DATE 05/09/2019

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000038090

APPLICANT TAD CERVANTES PHONE 754-7071

ADDRESS 370 SE RACE TRACK RD LAKE CITY FL 32025

OWNER COLUMBIA COUNTY/FIRE DEPARTMENT PHONE 754-7071

ADDRESS 370 SE RACE TRAACK RD LAKE CITY FL 32025

CONTRACTOR COLUMBIA COUNTY PHONE 758-4100

LOCATION OF PROPERTY 441 S, ON CORNER OF RACETRACK AND ROXANNE CT

TYPE DEVELOPMENT STORAGE BUILDING ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION CONCRETE WALLS METAL ROOF PITCH FLOOR SLAB

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 10.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 21-4S-17-08638-005 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 5.00

Culvert Permit No.	Culvert Waiver	Contractor's License Number	x Tad Cervantes		
		OWNER	Applicant/Owner/Contractor		
EXISTING	X19	TC	TC	N	
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident	Time SUP No.

COMMENTS: ACCESSORY USE STRUCTURE FOR STORAGE

NO NOC REQUIRED

NO CHARGE FOR COUNTY PROJECT Check # or Cash NO CHARGE

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power _____ date/app. by

Foundation _____ date/app. by

Monolithic (footer/Slab) _____ date/app. by

Under slab rough-in plumbing _____ date/app. by

Slab _____ date/app. by

Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by

Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by

Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by

Peri. beam (Lintel) _____ date/app. by

Pool _____ date/app. by

Permanent power _____ date/app. by

C.O. Final _____ date/app. by

Culvert _____ date/app. by

Pump pole _____ date/app. by

Utility Pole _____ date/app. by

M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by

RV _____ date/app. by

Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 0.00 CERTIFICATION FEE $ 0.00 SURCHARGE FEE $ 0.00

MISC. FEES $ 0.00 ZONING CERT. FEE $ _____ FIRE FEE $ 0.00 WASTE FEE $ _____

PLAN REVIEW FEE $ _____ DP & FLOOD ZONE FEE $ _____ CULVERT FEE $ _____ **TOTAL FEE** 0.00

INSPECTORS OFFICE _____ CLERKS OFFICE _____

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County New Building Permit Application

For Office Use Only Application # 1905-36 Date Received 5/9/19 By CH Permit # 38090

Zoning Official J.C. Date 5-9-19 Flood Zone X Land Use AG Zoning A-3

FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 5-9-19

Comments Metal Storage Bldg, Non Habitable F. 30' Sides 25' Rear 25'

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☐ App Fee Paid ☐ Sub VF Form

Septic Permit No. OR City Water ☐ Fax

Applicant (Who will sign/pickup the permit) TAD CERVANTES Phone 386 754 7071

Address 370 SE Race Track RD

Owners Name Columbia County Phone 386 754-7071

911 Address 370 SE Race Track RD

Contractors Name Columbia County Phone 386-758-4100

Address 135 NE Hernando Ave

Contractor Email ***Include to get updates on this job.

Fee Simple Owner Name & Address Columbia County

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Wayne Moore

Mortgage Lenders Name & Address N/A

Circle the correct power company ☐ FL Power & Light ☒ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 08638-005 Estimated Construction Cost 25,000

Subdivision Name Fire Dept Lot Block Unit Phase

Driving Directions from a Major Road 441 S (L) Race track RD (R) Fire Department

Construction of metal storage Building ✓ Commercial OR Residential

Proposed Use/Occupancy Storage Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? NO If Yes, blueprints included Or Explain

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ✓ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 375' Side 117' Side 250' Rear 70'

Number of Stories 1 Heated Floor Area Ø Total Floor Area 1500 sq ft Acreage 5

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Columbia County _____ Rep. Tad Cone _____

Print Owners Name **Owners Signature**

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

_____ **Contractor's License Number**_____

Contractor's Signature **Columbia County Competency Card Number**_____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20___.

Personally known_____ **or Produced Identification**_____

_____ **SEAL:**

State of Florida Notary Signature (For the Contractor)

FL North, NAD83 | xy 2562858 5958, 0414892 6358 | DMS 82°37'11 4W, 30°07'38 5N | DD -82 6198, 30 1274

by GrizzlyLogic.com

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year
updated: 3/29/2019

Retrieve Tax Record | Property Card | Parcel List Generator | **Show on GIS Map** | Print

Parcel: << **21-4S-17-08638-005** >>

Aerial Viewer | Pictometery | Google Maps

Owner & Property Info

<< Result: 2 of 13 >>

Owner	COLUMBIA COUNTY, FLORIDA P O BOX 1529 LAKE CITY, FL 320561529		
Site	370 RACETRACK LN,		
Description*	BEG AT NE COR OF NE1/4 OF SW1/4, RUN S 471.59 FT, W 471.59 FT, N 446.08 FT TO S R/W OF CR 133-B, E ALONG R/W 472.42 FT TO POB. ORB 1122-1183		
Area	5 AC	S/T/R	21-4S-17E
Use Code**	COUNTY (008600)	Tax District	2

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	$31,303	Mkt Land (1)	$31,30
Ag Land (0)	$0	Ag Land (0)	$
Building (1)	$448,562	Building (1)	$443,79
XFOB (2)	$6,200	XFOB (2)	$6,20
Just	$486,065	Just	$481,29
Class	$0	Class	$
Appraised	$486,065	Appraised	$481,29
SOH Cap [?]	$0	SOH Cap [?]	$
Assessed	$486,065	Assessed	$481,29
Exempt	OTHER$486,065	Exempt	OTHER$481,29
Total Taxable	county:$0 city:$0 other:$0 school:$0	Total Taxable	county:$0 city:$ other:$ school:$

Sales History

Show Similar Sales within 1/2 mile | Fill out Sales Questionnaire

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
6/19/2007	$100,000	1122/1182	WD	V	U	

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SERVGARAGE (006500)	2009	10830	10830	$443,790

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

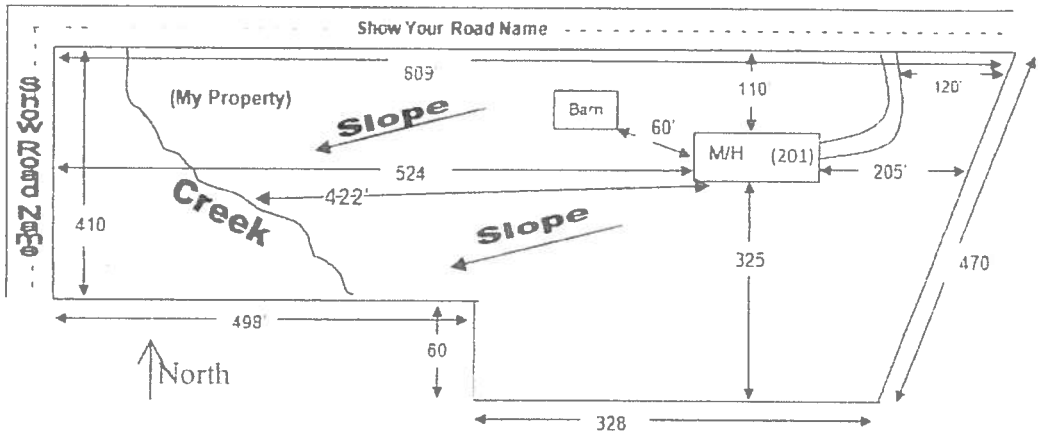
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	2009	$5,000.00	5000.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2017	$1,200.00	1.000	0 x 0 x 0	(000.00)

SITE PLAN CHECKLIST

___1) Property Dimensions
___2) Footprint of proposed and existing structures (including decks), label these with existing addresses
___3) Distance from structures to all property lines
___4) Location and size of easements
___5) Driveway path and distance at the entrance to the nearest property line
___6) Location and distance from any waters; sink holes; wetlands; and etc.
___7) Show slopes and or drainage paths
___8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15



NOTE:
This site plan can be copied and used with the 911 Addressing Dept. application forms.

STRUCTURAL DESIGN

ENCLOSED BUILDING
EXPOSURE B

MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE FRAME AND BOW FRAME

18 December 2017
Revision 4
M&A Project No. 16022S/17300S

Prepared for:

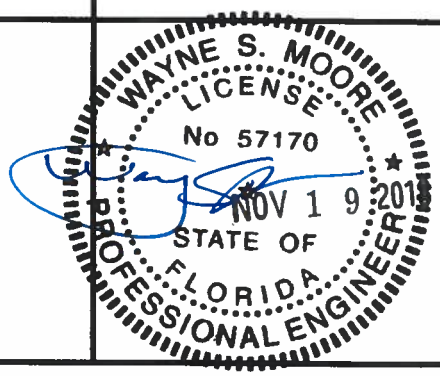
Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025

Prepared by:

Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841

401 S. Main Street, Suite 200
Mount Airy, NC 27030

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING

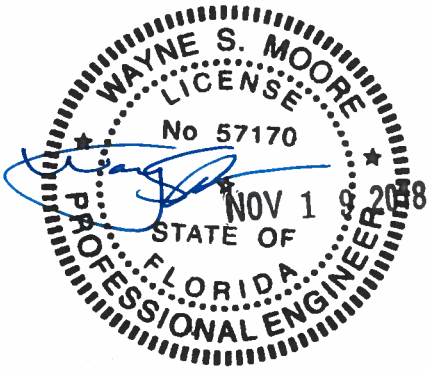


NOV 19 2017

MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B PE SEAL COVER SHEET			
CHECKED BY: PDH				
PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S	
CLIENT: TBS	SHT. 1	DWG. NO: SK-3	REV.: 4	

DRAWING INDEX



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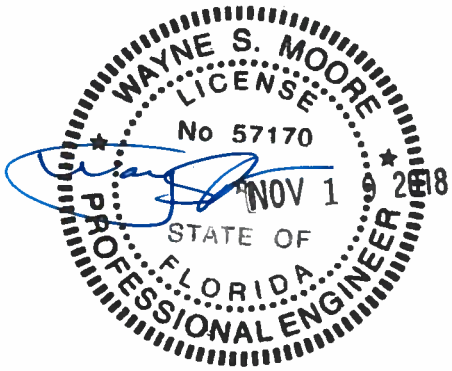
CLIENT: TBS	SHT. 2	DWG. NO: SK-3	REV.: 4	

