District No. 1 - Ronald Williams District No. 2 - Rocky Ford District No. 3 - Bucky Nash District No. 4 - Toby Witt District No. 5 - Tim Murphy





BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

March 2, 2020

VIA ELECTRONIC MAIL

Adam Collins, P.E. Adam Collins Engineering, Inc. P.O. Box 1221 Live Oak, FL 32064

Re: SE 0613 "Hall – Ag Equipment Sales" Determination Letter

Dear Mr. Collins,

At the February 27, 2020 Board of Adjustment ("Board") hearing, the Board approved your application for a Special Exception for the sale of agricultural equipment as a heavy equipment and machinery sales use as permitted in Section 4.5.7 of the County's Land Development Regulations ("LDRs") in accordance with Section 12.2 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period for all Special Exceptions. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA SE 0613.

If you have any questions, please do not hesitate to contact me at $\underline{bstubbs@columbiacountyfla.com}$ or (386) 754-7119.

Sincerely,

Brandon M. Stubbs

Community Development Coordinator Land Development Regulation Admin.

V.M. Set





RESOLUTION NO. BASE 0613

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.5.7 OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR THE SALE OF AGRICULTRUAL EQUIPMENT AS A HEAVY EQUIPMENT AND MACHINERY SALE USE WITHIN THE AGRICULTURE-3 ("A-3") ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;

- (h) The proposed use will not adversely affect property values in the adjacent areas;
- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0613, by Adam Collins, P.E. of Adam Collins Engineering, Inc., agent for Lois E. Pearce, owner, to request a special exception be granted as provided for in Section 4.5.7(4) of the Land Development Regulations to allow for the sale of agricultural equipment as a heavy equipment and machinery sales use in an Agriculture-3 ("A-3") Zone District. The special exception has been filed in accordance with a site plan dated January 21, 2020 and submitted as part of a petition dated January 21, 2020, to be located on property described, as follows:

BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT-OF-WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87°29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01°58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87°29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41; THENCE S 33°35'00" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING.

CONTAINING 6.03 ACRES, MORE OR LESS

Tax Parcel Number 21-4s-17-08637-000

<u>Section 2</u>. The Planning and Zoning Board, hereby approves the above referenced special exception subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A". If compliance with any of the conditions of special exception causes substantial deviation in the approved site plan, the applicant shall be required to submit a new special exception application and receive Planning & Zoning Board approval in accordance with the Land Development Regulations.

<u>Section 3</u>. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

<u>Section 4</u>. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

<u>Section 5</u>. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

 $\underline{Section~6}. \ \ All~resolutions~or~portions~of~resolutions~in~conflict~with~this~resolution~are~hereby~repealed~to~the~extent~of~such~conflict.$

Section 7. This resolution shall become effective upon adoption.

PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 27^{th} day of February 2020.

Attest:

BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA

Brandon M. Stubbs, Secretary to the

Board of Adjustment

Robert F. Jordan, Chairm



HALL'S INDUSTRIAL PARK

ADDRESS: NONE PARCEL ID: 21-04S-17E-08637.000 ZONING: A-3

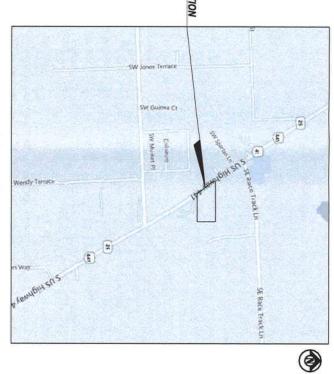
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PROJECT LOCATION



LOCATION MAP NOT TO SCALE

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ADAM COLLINS

ADAM COLLINS ENGINEERING, INC. 12558 BASS ROAD, LIVE OAK, FLORIDA 32060
P: 386.320.7400 F: 850.807.7309
WWW.COLLINSENG.COM
CERTIFICATE OF AUTHORIZATION: 31728

SHEET#

SHEET DESCRIPTION

SHEET INDEX

PPROVED

G-101 C-100

GENERAL NOTES

EXISTING CONDITIONS PLAN

G-100

COVER

LANDSCAPING PLAN AND DETAILS	L-100
FDOT DRIVEWAY CONNECTION DETAILS	C-600
MISCELLANEOUS DETAILS	C-500
GEOMETRY AND GRADING	C-400
SITE PLAN AND SWMF DETAILS	C-300
EROSION CONTROL PLAN AND DETAILS	C-200

OWNE Z ENGINEER, SURVEYOR

OWNER:

LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040

ENGINEER OF RECORD: ADAM COLLINS ENGINEERING, INC. 12558 BASS ROAD LIVE OAK, FL 32060 PHONE: 386-320-7400

EMAIL: adam@collinseng.com

DANIEL & GORE, LLC 426 SW COMMERCE DRIVE LAKE CITY, FL 32025 PHONE: 386-752-9019

FAX: 904-339-9229

SURVEYOR OF

RECORD:

CONS. RUCTION DOCUMENTS

ENGINEER OF RECORD:

ADAM T. COLLINS
FLORIDA P.E. REGISTRATION NO.75584 Date: 2020.01.29

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SUBSTANCES.

