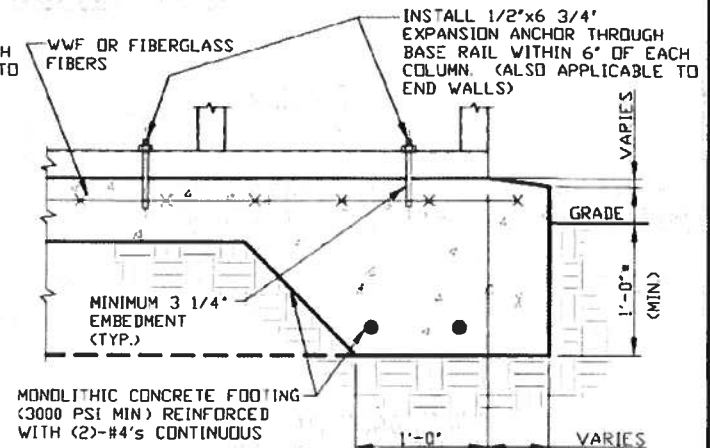
BASE RAIL ANCHORAGE OPTIONS



2A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.



2B

CONCRETE SLAB BASE RAIL ANCHORAGE

SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF.

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

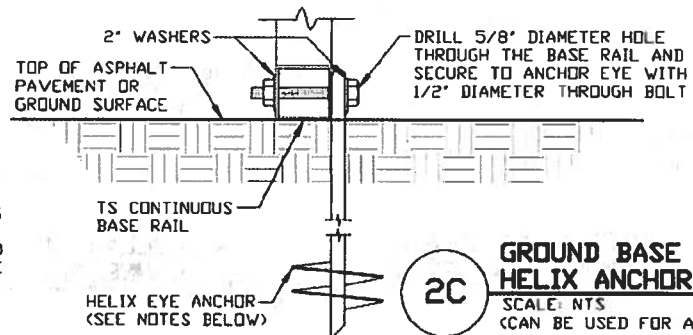
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

GROUND BASE HELIX ANCHORAGE

SCALE: NTS
(CAN BE USED FOR ASPHALT)

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P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 7

SCALE: NTS

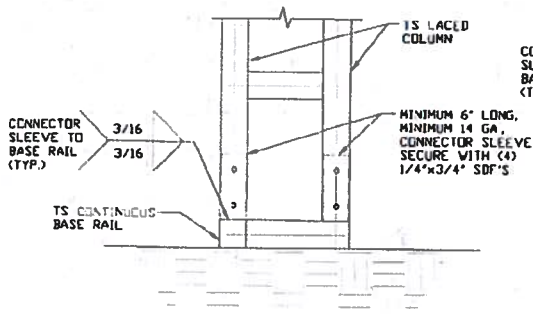
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JOB NO: 18065/182905

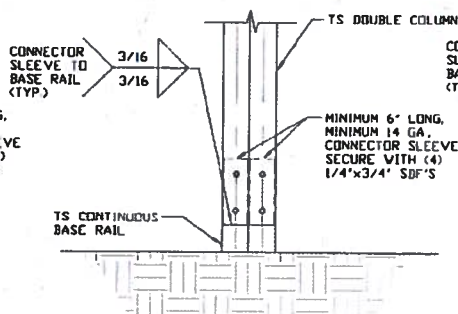
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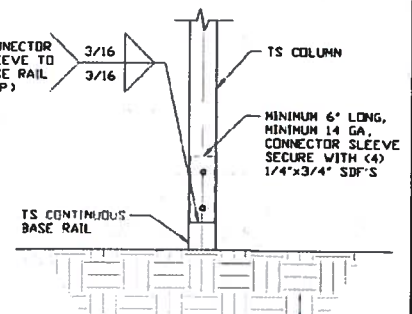
CONNECTION DETAILS



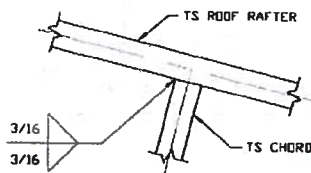
3A POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



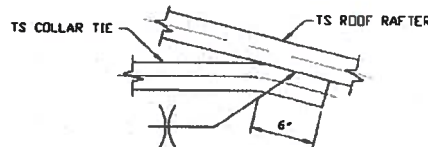
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SCALE: NTS



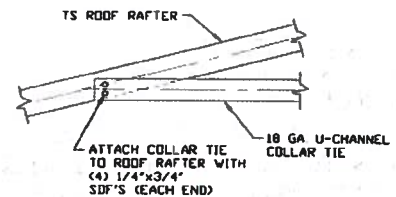
3C POST/BASE RAIL CONNECTION DETAIL
SCALE: NTS



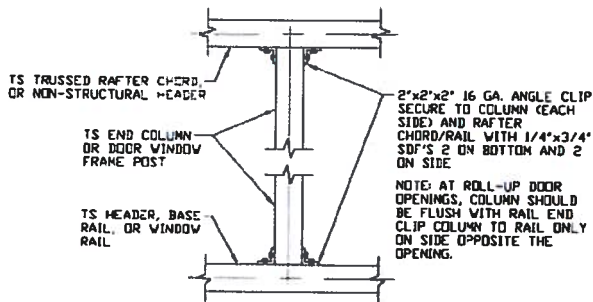
4 RAFTER TO CHORD CONNECTION DETAIL
SCALE: NTS



5 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



6 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



7 COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
SCALE: NTS

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30'-0"x20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

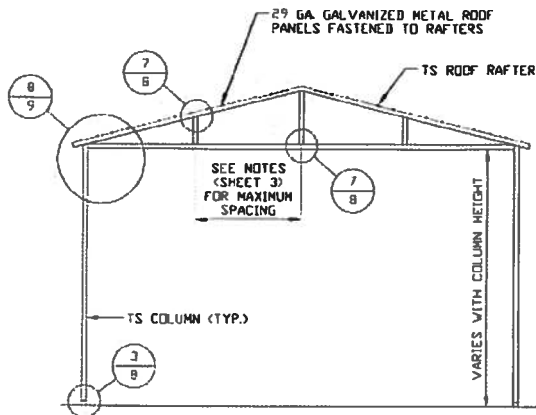
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JOB NO: 180685/182905

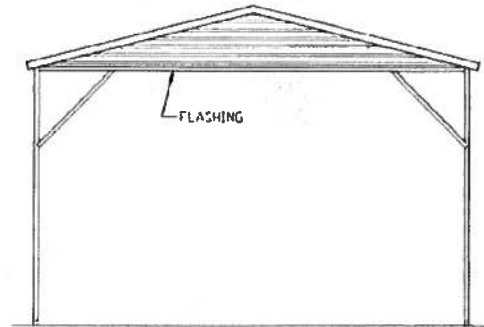
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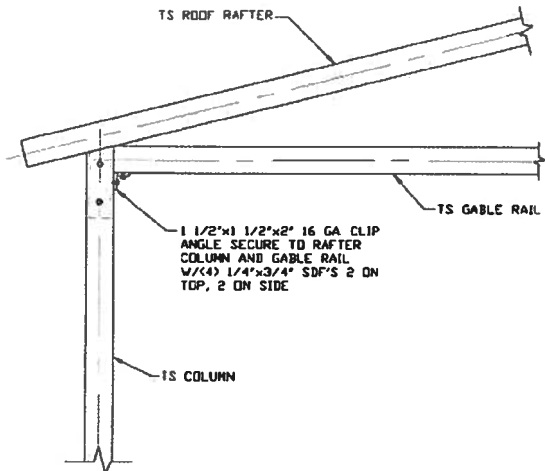
GABLE END OPTION