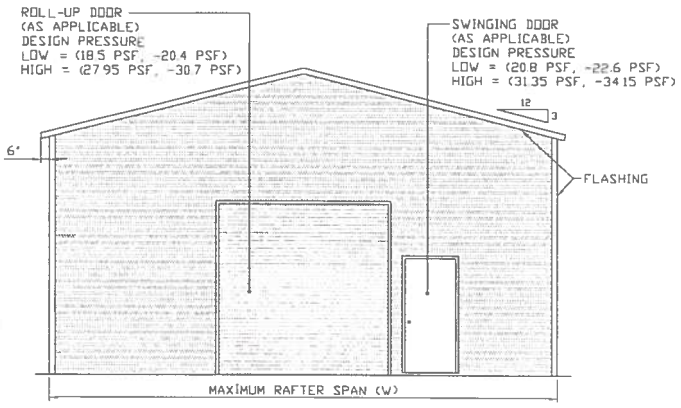
INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
   A) DEAD LOAD = 1.5 PSF
   B) LIVE LOAD = 12 PSF
   C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX.)
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14° (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW ($\leq$ 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USE IN UNSUITABLE SOILS AS NOTED.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
    SOIL SITE CLASS = D
    RISK CATEGORY I/II/III
    R= 3.25 I_E= 1.0
    S_{DS}= 1.522 V= C_SW
    S_{D1}= 0.839



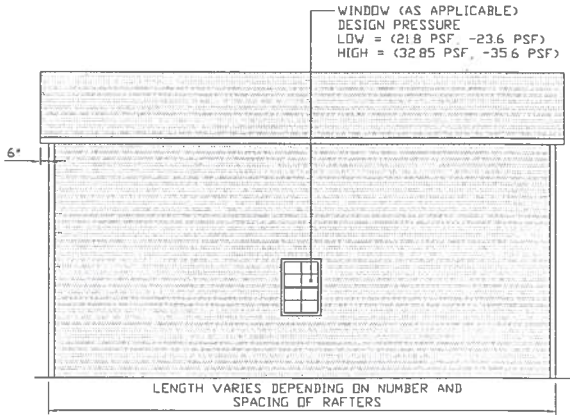
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 3	DWG. NO: SK-3	REV.: 4

BOX EAVE FRAME RAFTER ENCLOSED BUILDING



TYPICAL END ELEVATION-HORIZONTAL ROOF

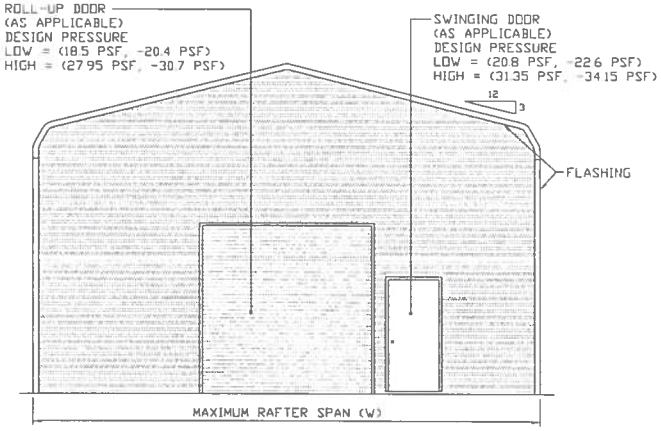
SCALE: NTS



TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

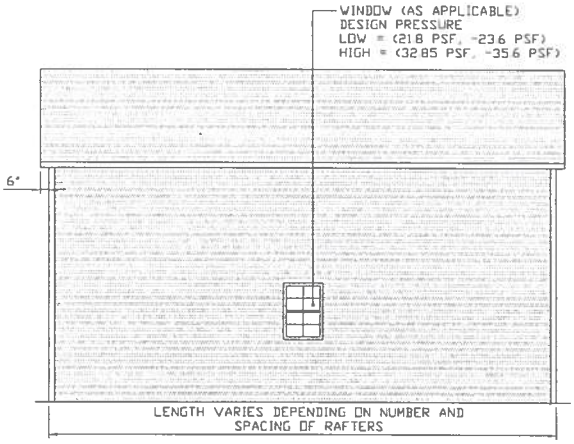
SCALE: NTS

BOW FRAME RAFTER ENCLOSED BUILDING



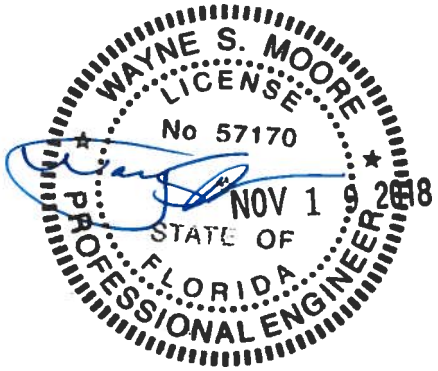
TYPICAL END ELEVATION

SCALE: NTS



TYPICAL SIDE ELEVATION

SCALE: NTS



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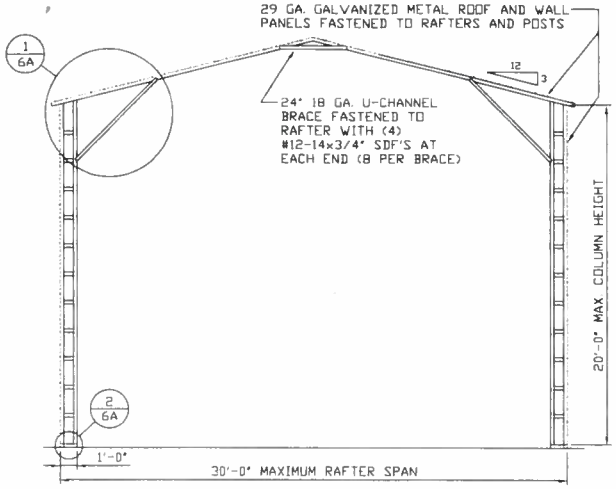
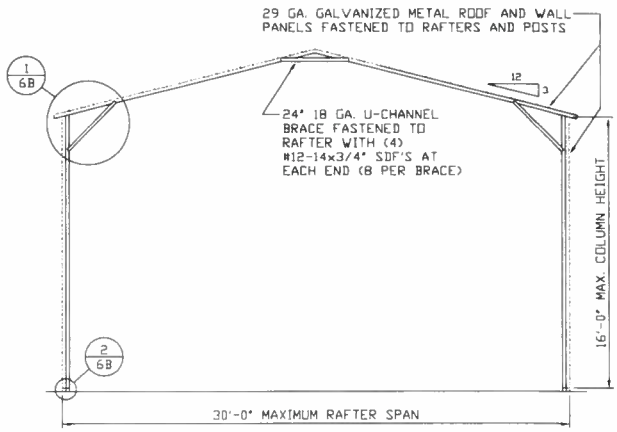


TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



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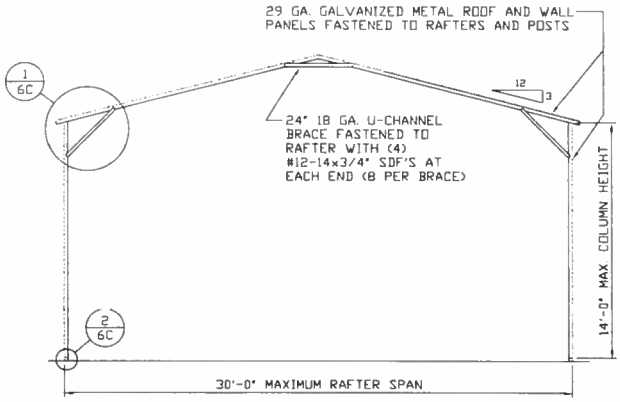

TYPICAL RAFTER/COLUMN END FRAME SECTION

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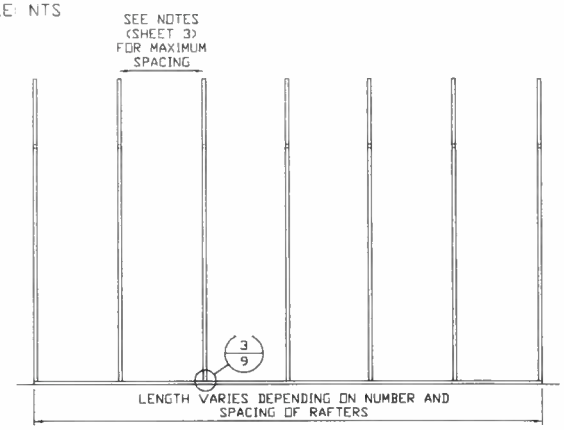
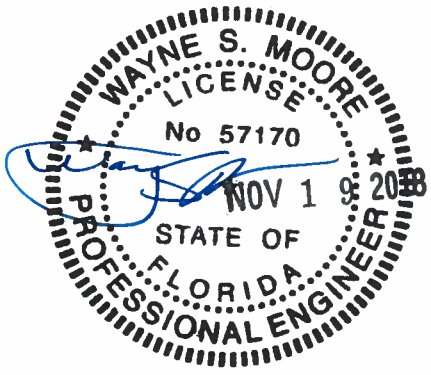


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS



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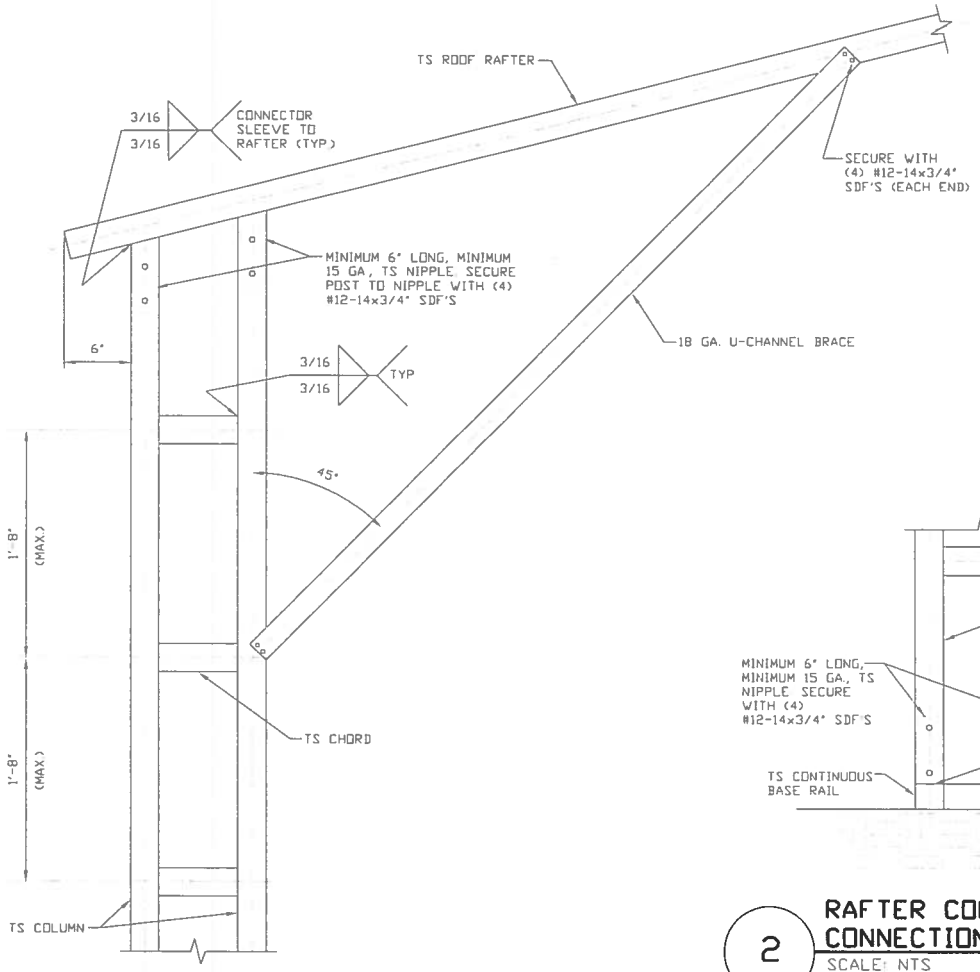
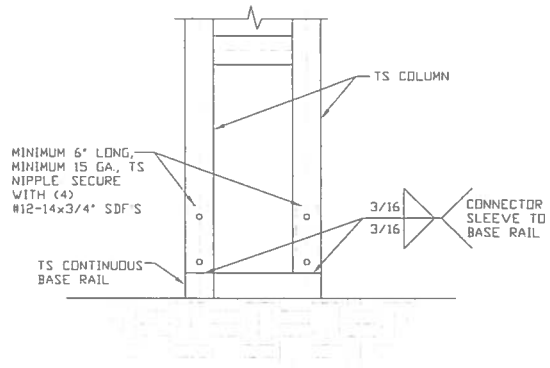