ADA COMPLIANCE

THE CONTRACTOR WILL BE HELD ACCOUNTABLE FO EDITION OF THE FLORIDA ACCESSIBLITY CODE FOR SITE MPROVEMENTS. IF SITE IMPROVEMENTS OF SITE MPROVEMENTS OF SITE OF THE PROPERTY OF FRAL RESECTION, THE CONTRACTOR WILL BE REO COMPTY WITH THE CODE, AT NO SUPERSEDE OTHER THEMS TAKE PRECEDENCE AND SUPERSEDE OTHER

HIC PARKING SPACE(S) SHALL BE 12 WIDE, WITH WHITE STRIPED OUTER LINES.

HIC PARKING SPACE(S) AND ACCESS AISLE(S) S SLOPE IN ANY DIRECTION.) HALL BE LEVEL (NOT TO EXCEE

ACCESS AISLE(S) SHALL BE 5' WIDE, WITH REDU APPROVED BLUE MARKING PAINT.

CURB RAMP SLOPES SHALL NOT EXCEED 1.12 IN ANY DIRECTION. RAMP SIDE SLOPES SHALL NOT EXCEED 1.12. CURB RAMPS SHALL NOT ENCROACH UPON ACI

THE ACCESSIBLE ROUTE(S) "CONNECTING ALL NOT EXCEED 1:20 SLOPE (UNLESS RAMPS PROVEXCEED 1:50. THE ACCESSIBLE ROUTE(S) TO THE "MAIN ENTR (UNLESS RAMPS ARE PROVIDED.) WITH CROSS AN APPROVED HIS SIGN AT THE PROPER MOUNTING HEIGHT (7 FROM GRADE TO BOTTOM OF SIGN) IS REQUIRED FOR EACH HIS PARKING SPACE. THE SIGN(S) SHINDICATE THE \$250 FRIE. Y' SHALL NOT EXCEED 1:20 SLOPE SLOPE NOT TO EXCEED 1:50. IDED.) WITH CROSS SLOPES NOT TO

CONTRUCTION SEQUENCE

CODE COMPLIANT DETECTABLE WARNINGS ARE CROSSWALKS, AND AT LOCATIONS WHERE THE AND FLUSH WITH THE VEHICULAR WAY.

THE ACCESSIBLE ROUTE(S) TO THE "PUBLIC WA (UNLESS RAMPS PROVIDED.) WITH CROSS SLOW

NY SHALL NOT EXCEED 1:20 SLOPE PES NOT TO EXCEED 1:50.

ACCESSIBLE ROUTE IS ADJACEN

JECT AREA

4. CONSTRUCT BUILDING

5. CONSTRUCT PROPOSED PARKING.

INSTALL MOT AND CONSTRUCT ANY CONSTRUCTION ACTIVITIES NOT EXPLICIT FREE FROM AVTICENTED CONFLICTS. IN THE CONFRACTOR SHOULD BE DISCUSSET THE ABOVE SCHEDULE SHOULD BE DISCUSSED.

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LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040

GENERAL NOTES

G-101

THE CONSENSING STANDARDS FOR THIS PROJECT ARE THE MOST CLISRENT EDITIONS OF FOUR TESSEN STANDARDS STANDARD SECREPHOTHORS FOR TROUD AND BRIDGE CONSTRUCTION ASSESSMENT COLUMENT COLUMENT COLUMEN CONSENSE AND THE CONSTRUCTION ASSESSMENT COLUMENT COLUMENT COLUMENT CONSTRUCTION AND THE CONSTRUCTION CONSENSES AND CHISTOST SAND CONSENSES AND CONSENSES SAND CONSENSES AND C

ALL PAVING DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE ON THE PLANS. ALL WORK PERFORMED UNDER THIS CONTRACT SMALL BE COORDINATED WITH OTHER WORK BEING PERFORMED DANSITIE BY OTHER CONTRACTORS OR UTILITY COMPANIES TO ENSURE CONFLICTS OR DELAYS ARE REDUCED OR ELAMINATED. STOCKPIEL FEMALITION AND CELEMEN AND GRIBBING CRIBIS AND REMOVE FROM THE SITE AND DISPOSE OF IN A LYMPIEL AN THE DISSOCITION OF THE OWNER ON BHOWEET, EXCESS SQULS MAY BE STOCKPIED ON SITE, STOCKPIES GRUMANING ON SITE FOR MANUE THAN 24 HOURS SHALL BE MALCHED. SEEDED, SOURCE, OR OTHERWISE COVERED TO PREPERT REMOSINE.

RESPONSE TO STRUCTURAL FAILURES OR KARST FEATURES.

TE DIBBIG COSSTBUCTINO DE OPERATON OF THE STORMANTER MANAGEMENT FOR THE STORMANTER MANAGEMENT FOR COSTRUCTING OR THE STORMANTER MANAGEMENT FOR THE STORMANTER MANAGEMENT FOR THE STORMANTER MANAGEMENT FOR THE STORMANTER MANAGEMENT FOR THE STORMAN AGAINST ALL CONSTRUCTION ACTIVITIES SHALL STOP MANAGEMENT FOR THE STORMAN AGAINST AGAIN THE MANAGEMENT FOR SHALL STOP MANAGEMENT FOR THE STORMAN AGAINST FOR THE STOR

ALL SICHING AND PAVEMENT MARKINGS SHALL CONFORM TO THE MUT.G.D., LATEST EDITION, AND FIGOT STANDARDS, ALL STREING PLACED WITHIN THE COUNTY RIGHT-OF-MAY SHALL BE TEMPORARY STREING, FOLLOWED BY THERMOPULSTIC STREIPING, FOLLOWED BY THERMOPULSTIC STREIPING TO DAYS LATER.

