

DATE 03/06/2013

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000030821

APPLICANT STEPHEN SMITH, JR PHONE 386-754-2711
ADDRESS 486 NW TURNER RD LAKE CITY FL 32055
OWNER FREDDIE MAURER PHONE 256-630-4500
ADDRESS 715 SW BIRLEY AVE LAKE CITY FL 32024
CONTRACTOR TOMMY BOWMAN PHONE 336-783-3006
LOCATION OF PROPERTY 90 W, L BIRLEY RD, JUST PAST WESTSIDE COMM CENTER ON LEFT
SEE WHITE FENCE, TAKE LANE TO MH
TYPE DEVELOPMENT METAL BUILDING ESTIMATED COST OF CONSTRUCTION 9000.00
HEATED FLOOR AREA TOTAL AREA 864.00 HEIGHT 11.00 STORIES 1
FOUNDATION CONCRETE WALLS METAL ROOF PITCH 3/12 FLOOR SLAB
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 32-3S-16-02420-002 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES 10.01

131149818
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING NA BK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE, ACCSSESORY USE BUILDING

AUTHORIZATON ON FILE

Check # or Cash CASH 12030

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 4.32 SURCHARGE FEE \$ 4.32

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 103.64

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1302-25 Date Received 2-18-13 By LH Permit # 30821
 Zoning Official BLK Date 22 Feb 2013 Flood Zone X Land Use A-3 Zoning A-3
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 2-21-13
 Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☒ W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr ☒ Owner Builder ☒ Sub VF Form 380 - Bowman
 Road/Code _____ School _____ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid Did not Pay (form)

Septic Permit No. N/A Fax _____

Name Authorized Person Signing Permi. Stephen Smith Jr Phone 386-754-2711

Address 484 NW Turner Rd, Lake City, FL 32055

Owners Name FREDDIE MAURER Phone 256-630-4500

911 Address 715 SW BIRLEY AVE. LAKE City, FL 32024

Contractors Name Tommy Bowman Phone 336-783-3006

Address 170 Holly Springs Rd, Mount Airy, NC 27030

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address _____

Architect/Engineer Name & Address A & A Engineering 5911 Renaissance Pl Suite B, Toledo, OH

Mortgage Lenders Name & Address N/A 43623

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 32-3S-16-02420-002 Estimated Cost of Construction 9000.00

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions Hwy 90 W to BIRLEY AVE. TURN LEFT, 6/10 mile, turn into DRIVEWAY AFTER BLACKBOARD FENCE ON LEFT. SMALL DIRT Rd.

Number of Existing Dwellings on Property 1

Construction of 24x36x11' STEEL Building Total Acreage 10.010 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 11'

Actual Distance of Structure from Property Lines - Front 950' Side 255' Side 55' Rear 66'

Number of Stories 1 Heated Floor Area 0 Total Floor Area 864 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2010 and the 2008 National Electrical Code.**
 Page 1 of 2 (Both Pages must be submitted together.) Revised 3-15-12

12030

Spoke to Todd on 2-25-13
 Spoke to Debby 2-26-13
 (- Said owner - Did all work)

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Johnny Benton Brown
Contractor's Signature (Permittee)

Contractor's License Number SCC13149818
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this March 2013.
Personally known ☒ or Produced Identification _____

Deborah L. McMillan
State of Florida Notary Signature (For the Contractor)

SEAL:

commission expires 11-23-14



Page 2 of 2 (Both Pages must be submitted together)

Revised 3-15-12

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Freddie Maush

Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Owner

Contractor's Signature (Permitee)

Contractor's License Number _____

Columbia County

Competency Card Number 76

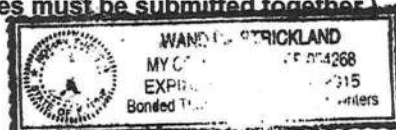
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 19th day of February 2013.

Personally known X or Produced Identification _____

Wanda F. Strickland

SEAL:

State of Florida Notary Signature (For the Contractor)



EVD-2-18-2015

FEBRUARY 28, 2013

TO: COLUMBIA COUNTY BUILDING DEPT.
135 NE HERNANDO AVENUE.
LAKE CITY, FL 32055

FROM : TOMMY BOWMAN
T-N-T METAL BUILDINGS, INC.
170 HOLLY SPRINGS ROAD
MOUNT AIRY, N C 27030

TO WHOM IT MAY CONCERN:

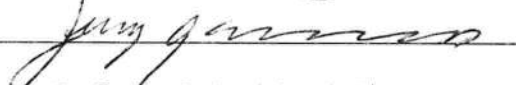
I TOMMY B BOWMAN (LICENSE HOLDER), LICENSE HOLDER FOR T-N-T METAL BUILDINGS DO CERTIFY THAT THE PERSON(S) LISTED BELOW AND WHOSE SIGNATURES APPEAR BELOW IS / ARE MY EMPLOYEE(S), PARTNER(S), OR OFFICER(S) AND ARE THE ONLY AUTHORIZED PERSONNEL TO PURCHASE PERMITS AND / OR CALL FOR DIRECTIONS, AND SIGN ON MY BEHALF.

I, THE LICENSE HOLDER, REALIZE THAT I AM RESPONSIBLE FOR ALL PERMITS PURCHASED UNDER MY LICENSE NUMBER AND ALL WORK DONE UNDER MY LICENSE.

TERRY STEVEN SMITH



JERRY GAMMONS



LICENSE NUMBER SCC131149818

LICENSE HOLDER SIGNATURE Tommy Bowman

PHONE # (336) 783-3006

DATE Feb. 28 - 2013

*Ok to sign Subcontractor
Verification forms for
Tommy Bowman.
L. Hodson
3-6-13*

NOTARY INFORMATION

State of N C County of SURRY

The above License Holder, whose name is TOMMY B. BOWMAN Personally appeared before me and is known by me or has produced identification on this 28 day of February 2013.





Notary Signature

Commission Expires 11-3-2014

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR _____ PHONE _____
THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR	390	T. Stephen Smith Jr.	

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1302-25

CONTRACTOR

Freddie Maurer

PHONE

256-630-

4500

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

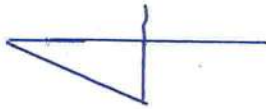
ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
el CONCRETE FINISHER	100310	LARRY PARRISH	Larry Parrish
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

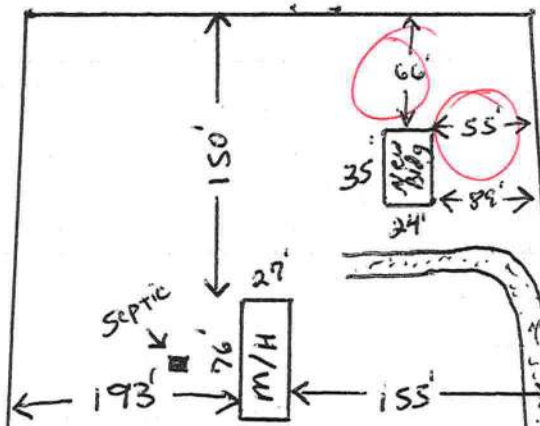
Contractor Form: Subcontractor Form: A/57

North



1051.23'

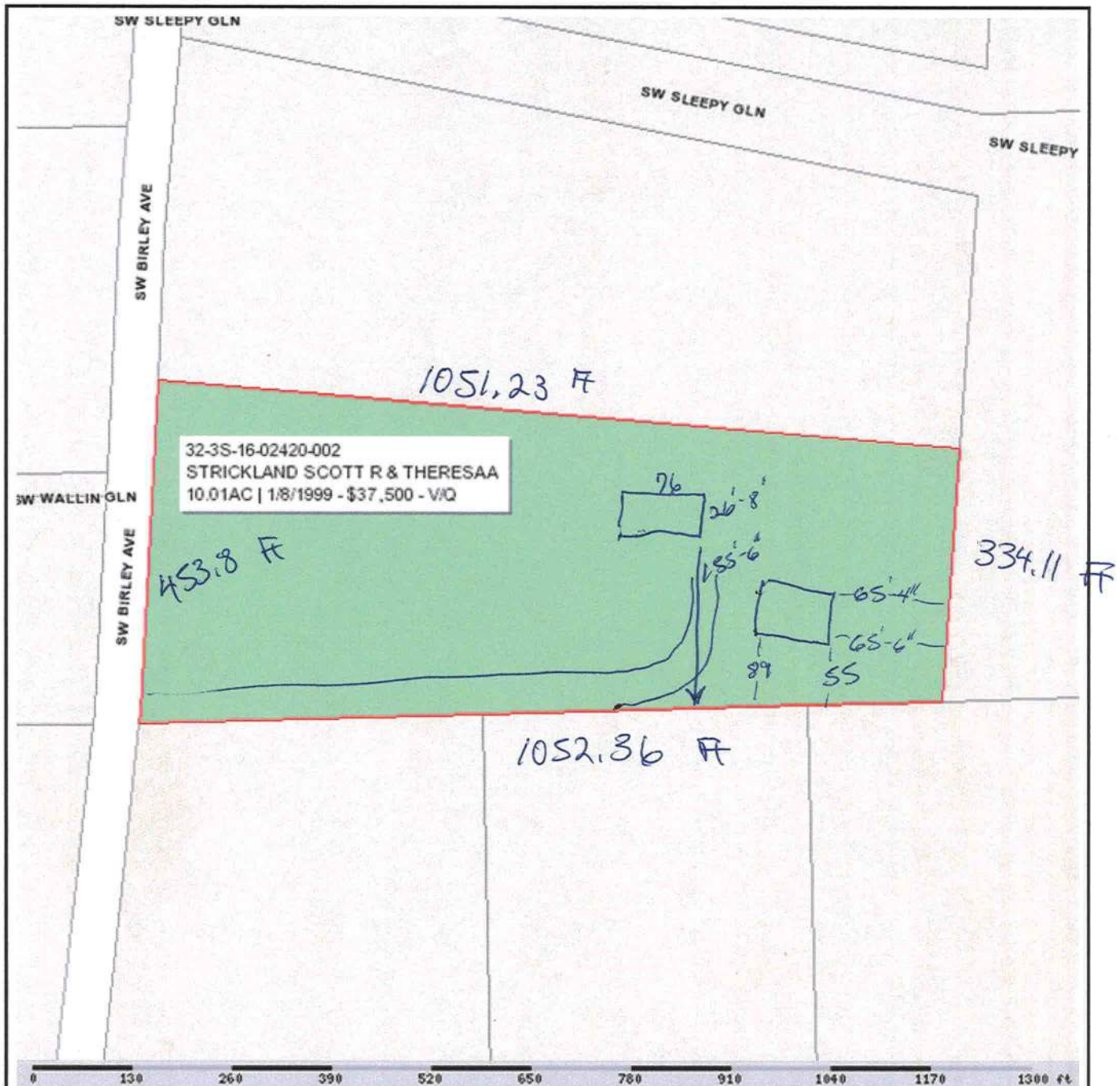
334.11'



10.01 AC

453.8'

Birley Ave



Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 32-3S-16-02420-002 - MOBILE HOM (000200)

BEG SW COR OF NE1/4, RUN N 452 FT, SE 84 DEG 1108.60 FT, S 334.64 FT TO S LINE OF NE1/4, W 1114.90 FT TO POB, EX RD R/W DESC ORB 975-1644. ORB 769-176