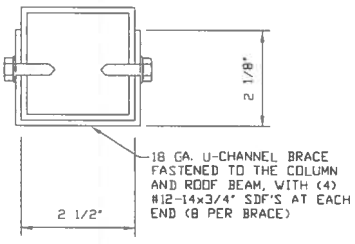
1 BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0"

SCALE: NTS



2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



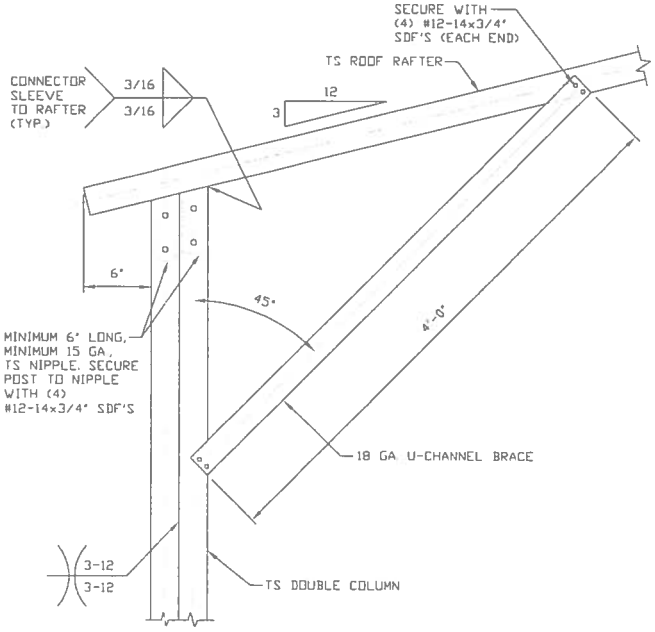
BRACE SECTION

SCALE: NTS

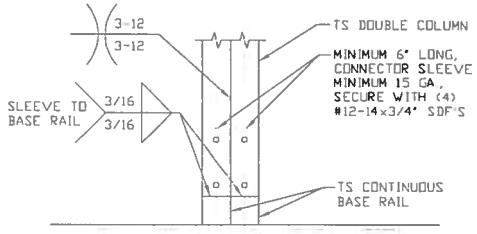
WAYNE S. MOORE LICENSE No 57170 STATE OF FLORIDA PROFESSIONAL ENGINEER

NOV 19 2018

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 160225/17300S
	CLIENT: TBS	SHT. 6A	DWG. NO: SK-3	REV.: 4



1 BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0" < TO ≤ 16'-0"
SCALE: NTS



2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL
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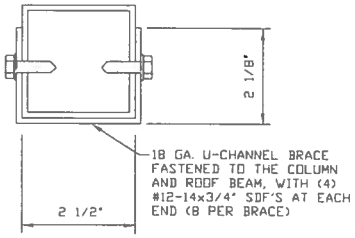
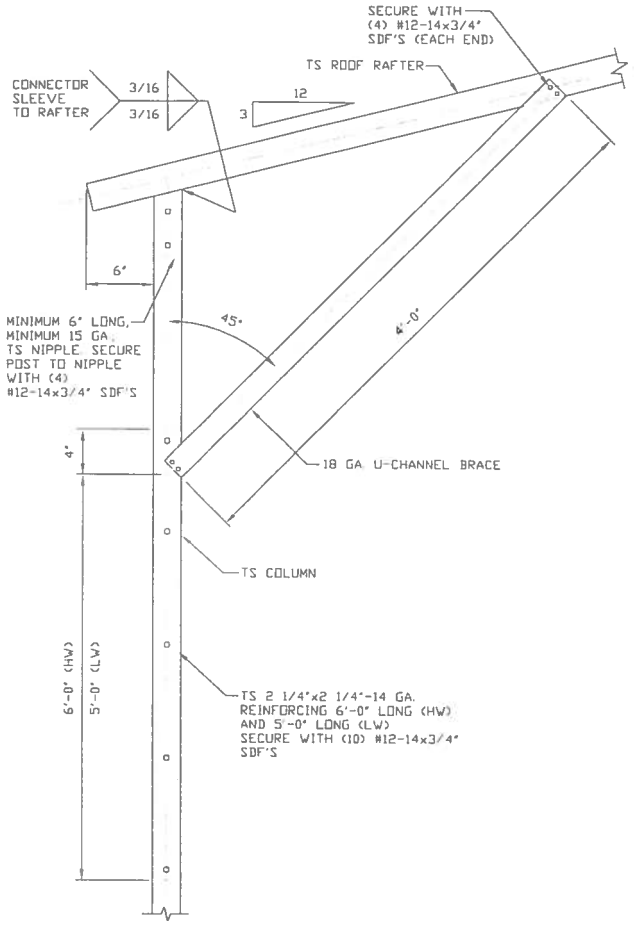


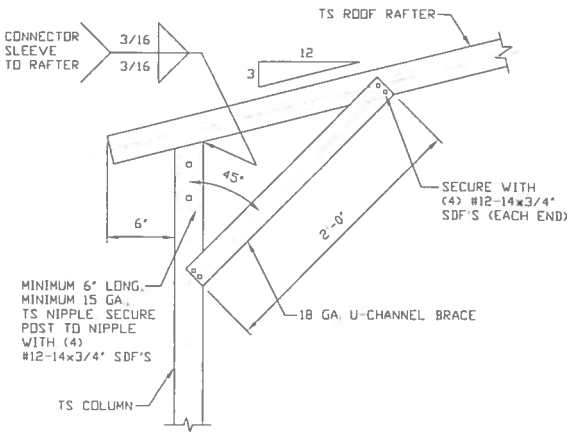
BRACE SECTION
SCALE: NTS

WAYNE S. MOORE
LICENSE
No 57170
STATE OF FLORIDA
PROFESSIONAL ENGINEER
NOV 19 2018

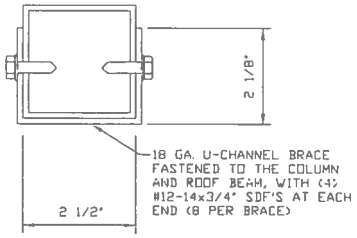
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 6B	DWG. NO: SK-3	REV.: 4



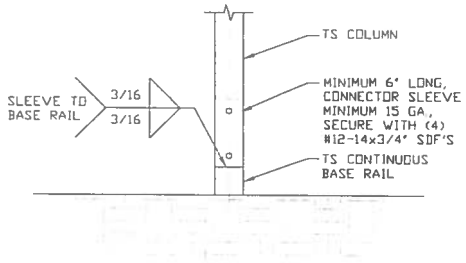
1A BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 14'-0"
SCALE: NTS



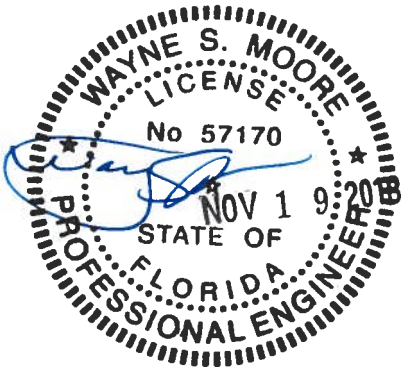
1B BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0"
SCALE: NTS



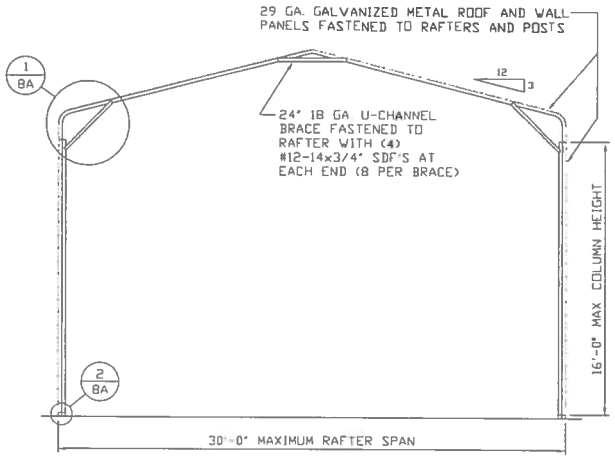
BRACE SECTION
SCALE: NTS



2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS

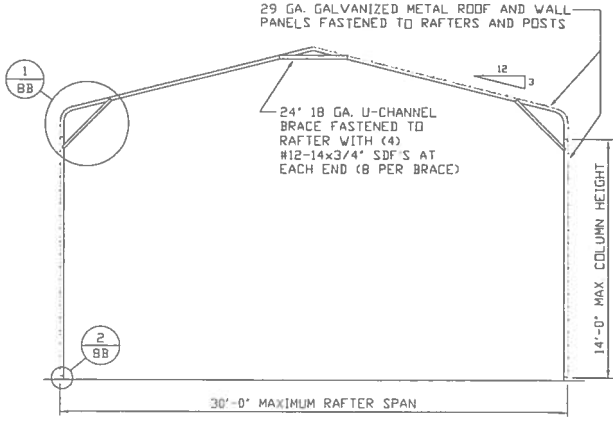


MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B	
	CHECKED BY: PDH		
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 160225/17300S
	CLIENT: TBS	SHT. 6C	DWG. NO: SK-3	REV.: 4



