

DATE 11/05/2008

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027468

APPLICANT WENDY GRENNELL PHONE 386.288.2428  
ADDRESS 3104 SW OLD WIRE ROAD FT. WHITE FL 32038  
OWNER WYNDELL & ALMEDA WALLACE PHONE 386.697.9111  
ADDRESS 225 SW LOUIS GLEN LAKE CITY FL 32024  
CONTRACTOR PATRICK PARKS PHONE 850.519.2193  
LOCATION OF PROPERTY 90-W TO PINEMOUNT, TL TO BARWICK, TL TO LOUIS GLN, TR TO LOT 8 ON R.  
TYPE DEVELOPMENT MODULAR/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT              STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 3'12 FLOOR CONC  
LAND USE & ZONING A-3 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.                     

PARCEL ID 08-4S-16-02816-010 SUBDIVISION HOBB HEIGHTS  
LOT 8 BLOCK              PHASE              UNIT              TOTAL ACRES 5.08

CBC058139  
Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                       
EXISTING 08-0695-M BLK WR Y  
Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: NOC ON FILE. 1 FOOT ABOVE ROAD. EXISTING M/H TO BE REMOVED 45 DAYS  
AFTER CO ISSUED. IMPACT FEE EXEMPT - PREVIOUS DWELLING AFFADAVIT.

Check # or Cash CASH REC'D.

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
                     date/app. by                      date/app. by                      date/app. by                       
Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
                     date/app. by                      date/app. by                      date/app. by                       
Framing                      Rough-in plumbing above slab and below wood floor                       
                     date/app. by                      date/app. by                       
Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
                     date/app. by                      date/app. by                      date/app. by                       
Permanent power                      C.O. Final                      Culvert                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H tie downs, blocking, electricity and plumbing                      Pool                       
                     date/app. by                      date/app. by                       
Reconnection                      Pump pole                      Utility Pole                       
                     date/app. by                      date/app. by                      date/app. by                       
M/H Pole                      Travel Trailer                      Re-roof                       
                     date/app. by                      date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$               
FLOOD DEVELOPMENT FEE \$              FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$              TOTAL FEE 425.00  
INSPECTORS OFFICE                      CLERKS OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



## Columbia County Building Permit Application

425.0

For Office Use Only Application # 5810-43 Date Received 10/22/08 By GT Permit # 27468  
Zoning Official B2K Date 05.11.08 Flood Zone X Land Use A-3 Zoning A-3  
FEMA Map # N/A Elevation N/A MFE 1st Rd River N/A Plans Examiner WR Date 11-3-08  
Comments Existing MIT to be removed 45 days after CO issued  
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel #  
☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
School \_\_\_\_\_ = TOTAL Impact Fee Exempt - Previous Dwelling Address

Septic Permit No. 08-0695 MFax 386-466-1866Name Authorized Person Signing Permit Wendy Grennell Phone 386-288-2428Address 3104 SW Old Wire Road Ft White FL 32038Owners Name Wyndell + Almada Wallace Phone 386-697-9111911 Address 225 SW Louis Glen Lake City FL 32024Contractors Name Patrick L. Parks Phone 850-519-2193Address 256 N. Washington Ave Madison FL 32340Fee Simple Owner Name & Address NABonding Co. Name & Address NAArchitect/Engineer Name & Address Palm Harbor Homes 630 Chestnut St Clearwater FLMortgage Lenders Name & Address First Federal Bank of Florida 4705 W. US Hwy 90 Lake City FL 32056

Circle the correct power company - FL Power &amp; Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 08-45-16-02816-010 HX Estimated Cost of Construction 180,848Subdivision Name Hobbs Heights Lot 8 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_Driving Directions Hwy 90 West to Pinemount turn (L) to Barwick turn (L) to SW Louis Gln turn (R) to lot 8 on (R)Number of Existing Dwellings on Property 1 to be removedConstruction of modular home Total Acreage 5.08 Lot Size \_\_\_\_\_Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_Actual Distance of Structure from Property Lines - Front 165 Side 100 Side 158 Rear 457Number of Stories 1 Heated Floor Area 2912 Total Floor Area 3040 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	FMX4766L CENTRAL	Builder:	PHH
Address:		Permitting Office:	COLUMBIA
City, State:	,	Permit Number:	27469
Owner:		Jurisdiction Number:	224000
Climate Zone:	Central		

1. New construction or existing	New	___	12. Cooling systems		
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 49.9 kBtu/hr	___
3. Number of units, if multi-family	1	___		SEER: 13.00	___
4. Number of Bedrooms	4	___	b. N/A		___
5. Is this a worst case?	Yes	___	c. N/A		___
6. Conditioned floor area (ft <sup>2</sup> )	2910.2 ft <sup>2</sup>	___			___
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		___	13. Heating systems		
a. U-factor:	Description Area		a. Electric Heat Pump	Cap: 58.5 kBtu/hr	___
(or Single or Double DEFAULT)	7a. (Dble, U=0.3)	276.7 ft <sup>2</sup> ___		HSPF: 7.70	___
b. SHGC:			b. N/A		___
(or Clear or Tint DEFAULT)	7b. (Clear)	276.7 ft <sup>2</sup> ___	c. N/A		___
8. Floor types					___
a. Raised Wood, Stem Wall	R=11.0, 2910.2ft <sup>2</sup>	___	14. Hot water systems		
b. N/A		___	a. Electric Resistance	Cap: 50.0 gallons	___
c. N/A		___		EF: 0.90	___
9. Wall types			b. N/A		___
a. Frame, Wood, Exterior	R=11.0, 1958.8 ft <sup>2</sup>	___	c. Conservation credits		___
b. N/A		___	(HR-Heat recovery, Solar		___
c. N/A		___	DHP-Dedicated heat pump)		___
d. N/A		___	15. HVAC credits	PT,	___
e. N/A		___	(CF-Ceiling fan, CV-Cross ventilation,		
10. Ceiling types			HF-Whole house fan,		
a. Under Attic	R=30.0, 2930.2 ft <sup>2</sup>	___	PT-Programmable Thermostat,		
b. N/A		___	MZ-C-Multizone cooling,		
c. N/A		___	MZ-H-Multizone heating)		
11. Ducts(Leak Free)		___			
a. Sup: Unc. Ret: Con. AH: Interior	Sup. R=6.0, 344.0 ft	___			
b. N/A		___			

PASS

## Modular Building Plans Examiner

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>FMX4766L SOUTH</b>	Builder: <b>PHH</b>
Address:	Permitting Office:
City, State: ,	Permit Number:
Owner:	Jurisdiction Number:
Climate Zone: <b>South</b>	

1. New construction or existing <b>New</b> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <b>Single family</b> <input type="checkbox"/>	a. Central Unit <b>Cap: 49.9 kBtu/hr</b> <input type="checkbox"/>
3. Number of units, if multi-family <b>1</b> <input type="checkbox"/>	<b>SEER: 13.00</b> <input type="checkbox"/>
4. Number of Bedrooms <b>4</b> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <b>Yes</b> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft <sup>2</sup> ) <b>2910.2 ft<sup>2</sup></b> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <b>Cap: 45.8 kBtu/hr</b> <input type="checkbox"/>
a. U-factor: <b>Description Area</b>	<b>HSPF: 7.70</b> <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 276.7 ft <sup>2</sup> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 276.7 ft <sup>2</sup> <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <b>Cap: 50.0 gallons</b> <input type="checkbox"/>
a. Raised Wood, Stem Wall <b>R=11.0, 2910.2ft<sup>2</sup></b> <input type="checkbox"/>	<b>EF: 0.90</b> <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <b>R=11.0, 1958.8 ft<sup>2</sup></b> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits <b>PT, <input type="checkbox"/></b>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <b>R=30.0, 2930.2 ft<sup>2</sup></b> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior <b>Sup. R=6.0, 344.0 ft</b> <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.10 Total as-built points: 29593  
Total base points: 35814