. HANDICAP RAMPS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT DITHE FLORIDA ACCESSIBATY CODE FOR BUILDING CONSTRUCTION, LATEST TRONS.

NO CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE WATER MANAGEMENT DISTRICT PROVIDES NOTICE THAT CONSTRUCTION MAY RESUME.

THE GEOTECHNICAL ENGREER SHALL BE REQUIRED TO MONITOR THE REMEDIAL WORK, AND, UPON COMPLETION OF THE WORK, TO SEND A SUMMARY REPORT TO THE ENGREER, THE WATER MANAGEMENT DISTRICT, AND THE CITYCOUNTY PUBLIC WORKS DEPARTMENT.

A LICENSED GEOFICIANICAL ENGINEER SIMAL BE REFAINED TO EVALUATE THE SIGNIFICANCE OF THE FEATURE, AND TO DETERMINE THE REMEDIAL ACTIONS NECESSARY.

THE STRUCTURAL FAILURE/KARST FEATURE SHALL BE ISOLATED BY CREATING A BERM A MINIMUM OF 2 FEET IN HEIGHT AROUND THE FEATURE TO PREVENT THE DISCHARGE OF STORMWATER INTO THE FEATURE.

INSULINAE SOILS AND DHER DIE FREDUS MATERIAS MUZIC PAR JURED DEBNIS ETL 1944. IE ECHANIETA SO SERWIN IN TEST PANS OR AS DIROCITED IN THE CHARLE RESPONSE OR SOIL TESTINO LARGEAUTORY DIE FEBROUS.

MITERIALS SHE TO DIE STOCKPILLE DAN DERVOED DAN HIE STILL AND DISPOSIO OF IN LAWREL MANGER DECEMBETED AS SET DIE E-BACKFILLED WITH APPROPED IN TERMES AND COMPACTED AS SHOWN ON THE PLANS OR IN ACCORDANCE MITH THE EEDSTCANICA REPORT.

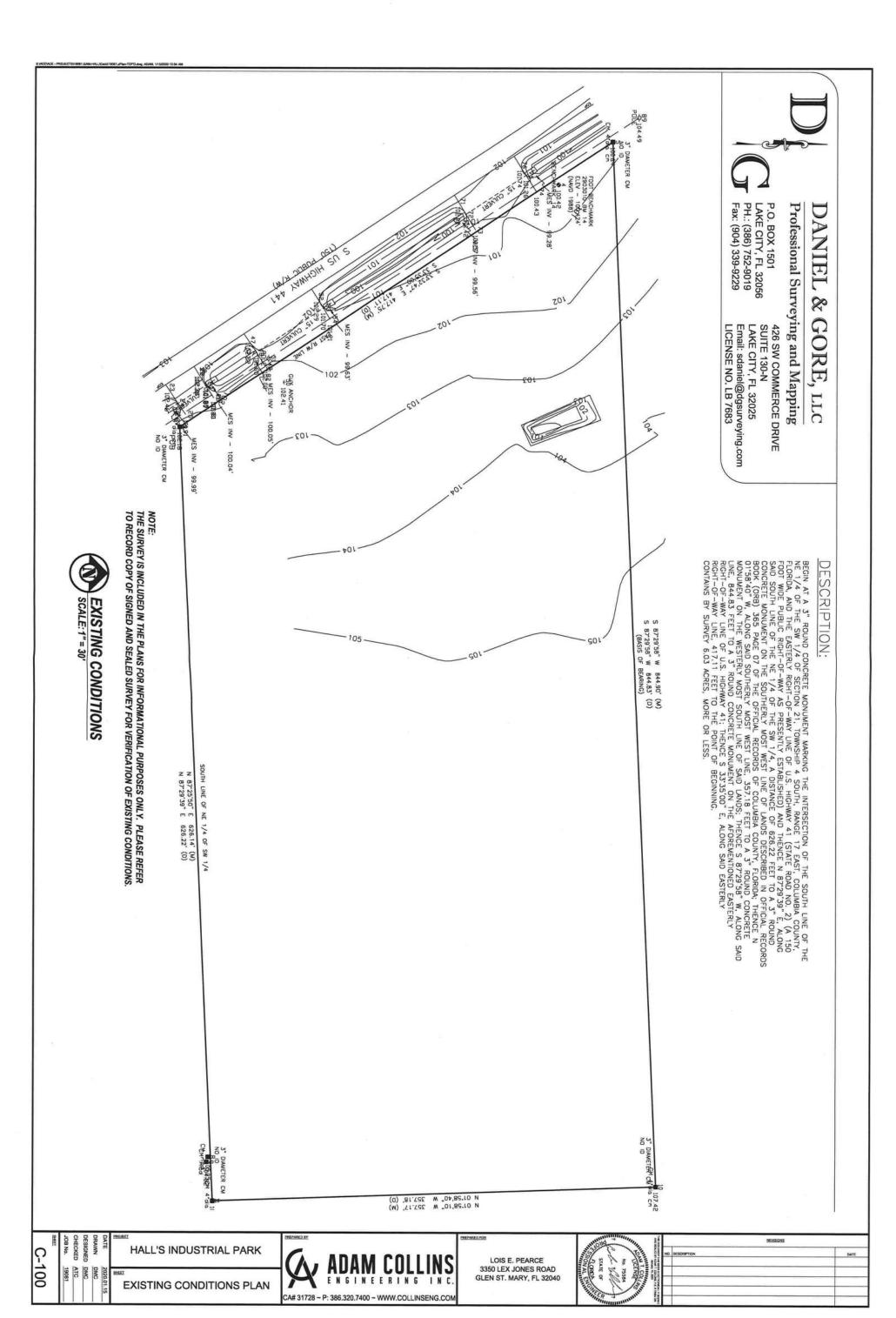
TREE BARRICODES AND SILT FENCES SHALL BE INSTALLED, INSPECTED, AND APPROVED BY THE ENGINEER PRIOR TO ANY CLEARING, DEMOLITION, OR CONSTRUCTION ACTIVITIES.