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

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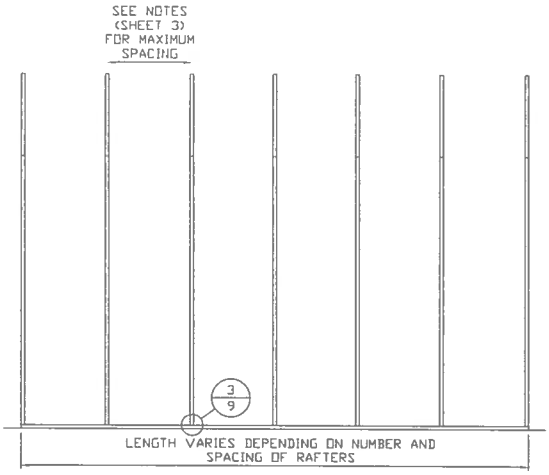
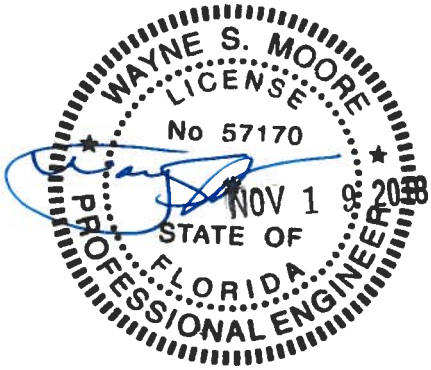
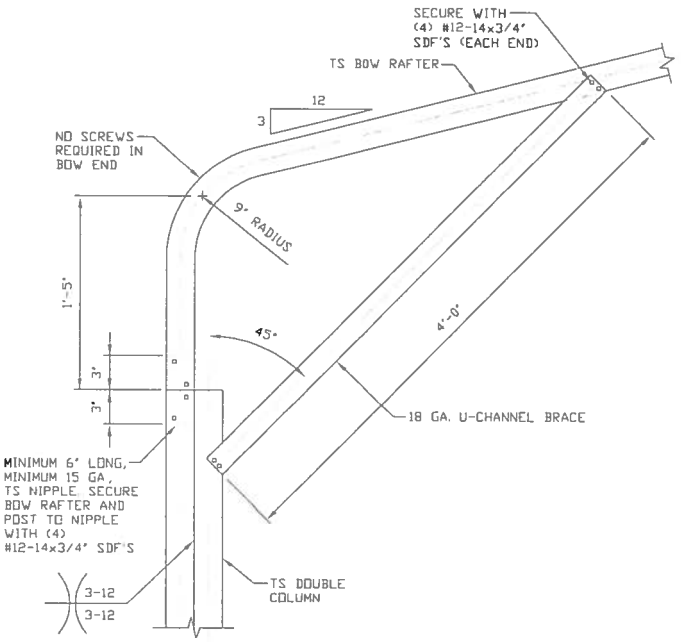


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS

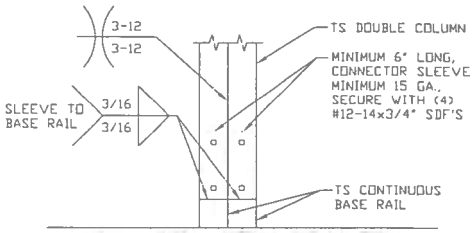


MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 7	DWG. NO: SK-3	REV.: 4



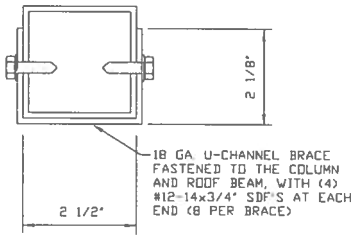
1 BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 14'-0" < TO ≤ 16'-0"

SCALE: NTS



2 RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



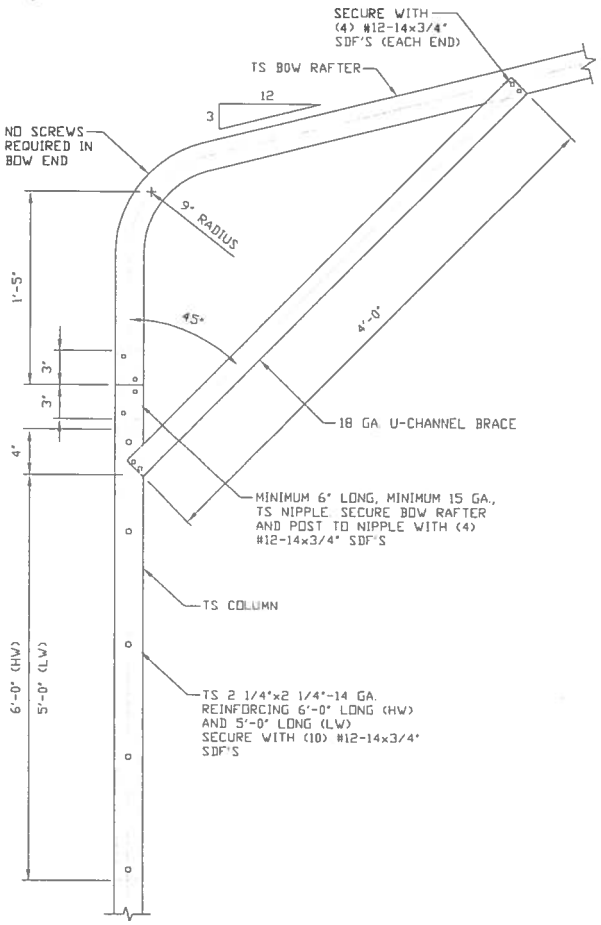
BRACE SECTION

SCALE: NTS

WAYNE S. MOORE LICENSE No 57170 STATE OF FLORIDA PROFESSIONAL ENGINEER

NOV 19 2018

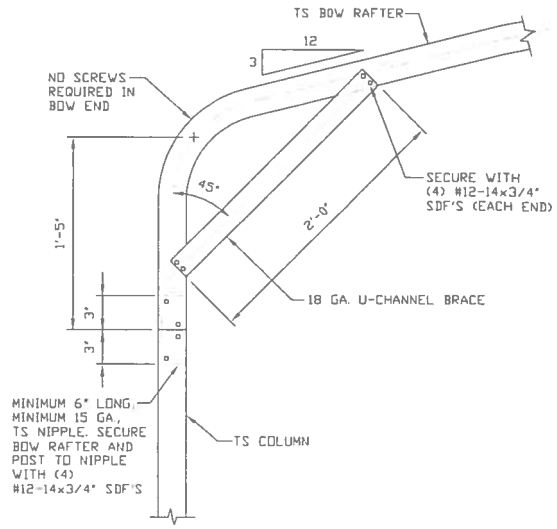
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 8A	DWG. NO: SK-3	REV.: 4



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 14'-0"

1A

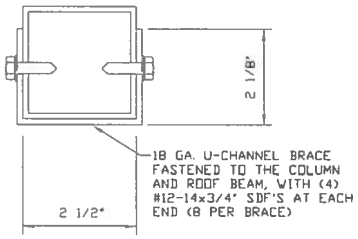
SCALE: NTS



BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0"

1B

SCALE: NTS



BRACE SECTION

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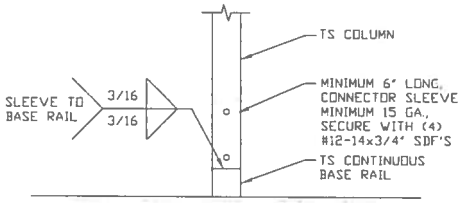
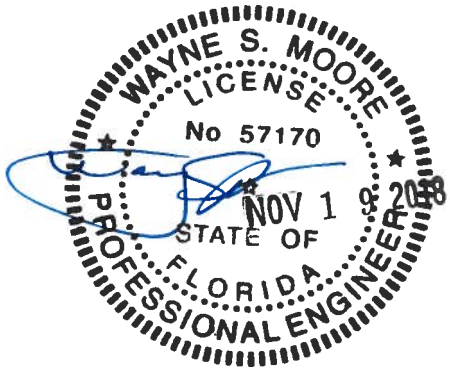


RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

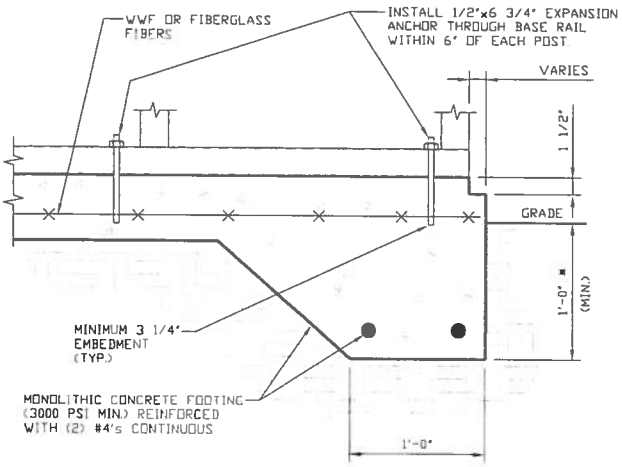
2

SCALE: NTS



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B	
	CHECKED BY: PDH		
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 8B	DWG. NO: SK-3	REV.: 4

BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED

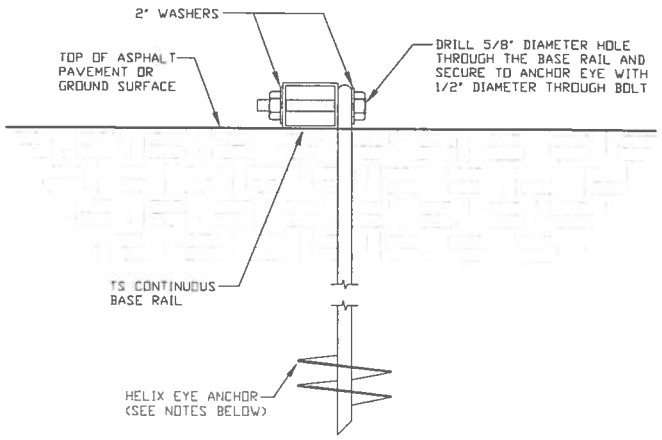


3A CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 4")

* COORDINATE WITH LOCAL CODES/ORD.