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** [Signature]

**DATE:** APPROVED JUL 16 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** Date Plan No.  
**DATE:** Approved By SCOTT S. FRANCIS

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

**SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA**

EnergyGauge® (Version: FLRCSB v4.5.2)

Modular Building Plans Examiner



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>FMX4766L NORTH</b>	Builder: <b>PHH</b>
Address:	Permitting Office:
City, State: ,	Permit Number:
Owner:	Jurisdiction Number:
Climate Zone: <b>North</b>	

1. New construction or existing <span style="float: right;">New</span> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <span style="float: right;">Single family</span> <input type="checkbox"/>	a. Central Unit <span style="float: right;">Cap: 49.9 kBtu/hr</span>
3. Number of units, if multi-family <span style="float: right;">1</span> <input type="checkbox"/>	<span style="float: right;">SEER: 13.00</span>
4. Number of Bedrooms <span style="float: right;">4</span> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <span style="float: right;">Yes</span> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft <sup>2</sup> ) <span style="float: right;">2910.2 ft<sup>2</sup></span> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <span style="float: right;">Cap: 67.4 kBtu/hr</span>
a. U-factor: <span style="float: right;">Description Area</span>	<span style="float: right;">HSPF: 7.70</span>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 276.7 ft <sup>2</sup> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (Clear) 276.7 ft <sup>2</sup> <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <span style="float: right;">Cap: 50.0 gallons</span>
a. Raised Wood, Stem Wall <span style="float: right;">R=11.0, 2910.2ft<sup>2</sup></span> <input type="checkbox"/>	<span style="float: right;">EF: 0.90</span>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <span style="float: right;">R=11.0, 1958.8 ft<sup>2</sup></span> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits <span style="float: right;">PT, <input type="checkbox"/></span>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <span style="float: right;">R=30.0, 2930.2 ft<sup>2</sup></span> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts(Leak Free)	
a. Sup: Unc. Ret: Con. AH: Interior <span style="float: right;">Sup. R=6.0, 344.0 ft</span> <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.10

Total as-built points: 27984

Total base points: 36419

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: APPROVED JUL 16 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL Date Plan No.  
Approved By SCOTT S. FRANCIS

DATE: \_\_\_\_\_

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

## PRODUCT APPROVAL SPECIFICATION SHEET

**Manufacturer:** Palm Harbor Homes **Plan #** \_\_\_\_\_

As required by Florida Statute 553.8452 and Florida Administrative Code 9B-72, please provide the information and the product approval numbers(s) on the building components listed below if they will be utilized on the manufactured building for which you are applying for a DCA insignia. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category	Manufacturer	Product Description	Approval #(s)
<b>EXTERIOR DOORS</b>			
Swinging	Dunbarton	Exterior Doors	FL1766
Sliding	NuAir	Sliding Glass Door	FL 5334
9' SGD			
Roll-up			
Swinging	Thermatru	Exterior Doors	FL1170.4
Swinging	Thermatru	Exterior Doors	FL 5262.1
<b>WINDOWS</b>			
Single Hung	Kinro	Windows	FL 993.2
Horizontal Slider			
Casement			
Double Hung			
Fixed			
Awning			
Pass-through			
Projected			
Mullion			
Wind Breaker			
Dual Action			
Other			
<b>PANEL WALL</b>			
Siding opt 1	Style crest	Vinyl siding	FL-2246-R1
Siding opt 2	James Hardie	Cemplank lap siding	FL-889-R3
Soffits			
Storefronts			
Curtain Walls			
Wall Louver			
Glass Block			
Membrane			
Greenhouse			



<b>Category</b>	<b>Manufacturer</b>	<b>Product Description</b>	<b>Approval #(s)</b>
<b>ROOFING PRODUCTS</b>			
Asphalt Shingles	GAF/ OWENS CORNING	Asphalt Shingles	FL183.11/FL- 3663.3
Underlayments	Tamko	Asphalt Felt	FL1481
Roofing Fasteners	Senco	Roofing and Shingle Nails	FL 6011
Non-structural Metal			
Built-up Roofing			
Modified Bitumen			
Single Ply Roofing Sys.			
Roofing Tiles			
Roofing Insulation			
Waterproofing			
Wood Shingles / Shakes			
Roofing Slate			
Liquid Applied Roof Sys.			
Cements – Adhesives – coatings	Tampro	Wet & Dry Cold Process	FL 1479.2 FL 1479.3
Roof Tile Adhesives			
Spray Applied Polyurethane Roof			
Other			
<b>SHUTTERS</b>			
Accordion			
Bahama			
Storm Panels			
Colonial			
Roll-up			
Equipment			
Other			
<b>SKYLIGHTS</b>			
Skylight			
Other			

<b>STRUCTURAL COMPONENTS</b>			
Wood Connector/Anchor	Simpson	Rafter Wall Connectors	FL 1901.63
Truss Plates			
Engineered Lumber	Universal Forest	Open joists	FL 5828
Railing			
Coolers & Freezers			
Concrete Admixtures			
Wood Connector	Master Craft Eng.	Rafter Wall Connectors	FL 9159
<b>Category</b>	<b>Manufacturer</b>	<b>Product Description</b>	<b>Approval #(s)</b>
<b>STRUCTURAL COMPONENTS (CONT.)</b>			
Insulation Forms			
Plastics			
Deck & Roof			
Wall			
Sheds			
Other			
<b>NEW EXTERIOR ENVELOPE PRODUCTS</b>			



The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector at the manufacturing plant: (1) Copy of the product approval from the Local or State Building Commission, or supply all of the information listed on Form No. 9B-72.130(5). (2) Copy of the applicable manufacturers' installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Wendy Grennell  
Manufacturer Authorized Agent Signature

Wendy Grennell  
Printed Name

10/21/08  
Date

**LIMITED POWER OF ATTORNEY**

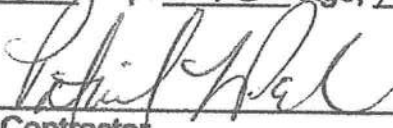
I, Patrick Parks, license number \_\_\_\_\_ authorize Wendy Grennell, Danielle Andrews or Shirley Bennett to be my representative and act on my behalf in all aspects of applying for permits for following described property in Columbia County, State of Florida.

Home Owner Name: Wyndell + Almida Wallace

Property Owner Name: Wyndell + Almida Wallace

911 Address: 225 SW Louis Gln City Lake City

Sec: 08 Twp: 45 Rge: 16 Tax Parcel # 02816-010 HX

Signed:   
General Contractor

Sworn to and described before me this 10 day of October 2008

  
Notary public

Shirley M Bennett  
Notary Name



Personally known \_\_\_\_\_

DL ID ✓



**IMPACT FEE OCCUPANCY AFFIDAVIT**

This affidavit is given for the purpose of obtaining an exemption pursuant to Article VIII, Section 8.01, Columbia County Comprehensive Impact Fee Ordinance No. 2007-40, adopted October 18, 2007, as may be amended.

**STATE OF FLORIDA  
COUNTY OF COLUMBIA**

**BEFORE ME**, the undersigned authority, personally appeared Wyndell Wallace  
who, after being duly sworn, deposes and says:

1. Except as otherwise stated herein, Affiant has personal knowledge of the facts and matters set forth in this affidavit regarding property identified below as:

(a) Parcel No.: 08-45-16-03816-010HX  
(b) Legal description (may be attached):

Lot 8 Hobbs Heights S/D

2. Based upon Affiant's personal knowledge, a non-residential building or a residential dwelling has existed on the above referenced property. Said building or dwelling unit was last occupied on Feb 2008 (date.)