Name: STRICKLAND SCOTT R & THERESA A

Site: 715 SW BIRLEY AVE

226 SW BRANDY WAY

Mail: LAKE CITY, FL 32024-4546

Sales 1/8/1999

Info 1/4/1993

\$37,500.00 V/Q

\$25,000.00 V/Q

2012 Certified Values

Land \$42,429.00

Bldg \$36,554.00

Assd \$82,183.00

Exmpt \$50,000.00

Taxbl Cnty: \$32,183

Other: \$32,183 | Schl: \$57,183

NOTES:



This information, GIS updated: 2/1/2013, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

powered by:
GrizzlyLogic.com

752-69 77

Inet: 201312001230 Date: 1/30/2013 Time: 1:23 PM
Doc Stamp Desc: 476 OC
DC P DeWitt Casson, Columbia County Page 1 of 2 B-1246 P-2005

Made this January 30, 2013 A.D.

to Frederick Arnold Maurer II and Virginia Maurer As Joint Tenants With Rights of Survivorship, whose post office address is:
715 SW Birley Avenue, Lake City, Florida 32024, hereinafter called the grantees;

(Whoever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

See Attached Schedule "A"

Parcel ID Number: 02420-002

To Have and to Hold, the same in fee simple forever.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Elaine R. Davis
Willow Printed Name Elaine R. Davis

Scott R. Strickland (Seal)

Witness Printed Name, Nathaniel A. Sweet

Therese A. Moors (Seal)
Therese A. Moors, fka Therese A. Strickland

The foregoing instrument was acknowledged before me this 30th day of January, 2013, by Scott R. Strickland and Theresa A. Moore, aka Theresa A. Strickland, who are personally known to me or who has produced Drivers Licenses as identification.

Notary Public
Print Name: Elaine R. Davis
My Commission Expires: Oct 14, 2015



Prepared by:
Blaine R. Davis
American Title Services of Lake City, Inc.
321 SW Main Boulevard, Suite 105
Lake City, Florida 32025

File Number: 12-230

Schedule "A"

TOWNSHIP 3 SOUTH, RANGE 16 EAST

SECTION 32: The Parcel hereon shown is located in the NE 1/4 of Section 32, Township 3 South, Range 16 East, Columbia County, Florida, more particularly described as follows:

COMMENCE at the SW corner of the NE 1/4 of Section 32, Township 3 South, Range 16 East, said corner being the Point of Beginning, Run North 05° 10' 45" East along the West line of said NE 1/4 a distance of 452.00 feet, thence South 84° 51' 51" East a distance of 1108.60 feet, thence South 05° 10' 45" West a distance of 334.64 feet to the South line of said NE 1/4, thence South 89° 05' 35" West along said South line a distance of 1114.90 feet to the Point of Beginning, IN COLUMBIA COUNTY, FLORIDA.

Less and Except that part contained within the maintained Right of Way for Birley Road (A County Maintained Road).

Together With: 1997 Doublewide Mobile Home, Vin # GAFLT05A26026CW21 AND GAFLT05B26026CW21,

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

32-38-16-02420-002

Clerk's Office Stamp

Int: 201312002479 Date: 2/19/2013 Time: 12:47 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1249 P: 1934

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): REC. S/W CORNER OF N/4, RUN 452 FT. SE 84 DEG. 1108.60 FT, S 334.64 FT to S
a) Street (job) Address: 715 AIRLEY AVE S.W. LAKE CITY, FL 32024 872-1815
2. General description of improvements: 24 x 30 Metal Building

3. Owner Information

- a) Name and address: FREDDIE MAURER
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property 100%

4. Contractor Information

- a) Name and address: T+T 484 NW TURNER AVE LAKE CITY, FL 32055
b) Telephone No.: (386) 754-2177 Fax No. (Opt.): (386) 754-0104

5. Surety Information

- a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.): _____

6. Lender

- a) Name and address: _____
b) Phone No.: _____

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:

- a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(f)(b), Florida Statutes:

- a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

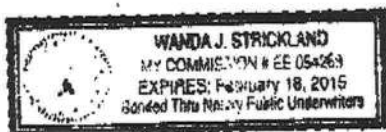
10. Freddie Maurer
Signature of Owner or Owner's Authorized Office/Partner/Manager
Freddie Maurer
Printed Name

The foregoing Instrument was acknowledged before me, a Florida Notary, this 19th day of February, 20 13, by:
Freddie Maurer as Self (type of authority, e.g. officer, trustee, attorney
fact) for Self (name of party on behalf of whom instrument was executed).

Personally Known X OR Produced Identification _____ Type _____

Notary Signature Wanda J. Strickland Notary Stamp or Seal:

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



Freddie Maurer
Signature of Natural Person Signing (in line #10 above.)



A & A ENGINEERING
CIVIL - STRUCTURAL
SINCE 196

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel (419) 292-1983
Fax (419) 292-0955



Metal Buildings Inc.

170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

DA

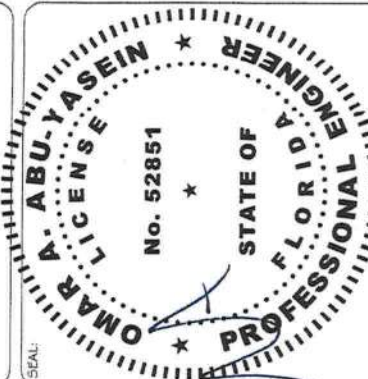
DRAWING TITLE:

COVER SHEET

SHEET NO.:

1 OF 9

SEAL



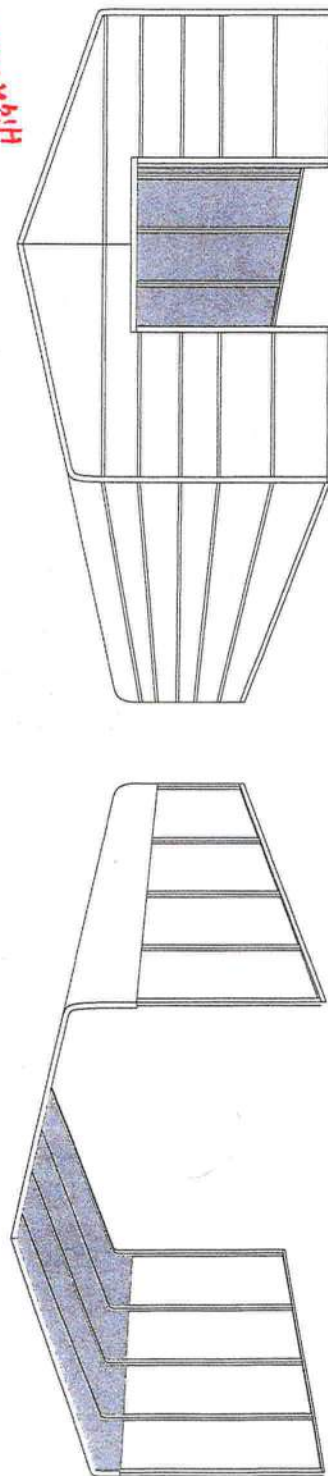
LICENSE EXPIRES: 2/28/2013

DATE SIGNED: 3/27/2012



See Notes
& High Lights

REGULAR / A-FRAME - VERTICAL / HORIZ. 12' thru 30' CARPORTS (STATE OF FLORIDA) AS PER DESIGN CRITERIA



DESIGN NOTES	DESIGN CRITERIA	DRAWING INDEX
1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH FBC 2010, OSHA, AISI, ASCE-10, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS. 2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9 3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL. 4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS. 5. ALL FIELD CONNECTIONS SHALL BE TEK5 #12 (1/4"x1"). 6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ. 7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL. 8. STRUCTURAL TUBE T52 1/2"x2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"x2 1/4" - 12GA AND EITHER ONE CAN BE USED IN LIEU OF THE OTHER	PREVAILING CODE: FBC 2010 / IBC 2012 USE GROUP: U (CARPORTS, BARN) BASE WIND VELOCITY: 90 TO 160 MPH (SEE SCHEDULE) EXPOSURE CATEGORY: C ROOF DEAD LOAD: 2.0 PSF ROOF LIVE LOAD: AS PER GROUND SNOW MAX. 20 PSF GROUND SNOW LOAD: 0 TO 30 PSF (SEE SCHEDULE) IMPORTANCE FACTOR = SNOW 0.8 WIND 0.87 SEISMIC 1.0 SEISMIC DESIGN CATEGORY: A LOAD COMBINATIONS: DL+LL, 0.6DL+WL DL+0.75LL+0.75WL	1. COVER SHEET 2. FLOOR PLAN 3. REGULAR / AFRAME BLDG. SECTIONS 3A. SCHEDULES 4. SIDE ELEVATIONS 5. SECTION DETAILS 6. END WALL DETAILS 7. OPENING DETAILS 8. LEAN-TO OPTION 9. ANCHORAGE

THE INFORMATION CONTAINED IN THESE DRAWINGS ARE THE SOLE PROPERTY OF A & A ENGINEERING. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF A & A ENGINEERING IS PROHIBITED.



Metal Buildings Inc.

170 Holly Springs Rd.
Mr. Airy, NC 27033

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY: JMS

CHECKED BY: OA

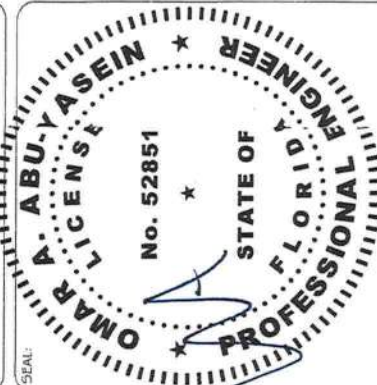
DRAWING TITLE:

FLOOR PLAN

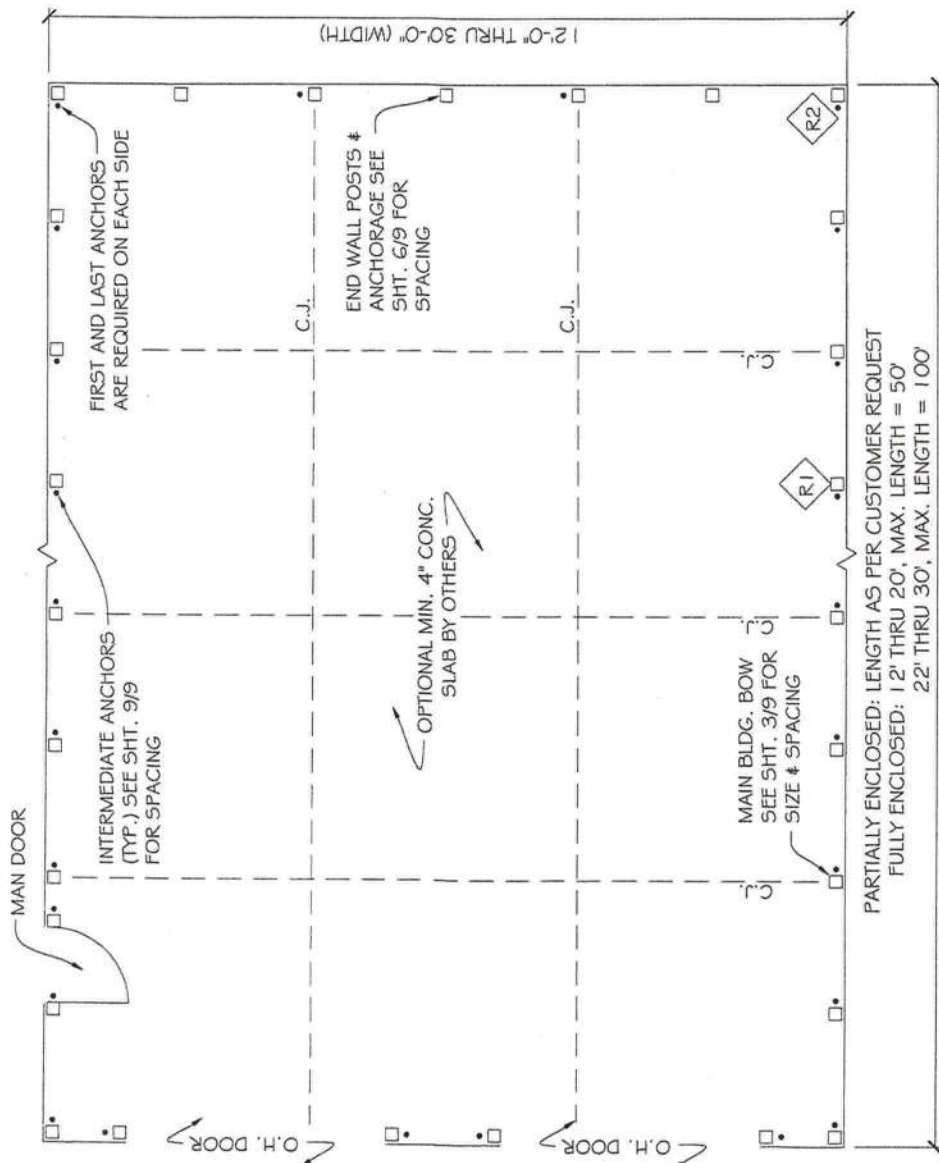
SHEET NO.:

2 OF 9

SEAL:



DATE SIGNED: 3/27/2012



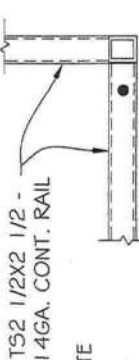
WINDOW/DOOR SIZES AND LOCATIONS PER CUSTOMER REQUEST (SEE SHT FOR SIZE AND LOCATION)

FLOOR PLAN

(SCALE: NT5)

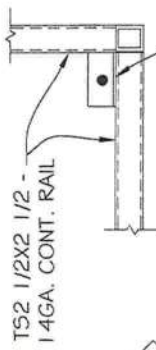
C.J. - CONTROL JOINTS ON CONCRETE
SLAB OPTION MAX. 20X20

ALL STEEL SHALL BE GALVANIZED OR RUST
PROOF PAINTED



BASE ANCHOR

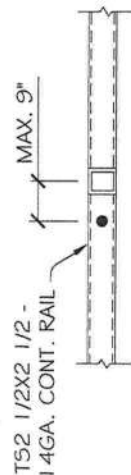
(SCALE: NT5)



ALTERNATE ANCHOR

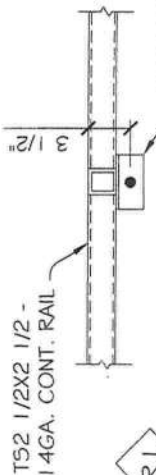
(SCALE: NT5)

ANCHOR -
SEE OPTIONS &
SPACING SHT. 9/9



BASE ANCHOR

(SCALE: NT5)



ALTERNATE ANCHOR

(SCALE: NT5)

ANCHOR -
SEE OPTIONS &
SPACING SHT. 9/9



Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY: JMS

CHECKED BY: OA

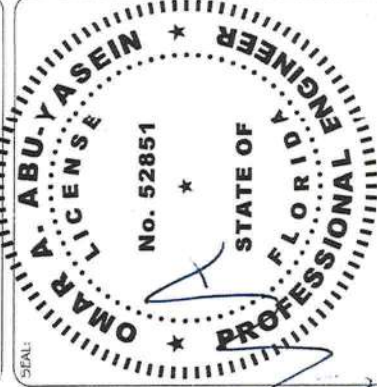
DRAWING TITLE:

TYP. BLDG. SECTION

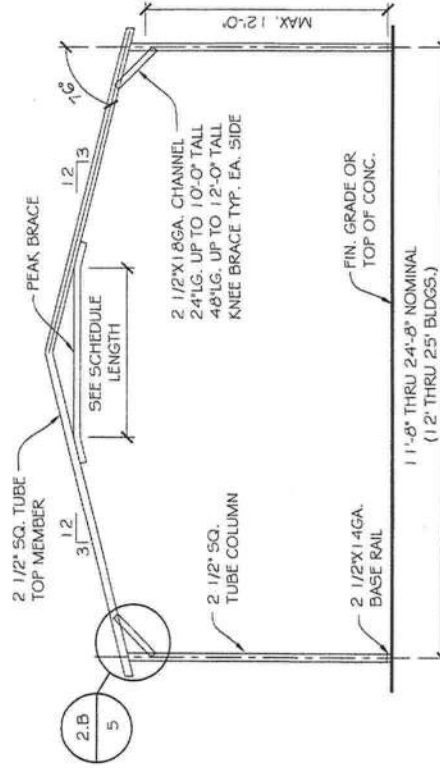
SHEET NO.:

3 OF 9

SEAL:

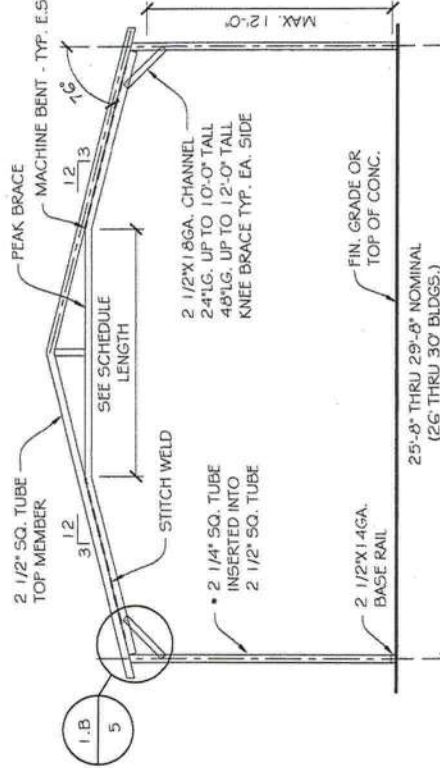


DATE SIGNED: 3/27/2012



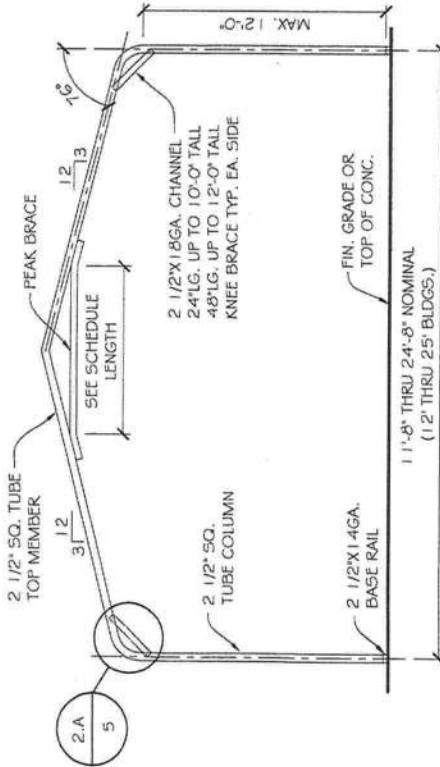
A-FRAME SINGLE BOW BUILDING SECTION

(SCALE: NT5)



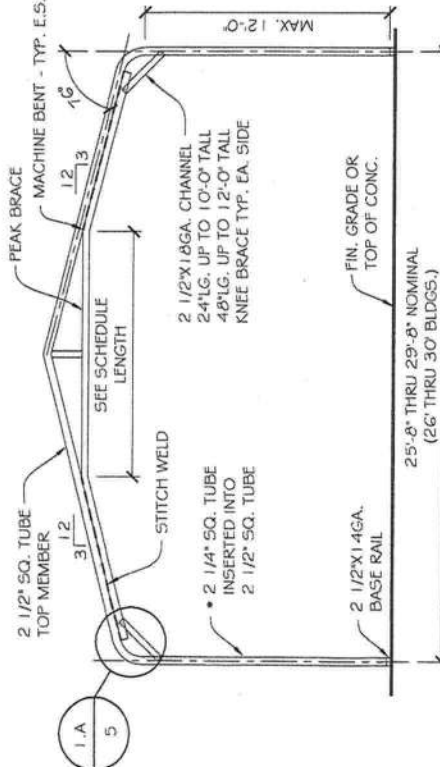
A-FRAME DOUBLE BOW BUILDING SECTION

(SCALE: NT5)



REGULAR SINGLE BOW BUILDING SECTION

(SCALE: NT5)



REGULAR DOUBLE BOW BUILDING SECTION

(SCALE: NT5)

* INSERT TO BE FULL HEIGHT. FIELD BOLT W/ TEKS
1/2" X 1" @ 12" C/C - STAGGER OPPOSITE FACE

ALL STRUCTURAL TUBING SHALL BE 1/4 GA. OR HIGHER

Required

BOW SCHEDULE (TOP & COLUMN MEMBERS SPACING)

WIND		80 TO 100 (MPH)				101 TO 120 (MPH)				121 TO 150 (MPH)			
		BUILDING WIDTH				BUILDING WIDTH				BUILDING WIDTH			
GS/LL	POST HT.	12-16 (SINGLE BOW)	17-22 (SINGLE BOW)	23-26 (SINGLE BOW)	26-30 (DOUBLE BOW)	12-16 (SINGLE BOW)	17-22 (SINGLE BOW)	23-26 (SINGLE BOW)	26-30 (DOUBLE BOW)	12-16 (SINGLE BOW)	17-22 (SINGLE BOW)	23-26 (SINGLE BOW)	26-30 (DOUBLE BOW)
		F 60" P 54" (60")	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"
20/20	5'-0" TO 8'-0"	F 60" P 54" (60")	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"
	9'-0" TO 12'-0"	F 60" P 54" (60")	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"
30/20	5'-0" TO 8'-0"	F 60" P 54" (60")	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"
	9'-0" TO 12'-0"	F 60" P 54" (60")	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"	F 60" P 60"

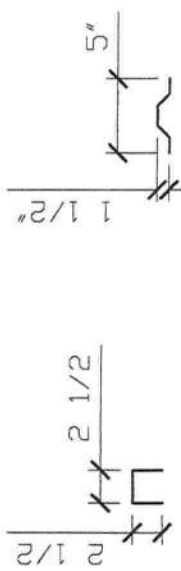
WIND		151 TO 160 (MPH)			
		BUILDING WIDTH			
GS/LL	POST HT.	12-16 (SINGLE BOW)	17-22 (SINGLE BOW)	23-26 (SINGLE BOW)	26-30 (DOUBLE BOW)
		F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"
20/20	5'-0" TO 8'-0"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"
	9'-0" TO 12'-0"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"
30/20	5'-0" TO 8'-0"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"
	9'-0" TO 12'-0"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"	F 42" (48") P 42"