TYPICAL GABLE END FRAMING SECTION
SCALE: NTS



TYPICAL GABLE END ELEVATION
SCALE: NTS



8 BOX EAVE RAFTER GABLE RAIL TO RAFTER COLUMN CONNECTION DETAIL
SCALE: NTS

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**P.O. BOX 1287,
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30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

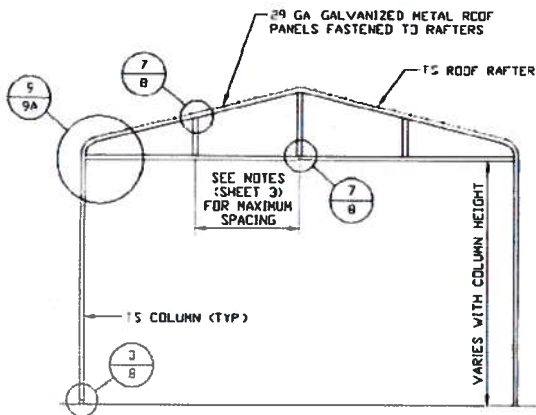
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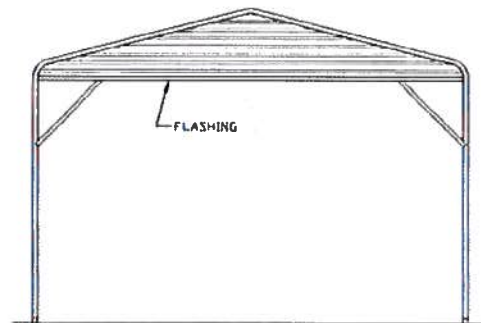
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REV. 7

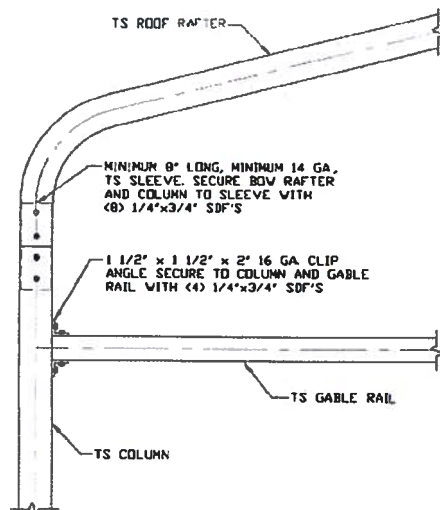
GABLE END OPTION



TYPICAL GABLE END FRAMING SECTION
SCALE: NTS



TYPICAL GABLE END ELEVATION
SCALE: NTS



**BOW EAVE RAFTER GABLE RAIL TO
RAFTER COLUMN CONNECTION DETAIL**
SCALE: NTS

9

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STEEL BUILDINGS AND STRUCTURES, INC.
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MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

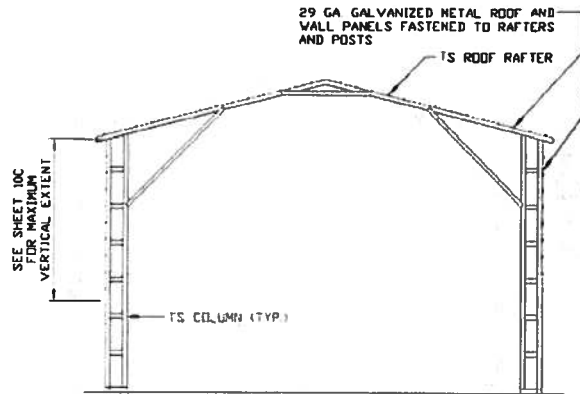
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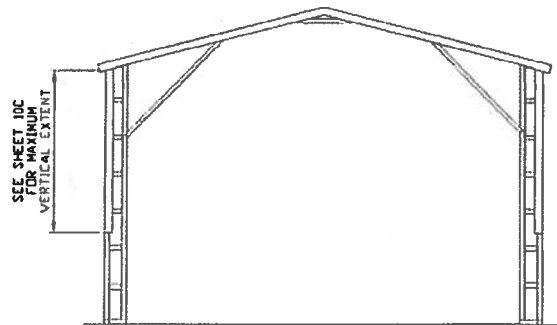
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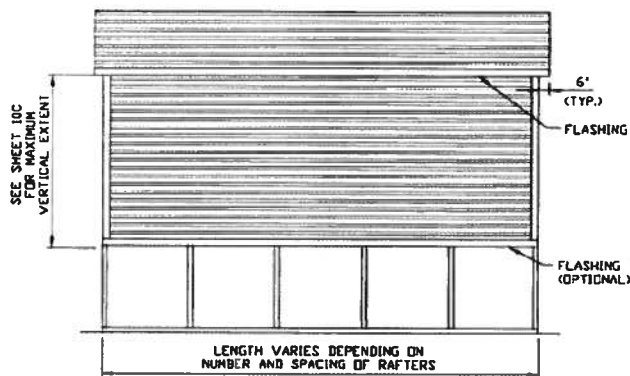
EXTRA SIDE PANEL OPTION



**TYPICAL END FRAME SECTION
EXTRA SIDE PANELS**
SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**
SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**
SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 10

SCALE: NTS

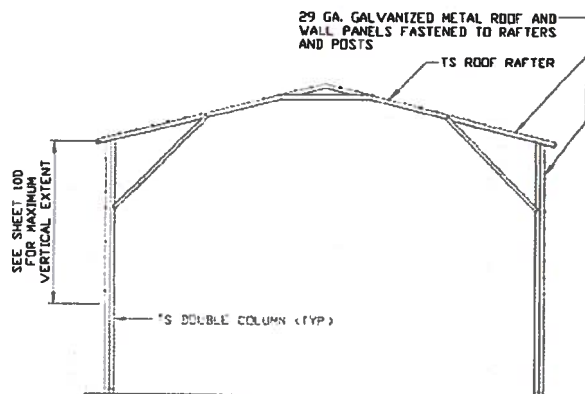
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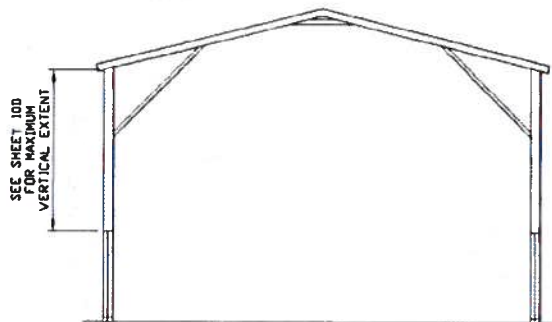
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EXTRA SIDE PANEL OPTION



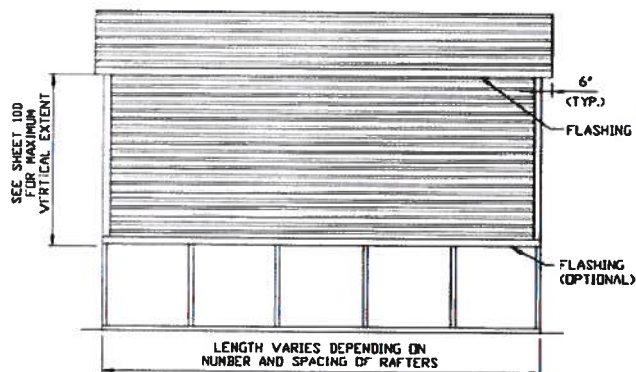
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EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS

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SHT. 10A

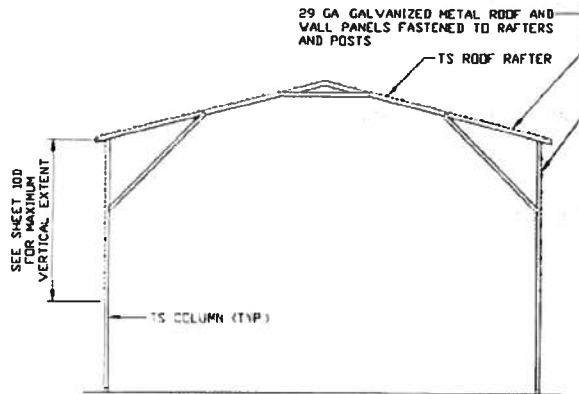
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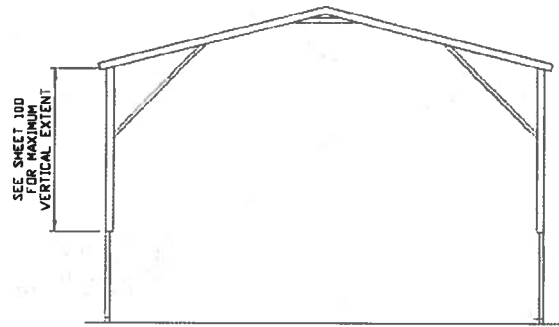
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EXTRA SIDE PANEL OPTION



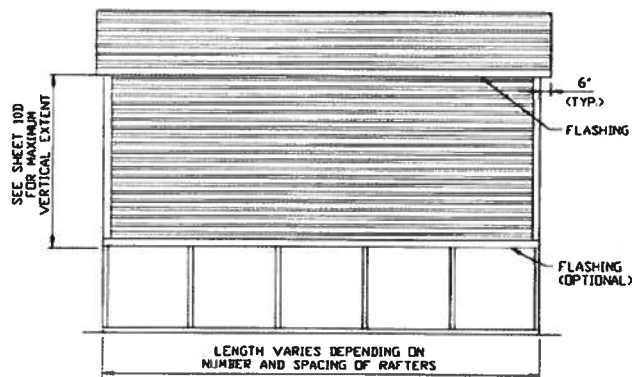
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EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 109

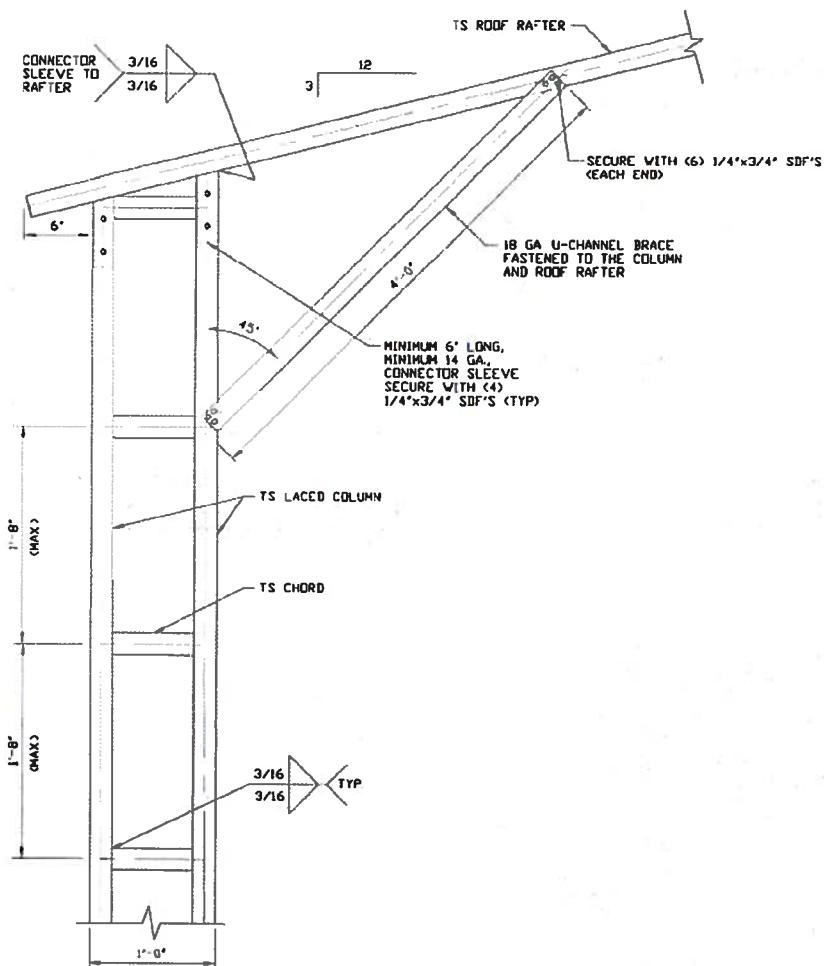
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JOB NO 180693/180695

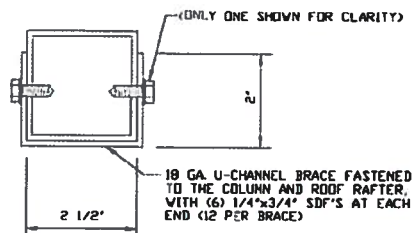
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
AND FOR MAXIMUM 20'-0" VERTICAL EXTENT**
SCALE: NTS

10



BRACE SECTION
SCALE: NTS

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CLIENT: SBSI

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P.O. BOX 1287,
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30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

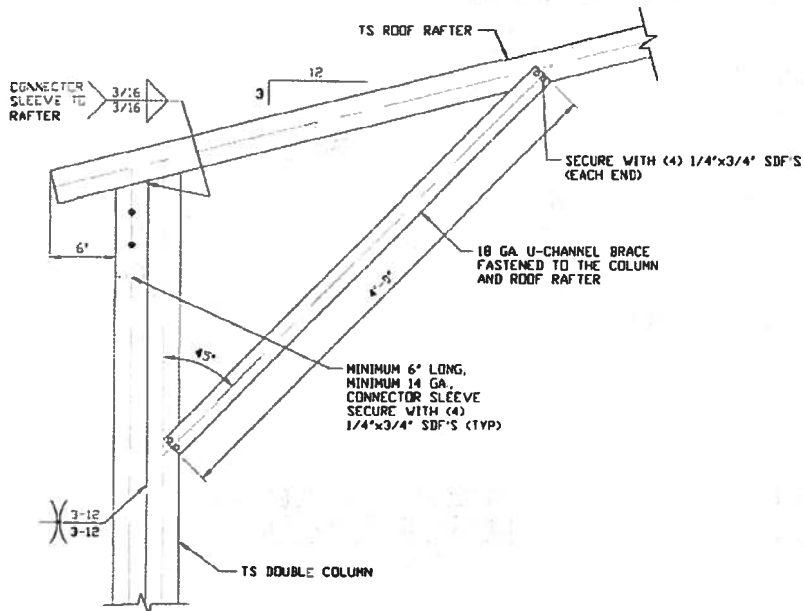
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SHT. 10C