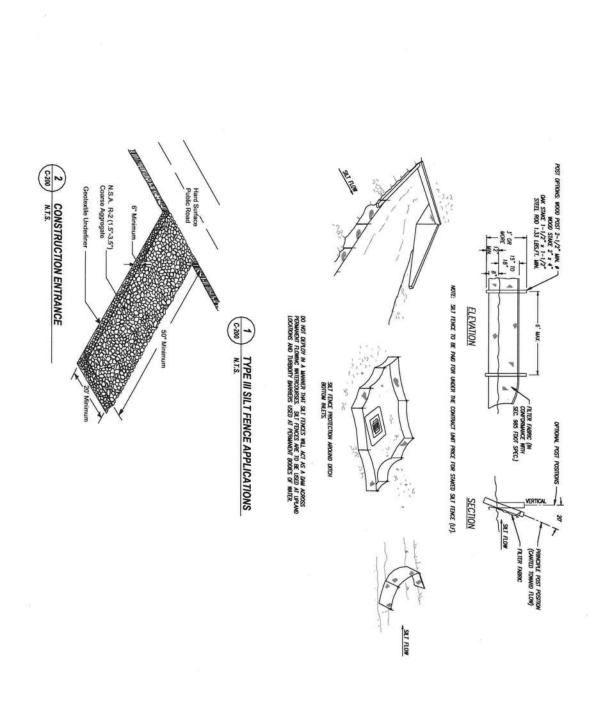
16. REFER TO GEOTECH NICAL REPORT PERFORMED BY CAL-TECH

ALL HIDPE FITTINGS AND CONNECTORS SHALL BE SOIL TIGHT. ALL CONCRETE STRUCTURES SHALL HAVE A CLASS I SURFACE FINISH, AND ALL EXPOSED EDGES SHALL BE CHAMFERED 34".

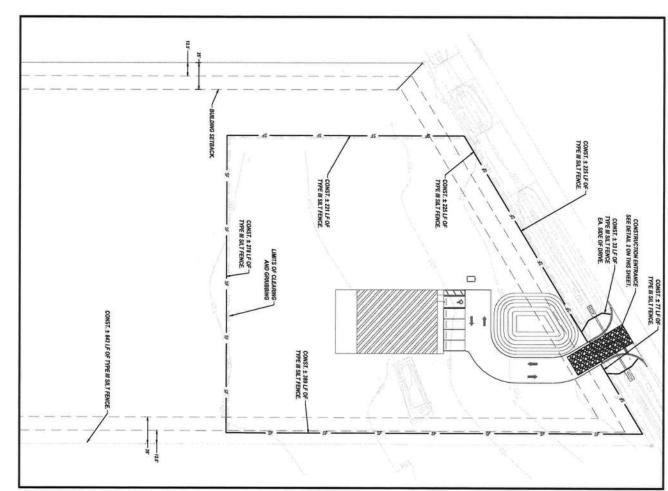
PLACE SOD AROUND ALL STRUCTURES IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 281. SAW CUT, TACK, AND MATCH EXISTING PAVEMENT ELEVATIONS WHERE NEW PAVEMENT MEETS EXISTING PAVEMENT.

THE CONTRACTOR SHALL EMPLOY SELT PENCES, HAY BALLES, SHANCER OTHER METHODS CHARGE. SHANCER OTHER METHODS CHARGE. SHANCER OTHER METHODS CHARGE. SHANCER OTHER SHANCER OTHER OTH



