

74802  
District No. 1 - Ronald Williams  
District No. 2 - Rocky Ford  
District No. 3 - Bucky Nash  
District No. 4 - Toby Witt  
District No. 5 - Tim Murphy

FILE COPY



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

March 2, 2020

VIA ELECTRONIC MAIL

Adam Collins, P.E.  
Adam Collins Engineering, Inc.  
P.O. Box 1221  
Live Oak, FL 32064

Re: SE 0613 "Hall - Ag Equipment Sales"  
Determination Letter

Dear Mr. Collins,

At the February 27, 2020 Board of Adjustment ("Board") hearing, the Board approved your application for a Special Exception for the sale of agricultural equipment as a heavy equipment and machinery sales use as permitted in Section 4.5.7 of the County's Land Development Regulations ("LDRs") in accordance with Section 12.2 of the County's LDRs. Per Section 12.1.1 of the County's LDRs, there is a thirty (30) day appeal period for all Special Exceptions. If no appeal is filed within thirty (30) days, the decision of the Board shall become final. No permits shall be issued until the thirty (30) day appeal period has expired.

Attached for your records is a copy of Resolution BA SE 0613.

If you have any questions, please do not hesitate to contact me at [bstubbs@columbiacountyfla.com](mailto:bstubbs@columbiacountyfla.com) or (386) 754-7119.

Sincerely,

Brandon M. Stubbs  
Community Development Coordinator  
Land Development Regulation Admin.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.  
AND THIRD THURSDAY AT 5:30 P.M.

P.O. BOX 1529 ▼ LAKE CITY, FLORIDA 32056-1529 ▼ PHONE: (386) 755-4100

**RESOLUTION NO. BA SE 0613**

**A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.5.7 OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR THE SALE OF AGRICULTURAL EQUIPMENT AS A HEAVY EQUIPMENT AND MACHINERY SALE USE WITHIN THE AGRICULTURE-3 ("A-3") ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;

- (h) The proposed use will not adversely affect property values in the adjacent areas;
- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0613, by Adam Collins, P.E. of Adam Collins Engineering, Inc., agent for Lois E. Pearce, owner, to request a special exception be granted as provided for in Section 4.5.7(4) of the Land Development Regulations to allow for the sale of agricultural equipment as a heavy equipment and machinery sales use in an Agriculture-3 ("A-3") Zone District. The special exception has been filed in accordance with a site plan dated January 21, 2020 and submitted as part of a petition dated January 21, 2020, to be located on property described, as follows:

BEGIN AT A 3" ROUND CONCRETE MONUMENT MARKING THE INTERSECTION OF THE SOUTH LINE OF THE NE 1/4 OF THE SW 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 (STATE ROAD NO. 2) (A 150 FOOT WIDE PUBLIC RIGHT-OF-WAY AS PRESENTLY ESTABLISHED) AND THENCE N 87°29'39" E, ALONG SAID SOUTH LINE OF THE NE 1/4 OF THE SW 1/4, A DISTANCE OF 626.22 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE SOUTHERLY MOST WEST LINE OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 365 PAGE 07 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 01°58'40" W, ALONG SAID SOUTHERLY MOST WEST LINE, 357.18 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE WESTERLY MOST SOUTH LINE OF SAID LANDS; THENCE S 87°29'58" W, ALONG SAID LINE, 844.83 FEET TO A 3" ROUND CONCRETE MONUMENT ON THE AFOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41; THENCE S 33°35'00" E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 417.11 FEET TO THE POINT OF BEGINNING.

CONTAINING 6.03 ACRES, MORE OR LESS

Tax Parcel Number 21-4s-17-08637-000

Section 2. The Planning and Zoning Board, hereby approves the above referenced special exception subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A". If compliance with any of the conditions of special exception causes substantial deviation in the approved site plan, the applicant shall be required to submit a new special exception application and receive Planning & Zoning Board approval in accordance with the Land Development Regulations.

Section 3. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

Section 4. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

Section 5. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.



Section 6. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 7. This resolution shall become effective upon adoption.

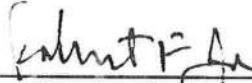
PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 27<sup>th</sup> day of February 2020.