3. This Affidavit is made and given by Affiant with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

Further Affiant sayeth naught.

Wyndell Wallace  
Print: Wyndell Wallace

Address: P.O. Box 368

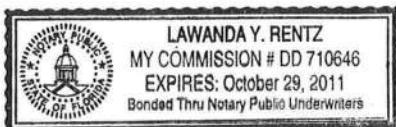
Sanderson, FL 32087

**SWORN TO AND SUBSCRIBED** before me this 20 day of Oct, 2008, by  
Wyndell Wallace who is personally known to me or who has produced  
as identification.

Lawanda Y. Rentz  
Notary Public, State of Florida

(NOTARY SEAL)

My Commission Expires:



THIS INSTRUMENT PREPARED BY  
AND RETURN TO:  
TITLE OFFICES, LLC  
343 NW COLE TERRACE  
SUITE 101  
LAKE CITY, FLORIDA 32055

Parcel I.D. #: 02816-010

Inst: 2008-000003 Date: 10/2/2008 Time: 4:04 PM  
P. DeWitt Cason, Columbia County Page 1 of 2 B: 1159 P: 1792

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

## NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF COLUMBIA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement. This Notice shall be void and of no force and effect if construction is not commenced within ninety (90) days after recordation.

1. Description of property: (Legal description of property, and street address if available)  
**225 LOUSIE GLN, LAKE CITY, FLORIDA 32024  
LOT 8, HOBBS HEIGHTS SUBDIVISION, ACCORDING TO THE PLAT THERE AS  
RECORDED IN PLAT BOOK 4, PAGES 25 - 25A, PUBLIC RECORDS OF COLUMBIA  
COUNTY, FLORIDA.**
2. General description of improvement: **construction of single family dwelling**
3. Owner information:
  - a. Name and address:  
**WYNDELL B. WALLACE and ALMEDA WALLACE  
15037 GASKINS CIRCLE, SANDERSON, FLORIDA  
32087**
  - b. Interest in property: **Fee Simple**
  - c. Name and Address of Fee Simple Titleholder (if other than owner):
4. Contractor: (Name and Address)  
**IRONWOOD HOMES OF LAKE CITY, LLC  
4109 US HWY. 90 WEST, LAKE CITY, FLORIDA 32055  
Telephone Number: (386) 754-8844**
5. Surety (if any):
  - a. Name and Address:  
Telephone Number: \_\_\_\_\_
  - b. Amount of Bond \$ \_\_\_\_\_
6. Lender: (Name and Address)  
**FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HWY 90, P.O. BOX 2029, LAKE CITY, FL 32056  
Telephone Number: 755-0600**
7. Persons within the State of Florida designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)(7), Florida Statutes: (Name and Address)  
N/A
8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes: (Name and Address) **PAULA HACKER  
FIRST FEDERAL BANK OF FLORIDA  
4705 WEST U.S. HWY 90, P.O. BOX 2029, LAKE CITY, FL 32056  
Telephone Number: 755-0600**
9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified) \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

Prepared by:  
Elaine R. Davis / Megan Marable  
American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 08-100

Inst:200812004232 Date:2/29/2008 Time:4:36 PM  
Doc Stamp-Deed:294.70  
DC, P. DeWitt Cason, Columbia County Page 1 of 1

## Warranty Deed

Made this February 28, 2008 A.D.

By **Elizabeth Slaughter**, an unmarried woman, whose address is: 3601 30th Avenue, St. Petersburg, Florida 33711, hereinafter called the grantor,

to **Wyndell B. Wallace and Almeda Wallace**, husband and wife, whose post office address is: Post Office Box 368, Sanderson, Florida 32087, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

Lot 8, of Hobbs Heights Subdivision, according to the Plat thereof, as recorded in Plat Book 4, at Page 25 through 25A, of the Public Records of Columbia County, Florida

Parcel ID Number: 02816-010

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered in our presence:*

Megan Marable  
Witness Printed Name Megan Marable

Elaine R. Davis  
Witness Printed Name Elaine R. Davis

Elizabeth Slaughter (Seal)  
Elizabeth Slaughter  
Address: 3601 30th Avenue, St. Petersburg, Florida 33711

\_\_\_\_ (Seal)  
Address:

State of Florida  
County of Columbia

The foregoing instrument was acknowledged before me this 28th day of February, 2008, by Elizabeth Slaughter, an unmarried woman, who is/are personally known to me or who has produced drivers license as identification.



Megan M. Marable  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_



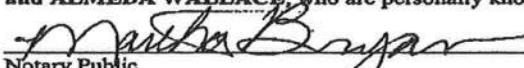
Signature of Owner(s) or Owner's Authorized Officer/Director/Partner/Manager:

 (SEAL)  
WYNDELL B. WALLACE

 (SEAL)  
ALMEDA WALLACE

The foregoing instrument was acknowledged before me this 29th day of September, 2008, by WYNDELL B. WALLACE and ALMEDA WALLACE, who are personally known to me or who have produced *Driver's License*

as identification.

  
Notary Public  
My Commission Expires: \_\_\_\_\_



# Columbia County Property Appraiser

DB Last Updated: 8/5/2008

## 2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Parcel: 08-4S-16-02816-010 HX WX

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	WALLACE WYNDELL B & ALMEDA		
<b>Site Address</b>	LOUIS		
<b>Mailing Address</b>	P O BOX 368 SANDERSON, FL 32087		
<b>Use Desc. (code)</b>	MOBILE HOM (000200)		
<b>Neighborhood</b>	8416.03	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01	<b>Market Area</b>	01
<b>Total Land Area</b>	5.080 ACRES		
<b>Description</b>	LOT 8 HOBBS HEIGHTS S/D. ORB 463-231, 872-564, WD 1144-1541		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (2)	\$42,375.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$13,539.00
<b>XFOB Value</b>	cnt: (1)	\$1,500.00
<b>Total Appraised Value</b>		\$57,414.00

<b>Just Value</b>	\$57,414.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$37,988.00
<b>Exempt Value</b>	(code: HX WX) \$25,500.00
<b>Total Taxable Value</b>	\$12,488.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
2/28/2008	1144/1541	WD	I	Q		\$42,100.00
12/28/1998	872/564	WD	I	Q		\$49,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	1977	Below Avg. (03)	1248	1424	\$13,539.00
<b>Note:</b> All S.F. calculations are based on <u>exterior</u> building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	0	\$1,500.00	1.000	12 x 16 x 0	(.00)

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	1.000 LT - (5.080AC)	1.00/1.00/1.00/1.00	\$40,375.00	\$40,375.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 8/5/2008