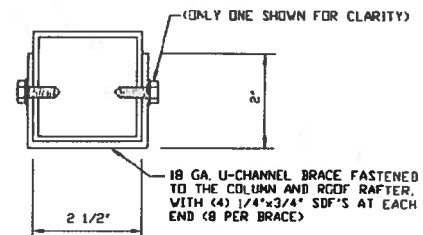
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**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"
AND FOR MAXIMUM 16'-0" VERTICAL EXTENT**
SCALE: NTS



**BOX EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS ≤ 14'-0"
AND FOR MAXIMUM 3'-0" VERTICAL EXTENT**
SCALE: NTS

BRACE SECTION
SCALE: NTS

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P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-19

SHT. 100

SCALE: NTS

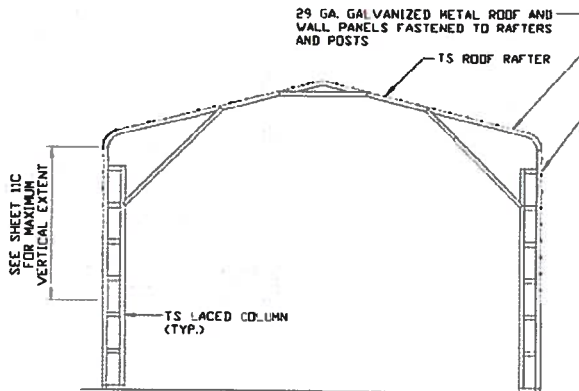
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JOB NO: 180622/181363/182905

REV: 7

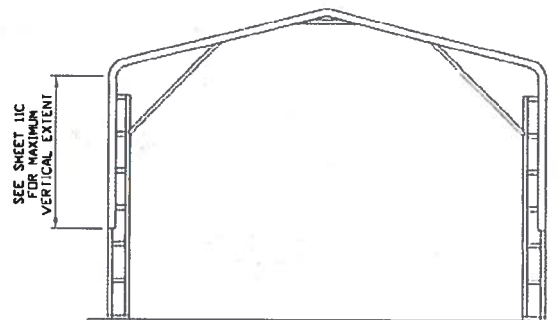
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EXTRA SIDE PANEL OPTION



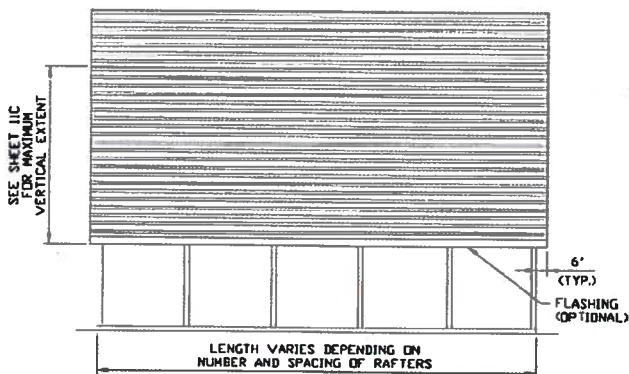
**TYPICAL END FRAME SECTION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS

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CLIENT: SSSI

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P.O. BOX 1287,
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30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

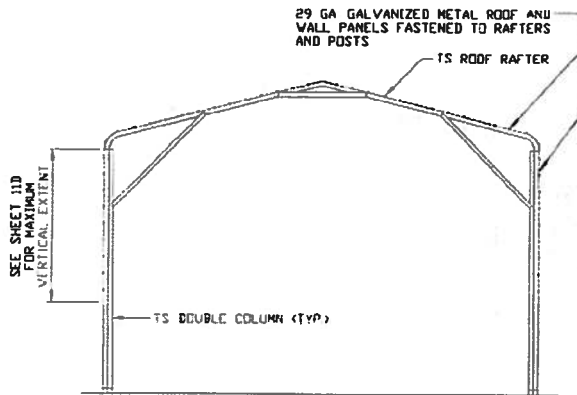
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JOB NO: 180605/180605/182905

SHT. 11

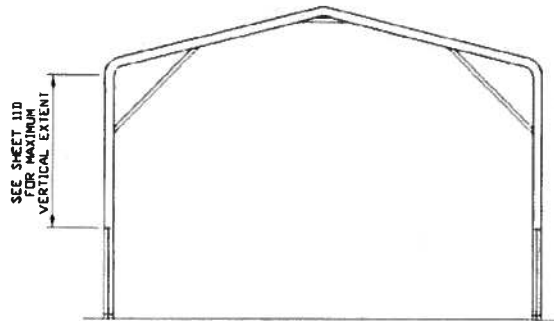
REV: 7

EXTRA SIDE PANEL OPTION



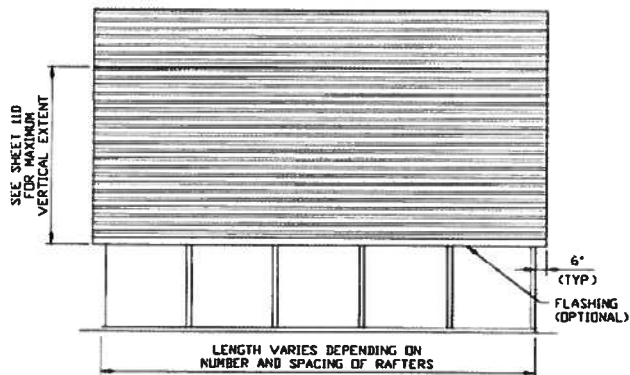
**TYPICAL END FRAME SECTION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SRSL

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 11A

SCALE: NTS

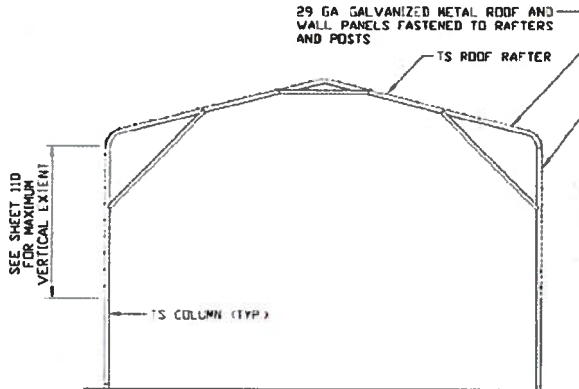
DWG. NO. SK-1

JOB NO. 180608/181563/182905

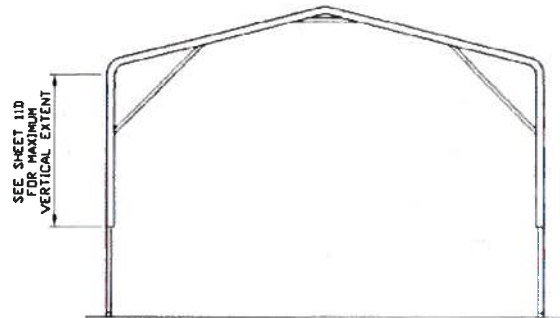
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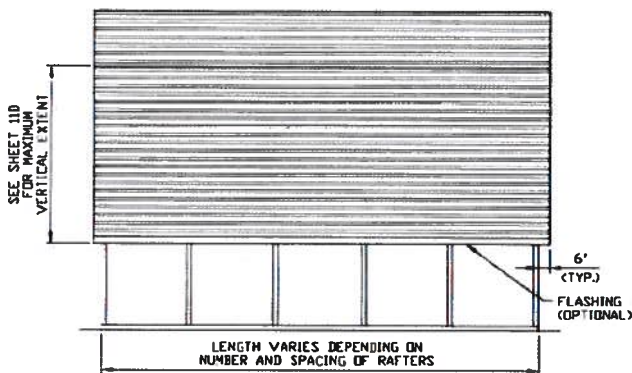
EXTRA SIDE PANEL OPTION