Attest:

BOARD OF ADJUSTMENT OF  
COLUMBIA COUNTY, FLORIDA



Brandon M. Stubbs, Secretary to the  
Board of Adjustment



Robert F. Jordan, Chairman

SE 0613



# HALL'S INDUSTRIAL PARK

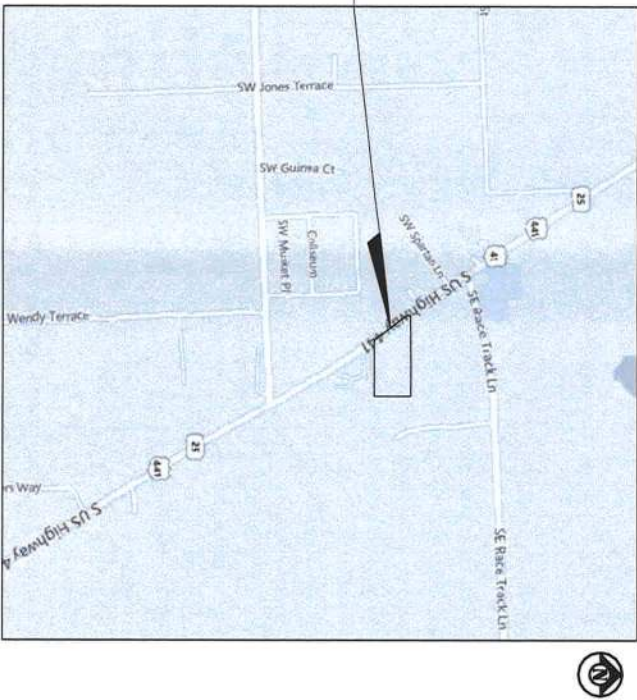
ADDRESS: NONE  
PARCEL ID: 21-04S-17E-08637.000  
ZONING: A-3



## LEGEND

BT	EXISTING BURIED TELEPHONE WIRE	EXISTING TREES
75	EXISTING CONTOUR	TREES TO BE REMOVED
E	EXISTING ELECTRIC	TREES TECHNICALLY REMOVED
X	EXISTING FENCE	EXISTING SPOT ELEVATION
FO	EXISTING FIBER OPTIC	PROPOSED SPOT ELEVATION
FM	EXISTING FORCE MAIN	PROPOSED SLOPE
G	EXISTING GAS MAIN	BM - BENCHMARK AS NOTED
IR	EXISTING SANITARY SEWER	WM - WATER VALVE
OH	EXISTING OVERHEAD WIRE	WV - WATER VALVE
W	EXISTING WATER LINE	GV - GAS VALVE
	BUILDING SETBACKS	PP - POWER POLE
	EASEMENT	LP - LIGHT POLE
75	LIMITED ACCESS HWY	AP - ANCHOR POLE
E	PROPOSED CONTOUR	WM - WATER METER
E	PROPOSED ELECTRIC	INDICATES DIRECTION OF FLOW
X	PROPOSED FENCE	PRESERVED URBAN FOREST (CONSERVATION EASEMENT)
FO	PROPOSED FIBER OPTIC	WETLAND AREA
F	PROPOSED FIRE MAIN	CONCRETE
FM	PROPOSED FORCE MAIN	LANDSCAPE AREA
G	PROPOSED GAS MAIN	
IR	PROPOSED SANITARY SEWER	
SS	PROPOSED STORM SEWER	
W	PROPOSED WATER LINE	
R/W	PROPERTY LINE (LOCAL)	
R/R	RIGHT-OF-WAY	
R/R	RAILROAD	
SF	HEAVY DUTY SALT FENCE	

## PROJECT LOCATION



## LOCATION MAP

NOT TO SCALE

## OWNER, ENGINEER, SURVEYOR

OWNER: LOIS E. PEARCE  
3350 LEX JONES ROAD  
GLEN ST. MARY, FL 32040

ENGINEER OF RECORD: ADAM COLLINS ENGINEERING, INC.  
12558 BASS ROAD  
LIVE OAK, FL 32060  
PHONE: 386-320-7400  
EMAIL: adam@collinseng.com