HIGHER VALUES WITHIN PARENTHESES CAN BE USED FOR VERTICAL SHEATHING ONLY

PEAK BRACE SCHEDULE

WIDTH	SIZE		LENGTH
	80-120 MPH	121-160 MPH	
12	2 1/2"X18GA. CHANNEL	2 1/2"X14GA. CHANNEL	2'-0"
14	2 1/2"X18GA. CHANNEL	2 1/2"X14GA. CHANNEL	4'-0"
16	2 1/2"X18GA. CHANNEL	2 1/2"X14GA. CHANNEL	6'-0"
18	2 1/2"X18GA. CHANNEL	2 1/2"X14GA. CHANNEL	6'-0"
20-22	2 1/2"X14GA. SQ. TUBE	2 1/2"X14GA. SQ. TUBE	10'-0"
24-26	2 1/2"X14GA. SQ. TUBE	2 1/2"X14GA. SQ. TUBE	14'-0"
28-30	2 1/2"X14GA. SQ. TUBE	2 1/2"X14GA. SQ. TUBE	16'-0"

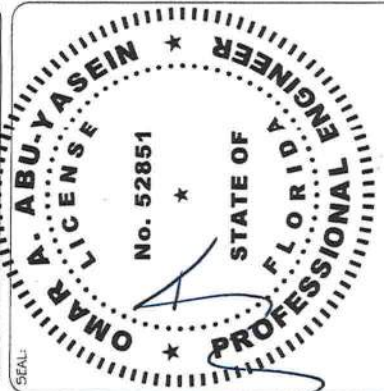
F = FULLY ENCLOSED (CLOSED)
P = PARTIALLY ENCLOSED (OPEN)
G.S. = GROUND SNOW
L.L. = LIVE LOAD



A & A ENGINEERING
CIVIL - STRUCTURAL
SINCE 1996
5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955

TNT
Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER: TNT METAL BUILDING, INC.
LOCATION: FLORIDA
DRAWING NO.: TNT-FL
DATE: 3/27/2012
PROJECT NUMBER: 039-12-0261
DRAWN BY: JMS
CHECKED BY: OA
DRAWING TITLE: SCHEDULES
SHEET NO.: 3A OF 9



DATE SIGNED: 3/27/2012



A & A ENGINEERING
CIVIL - STRUCTURAL
SINCE 1986

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY: JMS

CHECKED BY: OA

DRAWING TITLE:

SIDE ELEVATIONS

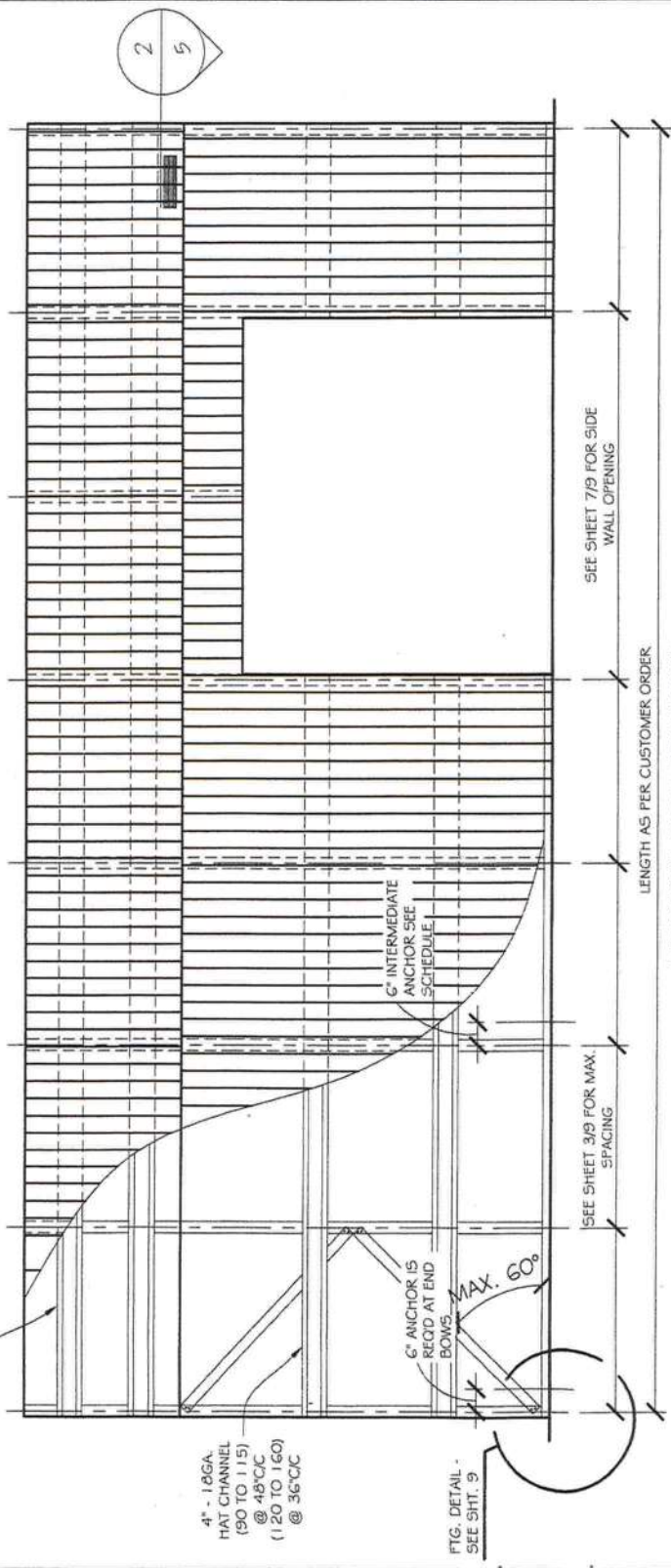
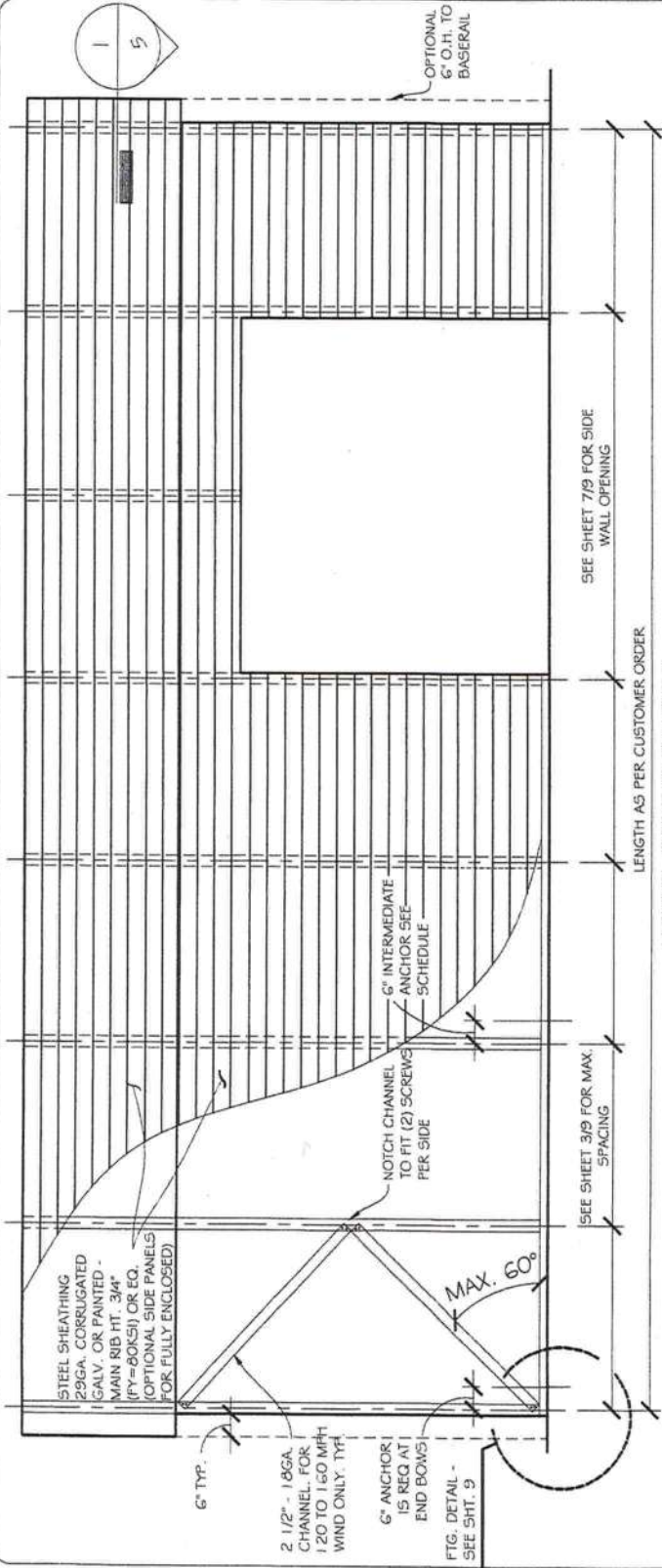
SHEET NO.:

4 OF 9

SEAL



DATE SIGNED: 3/27/2012





A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1986

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

DRAWING TITLE:

SECTION DETAILS

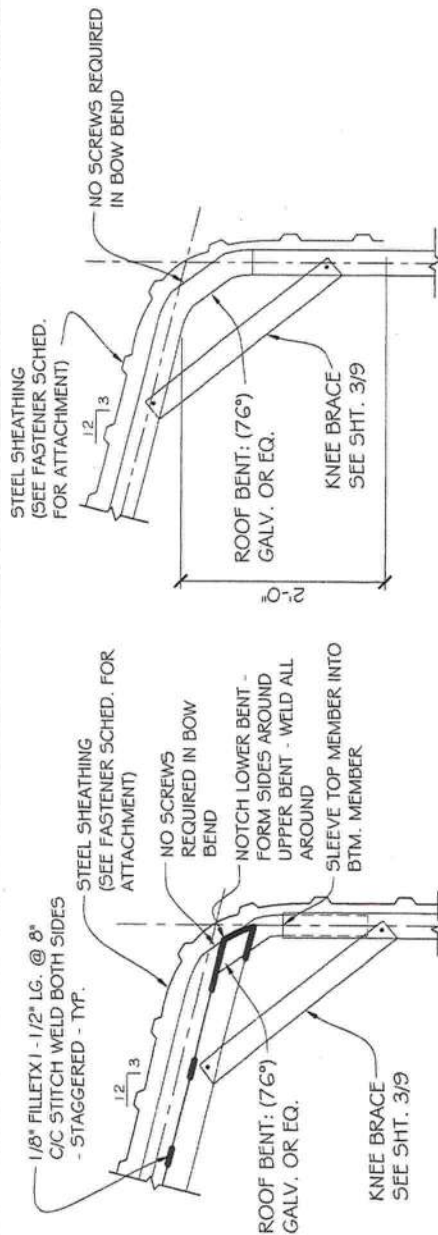
SHEET NO.:

5 OF 9

SCALE:



DATE SIGNED: 3/27/2012



REGULAR DOUBLE BOW

SECTION DETAIL

(SCALE: NTS)