**TYPICAL END FRAME SECTION
EXTRA SIDE PANELS**
SCALE: NTS



**TYPICAL END ELEVATION
EXTRA SIDE PANELS**
SCALE: NTS



**TYPICAL SIDE ELEVATION
EXTRA SIDE PANELS**
SCALE: NTS

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CHECKED BY: PDH

PROJECT NO: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

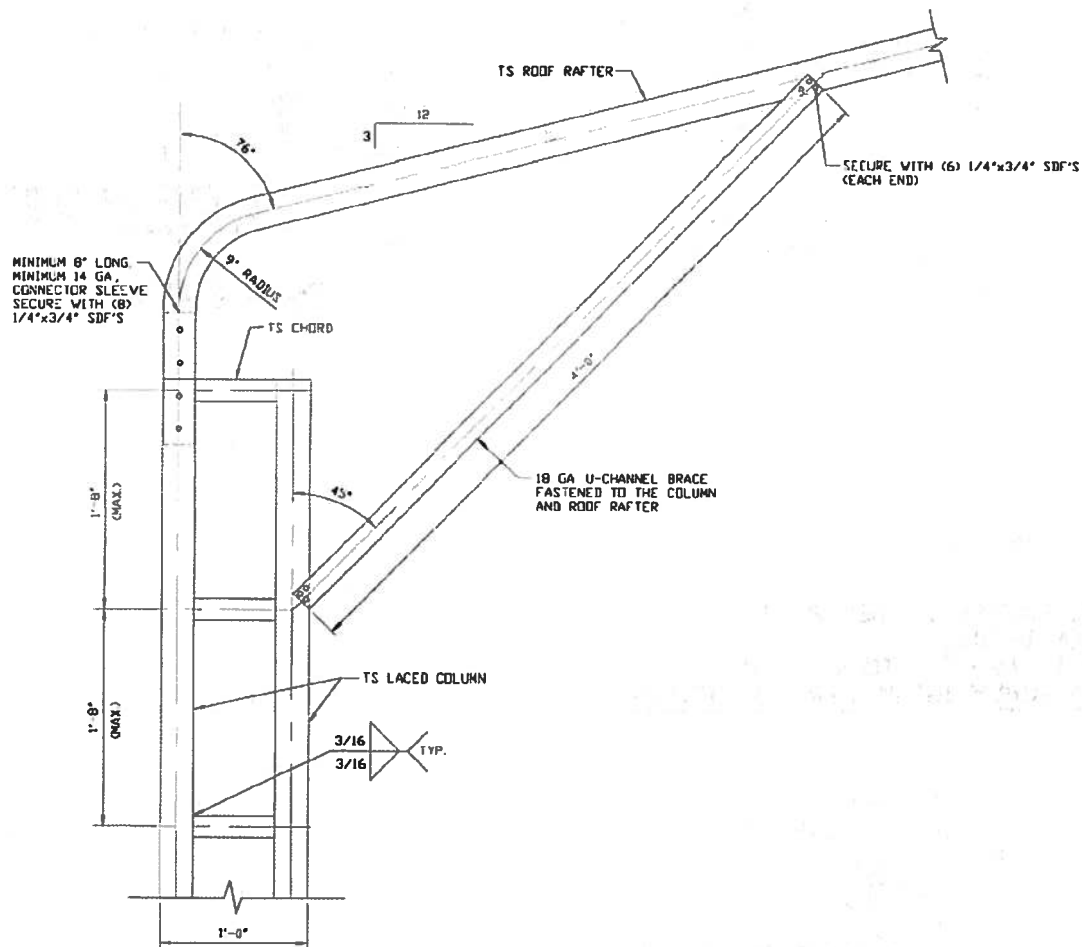
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SHT. 11B

DWG. NO. SK-1

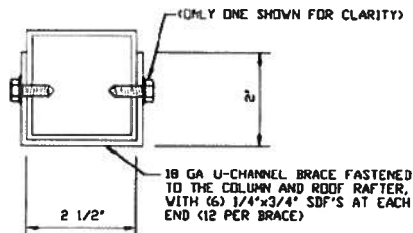
JOB NO. 180693/181565/182905

REV: 7



**BOW EAVE RAFTER/CORNER POST
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
AND FOR MAXIMUM 20'-0" VERTICAL EXTENT**
SCALE: NTS

11



BRACE SECTION
SCALE: NTS

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CLIENT: SEST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 11C

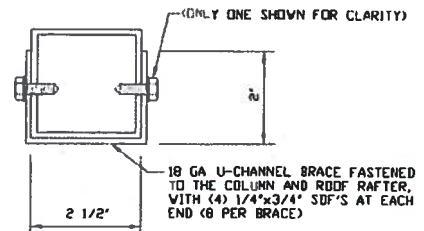
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DWG. NO: SK-1

JOB NO: 180585/180590S

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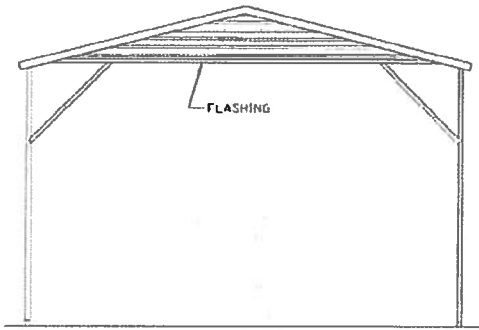


11A



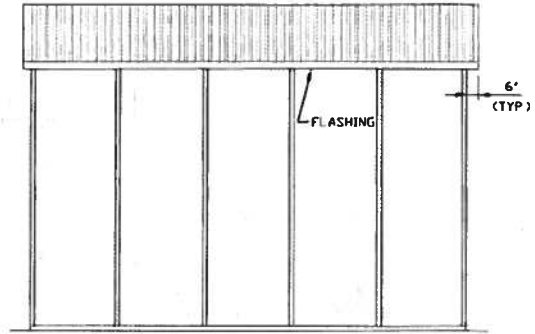
REV. 7

VERTICAL ROOF OPTION



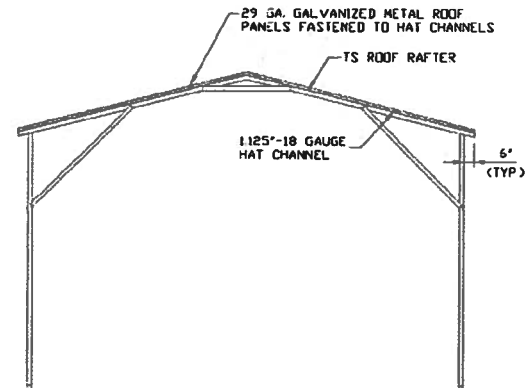
**TYPICAL END ELEVATION
VERTICAL ROOF**

SCALE: NTS



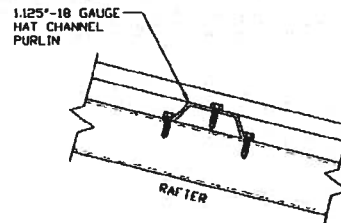
**TYPICAL SIDE ELEVATION
VERTICAL ROOF OPTION**

SCALE: NTS



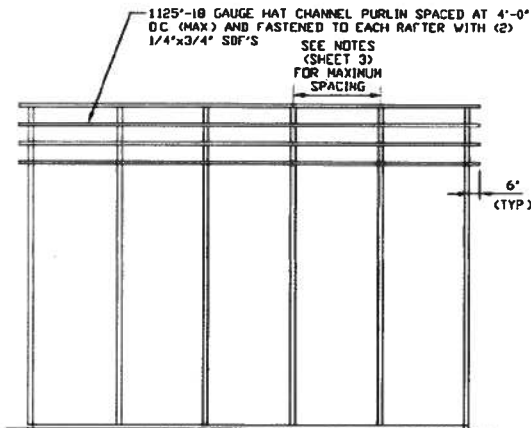
**TYPICAL SECTION
VERTICAL ROOF OPTION**

SCALE: NTS



ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



**TYPICAL SIDE FRAMING SECTION
VERTICAL ROOF OPTION**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT NO: VSM

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.