SURVEYOR OF RECORD:

DANIEL & GORE, LLC  
426 SW COMMERCE DRIVE  
LAKE CITY, FL 32025  
PHONE: 386-752-9019  
FAX: 904-339-9229

## SHEET INDEX

SHEET #	SHEET DESCRIPTION
G-100	COVER
G-101	GENERAL NOTES
C-100	EXISTING CONDITIONS PLAN
C-200	EROSION CONTROL PLAN AND DETAILS
C-300	SITE PLAN AND SWMF DETAILS
C-400	GEOMETRY AND GRADING
C-500	MISCELLANEOUS DETAILS
C-600	FDOT DRIVEWAY CONNECTION DETAILS
L-100	LANDSCAPING PLAN AND DETAILS

## ABBREVIATIONS

BT	EXISTING BURIED TELEPHONE WIRE	EXISTING TREES
75	EXISTING CONTOUR	TREES TO BE REMOVED
E	EXISTING ELECTRIC	TREES TECHNICALLY REMOVED
X	EXISTING FENCE	EXISTING SPOT ELEVATION
FO	EXISTING FIBER OPTIC	PROPOSED SPOT ELEVATION
FM	EXISTING FORCE MAIN	PROPOSED SLOPE
G	EXISTING GAS MAIN	BM - BENCHMARK AS NOTED
IR	EXISTING SANITARY SEWER	WM - WATER VALVE
OH	EXISTING OVERHEAD WIRE	WV - WATER VALVE
W	EXISTING WATER LINE	GV - GAS VALVE
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G	PROPOSED GAS MAIN	
IR	PROPOSED SANITARY SEWER	
SS	PROPOSED STORM SEWER	
W	PROPOSED WATER LINE	
R/W	PROPERTY LINE (LOCAL)	
R/R	RIGHT-OF-WAY	
R/R	RAILROAD	
SF	HEAVY DUTY SALT FENCE	

PLANS PREPARED BY:



ADAM COLLINS ENGINEERING, INC.

12558 BASS ROAD, LIVE OAK, FLORIDA 32060  
P: 386.320.7400 F: 850.807.7309  
WWW.COLLINSENG.COM  
CERTIFICATE OF AUTHORIZATION: 31728

## CONSTRUCTION DOCUMENTS

ENGINEER OF RECORD:

ADAM T. COLLINS  
FLORIDA P.E. REGISTRATION NO. 75584 Date: 2020.01.29





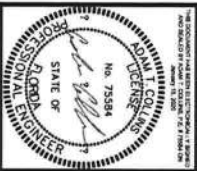


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CONTAINS BY SURVEY 6.03 ACRES, MORE OR LESS.



REVISIONS	
NO.	DESCRIPTION



PREPARED FOR

LOIS E. PEARCE  
3350 LEX JONES ROAD  
GLEN ST. MARY, FL 32040

PREPARED BY

 **ADAM COLLINS**  
ENGINEERING INC.

CA# 31728 – P: 386.320.7400 – [WWW.COLLINSENG.COM](http://WWW.COLLINSENG.COM)

## HALL'S INDUSTRIAL PARK

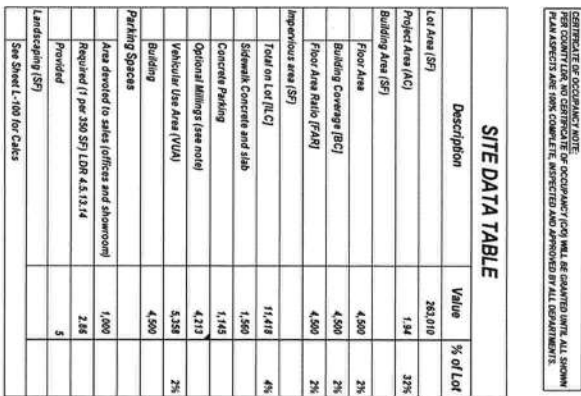
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### EXISTING CONDITIONS PLAN