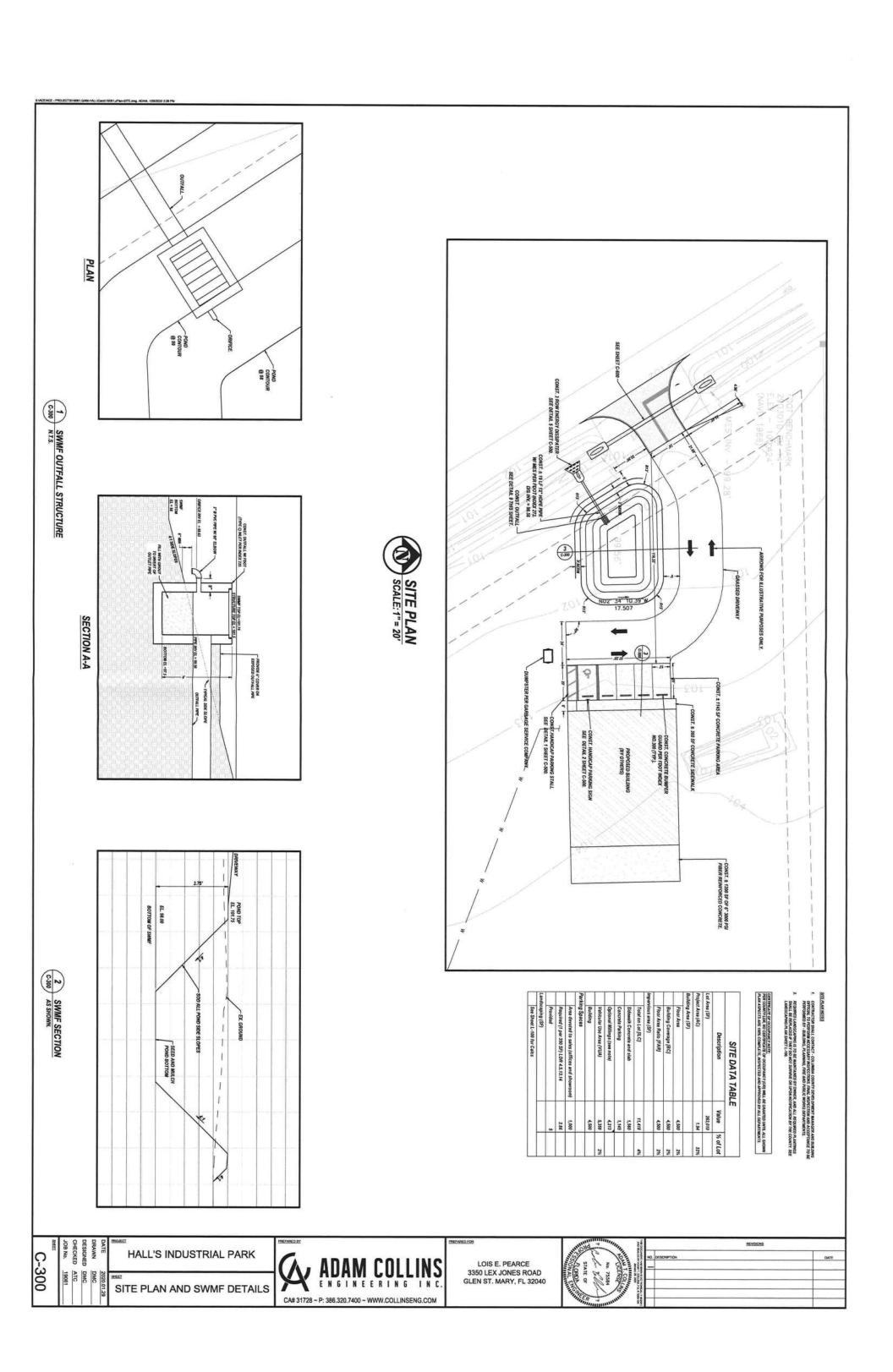


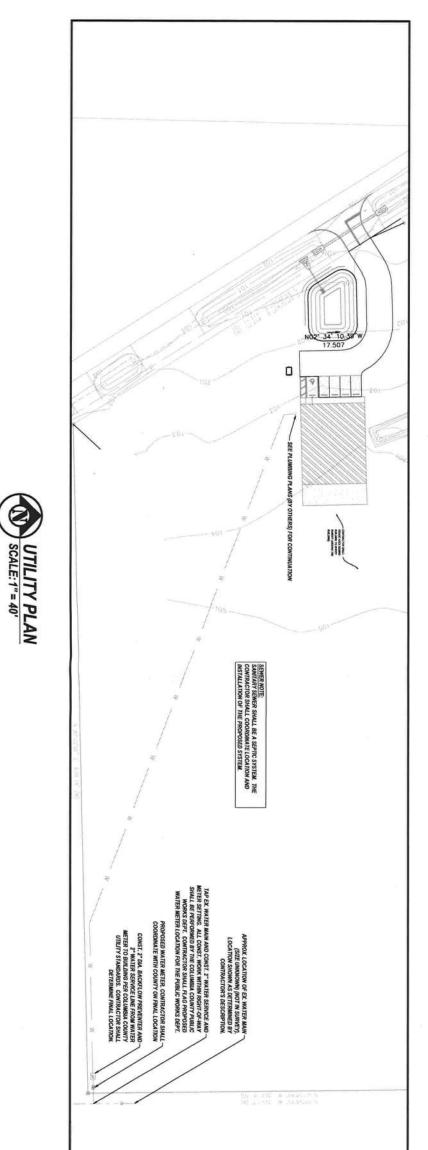




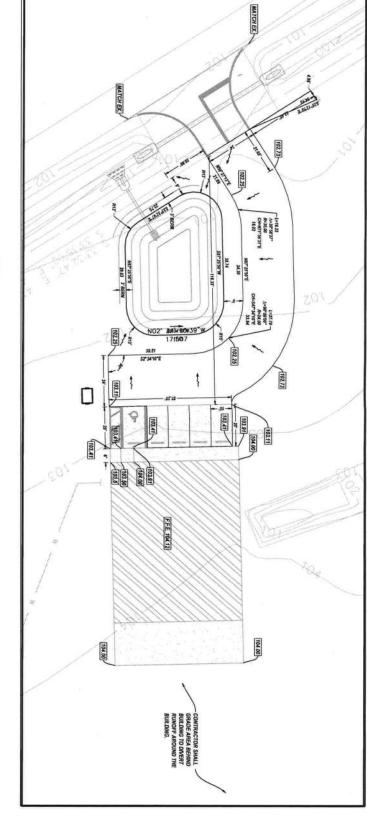
PROPORTION CONTROL PLAN AND DETAILS

PROPORTION









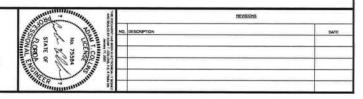
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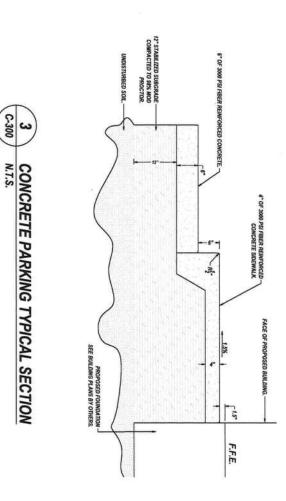
HALL'S INDUSTRIAL PARK

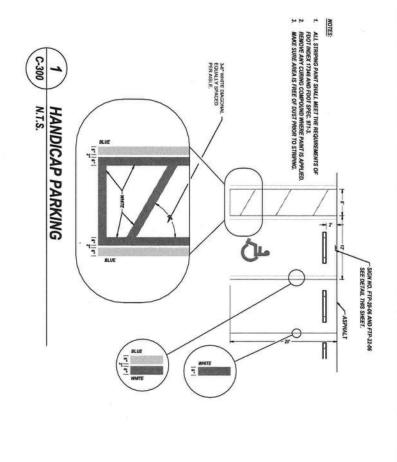
GRADING, GEOMETRY & UTILITY PLAN

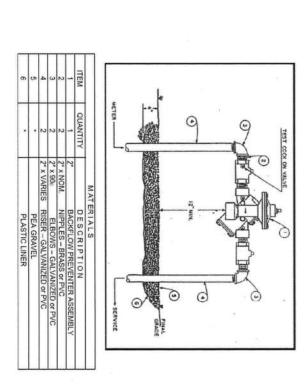


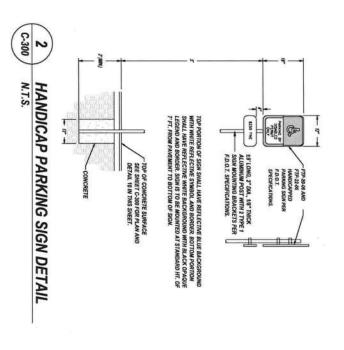
LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040











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C-300

DOUBLE CHECK VALVE BACKFLOW PREVENTER

HALL'S INDUSTRIAL PARK

MISCELLANEOUS DETAILS



L	OIS E. PEARCE
3350	LEX JONES ROAD
GLEN	ST. MARY, FL 32040

Transfer of the last of the la	950	distoria.
TOOMS TOOMS TO THE	NO. DESCRIPTION	DATE

CONST. ± 14 LF OF (24)-WHITE STOP BAR. R1-1 STOP SIGN. SEE FDOT NUCK TITROTAND 17392 CONST. ± 33 LF OF (6") WHITE STRIPING EA, SIDE PER FDOT INDEX 17346 (TYP. ALL STRIPING) Ø (STOP)