3B GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318.
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

REINFORCING STEEL:

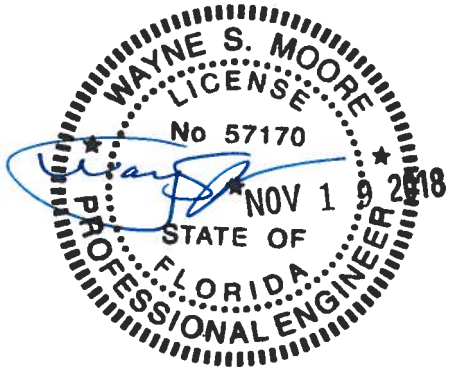
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

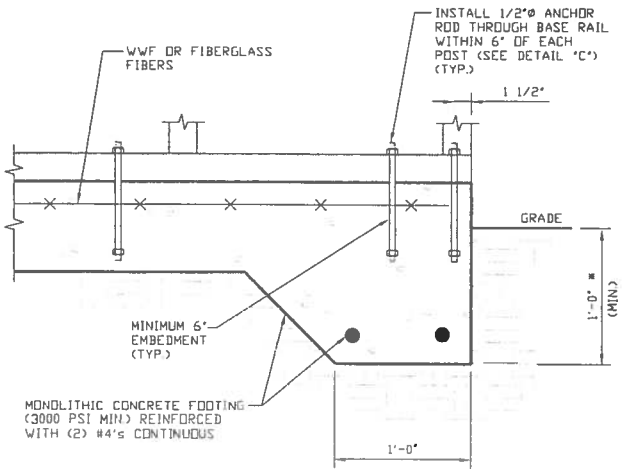
HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT.
5. FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT.



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: VSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 9A	DWG. NO: SK-3	REV.: 4

OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED

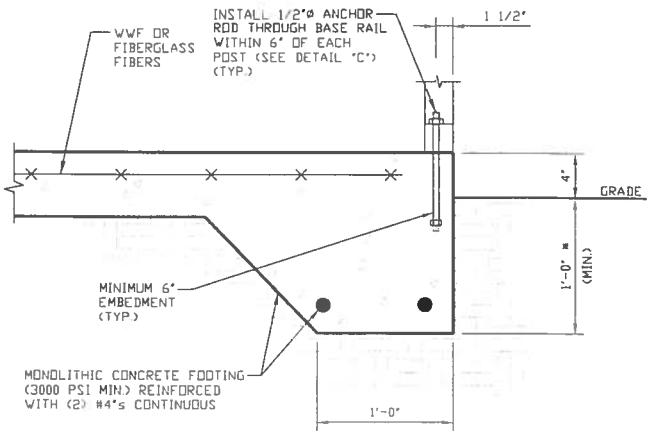


1A CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

* COORDINATE WITH LOCAL CODES/ORD.



1B CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

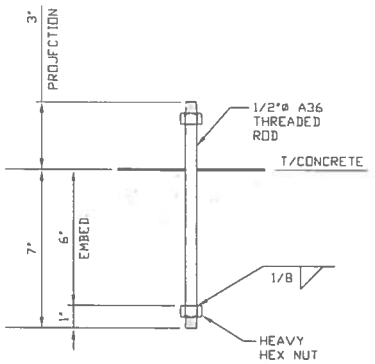
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

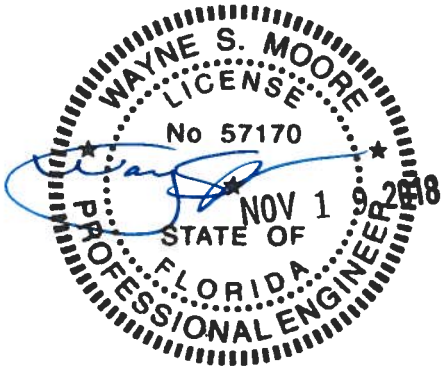
REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.



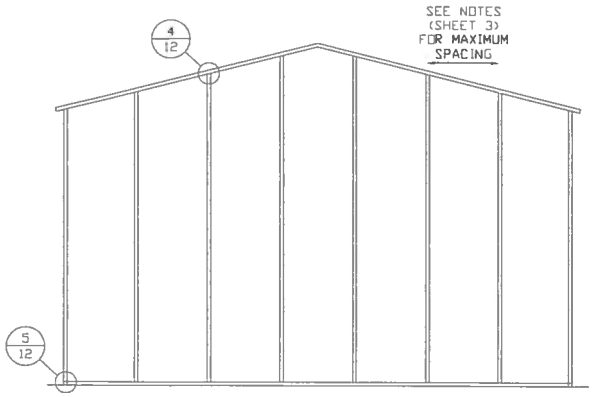
1C ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



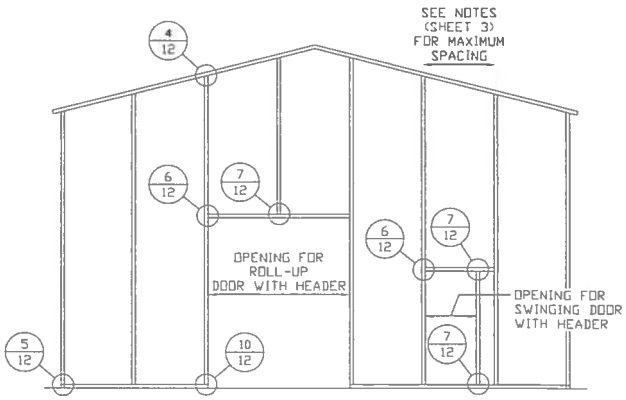
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 9B	DWG. NO: SK-3	REV.: 4

BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



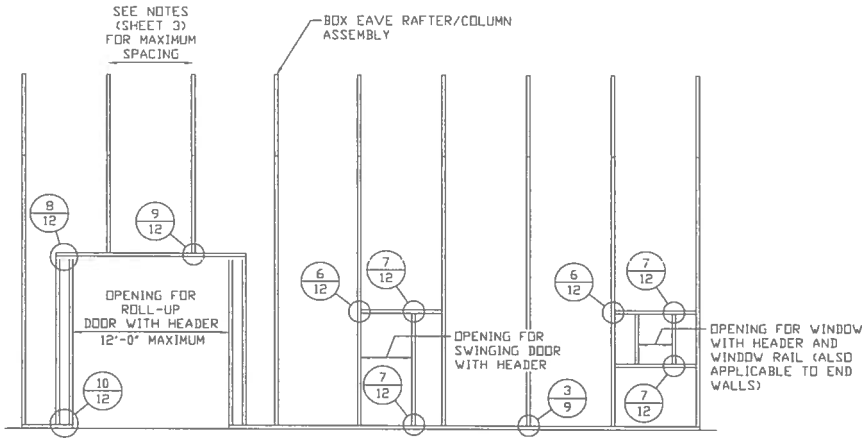
TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

SCALE: NTS



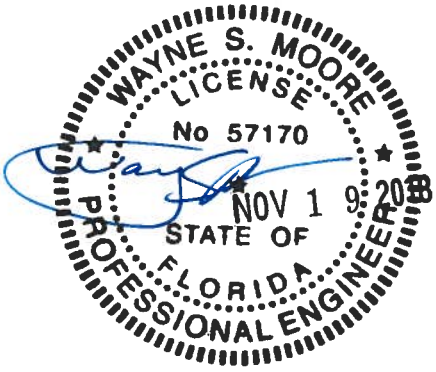
TYPICAL BOX EAVE RAFTER END WALL OPENINGS FRAMING SECTION

SCALE: NTS



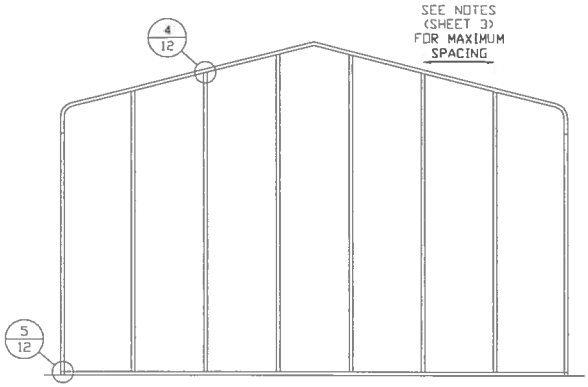
TYPICAL BOX EAVE RAFTER SIDE WALL OPENINGS FRAMING SECTION

SCALE: NTS



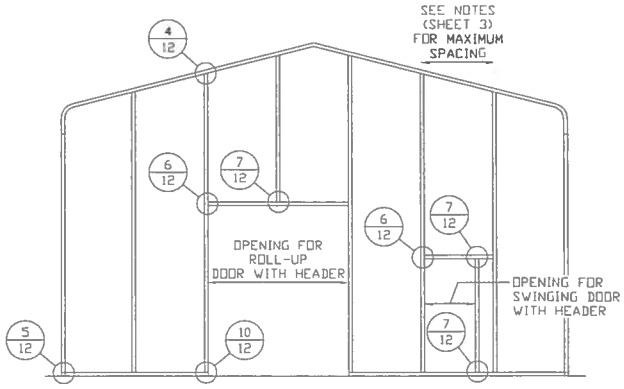
MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 160225/173005
	CLIENT: TBS	SHT. 10	DWG. NO: SK-3	REV.: 4

BOW RAFTER END WALL AND SIDE WALL OPENINGS



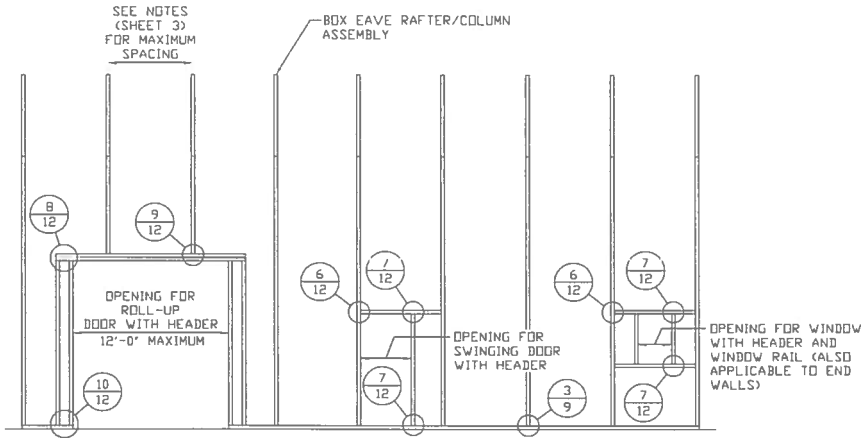
TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

SCALE: NTS



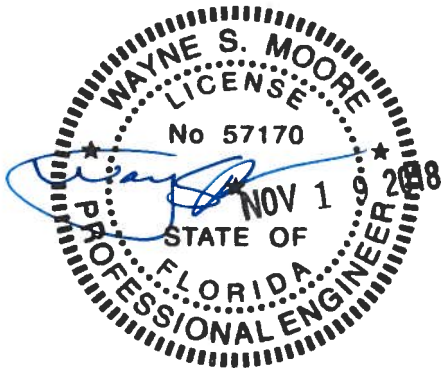
TYPICAL BOX EAVE RAFTER END WALL OPENINGS FRAMING SECTION