DATE	2020.01.15
DRAWN	DMC
DESIGNED	DMC
CHECKED	ATC
JOB NO.	19061
C-100	



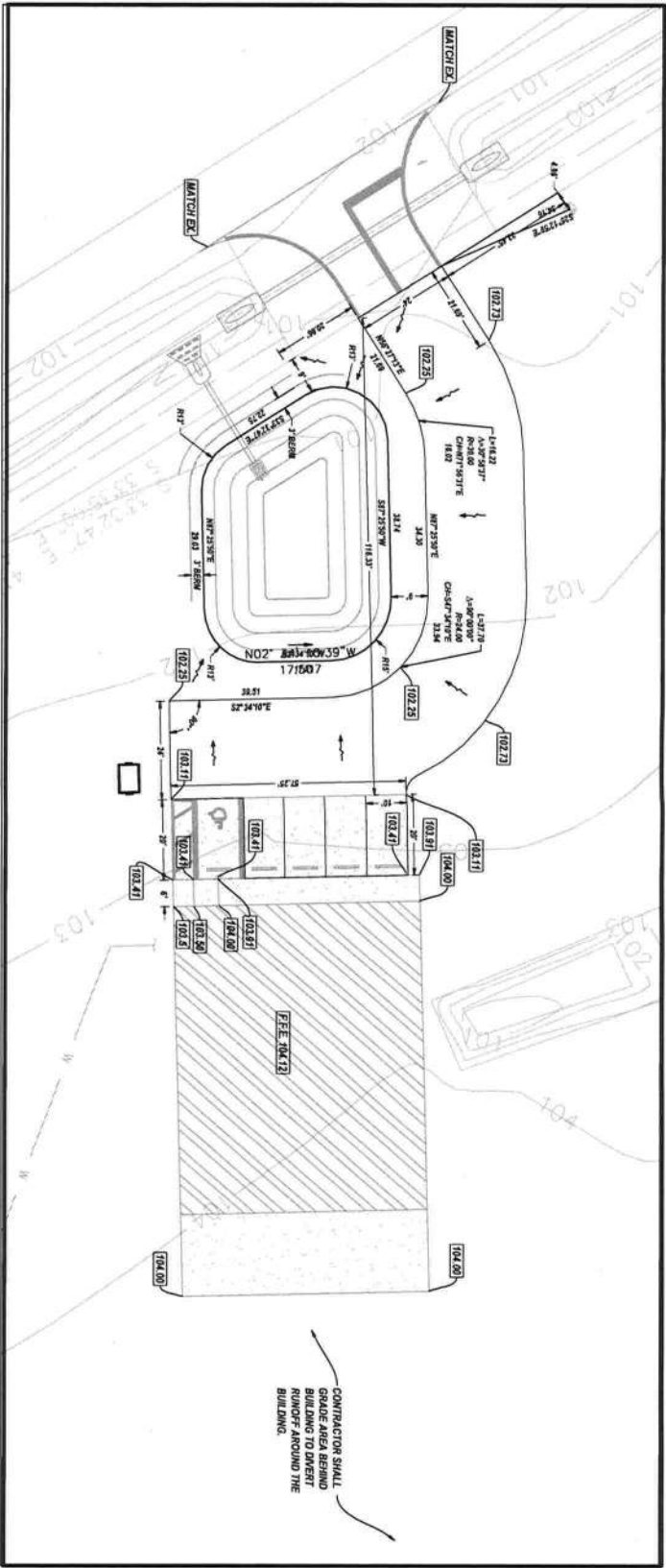


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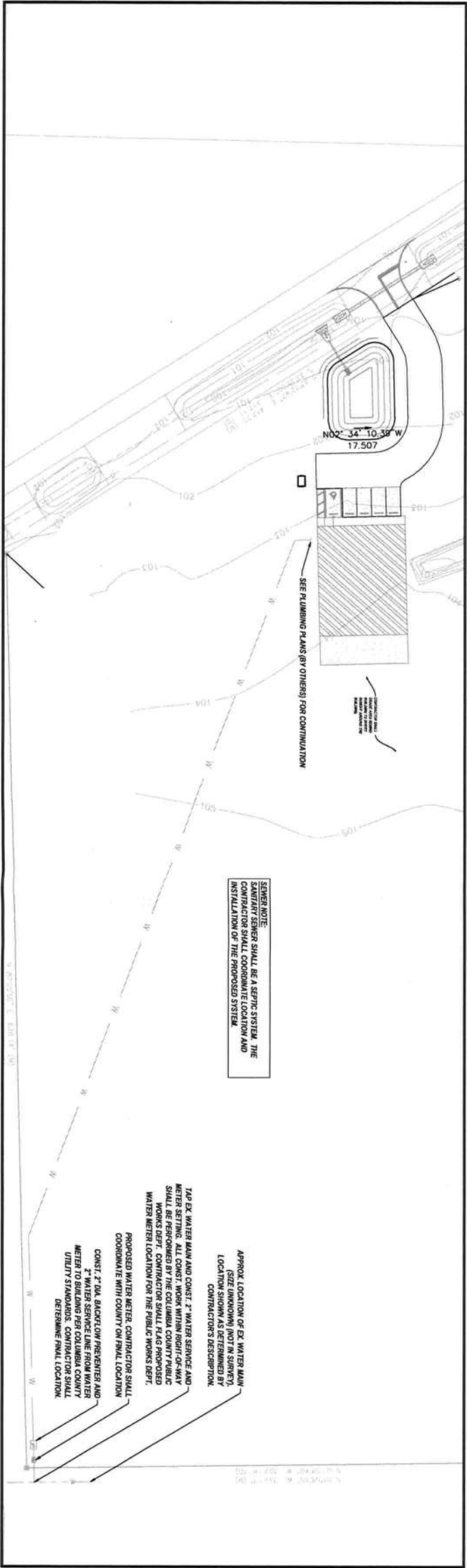
Description	Value	% of Lot
Lot Area (S <sup>2</sup> )	262,010	
Project Area (Ac)	1.14	37%
Building Area (S <sup>2</sup> )		
Floor Area	4,500	2%
Roofing Coverage (Ac)	4,500	2%
Floor Area Ratio (FAR)	4,500	2%
Impervious area (S <sup>2</sup> )		
Total area lot (Ac)	11,418	4%
Sewered Concrete and slab	1,560	
Concrete Parking	1,545	
Optional Millings (See note)	4,713	
Vehicle Use Area (VUA)	5,358	