DRIVEWAY PLAN SCALE: 1" = 10'

FDOT DRIVEWAY CONNECTION NOTES

THE DRIVEWAY CONNECTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE DESIGN STANDARDS (CURRENT EDITION).

ALL DEBANTED PANDERTY TRIPING PERTANNIG TO THIS ACCESS PERMIT SHALL REQUIRE CERTIFED LEAD RRE THERMOFLISTIC MANONG MATERIALS AS THE FINAL PLACEMENT TEM-TEMPORARY TRAFFIC DEBANG PAINT SHALL DE REQUIRED TO BE IN FLACE SO MINITIES BEFORE OFFICIAL SHADOMN. TEMPORARY TRAFFIC BEARING PAINTS AND THERMOFLISTIC MARGING MATERIALS SHALL BE LEAD FREE AND SHALL MEET/OBTAIN FOOT MINIMAN SPECIFICATIONS FOR MOHT REFLECTIVITY.

FALLIGE BY THE PERMITTEE ANDOR HISMER CONTRACTOR TO HAVE A CERTIFIED STRIPPING CREW ON SITE REPORT THE STAFT OF PANING CAME REASON TO SUSPEND THE APPROVED PERMIT UNITL SICH THE STAFT OF PANING HISMERS CONTRACTOR CORRECTOR THE STILATION TO THE SATISFACTION OF THE ON-SITE STATE FDOT PERMITS PERSONNEL/MISPECTOR.