REGULAR SINGLE BOW

SECTION DETAIL

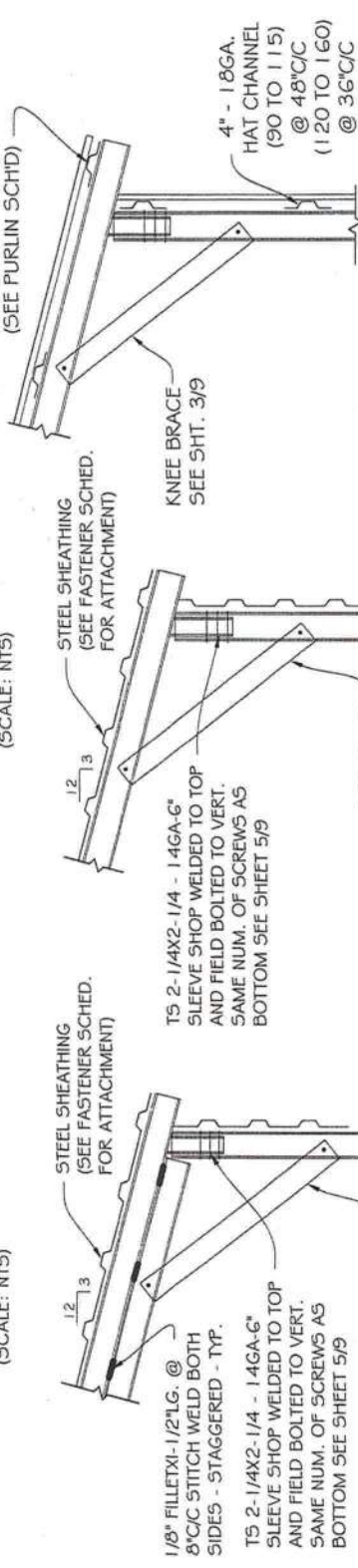
(SCALE: NTS)

2.A

3

2

4



TYPICAL A-FRAME VERTICAL

SECTION DETAIL

(SCALE: NTS)

A-FRAME SINGLE BOW

SECTION DETAIL

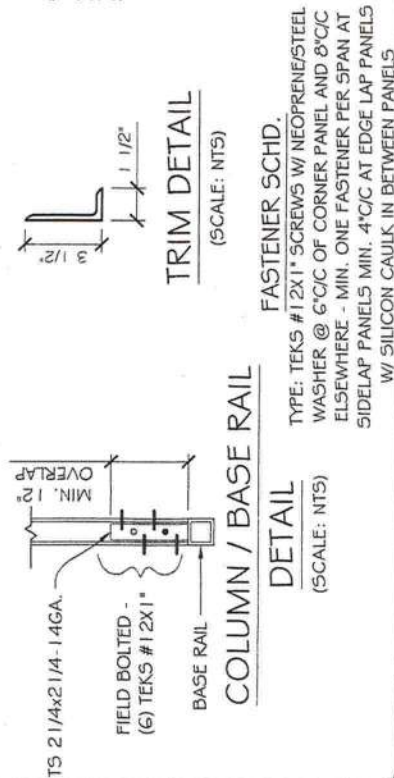
(SCALE: NTS)

2.B

3

2

4



COLUMN / BASE RAIL

DETAIL

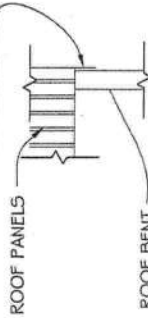
(SCALE: NTS)

TRIM DETAIL

(SCALE: NTS)



CONT. EDGE TRIM 3 1/2X1 1/2-29GA ALUM ANGLE ATTACH W/ TEK5 SCREW W/ NEOPRENE/ STEEL WASHER EVERY 2 RIBS AS NEEDED PER SHEET MFR.'S RECOMMENDATION



EDGE DETAIL

(SCALE: NTS)

1

4

EDGE DETAIL

(SCALE: NTS)

2

4



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: EL ORIDA

DRAWING NO.: TNT-El

DATE: 3/27/2013

PROJECT NUMBER:

039-12-0261

DRAWN BY: _____

CHECKED BY: _____

DRAWING TITLE:

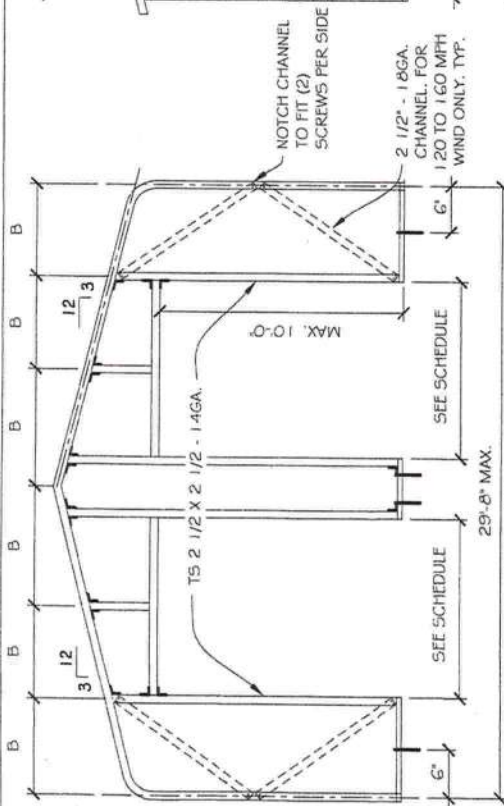
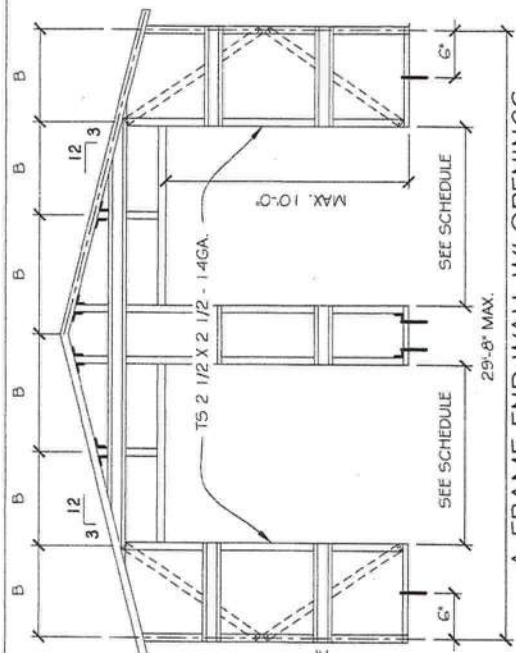
END WALL DETAILS

SHEET NO.:

6 OF 9

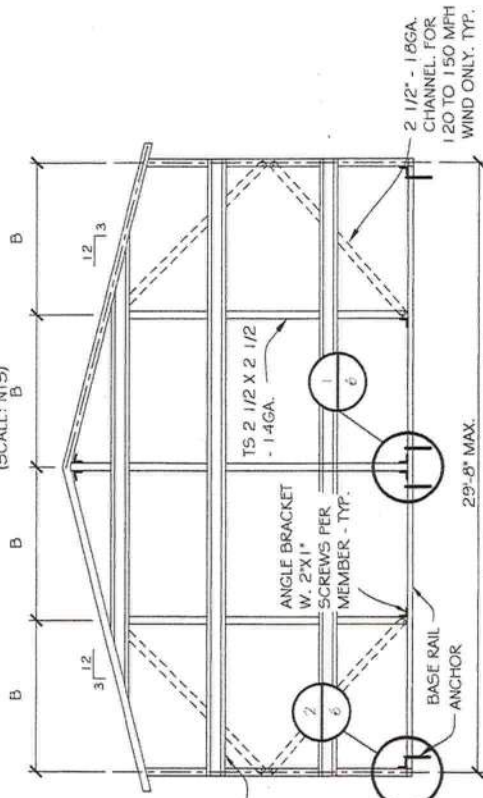


DATE SIGNED: 3/27/2012



REGULAR END WALL W/ OPENINGS

(SCALE: NTS)

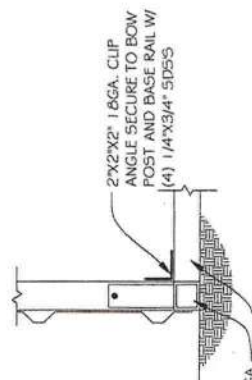
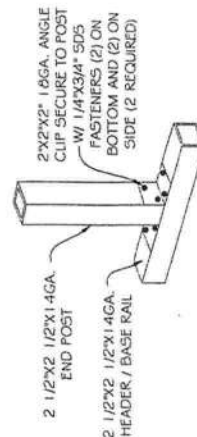


A-FRAME END WALL

(SCALE: NT\$)

MAX. END WALL OPENING

CARPOT WIDTH	MAX. DOOR WIDTH	HEADER SIZE
12'-16'	8'	T5 2 1/4X 2 1/4 - 14GA.
18'	10'	T5 2 1/4X 2 1/4 - 14GA.
20'-22'	12'	T5 2 1/4X 2 1/4 - 14GA.
24'-30'	14'	DBL T5 2 1/4X 2 1/4 - 14GA.

TS 2 1/2"X2 1/2"X14GA.-
CONTINUOUS BASE RAIL

SECTION

(SCALE: NTS)



SECTION

MAX. POST SPACING 'B' (END WALL SCHEDULE)		
WIND	POST SPACING "B"	ANCHORS
90 - 120	5'-0" C/C	EVERY OTHER BAY "B"
121 - 150	4'-0" C/C	EVERY BAY "B"
151 - 160	3'-6" C/C	EVERY BAY "B"



5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FI

DATE: 3/27/2013

PROJECT NUMBER:

039-12-0261

DRAWN BY: _____ IMC

CHECKED BY: OA

DRAWING TITLE:

SIDE WALL

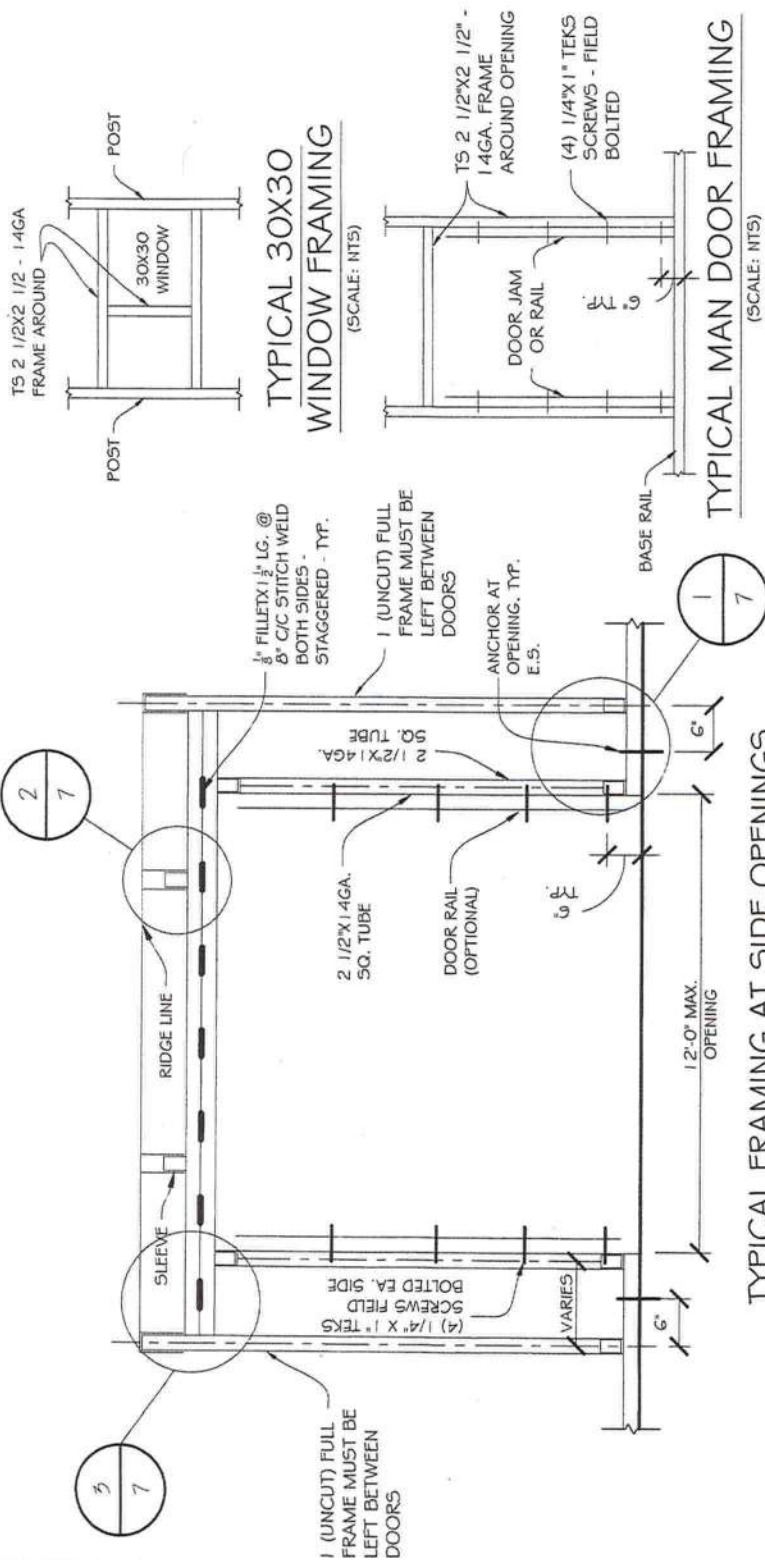
OPENING DETAILS

SHEET NO.:

6 OF 9



DATE SIGNED: 3/27/2012



TYPICAL FRAMING AT SIDE OPENINGS

(SCALE: NTS)

6" LONG TS 2 1/4"X2
1/4" - 14GA NIPPLE W/

(4) SDS FASTENERS FOR 90 TO 110 MPH

WIND, (8) SDS
FASTENERS FOR 120

TO 130 - 160 MPH, (2)
ON EACH SIDE @ 2" C/C

6" LONG TS 2 1/4"x2 1/4"
1/4GA NIPPLE. SECURE BOW
4 POST TO NIPPLE WITH
(2) 1/4"x1" SDS FASTENERS
ON EACH SIDE

DOUBLE TS 2 1/2X2 1/2
HEADERTS 2 1/2"x2 1/2"
BOW POST

BOW/POST DETAIL

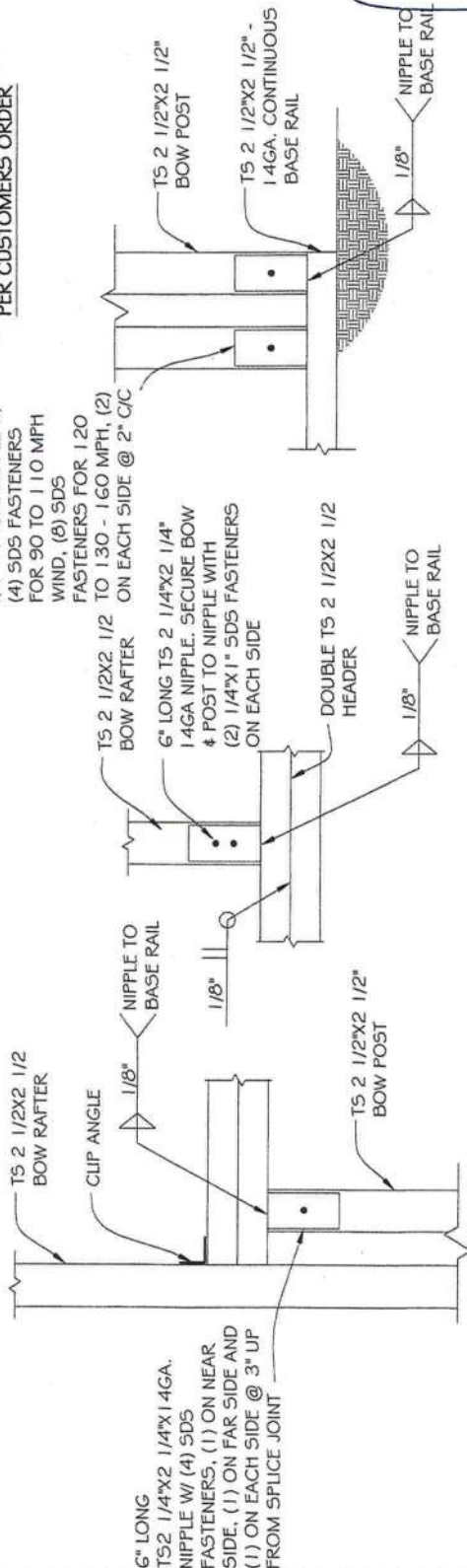
(SCALE: NTS)

**BOW/BASE RAIL
CONN. DETAIL**

(SCALE: NT\$)

BOW/HEADER
DETAIL

(SCALE: NTS)





A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623

Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

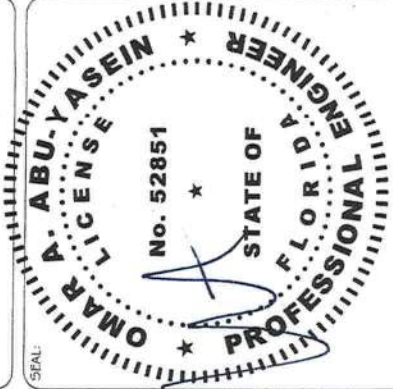
DRAWING TITLE:

LEAN-TO OPTION

SHEET NO.:

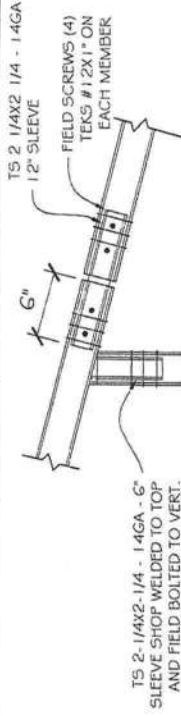
8 OF 9

SEAL:



DATE SIGNED:

3/27/2012



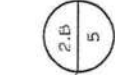
TS 2 1/4x2 1/4 - 14GA - 6\"/>

CONNECTION DETAIL

(SCALE: NTS)



TS 2 1/2x2 1/2 - 14GA



2 1/2x1 1/4 CHANNEL
24\"/>

TS 2 1/2x2 1/2 - 14GA

MATCH BASE RAIL

FIN. GRADE OR
TOP OF CONC.

MAX. 12'-0"

MATCH TYP. FRAME FOR
SPACING AND ANCHORAGE

A-FRAME SINGLE BOW LEAN-TO OPTION

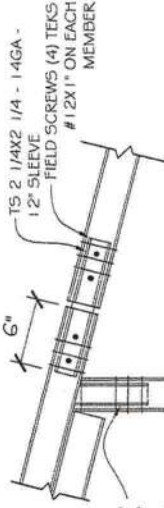
(SCALE: NTS)

SEE SHT. 3/9 FOR TYP. FRAME AND SPACING DETAIL
1'-8\"/>

SINGLE TUBE UP TO 8'-0\"/>

* INSERT 2 1/4\"/>

FIN. GRADE OR
TOP OF CONC.



TS 2 1/4x2 1/4 - 14GA - 6\"/>

CONNECTION DETAIL

(SCALE: NTS)



TS 2 1/2x2 1/2 - 14GA

2 1/2x1 1/4 CHANNEL
24\"/>

TS 2 1/2x2 1/2 - 14GA

MATCH BASE RAIL

FIN. GRADE OR
TOP OF CONC.

MAX. 12'-0"

MATCH TYP. FRAME FOR
SPACING AND ANCHORAGE

A-FRAME DOUBLE BOW LEAN-TO OPTION

(SCALE: NTS)

SEE SHT. 3/9 FOR TYP. FRAME AND SPACING DETAIL
2'-8\"/>

INSERTED TUBE

* INSERT 2 1/4\"/>

FIN. GRADE OR
TOP OF CONC.

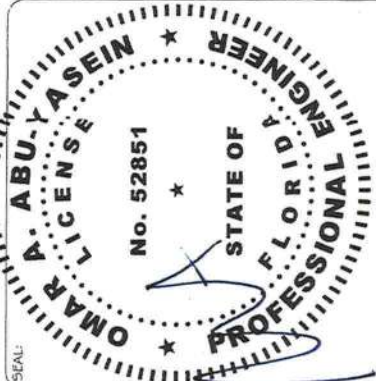


A & A ENGINEERING
 CIVIL • STRUCTURAL
SINCE 1966
 5911 Renaissance Pl., Suite B
 Toledo, Ohio 43623
 Tel: (419) 292-1983
 Fax: (419) 292-0955

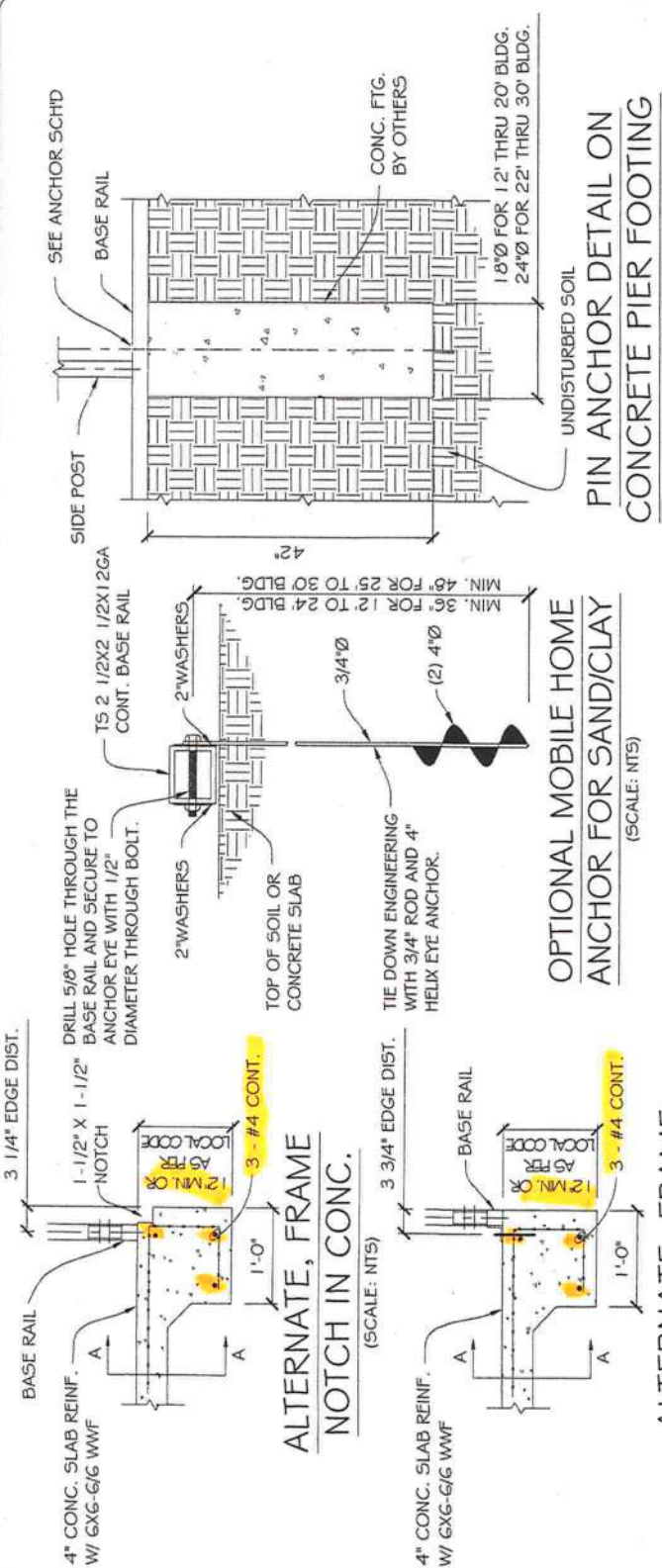


Metal Buildings Inc.
 170 Holly Springs Rd.
 Mr. Airy, NC 27030
 1-800-597-3597
 MAIN - 1-336-789-3818
 FAX - 1-336-789-4122