Roading	4,800	2%
Parking Spaces		
Area devoted to sales (office and showroom)	1,000	
Required ( per 350 S <sup>2</sup> ) LOR 45,73.4	2,848	
Provided	5	
Landscaping (S <sup>2</sup> )		
See Sheet C-100 for Cuts		



**SITE PLAN**  
SCALE: 1" = 20'



GRADING, GEOMETRY & UTILITY PLAN  
SCALE: 1" = 20'



UTILITY PLAN  
SCALE: 1" = 40'

REVISIONS		DATE
NO.	DESCRIPTION	



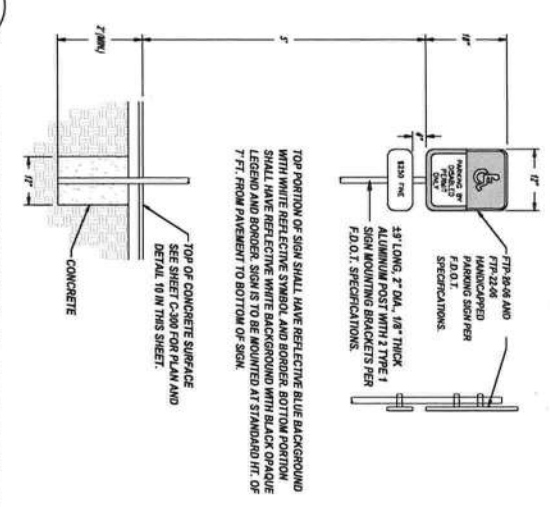
PREPARED FOR  
LOIS E. PEARCE  
3350 LEX JONES ROAD  
GLEN ST. MARY, FL 32040

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CA# 31728 ~ P: 386.320.7400 ~ WWW.COLLINSENG.COM