12

THE CONTRACTOR SMALL OBTAIN THREE (3) DENSITY TESTS ACCORDING TO THE FOOT STANDARD SPECIFICATIONS COR ROUGH AND BRIDGE CONSTRUCTION (CIRRENT EDITION). LINE ROCKS SMALL BE COMPACTED TO 36% OF THE MAXIMUM DENSITY AS OFFERMINED BY ASSITTO 1:58 A COPY OF THE TESTS SMALL BE SUBMITTED TO FOOT BEFORE STARTING ANY PAYMING OPERATIONS. MANTENANCE OF TRAFFIC SHALL BE PERFORMED IN ACCORDANCE WITH THE R.ORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARD INDICKES 600 & 613. LEXSTING ASPHALT PAMED SHOULDER SHALL BE MECHANICHLLY SAW CUT AND REMOVED AS IL AS ALL PRE-EXISTING SUB GRADE MATERIALS WITHIN THE LIMITS OF THE PROJECT ROVEMENTS, WORK ZONE, OR AS MAY BE CALLED FOR LINDER THE STATE FDOT PERMIT.

ALL PERMITTED AND PROPOSED WORKCONSTRUCTION UPON STATE FOOT RIGHT-OF-MAY SHALL COKEDAN TO THE STATE OF FLORIDA'S MOST CURRENT RACIOMAY MOD TRAFTE OESIGN STANDAYS MANUEL, THE STATE FLORY STANDAYS MANUEL, THE STATE FLORY STANDAYD SECFECHION OF READ AND BRIGGE CONSTRUCTION, THE APPROVED PERMIT PROVISIONS, AND SPECIAL PERMIT PROVISIONS.

THE FEMALTIES ON LIGAL REPRESENTATINE SHALL CONTACT THE LOCAL STATE OF ROBOLATION MANITEMACE PERMITS OFFICE HANGL JURISDICTION OFFIRST HIS APPROVED PERMIT A MANUAL OF AN ADUREN MATURANCE OF THE PLANEST ACTIVATION OF SAID ACCESS FEMALT FOR THE SAY LICE THROUGH FAIR OF THE MANUAL OF THE PLANEST ACTIVATION OF THE PLANEST CONTROL COME BLACE BY CALLING SESSIFIC THE CONTROL CONTROL CONTROL COME BLACE BY CALLING SESSIFIC THE OFFI THE CONTROL CONTROL

ALL PERMITTED ABOYEGROUND SERVICE SWALL CONFORM TO FROT MOET NO. 1880 AND 1782.
ADDICESSOUND POSIED SIENS AND SOME BRADCET ATTACHMENTS SWALL BE INSTILLED PRIOR TO
THE FINAL DRIVENAY CONSTRUCTION IN ACCORDANCE WITH TOO! S

PAVING SHALL COMMENCE UNTIL ALL REQUIRED DENSITY TESTS HAVE BEEN DELIVERED TO FROIT LAKE CITY MAINTENANCE, ACCESS PERMITS OFFICE AND HAVE MET THE MINIMAIN FOOT CIFICATIONS.

ALL AREAS DISTURBED MITHY FOOT RIGHT OF WAY SHALL BE RE-SODDED MITH "CERTIFIED COASTAL BERNIDA GRAKS SOO" ALL SOO SHALL BE INSTALLED TO FDOT SATISFACTION BEFORE PAYNIO MAY COMMENCE.

CONTRACTOR SHALL COORDINATE WITH FDOT INSPECTOR ON SITE TO DETERMINE EXACT LOCATION OF STOP BAR.

ALL SEGMETTED PAYEMENT SYMBOUS, MARININGS AND STRENGE SHALL BE MADE (FALCED DOWN UTILIZINS OMY CORPUTED LEAD THE FAIR DUT LAUDI, IT AND STRENGE STATE. THE PALADOP SHET METHOUS (ON ALMANA TORCH HEATED MATERIAL OR PLACEMENT METHOU SHALL BE ALLONED) IN ACCOMDANCE WITH THE MOST CLARRENT REQUIREMENTS FROM THE FIDD IS TANDARD SPECIFICATIONS TO REQUIRE AND A BROBE CONSTRUCTION, SPECIFIC TO SECTION FIT.