SCALE: NTS



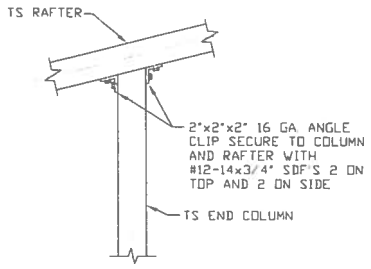
TYPICAL BOX EAVE RAFTER SIDE WALL OPENINGS FRAMING SECTION

SCALE: NTS

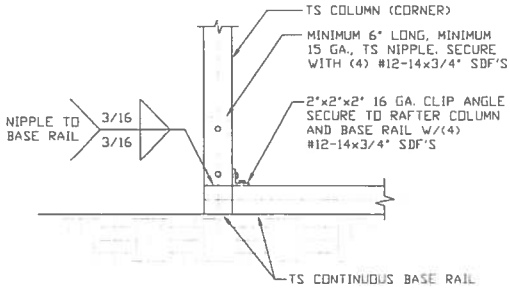


MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 11	DWG. NO: SK-3	REV.: 4

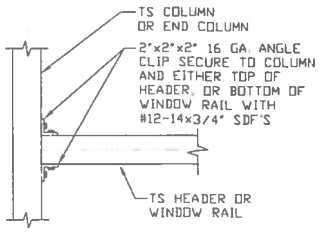
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



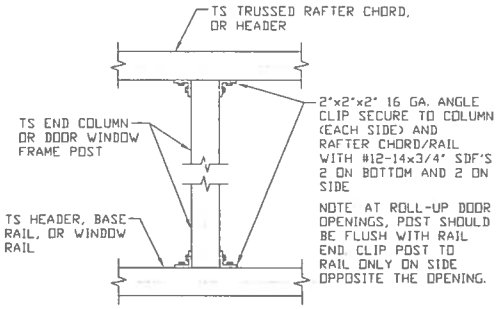
4 END COLUMN/RAFTER CONNECTION DETAIL
SCALE: NTS



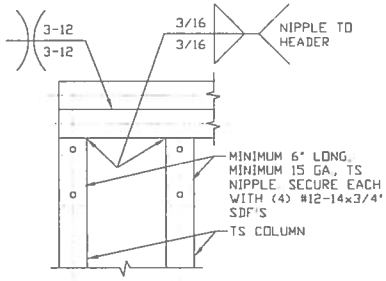
5 END COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



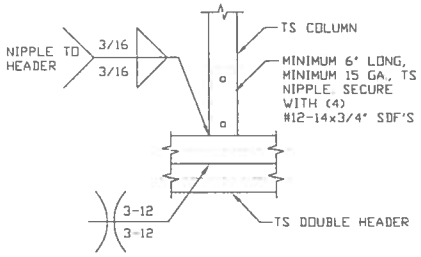
6 HEADER OR WINDOW RAIL TO COLUMN CONNECTION DETAIL
SCALE: NTS



7 COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
SCALE: NTS



8 DOUBLE HEADER/COLUMN CONNECTION DETAIL
SCALE: NTS



9 COLUMN/DOUBLE HEADER CONNECTION DETAIL
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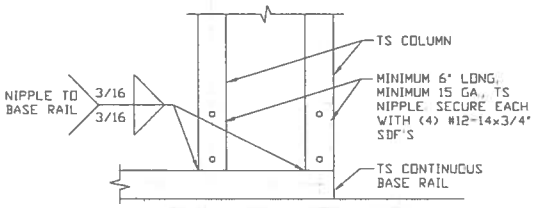
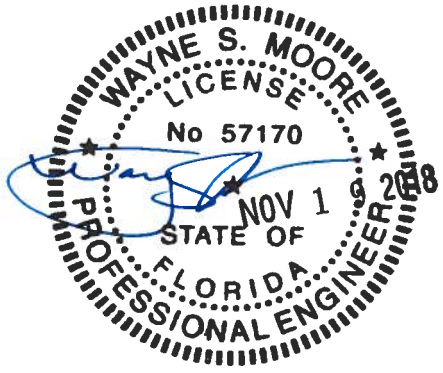
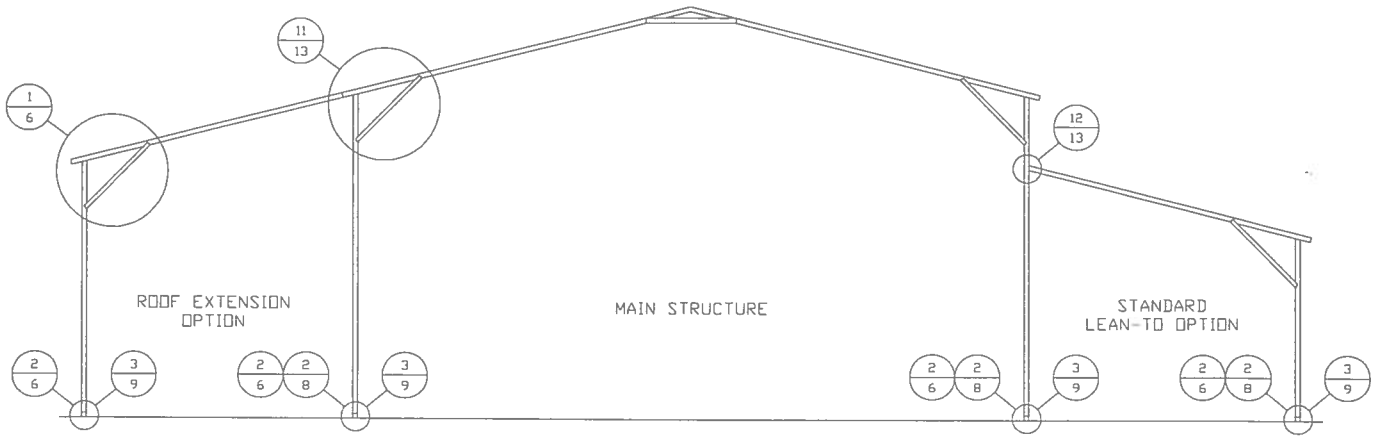


10 COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 12	DWG. NO: SK-3	REV.: 4

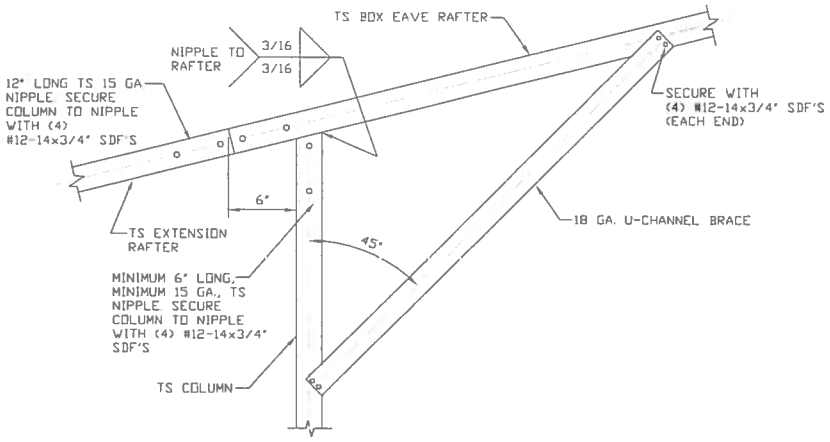
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

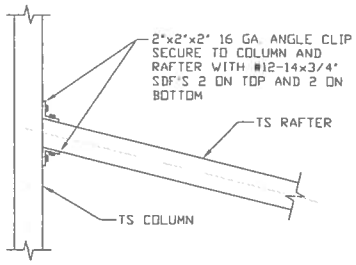
SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0"



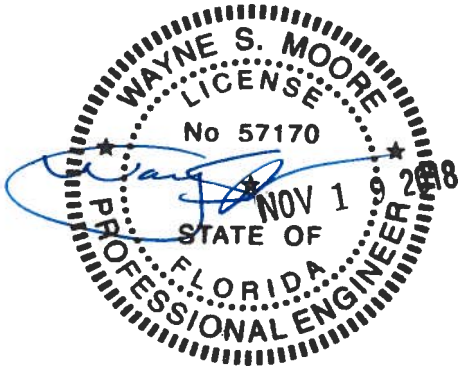
11A SIDE EXTENSION RAFTER/COLUMN DETAIL

SCALE: NTS



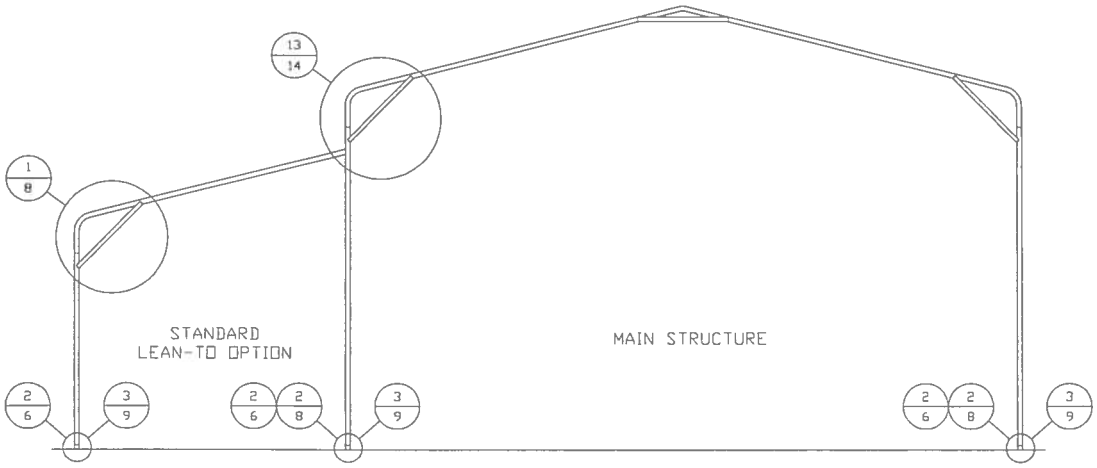
12 LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL

SCALE: NTS



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
	CHECKED BY: PDH			
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 13	DWG. NO: SK-3	REV.: 4