P.O. BOX 1287,
MOUNT AIRY, NC 27030

30'-0"x20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

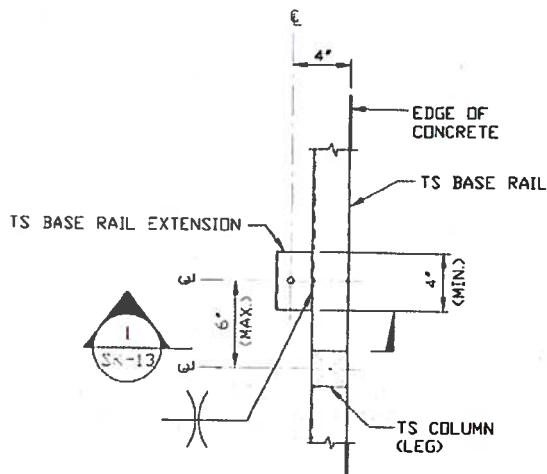
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JOB NO 180685/180905

REV. 7

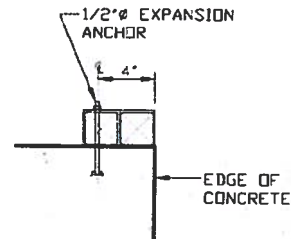
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ADDITIONAL BASE RAIL ANCHORAGE OPTION



TYPICAL ANCHOR DETAIL WHEN BASE RAIL IS NEAR EDGE OF CONCRETE

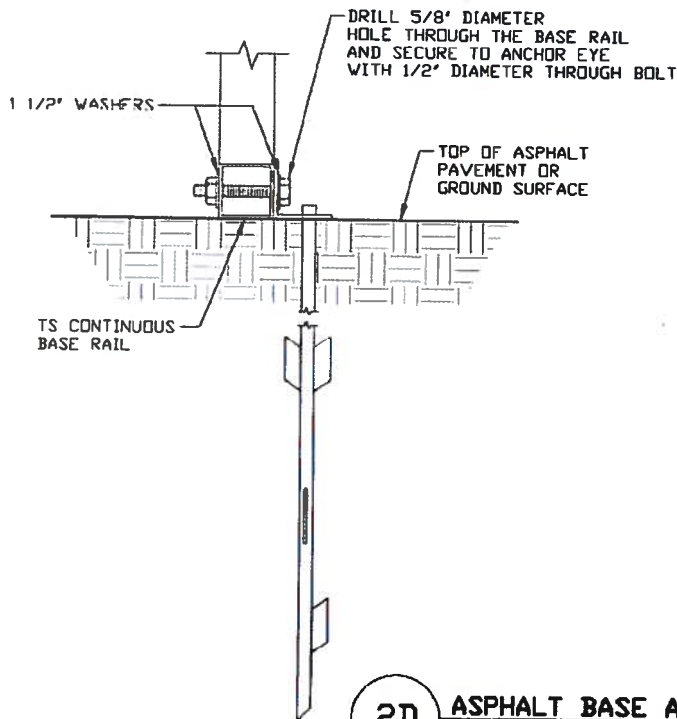
SCALE: NTS



SECTION 1

SCALE: NTS

1
SK-13



2D

ASPHALT BASE ANCHORAGE

SCALE: NTS

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STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

SHT. 13

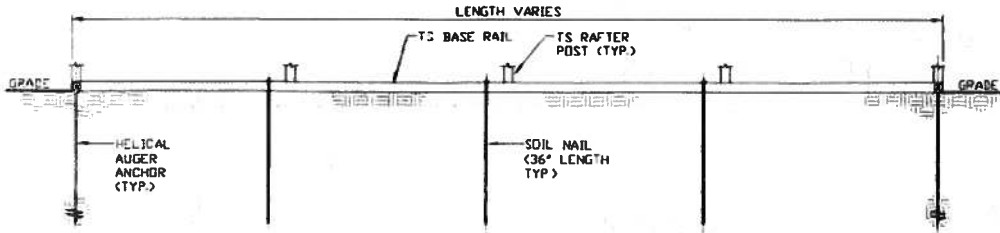
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JOB NO: 180685/181363/182903

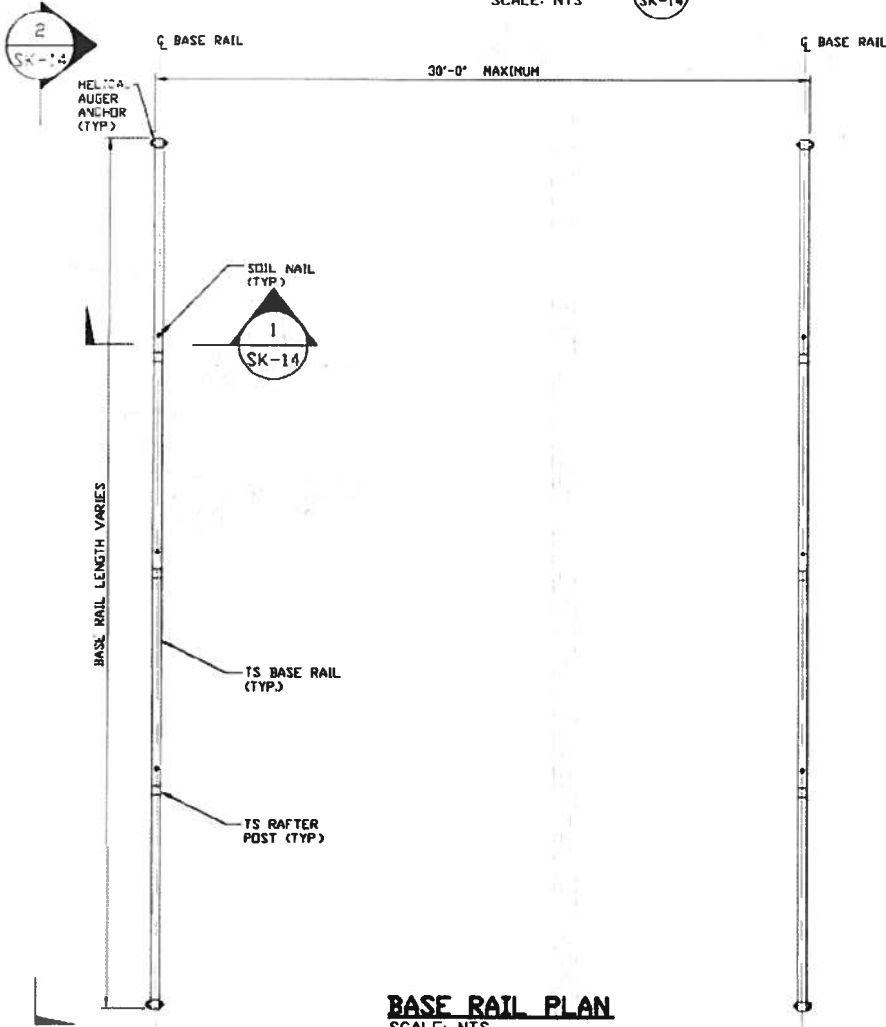
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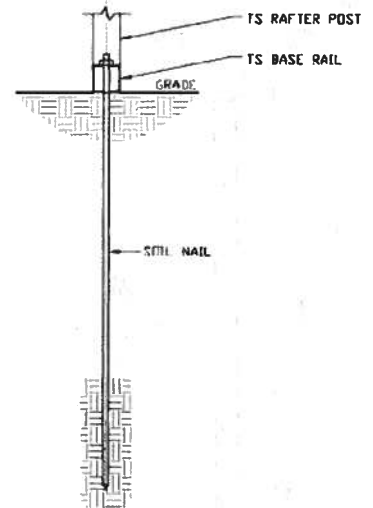
OPTIONAL BASE RAIL ON GRADE APPLICATION