HOB

S

OC  
WP

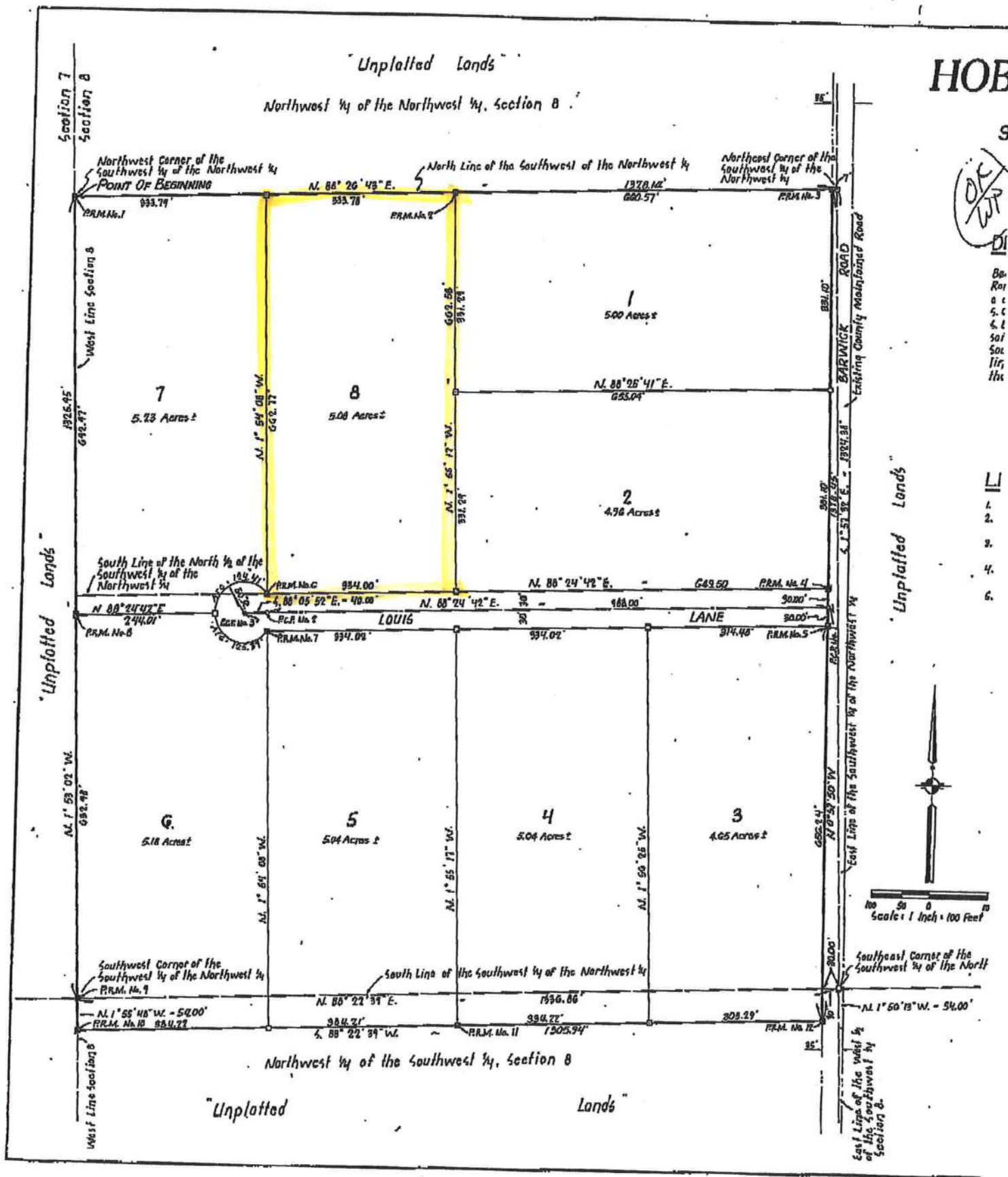
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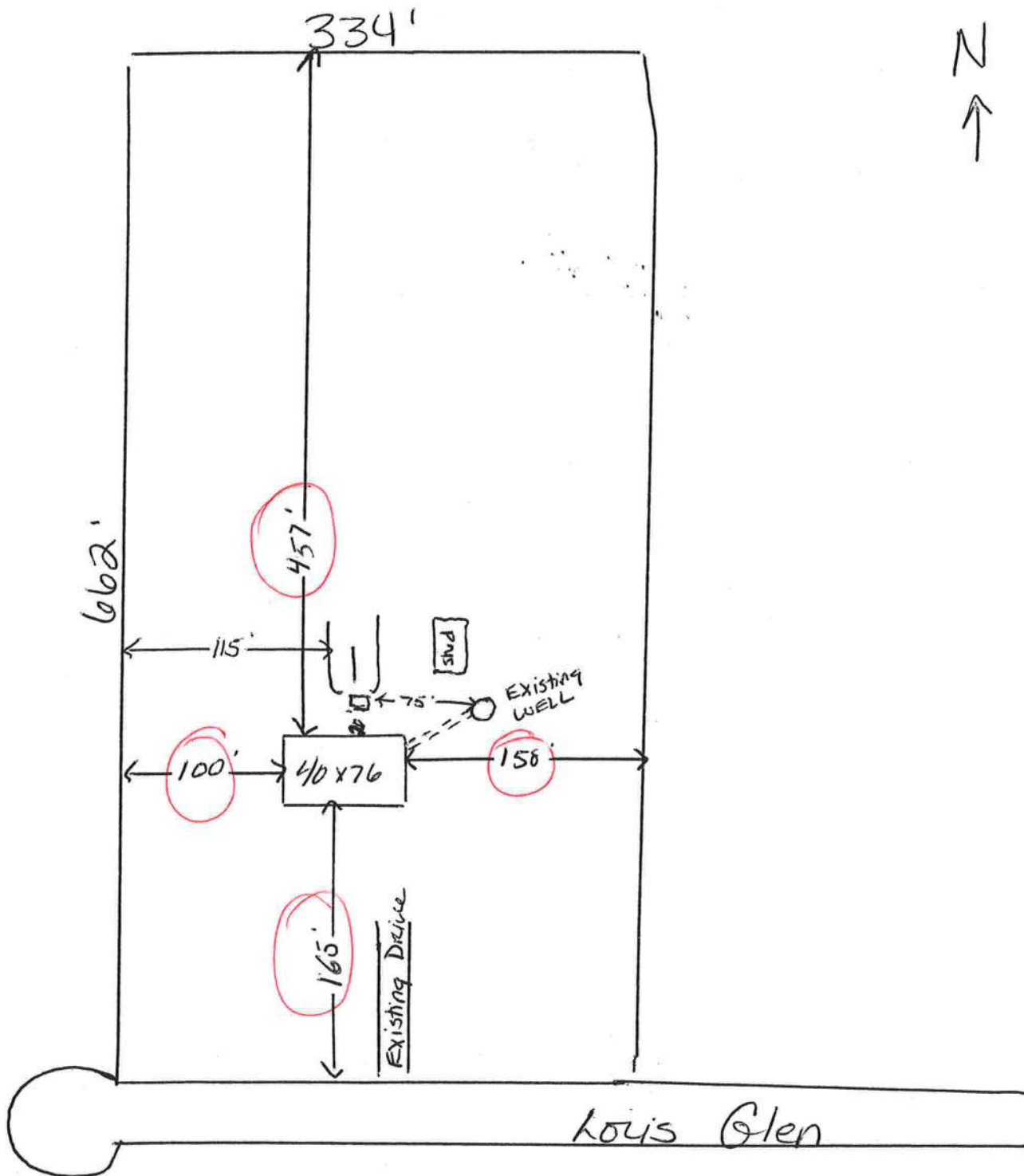
Unplatted Lands

Scale: 1 inch = 100 Feet





Scale 1" = 100'



Site plan submitted by: Wendy Gurnell





0810-43



AC#

## STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L08090100126

DATE	BATCH NUMBER	LICENSE NBR
09/01/2008	088052462	CBC058139

The BUILDING CONTRACTOR  
Named below IS CERTIFIED  
under the provisions of Chapter 489 FS.  
Expiration date: AUG 31, 2010