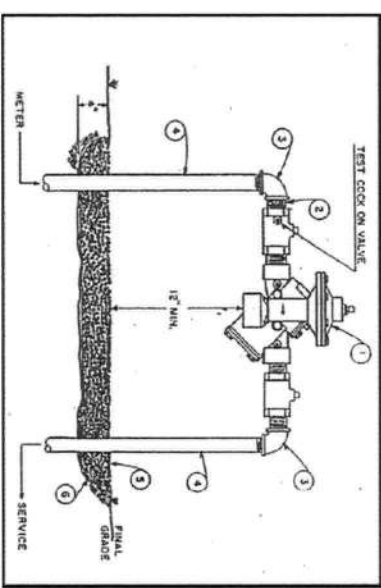
PROJECT  
**HALL'S INDUSTRIAL PARK**  
SHEET  
**GRADING, GEOMETRY  
& UTILITY PLAN**

DATE  
2020.01.17  
DRAWN  
DMC  
DESIGNED  
DMC  
CHECKED  
ATC  
JOB NO.  
19081

SEE  
C-400



2	HANDICAP PARKING SIGN DETAIL
C-300	N.T.S.

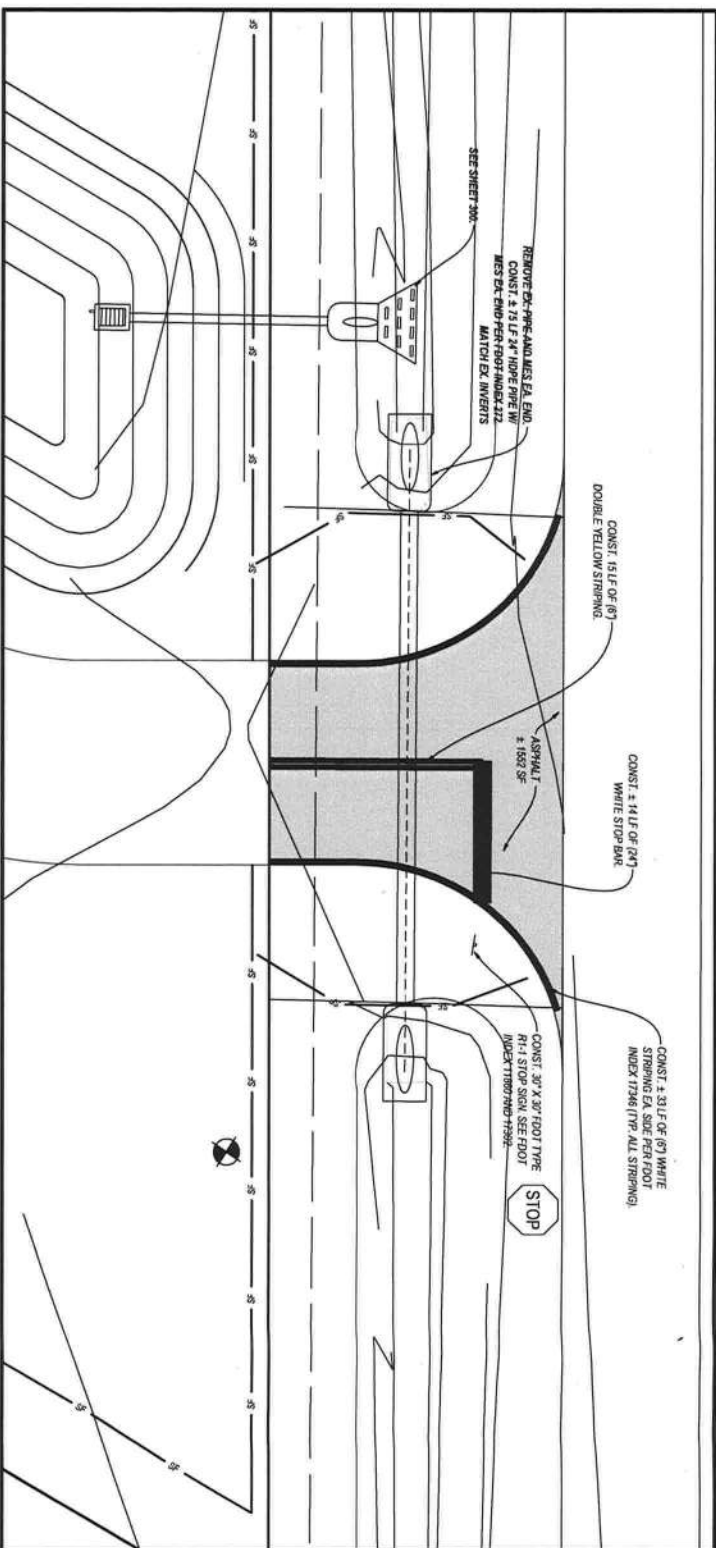


4	<b>DOUBLE CHECK VALVE BACKFLOW PREVENTER</b>
C-300	N.T.S.

MATERIALS		
ITEM	QUANTITY	DESCRIPTION
1	1	BACKFLOW PREVENTER ASSEMBLY
2	2	2" x NOMI
3	2	NIPPLES - BRASS or PVC
4	2	ELBOWS - GALVANIZED or PVC
5	2	RISER - GALVANIZED or PVC
6	*	PEA GRAVEL
		PLASTIC LINER

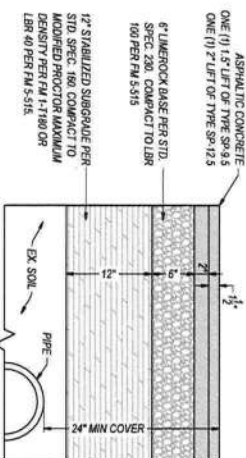


**DRIVEWAY PLAN**  
SCALE: 1" = 10'



**TYP. FDOT DRIVEWAY SECTION**

N.T.S.

[illegible]



PREPARED BY

 **ADAM COLLINS**  
ENGINEERING INC.

CA# 31728 - P: 386.320.7400 - [WWW.COLLINSENG.COM](http://WWW.COLLINSENG.COM)

LOIS E. PEARCE  
3350 LEX JONES ROAD  
GLEN ST. MARY, FL 32040



PLANTING SCHEDULE FOR INTERIOR PARKING LANDSCAPE					
TREE					
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE AND SPACING	NOTES
	4	CREPE MYRTLE	LAGERSTROEMIA INDICA	1" CAL	OWNER CHOOSE COLOR