SECTION 2
SCALE: NTS



BASE RAIL PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

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PROJECT: HGB VSM

CLIENT: SRST

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180685/180685

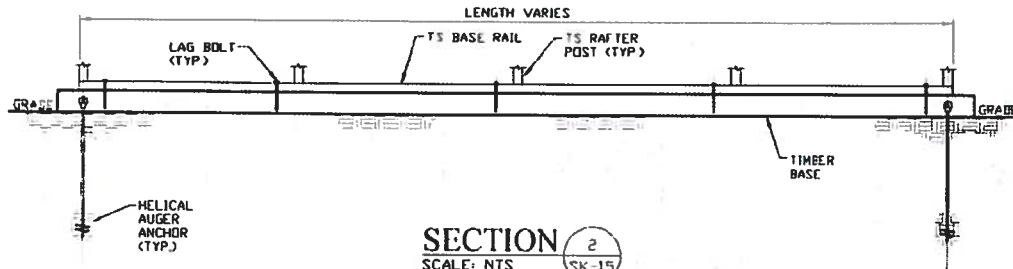
SHT. 14

DWG. NO: SK-1

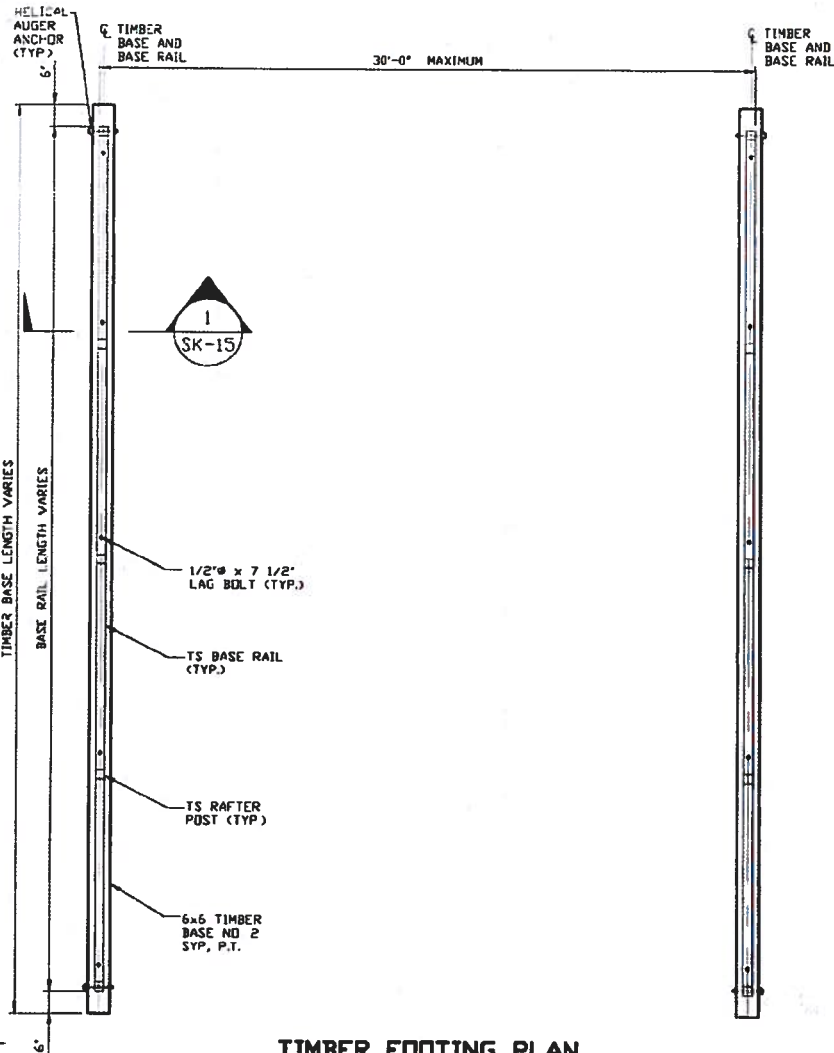
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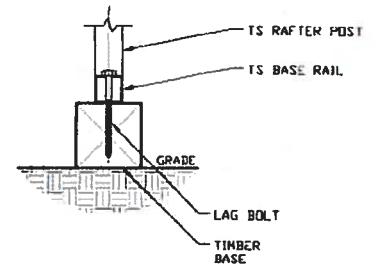
OPTIONAL BASE RAIL ON TIMBER BEAM



SECTION 2
SCALE: NTS



TIMBER FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

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CHECKED BY: PJM

PROJECT NO: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0"x20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 15