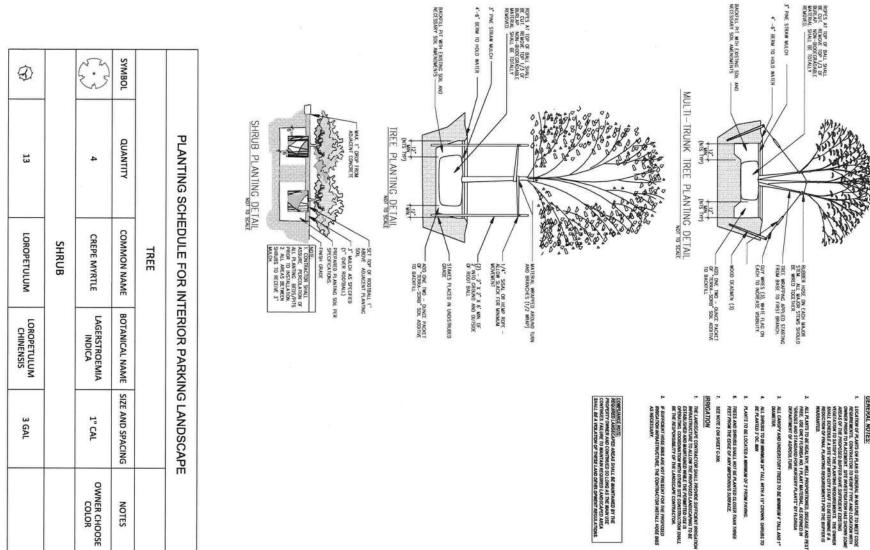
TYP. FDOT DRIVEWAY SECTION

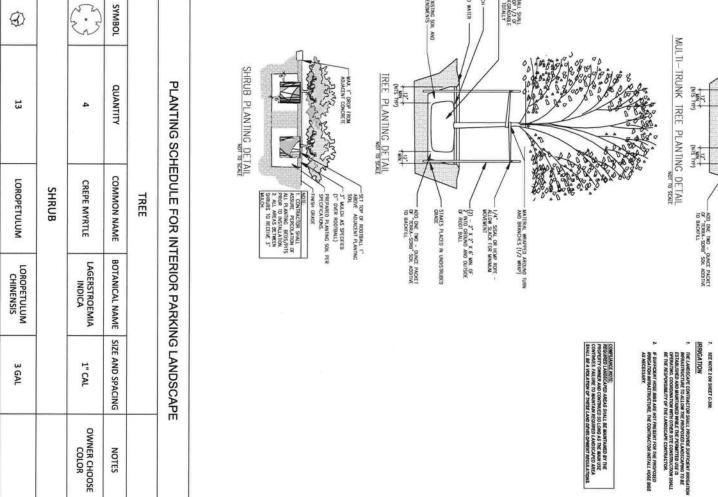
ASPHALTIC CONCRETE ONE (1) 1.5" LIFT OF TYPE SP-12.5 ONE (1) 2" LIFT OF TYPE SP-12.5 6*LIMEROCK BASE PER STD. SPEC. 230. COMPACT TO LBR 100 PER FM 5-515 IF ALTERNATE SE TYPICAL SECTION CONSTRUCTION V EX SOIL

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INTERIOR PARKING LANDSCAPE REQUIREMENTS 2. THE REQUIREMENT FOR EACH 200 SF OF PARKING LANDSCAPE AREA IS: BUFFER LANDSCAPE REQUIREMENTS THE REQUIRED 10% OF TOTAL OFF-STREET PARKING AREA (PER 4.2.17.10) INCLUDING ENTRANCE AND DRIVING ISLE TO BE USED FOR LANDSCAPE: 6,428 SF X 0.10 = 643 SF OF AREA TO BE LANDSCAPED. REQUIRED LANDSCAPE AREA = 643 SF / 200 SF = 3.22 REMAINING AREA ADEQUATELY LANDSCAPED WITH SHRUBS; SROUND COVER, OR OTHER LANDSCAPING MATERIAL (4) · TREES (13) · SHRUBS @ 3 GAL (4) - TREES ADEQUATE SHRUB COVERAGE

NO BUFFER REQUIRED PER LDR (4.5.12)

2. ALL PLANT MATERAL SHALL BE COURSE PLOREM AT OR BETTER AS SET FORTH AT THE FLORUM SET PLANTEST OF ALERGUE TIPE. AND CONSUMER SERVICES GAILES AND STANDAMES FOR MRESERY CHANTE. THE FLANT SHALL MEST OR EXCESS THE SMEZIA REDICATED ON THE FLANE. MATERIAL MATERIAS RIFERTED SON MILL MOT RE VICENTE OF REEST CHARGE LIMIT THE WATER CHARGE VAN DAY OFFICIAL STANDS CONSTRUCTION CERROS, CLAY LUMPS ON ST. OR RESEARCH AND MAY OFFICIAL STANDS CONTROL THE TRANSPERSON OF THE TR CONTRACTOR SHALL BETALL PLANT MATERIAL AS INDICATED ON THE PLANK PLANT SPECES AS INDICATED AT THE PLANS MAY RE SUBSTITUTION WITH OTHERS SPECES AS PROVIDED BY THE CITY. MAY CHANGES MAST HAVE PROVIDE AS PROVIDED BY THE CHANGE ARE ARCHITECT ON CHANGES, THE OWNER, AND THE PERMITTING ANTITIONETY. PLANTING INSTRUCTIONS

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LANDSCAPE NOTES

786 SF LANDSCAPE ISLAND 6 999 **STATE** annerile-

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 DRAWN
 DMG

 DESIGNED
 DMC

 CHECKED
 ATC

 JOB No.
 19061
 L-100

LANDSCAPING PLAN
SCALE: 1"=20"

HALL'S INDUSTRIAL PARK

LANDSCAPING PLAN & DETAILS



LOIS E. PEARCE 3350 LEX JONES ROAD GLEN ST. MARY, FL 32040