SHRUB					
	13	LOROPETULUM	LOROPETULUM CHINENSIS	3 GAL	

- [illegible]

**COMPLIANCE NOTE:**  
REQUIRED LANDSCAPED AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND CONTINUED SO LONG AS THE MAIN USE CONTINUES. FAILURE TO MAINTAIN REQUIRED LANDSCAPED AREA SHALL BE A VIOLATION OF THESE LAND DEVELOPMENT REGULATIONS.

## INTERIOR PARKING LANDSCAPE REQUIREMENTS

1. THE REQUIRED 10% OF TOTAL OFF-STREET PARKING AREA (P. 4.3.11.1) INCLUDING ENTRANCE AND DRIVING ISLE TO BE USED FOR LANDSCAPE.
  2.  $4/28$  SF  $\pm$  0.10 = 643 SF OF AREA TO BE LANDSCAPED.
  3. THE REQUIREMENT FOR EACH 200 SF OF PARKING LANDSCAP AREA IS:
    - (1) - TREE
    - (2) - REMAINING AREA ADEQUATELY LANDSCAPED WITH SHRUBS, GRASSING COVER, OR OTHER LANDSCAPING MATERIAL.
  4. REQUIRED LANDSCAPE AREA = 643 SF  $\pm$  200 SF = 3,122
  5. REQUIRED:
    - (1) - TREES
    - (2) - ADEQUATE SHRUB COVERAGE
  6. PROVIDED:
    - (1) - TREES
    - (2) - SHRUBS @ 3 GAL.
- BUFFER LANDSCAPE REQUIREMENTS**
- NO BUFFER REQUIRED PER PORT 4.3.12

### LANDSCAPE NOTES

- [illegible]

### PLANTING INSTRUCTIONS

- [illegible]