PARKS, PATRICK LESLIE  
INDIVIDUAL  
256 N WASHINGTON AVE  
MADISON FL 32340

CHARLIE CRIST  
GOVERNOR

DISPLAY AS REQUIRED BY LAW

CHARLES W. DRAGO  
SECRETARY



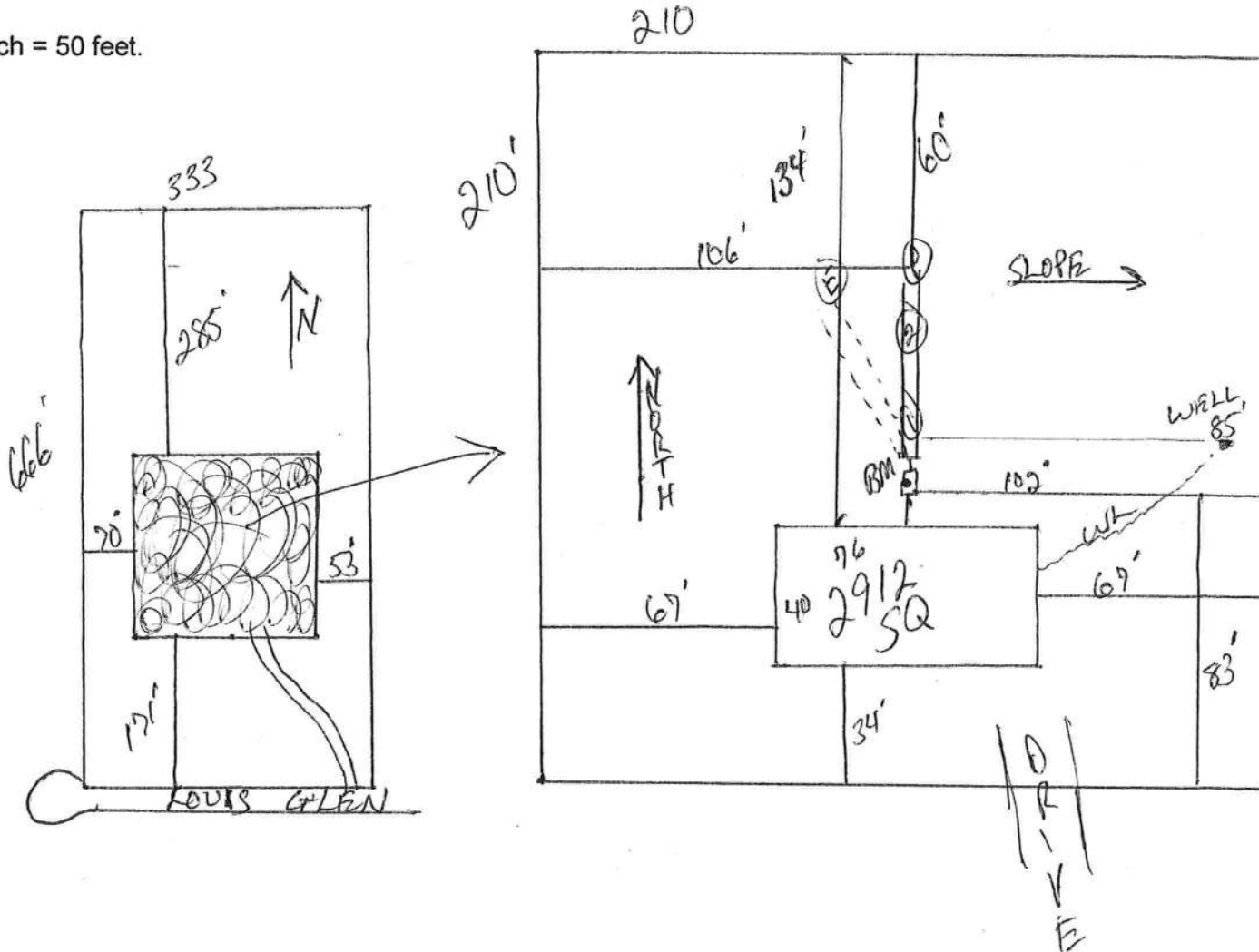
App # 0810-43

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-069.5M

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.



Notes: 1 of 5 Acres

Site Plan submitted by: Rock D F

Plan Approved ☒ Not Approved ☐

By \_\_\_\_\_ Date \_\_\_\_\_ County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

### **FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**


According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment. even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

### **NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**


**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

  
Contractor's Signature (Permitee)

Contractor's License Number CBC058139  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 17 day of October 2008.

Personally known \_\_\_\_\_ or Produced Identification Drivers License

  
State of Florida Notary Signature (For the Contractor)

SEAL:





# COLUMBIA COUNTY ALUMNI

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 08-4S-16-02816-010

Building permit No. 000027468

Use Classification MODULAR/UTILITY

Fire: 44.94

Permit Holder PATRICK PARKS

Waste: 117.25

Owner of Building WYNDELL & ALMEDA WALLACE

Total: 162.19

Location: 225 SW LOUIS GLEN, LAKE CITY, FL

Date: 02/27/2009

*Tony Dicks*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)



FLORIDA  
STRUCTURAL LOAD LIMITATIONS

1. FLOOR LIVE LOAD 40 PSF	
2. ROOF LIVE LOAD 20 PSF	
3. WIND LOAD: 150 mph WIND SPEED (3 sec gusts)(Refer to FloorPlan)	
4. $I_w = 1.0$ WIND IMPORTANCE FACTOR BUILDING CATEGORY II, ENCLOSED.	
5. WIND EXPOSURE CATEGORY "C"	
6. $G_{CPI} = 0.18$ INTERNAL PRESSURE COEFFICIENT(ENCLOSED)	
7. D.W.P FOR C/C PSF	NOTE: NON-ELEVATED SET - 20 FT. M.R.H. MAX. ELEVATED SET - 30 FT. M.R.H. MAX
Pre-Roof C&C load (EA=50)	
Wind speed	E = elevated set
Zone 1	130E 130E 140E 140E 150E 150E
Zone 2	-335 -364 -390 -425 -446 -484
Zone 3	-593 -643 -690 -749 -792 -86.0
Roof Overhang (EA=10)	
Zone 2	-732 -794 -848 -921 -974 -105.7
Zone 3	-1231 -133.6 -142.7 -154.9 -163.8 -177.8
Pw= Wall C&C load, Wdws & Doors (EA=10)	
Zone 4	-426 -462 -49.3 -53.5 -56.6 -61.5
Zone 5	-525 -570 -60.9 -66.1 -69.9 -75.9
Design pressures (DP), apply only for wind speeds > 109 mph.	
Window and Door DP ratings must meet or exceed those listed above for Zone 5 (within 7.6ft of ea corner) and Zone 4 (interior), for desired wind speed.	
8. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT	
9. FLOOD LOAD: THIS BUILDING MAY BE LOCATED IN A FLOOD HAZARD AREA PROVIDED NO MODULAR PORTION OF THE BUILDING IS LOCATED BELOW A BASE FLOOD ELEVATION.	

General Notes - 2004 Florida Building Code, 2005, 2006, 2007 supplements.

1. Designs per the Florida Building Code in effect at time of production.
2. Calculations are based on Exposure 'C'.
3. Reserved.
4. Occupancy is Residential (R-3)
5. Construction is type V-B.
6. Occupant load is based upon one person for each 200 sq. ft. of floor area.
7. Floor Live Load = 40 p.s.f.
8. Roof Live Load = 20 p.s.f.
9. Wind speed = 150 mph (3 sec. gusts) Exposure 'C'. See details in this approved package for specifics.
10. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
11. All materials covered by the Florida Building Commission chapter 9B-72 rules shall have current Florida Product Approvals.
12. Minimum corridor width is 36 inches.
13. Windows, glass and doors shall comply with AAMA / NWWDA 101 / I.S.2-.97
14. Unless specifically noted on the approved plans and details, this building is NOT designed (nor intended) to be located in "High Velocity Hurricane Zones".
- It is the responsibility of the contractor and/or retailer to verify that each home is installed in the region for which it has been designed and constructed and that NO home is installed into "High Velocity Hurricane Zones", "Coastal High Hazard Areas", "Regulatory Flood Plain Areas" and/or "V-Zone Areas" unless specifically designed, engineered and constructed to comply with the Florida Building Codes governing those specific zones, areas or regions. Palm Harbor Homes and its third party approval agency(s), along with the architect and/or the engineer of the building plans, shall not be held responsible or liable, if a contractor and/or retailer installs a home into a region for which it has not been designed and/or constructed. The contractor and/or retailer shall bear sole responsibility.
15. Data plate, state label shall be located on the inside cover of or near the electrical panel.
16. Raised seal prints are on file in the office of HWC, Inc.
17. Plan review and inspection required by Chapter 633 F.S., to be handled by local fire inspector.
18. This building is designed for a permanent foundation and is NOT intended to be moved once so installed.