OWNER:	TNT METAL BUILDING, INC.
LOCATION:	FLORIDA
DRAWING NO.:	TNT-FL
DATE:	3/27/2012
PROJECT NUMBER:	039-12-0261
DRAWN BY:	JMS
CHECKED BY:	OA
DRAWING TITLE:	ANCHORAGE OPTIONS
SHEET NO.:	9 OF 9



DATE SIGNED: 3/27/2012



NOTE: ON LEVEL GRADE, DIG A 24"Ø HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE W/ 2500 PSI CONCRETE.

SOIL CLASSIFICATIONS: *

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE #1 OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, COLLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS

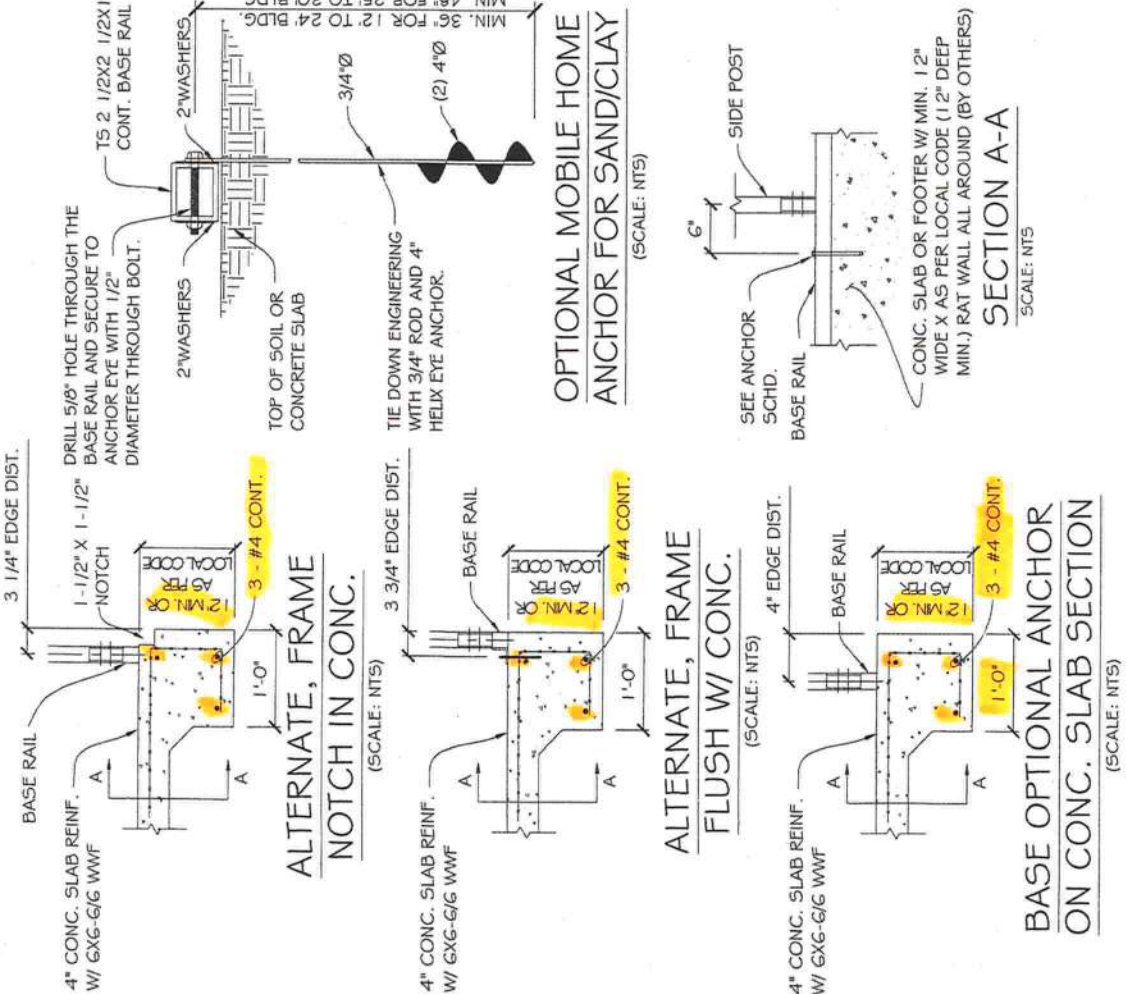
ALLUVIAL FILL, STIFF CLAYS AND SILTS, ALLUVIAL FILL.

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"

NOTE:

- SEE SHT. 2 AND 6 FOR ANCHOR REQUIREMENTS
- ASSUMED SOIL BEARING CAPACITY IS 1500 PSF
- CONCRETE STRENGTH TO BE 2500PSI AT 28 DAYS



ANCHOR SIZE OPTION SCHEDULE

CARPORT WIDTH	ANCHOR SIZE		ANCHOR LENGTH		TYPE
	WIND (MPH)	BASE ANCHOR	ALTERNATE ANCHOR		
12' THRU 22'	90-115	20"	20"	THRD. ROD EMBED IN CONC.	INSERT W/ EPOXY IN CONC. EXPANSION BOLTS WEDGE ANCHORS IN CONC.
	120-160	20"	20"	THRD. ROD EMBED IN CONC.	
	5/8"Ø	7"	5"	THRD. ROD EMBED IN CONC.	
23' THRU 30'	5/8"Ø	3/4"Ø			



5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27039
1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

DRAWING TITLE:

**ANCHORAGE OPTION
ON CONC. WALL**

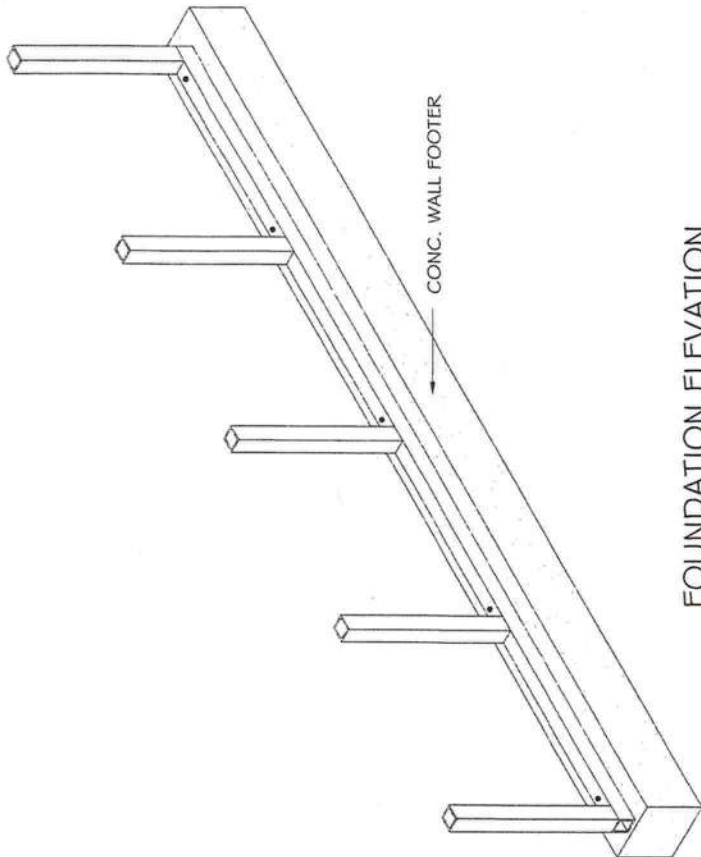
SHEET NO.:

9 OF 9

SEAL:



DATE SIGNED: 3/27/2012



FOUNDATION ELEVATION

(SCALE: NTS)

NOTES:

1. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
2. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

SEE ANCHOR SCHD

BASE RAIL

CONC. FTG.
BY OTHERS

2 - #4
CONT. T&B

UNDISTURBED SOIL

CONCRETE WALL FOOTING SECTION

SCALE: NTS

TYP. AT EVERY ANCHORED POST

ANCHOR SIZE OPTION SCHEDULE

CARPORT WIDTH	ANCHOR SIZE		ANCHOR LENGTH		TYPE
	WIND (MPH)		BASE ANCHOR	ALTERNATE ANCHOR	
	90-115	120-160			
12' THRU 22'	1/2"Ø	5/8"Ø	7"	5'	INSERT W/ EPOXY IN CONC. EXPANSION BOLTS WEDGE ANCHORS IN CONC.
23' THRU 30'	5/8"Ø	3/4"Ø			



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623

Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

DRAWING TITLE:

ANCHORAGE OPTION
ON CONC. PIERS

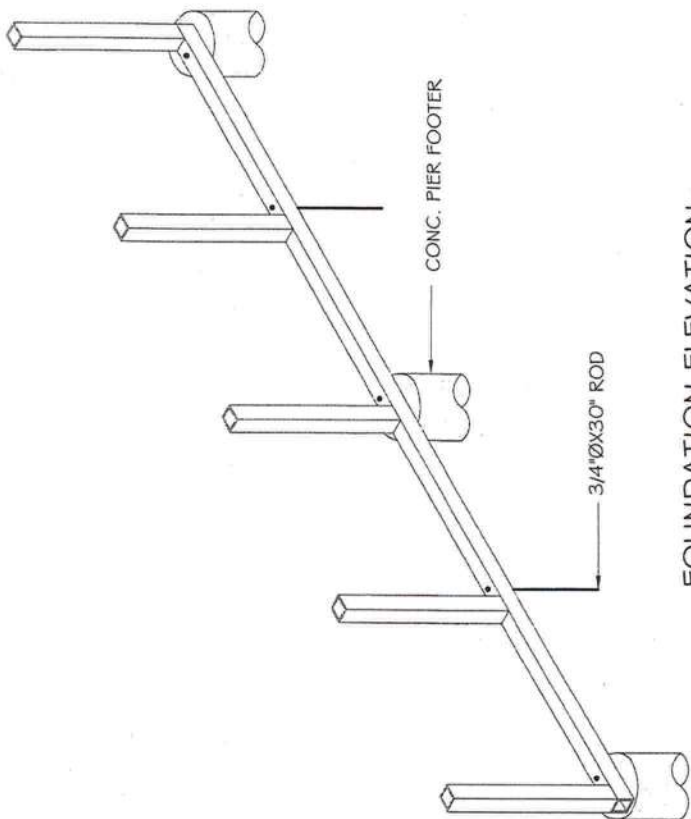
SHEET NO.:

9 OF 9

SEAL:



DATE SIGNED: 3/27/2012



FOUNDATION ELEVATION

(SCALE: NTS)

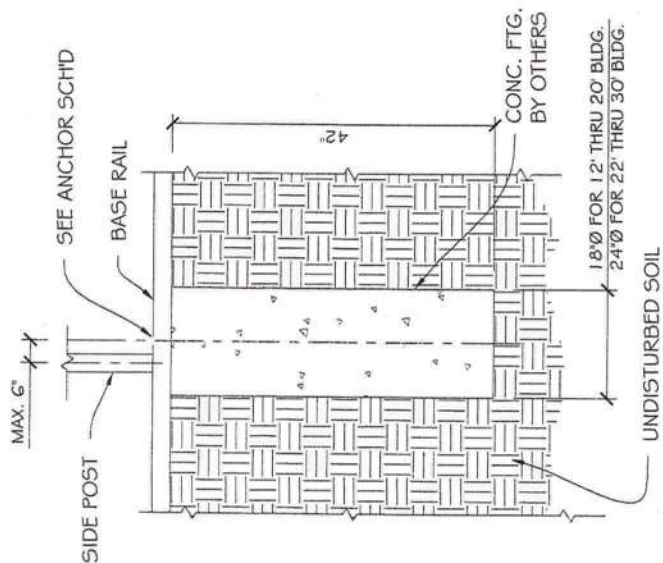
NOTES:

1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" OC SPACING IN ANY DIRECTION
2. ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30" LG. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING

SCALE: NTS

TYP. AT EVERY ANCHORED POST



ANCHOR SIZE OPTION SCHEDULE

CARPORT WIDTH	ANCHOR SIZE	ANCHOR LENGTH		
	WIND (MPH)	BASE ANCHOR	ALTERNATE ANCHOR	TYPE
12' THRU 22'	90-115	20"	20"	THRD. ROD EMBED IN CONC. INSERT W/ EPOXY IN CONC.
	120-160	20"	20"	EXPANSION BOLTS WEDGE ANCHORS IN CONC.
23' THRU 30'	1/2"	7"	5"	
	5/8"	7"	5"	



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

DRAWING TITLE:

**ANCHORAGE OPTION
ON CONC. SLAB**

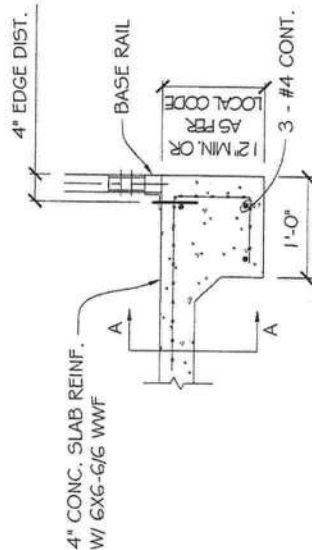
SHEET NO.:

9 OF 9

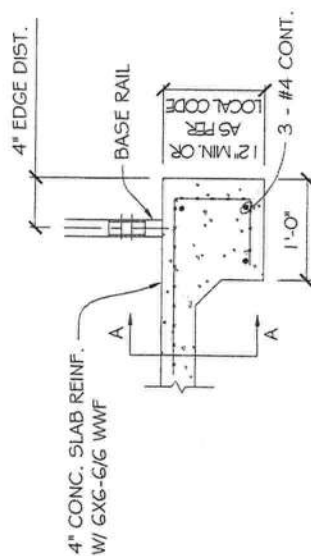
SEAL:



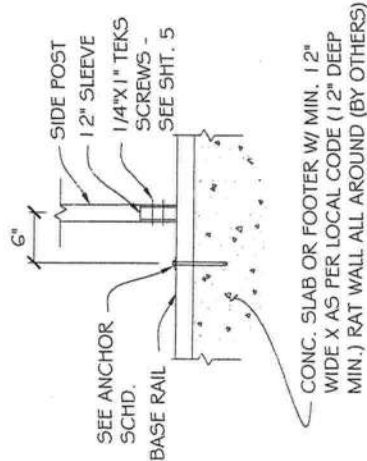
DATE SIGNED: 3/27/2012



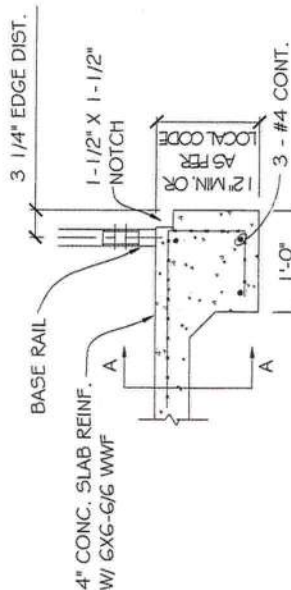
**ALTERNATE, FRAME
FLUSH W/ CONC.**
(SCALE: NTS)



**BASE OPTIONAL ANCHOR
ON CONC. SLAB SECTION**
(SCALE: NTS)



**ALTERNATE, FRAME
NOTCH IN CONC.**
(SCALE: NTS)



**ALTERNATE, FRAME
NOTCH IN CONC.**
(SCALE: NTS)

ANCHOR SIZE OPTION SCHEDULE

CARPORT WIDTH	ANCHOR LENGTH		
	ANCHOR SIZE	BASE ANCHOR	ALTERNATE ANCHOR
12' THRU 22'	WIND (MPH)		
	90-115	120-160	
23' THRU 30'	120-160	5/8"	
	5/8"	3/4"	

NOTE:

1. PROVIDE A MIN. OF (1) ANCHOR AT $\pm 6"$ FROM CENTER OF EACH POST
2. ALL ANCHORS SHALL BE A307 OR BETTER
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1996

5911 Renaissance Pl., Suite B
Toledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0955



Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-597-3597
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

3/27/2012

PROJECT NUMBER:

039-12-0261

DRAWN BY:

JMS

CHECKED BY:

OA

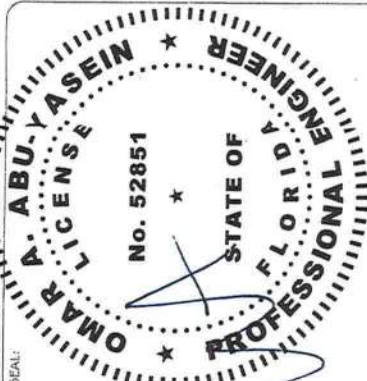
DRAWING TITLE:

**ANCHORAGE OPTION
ON GROUND**

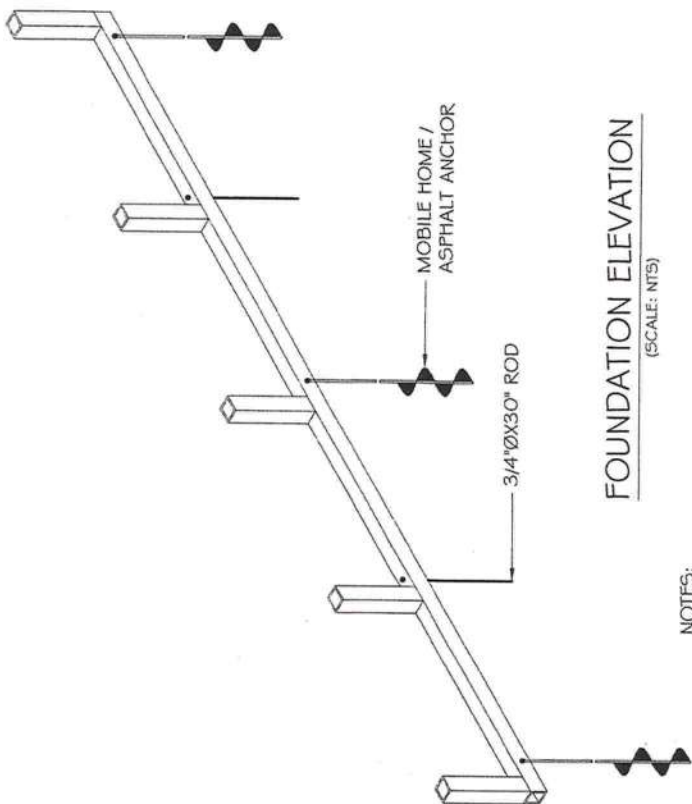
SHEET NO.:

9 OF 9

SEAL:



DATE SIGNED: 3/27/2012



FOUNDATION ELEVATION

(SCALE: NTS)

NOTES:

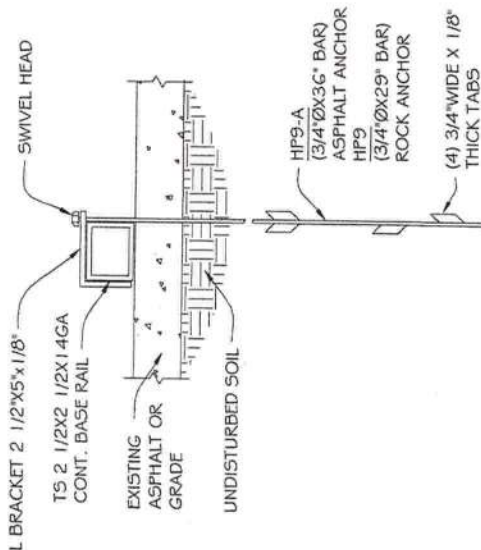
1. MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" C/C SPACING IN ANY DIRECTION.
2. ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30"LG. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

SOIL CLASSIFICATIONS:

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE # / OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, COLLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL.

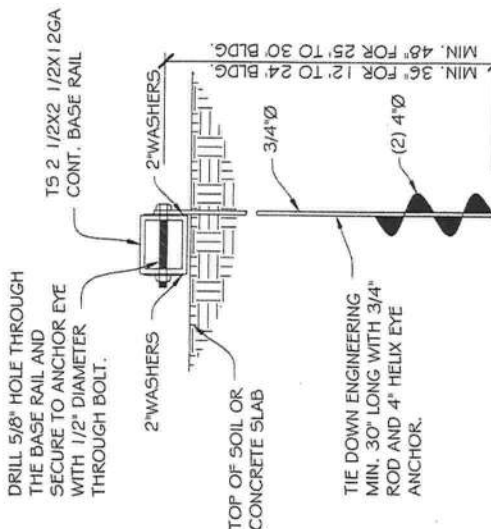
HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"



OPTIONAL ASPHALT/ ROCK ANCHOR DETAIL

(SCALE: NTS)



OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY

(SCALE: NTS)

NOTE:

HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE INTO GROUND IS LESS THAN 150 FT-LBS OR DON'T MEET ONE OF THE FOLLOWING SOIL CLASSIFICATIONS.