SCALE: NTS

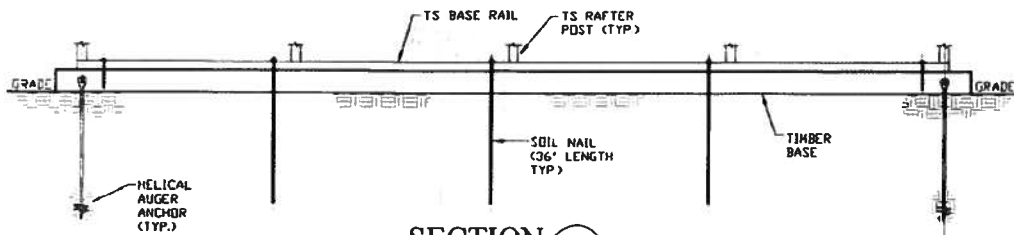
DWG NO: SK-1

JOB NO: 180695/182905

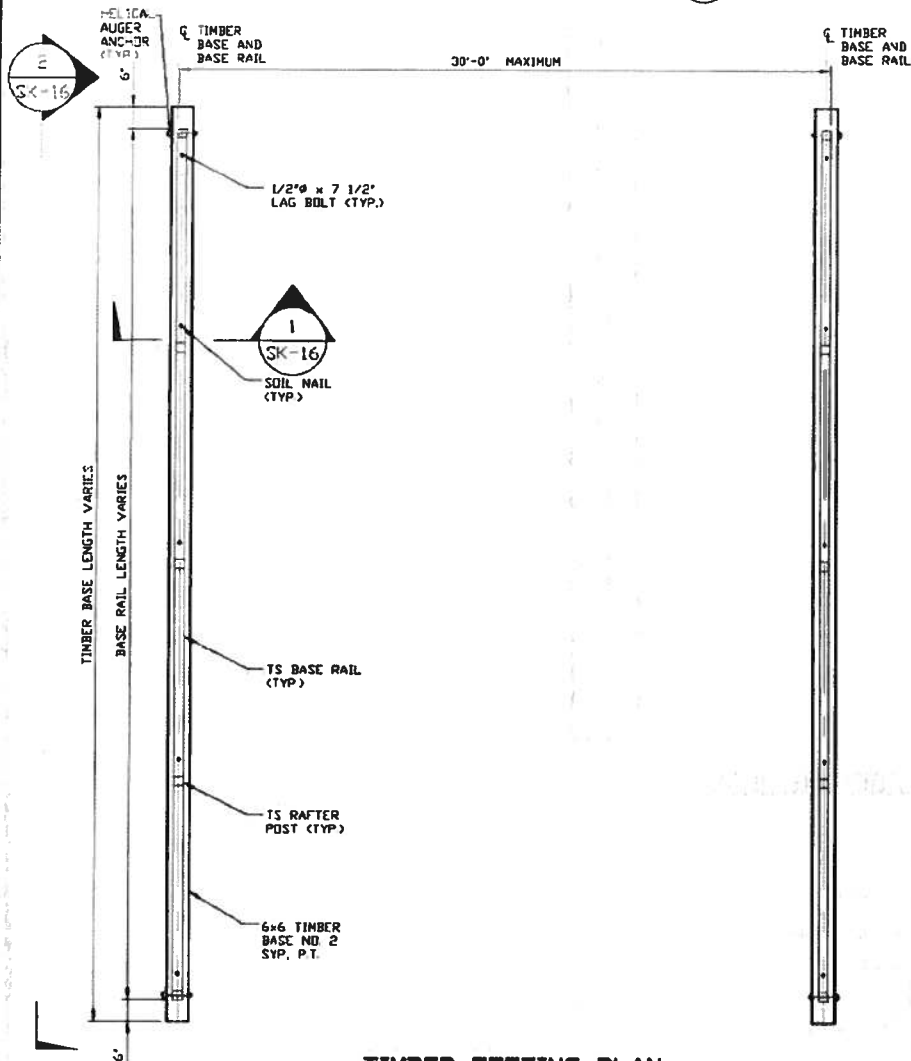
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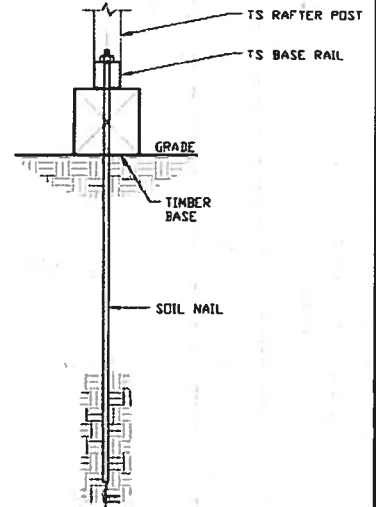
OPTIONAL BASE RAIL ON TIMBER BEAM WITH SOIL NAIL



SECTION 2
SCALE: NTS
SK-16



TIMBER FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS
SK-16

HELIX ANCHOR	
SIDE LENGTH	MAXIMUM SPACING
VARIES	10'-0" (EVERY OTHER POST)

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

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PROJECT MGR: VSM

CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
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30'-0"x20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SHT. 16

SCALE: NTS

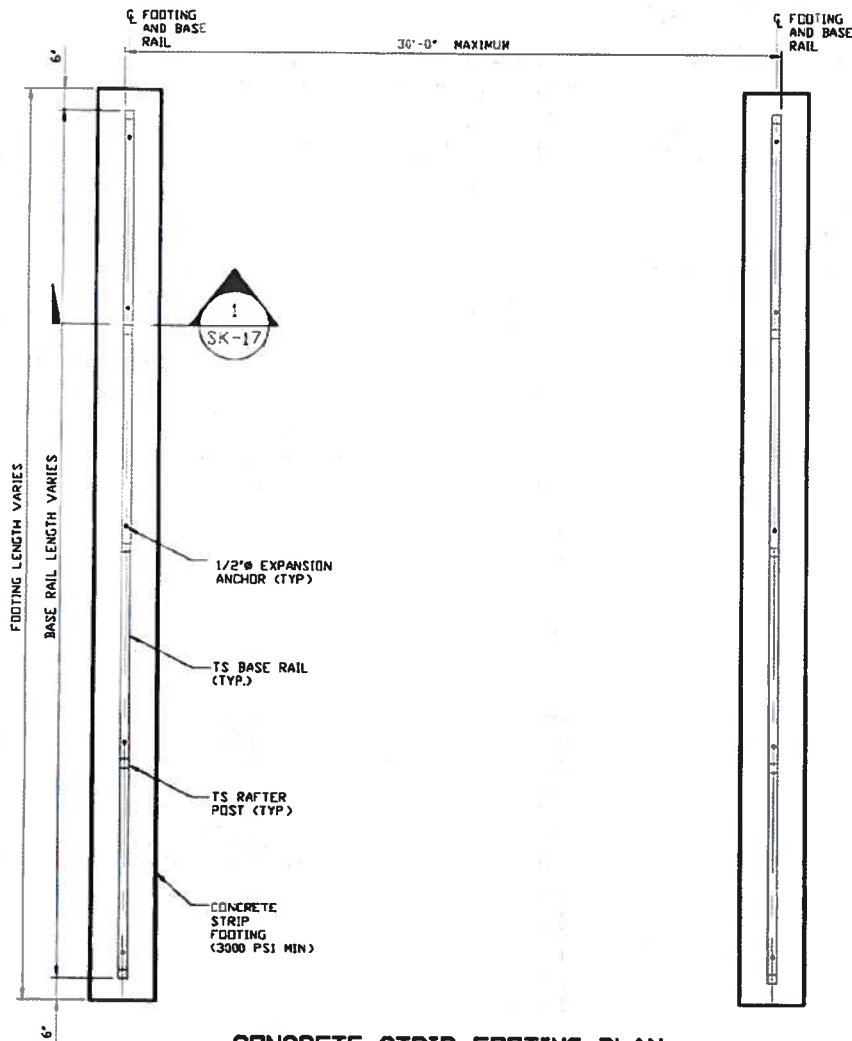
DWG NO SK-1

JOB NO. 180683/182905

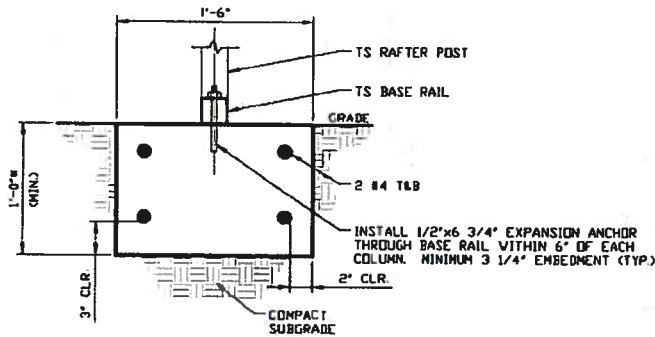
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OPTIONAL CONCRETE STRIP FOOTING



CONCRETE STRIP FOOTING PLAN
SCALE: NTS



SECTION 1
SCALE: NTS
SK-17

*COORDINATE WITH LOCAL CODES/ORD.

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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDM

PROJECT: HSB VSM

CLIENT: SSSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" FULLY OPEN STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180585/180590S

SHT. 17

DWG NO: SK-1

REV: 7

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