Mechanical Notes - 2004 FBC, Residential; 2005, 2006, 2007 supplements.

1. All supply air registers are adjustable, except where otherwise specified on the plans.
2. Interior doors shall be undercut 1 1/2" above the finished floor for return air and/or as noted on the floor plan.
3. Restroom vent fans shall provide 50 cfm minimum of ventilation.
4. Vent fans shall be ducted to the exterior of home.
5. HVAC equipment shall be equipped with outside fresh air intakes providing 20 cfm for each occupant OR 50 cfm for each water closet and/or each urinal, whichever is greater. This is required to be installed on-site, by others.
6. ALL ducts and duct system components installed in the attic area with insulation shall have a minimum R-value of R-6.0.
7. ALL ducts and duct system components installed on the exterior of the building (including the crawl space below), shall have a minimum R-value of R-8.0.
8. ALL HVAC components installed on-site, shall be installed by a licensed HVAC contractor.

Attention Local Building Inspections Department:

The following items have not been completed by the manufacturer, have not been inspected by HWC and are not certified by the State of Florida, Department of Community Affairs Insignia (label). Note: This list does not necessarily limit the items, work, and/or materials that may be required for a complete installation. ALL SITE INSTALLED ITEMS ARE SUBJECT TO APPROVAL BY THE LOCAL JURISDICTION HAVING AUTHORITY. Code compliance for those site installed items shall be determined at the local level and are the responsibility of the licensed contractor installing the building and NOT Palm Harbor Homes.

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CODE SUMMARY

STATE: <b>FLORIDA</b>	
RESIDENTIAL: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.	FIRE PREVENTION: 2004 FL FIRE PREVENTION
ELECTRICAL: 2005 N.E.C.	LIFE SAFETY: 2003 NFPA 101 LIFE SAFETY CODE
MECHANICAL: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.	FUEL: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.
PLUMBING: 2004 FBC RESIDENTIAL W/05, 06, 07 SUPPL.	ACCESSIBILITY: 2004 FBC CHAPTER 11 2004 FL ACCESSIBILITY CODE W/05, 06, 07 SUPPL.
ENERGY: 2004 FL ENERGY EFFICIENCY CODE W/05, 06, 07 SUPPL.	

Plumbing Systems - 2004 FBC, Residential; 2005, 2006, 2007 supplements.

1. All systems shall be constructed with the materials listed in FBC, Residential - Plumbing with materials listed in chapters 25 through 32.
2. DWV systems may be ABS OR PVC piping.
3. Tub access provided under home, unless otherwise noted.
4. Building drain and clean-outs, when designed and site installed by others, are subject to local jurisdiction approval.
5. Water heater shall have a safety pan with 1 inch minimum drain to the exterior.
6. Water heater T & P relief valve to drain to exterior.
7. Thermal Expansion device, if required by water heater installation instructions, and if NOT shown on the approved plumbing plan, shall be designed and installed on-site, by others and is subject to local approval.
8. All plumbing fixtures to have separate shutoff valves.
9. Shutoff valve to be installed within three feet of the fresh water inlet to the home (site installed, by others).
10. Water supply pipes installed in an wall exposed to the exterior shall be located on the heated side of the wall insulation. Water lines located in unconditioned spaces to be insulated with minimum R-6.5 insulation.
11. Water supply lines shall be PEX, polybutylene, CPVC or copper.
12. ALL supply 'crossover' piping to be connected on-site by others.
13. Shower stalls shall be covered with a nonabsorbent material to a height of 72 inches above finished floor (may be on-site).
14. Showers shall be controlled by an approved mixing valve with a maximum outlet temperature of 120° F (48.8° C).
15. ALL on-site plumbing shall be installed by a licensed plumbing contractor. ALL on-site plumbing is subject to inspection and approval by the local authority having jurisdiction.
16. Water hammer arrestors are required with quick closing valves.

Site Installed Items:

- (This list contains examples and shall not be considered all inclusive)
1. The complete foundation and tie-down systems.
  2. Ramps, stairs and general access to the building.
  3. Building drains, clean-outs and hookup to the plumbing system.
  4. Any portable fire extinguisher(s) that may be required.
  5. Electrical service hookup (including feeders) to the building.
  6. The main electrical panel and sub-feeders (multi-section units).
  7. Structural and aesthetic interconnections between modules (multi-section units).
  8. Exterior siding and/or roofing may be installed in the factory or left off to be installed on-site, by others.
  9. Exterior wall finish and soffit materials.
  10. Window protection, storm shutters.
  11. Bottom of floor wind protection (when required).
  12. Crossover duct and connections (HVAC).
  13. HVAC disconnect.
  14. Fireplace chimney.
  15. Gable wall framing, chimney.
  16. HVAC equipment.
  17. Combustion Gas Venting, Combustion Air Intake.
- Some of these items may be installed in the factory at the discretion of plant management. If the items are installed and inspected at the production facility, then local approval is not required.

INDEX of Drawing Package

DESCRIPTION	PAGE(s)
Cover Sheet	CS-1
Exterior Elevations	FP-1
Exterior Elevations	FP-1.1
Floor Plan	FP-2
Floor Plan Notes	FP-2.1
Floor Plan Notes	FP-2.2
Electrical Plan	FP-3
Drain/Waste/Vent System	FP-4
Water Supply Hot	FP-5
Water Supply Cold	FP-5.1
Roof Plan - And Duct Layout	FP-6
Typ. Foundation Layout	FP-7 to 7.3
Gas Line Layout	FP-8

7.16.08  
Date  
Approved By SCOTT S. FRANCIS  
Plant No. 2102-0733

ATTACHMENTS:

HVAC Load Calculations  
Florida Energy Calculations  
Modular Building Plans Examiner  
Florida License No. SMP-42

Approximate Square Footage of Building:  
3040 Square Feet

LISTING  
AGENCY  
APPROVAL

These prints comply with the Florida  
Manufactured Building Act of 1979 Construction  
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY, 150 (3 sec)	
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0733F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	7.16.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

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Plant	PLANT CITY
Location:	
Plant	06/09
Number:	
Drawn	DWH
By:	
Date:	06/09/08
Series:	TIMBERLAND
Model	FMX4766L
Number:	
Page	CS-1
Number:	
Designation:	

SHERWOOD IV

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 99275  
Phone 727-796-8724

APPROVED

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:







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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-1
Designation:	

Front & Rear Elevations

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. Robert E. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 99272  
Phone 727-96-8774

3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F  
State:

VENTED RIDGE

White Painted Profile Window and Door Trim  
With Keystone Front Door Side Only  
OR Choice Of Four Other Colors

(B)

NOMINAL 3 1/2"

(C)