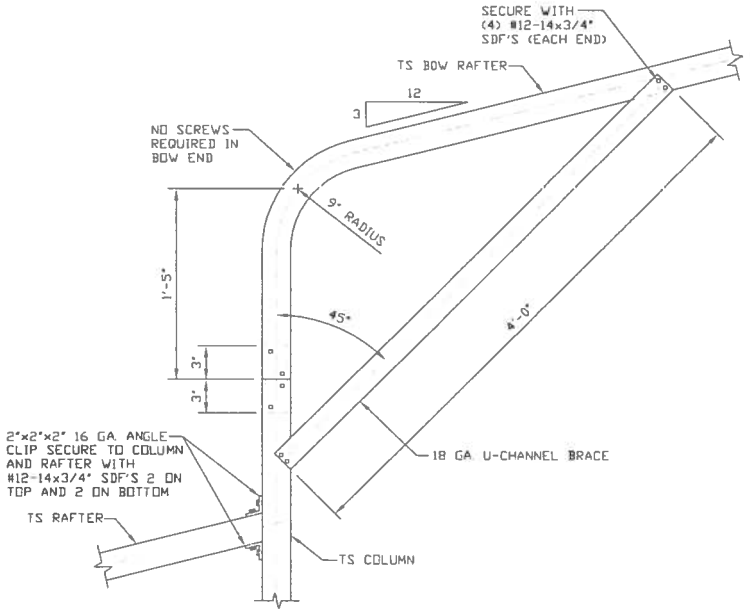
BOW RAFTER LEAN-TO OPTIONS



TYPICAL BOW RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

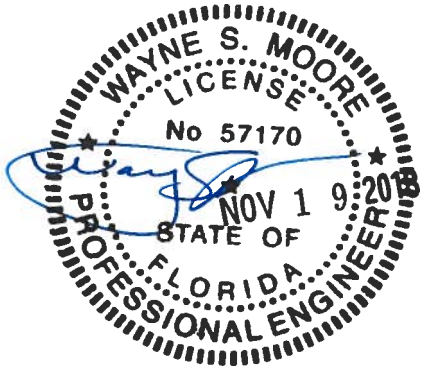
SCALE: NTS

MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0"



13 SIDE EXTENSION RAFTER/COLUMN DETAIL

SCALE: NTS



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
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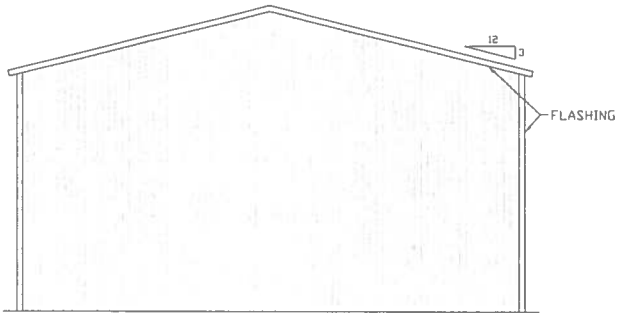
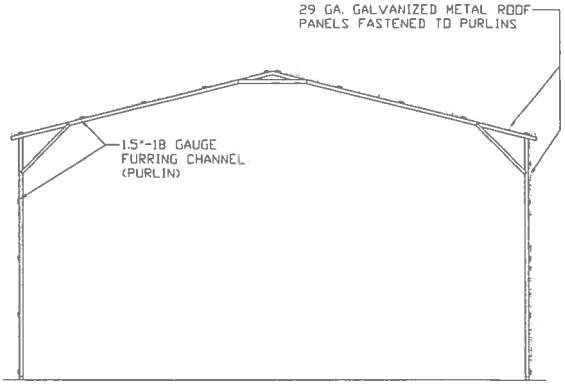
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 160225/17300S
	CLIENT: TBS	SHT. 14	DWG. NO: SK-3	REV.: 4

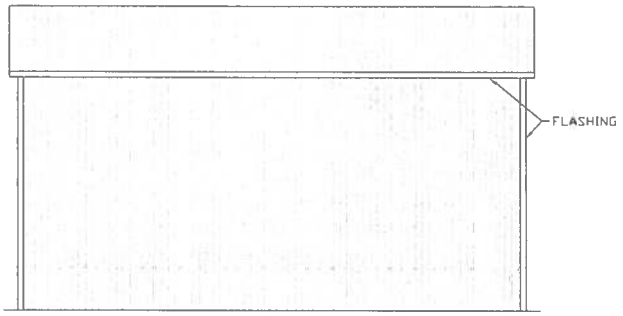
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



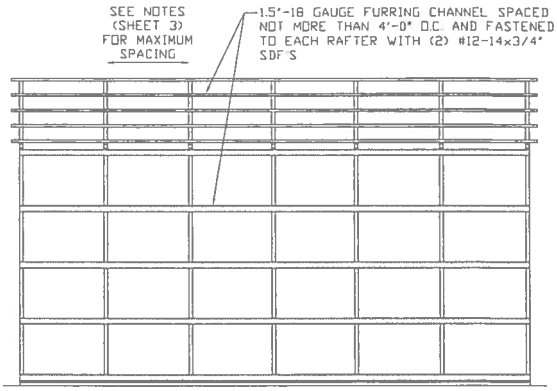
TYPICAL END ELEVATION
VERTICAL ROOF/SIDING OPTION
SCALE: NTS



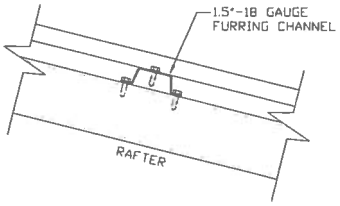
TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION
SCALE: NTS



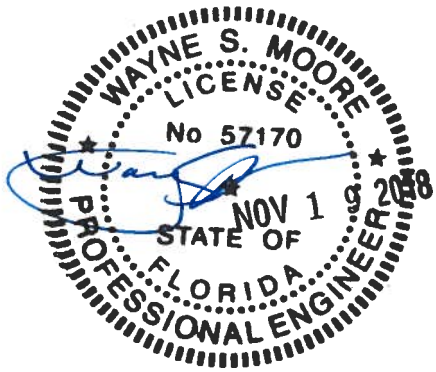
TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING OPTION
SCALE: NTS



TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION
SCALE: NTS



ROOF PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B		
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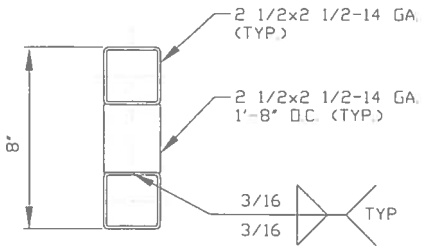
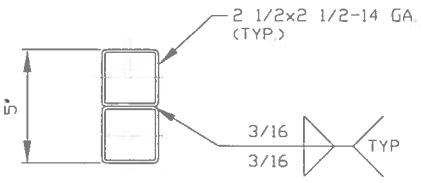
	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 15	DWG. NO: SK-3	REV.: 4

OPTIONAL DOOR HEADER



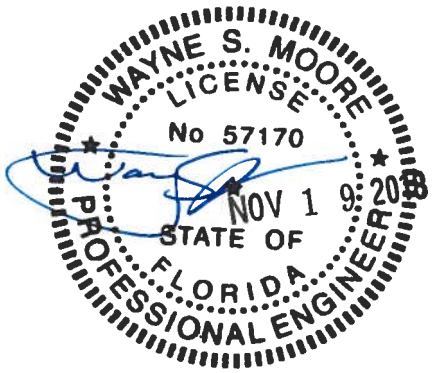
HEADER DETAIL FOR DOOR OPENINGS 12'-0" < LENGTH ≤ 15'-0"

SCALE: NTS



HEADER DETAIL FOR DOOR OPENINGS LENGTH ≤ 12'-0"

SCALE: NTS



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	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 16	DWG. NO: SK-3	REV.: 4

TUBULAR BUILDING SYSTEMS

Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 750: 21450.8 EXP 12/31/19

Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5 EXP 9/14/20

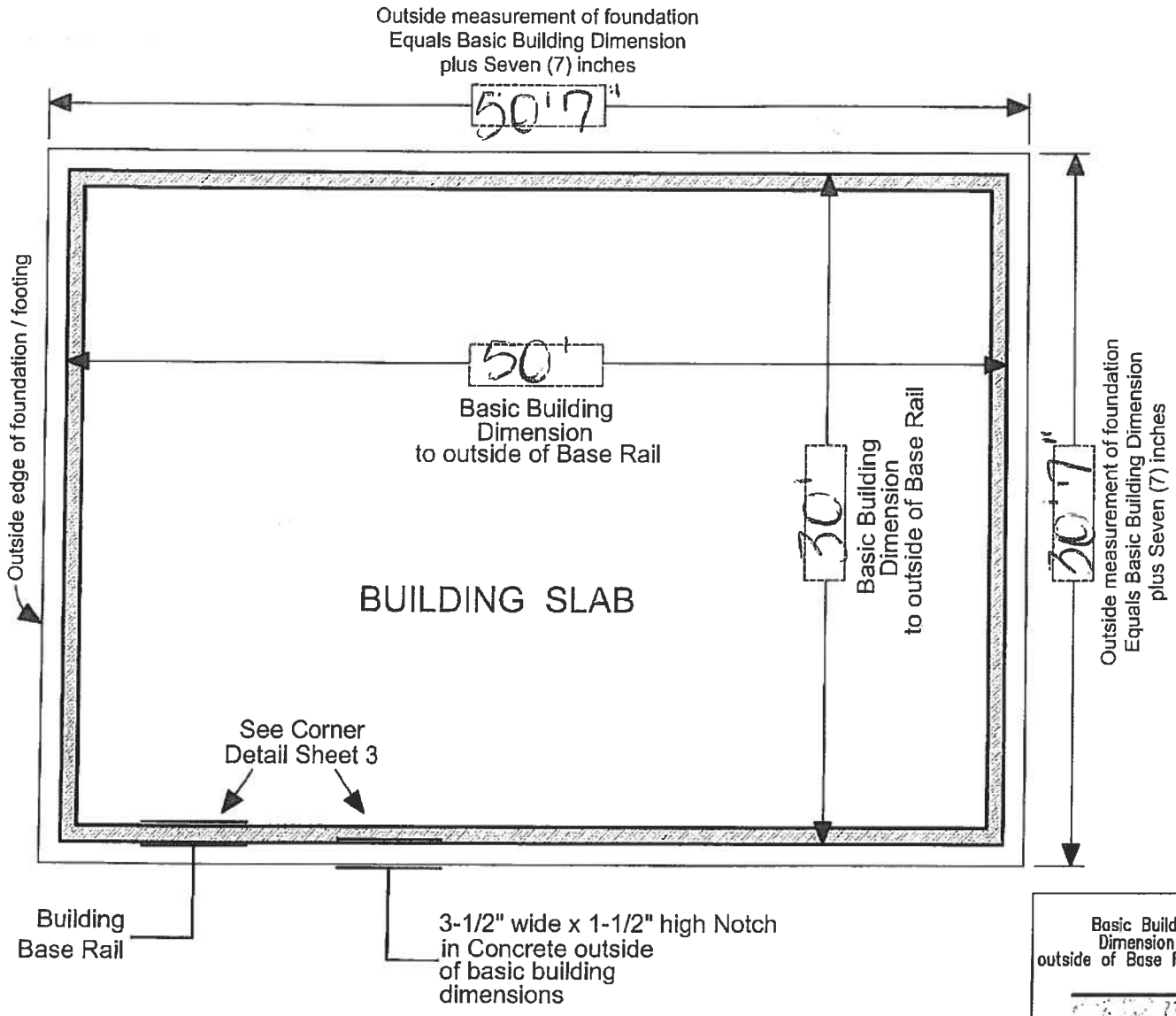
Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1 EXP 07/20/20

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1 EXP 07/20/20

If you have any questions on concern, please contact Donald Little at 386-961-0006 or at tubularbuildingsystems@gmail.com.

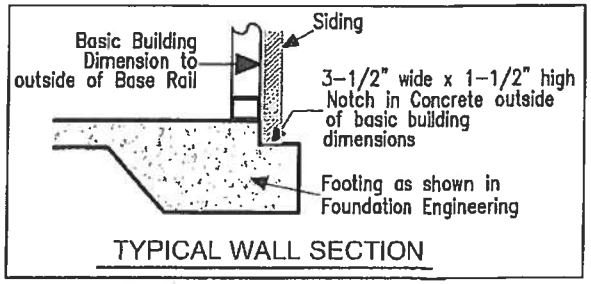


IMPORTANT - NOTES

Record Measurements in these spaces provided

All basic building dimensions are to the outside of the frame Base Rail and DO NOT INCLUDE the 3-1/2" x 1-1/2" notch in the concrete footing

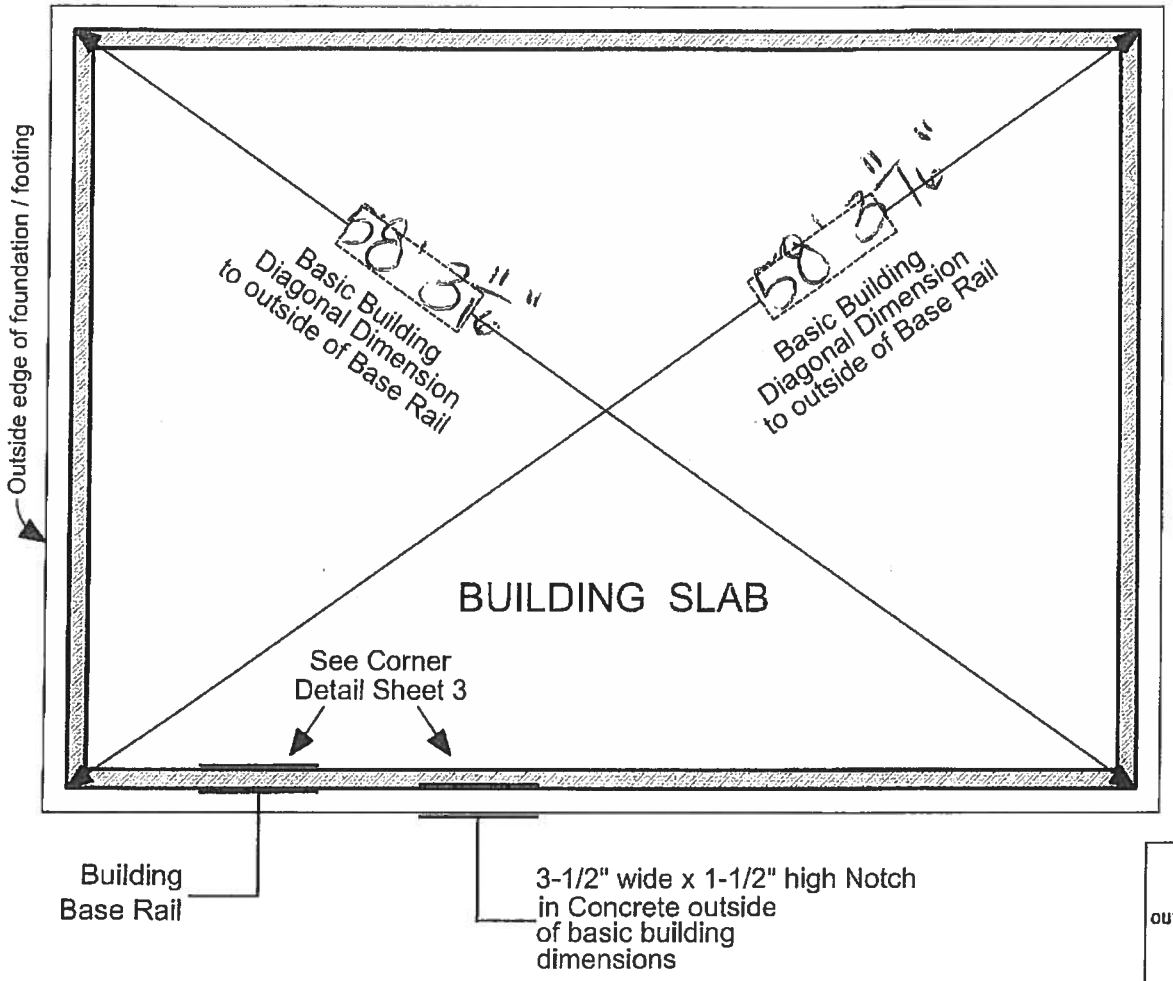
See Sheet 3 of 3 for Detail of Building corner configuration



TYPICAL WALL SECTION

TBS
TUBULAR BUILDING SYSTEMS

TYPICAL BUILDING
FOUNDATION MEASUREMENTS

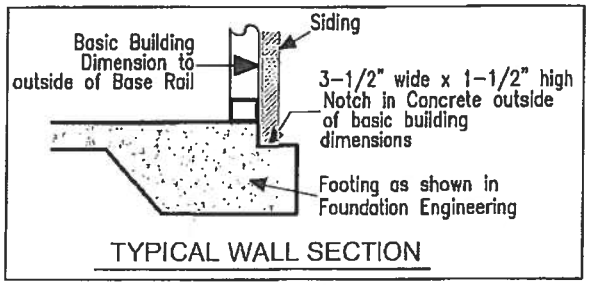


IMPORTANT - NOTES

Record Measurements in these spaces provided

All basic building diagonal dimensions are to the outside corner of the frame Base Rail and DO NOT INCLUDE the 3-1/2" x 1-1/2" notch in the concrete footing

See Sheet 3 of 3 for Detail of Building corner configuration

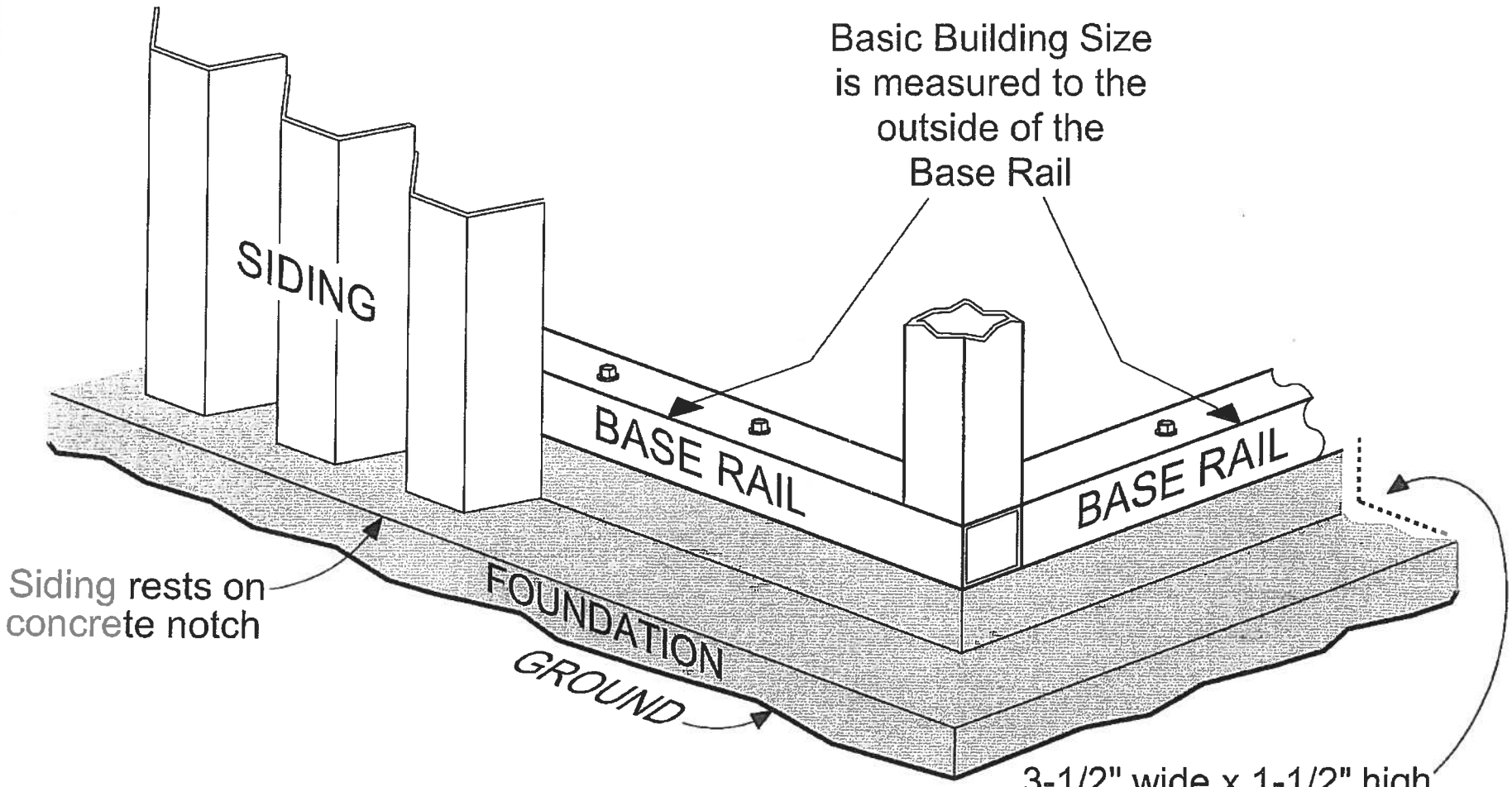


TYPICAL WALL SECTION

TUBULAR BUILDING SYSTEMS

TYPICAL BUILDING

FOUNDATION MEASUREMENTS DIAGONALS



TBS
TUBULAR BUILDING SYSTEMS

TYPICAL BUILDING

CORNER DETAIL