White Painted Board  
Or Choice Of Four Other Colors

White Painted Facia ALL Sides  
OR Choice Of Four Other Colors

12" OVERHANG

Vinyl Lap Siding

Corner Posts  
Handrails and Steps  
Installed On Site By Others

Painted Front  
Door Std White  
Or Choice Of Four  
Other Colors

Vinyl Lap Siding  
LISTING  
AGENCY  
APPROVAL

Painted Profile  
Corner Trim  
Front Door Side  
Std White

12" OVERHANG

These prints comply with the Florida  
Manufacture Siding Act of 1979 Construction  
Codes and adhere to the following criteria:

CONST. TYPE VB  
OCCUPANCY R-3  
ALLOWABLE NO. OF FLOORS 1  
WIND VELOCITY 150 (3 sec.)  
FIRE RATING OF EXT. WALLS 0  
PLAN NO. 2102-0733F  
ALLOW. FLOOR LOAD 40  
APPROVAL DATE 7/16/08  
MANUFACTURER PHH  
HIGH VELOCITY HURRICANE ZONE NO



COA # 1025

VENTED RIDGE

(B)

12" OVERHANG

12" OVERHANG

## FRONT ELEVATION

- Notes:
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
  2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
  3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
  4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
  5. This building may be mirrored about the length of it's axis without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

### Notes: Site Installation Details

- (A) Gable End Close Up - See RF 3.1 and 3.2  
(B) Close Up at Peak - See RF 1.3  
(C) Dormer Details- See RF-4.1

STEEL EXTERIOR DOORS

FIBERGLASS SHINGLES "CLASS A"

LOW-E INSULATED WINDOWS



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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-1.1
Designation:	

Left & Right Elevations

Rev. By: -  
Revision: -

Approvals

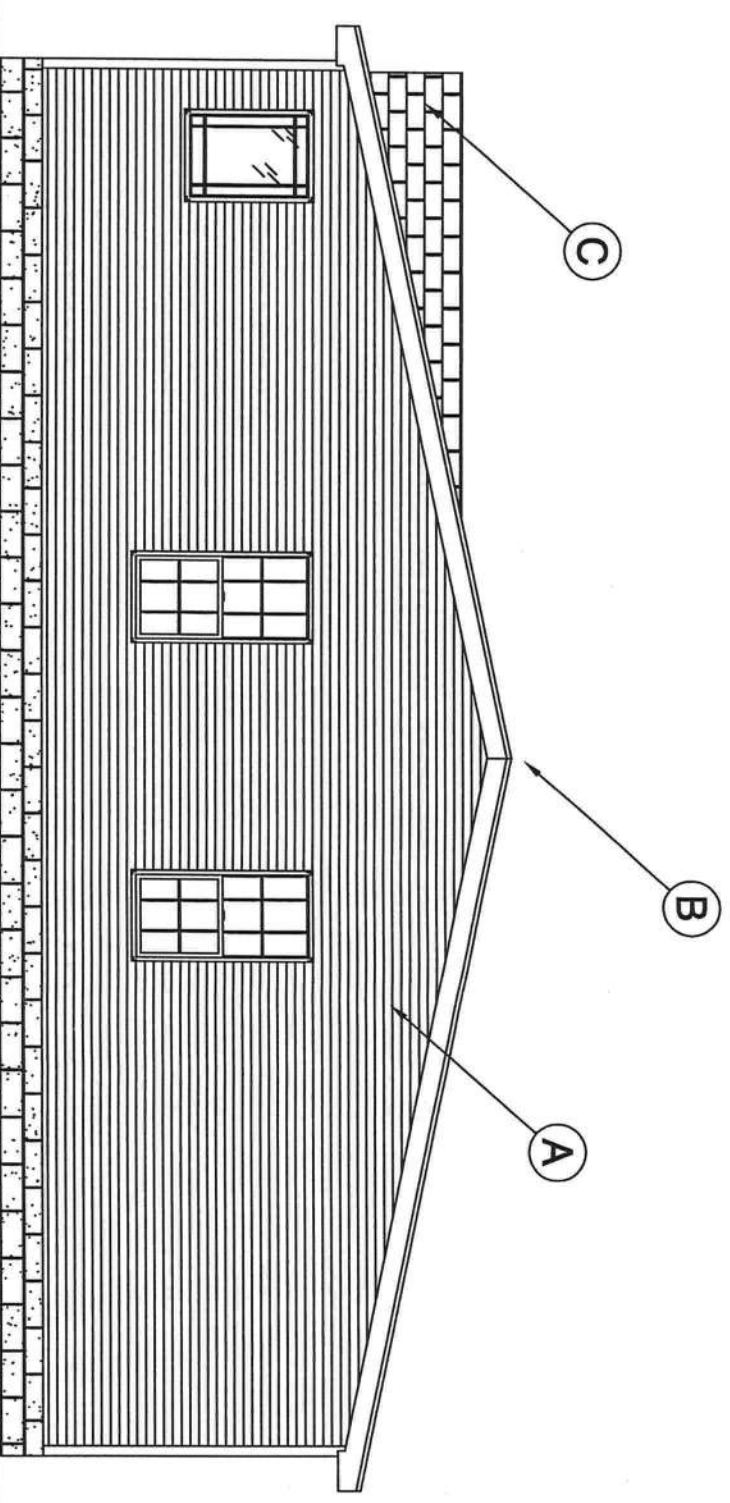
P.E. Robert E. Gregg  
R.A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 992724  
Phone 727-996-8724

APPROVED

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

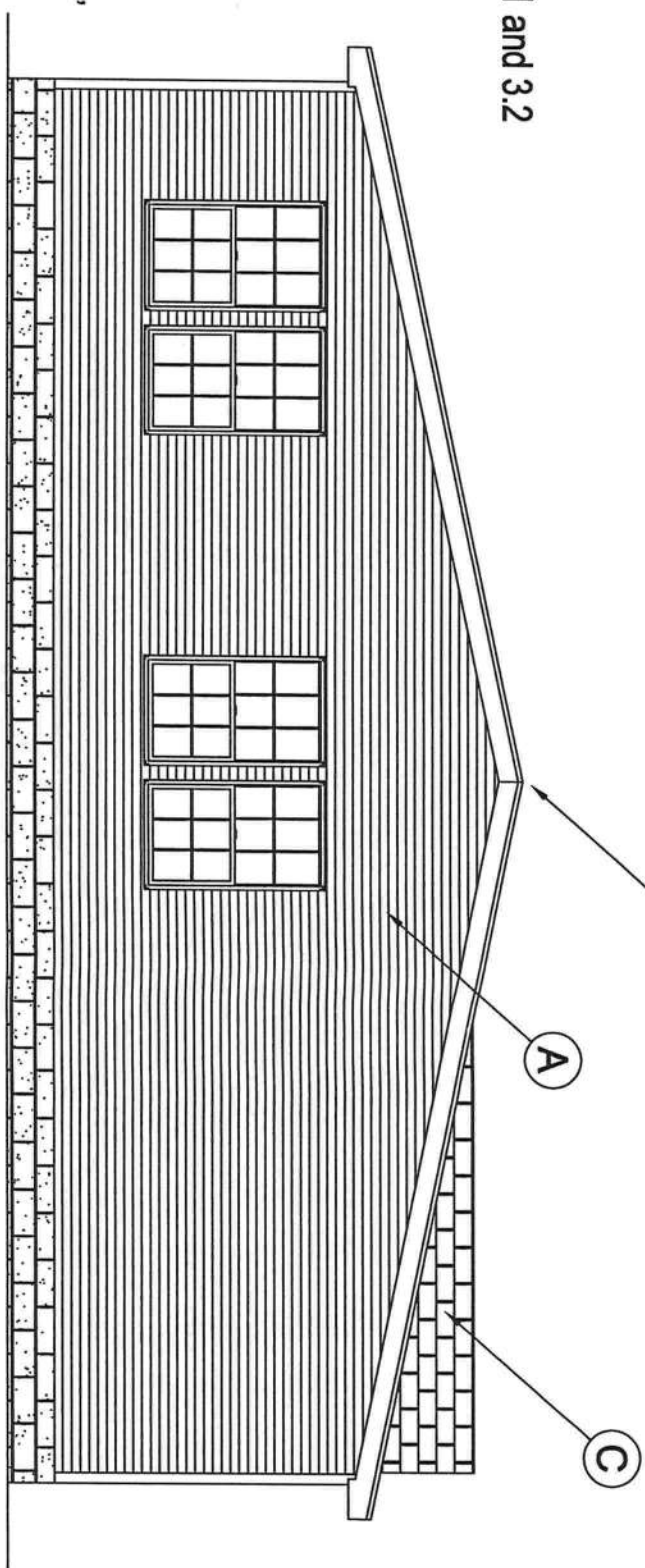
State:



- Notes:
1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
  2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
  3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
  4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
  5. This building may be mirrored about the length of it's axis without any re-approval (may be "flipped" from side-to-side and/or front-to-rear).

Notes: Site Installation Details

- (A) Gable End Close Up - See RF 3.1 and 3.2  
(B) Close Up at Peak - See RF 1.3  
(C) Dormer Details- See RF-4.1



96" Sidelwall  
STEEL EXTERIOR DOORS  
FIBERGLASS SHINGLES "CLASS A"  
LOW-E INSULATED WINDOWS

LISTING AGENCY APPROVAL

These prints comply with the Florida  
Manufactured Building Act of 1979 Construction  
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0733F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	7.16.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

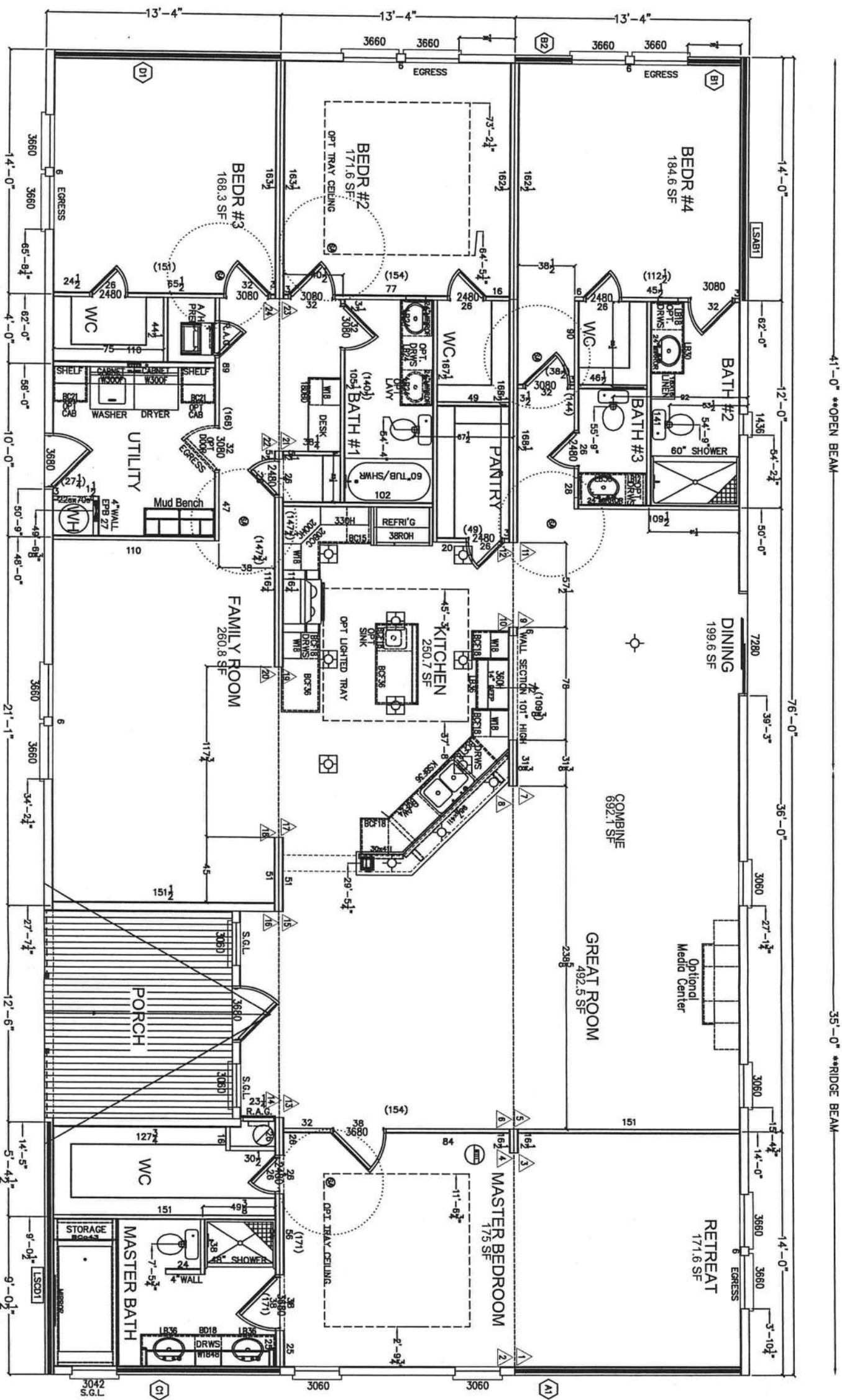


COA # 1025



See Page FP-2.2 For Shear wall Tables

NOTE: 16" FULL 4/LAYER RIDGEBEAMS ON CENTER SECTION ONLY



General Notes:

1. Design criteria is based on 24" o.c. roof trusses for up to (and including) 130 mph and 16" o.c. roof trusses for up to (and including) 150 mph.
2. The building may be constructed in an exact mirror image about it's axis without any re-approval of the plans (Building may be "flipped" side to side and/or front to rear).
3. Optional horizon windows may be added at any location without re-approval. The Florida Energy Calculations shall be revised to include the added horizon windows (minimum shearwall requirements shall be maintained).
4. All designs and calculations are based on Exposure 'C'.
5. This structure is not designed to exceed the mean roof height of 25 feet for 130 mph applications and 30 feet for 150 mph applications.
6. Minimum corridor width is 36".
7. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
8. Windows, glass and doors shall comply with AAMA / NWDA 101 / I.S.2-.97
9. This building is designed for a permanent foundation and is NOT a HUD building.
10. Shearwalls are based on worst case condition (108" sidewall height and a 6/12 roof pitch). Lower sidewall heights and/or lower roof pitches may be installed .
11. Please refer to the cover sheet of this package for additional notes and requirements.
12. This building is NOT designed and constructed to be installed in any High Velocity Hurricane Region (Dade or Broward Counties).

INDICATES SHEARWALL LOCATIONS.

NOTES

- 1.) SEE SHEAR WALL SUMMARY FOR SHEAR WALL CONSTRUCTION REQUIREMENTS.
- 2.) EXTERIOR WALLS ARE 9'-0" MAX.
- 3.) OVER ALL WIDTH INCLUDES 1 1/2" TO ALLOW FOR MATING WALL SHEATHING & GAP FOR CABLING OR STRAPPING WHEN CRANE SET.
- 4.) SIDEWALLS ARE 2X6".
- 5.) TRUSSES SPACED 24" O.C. FOR 130 MPH INTERIOR ZONE, 16" O.C. FOR 130 MPH END ZONE & 140 MPH END & INTERIOR, 150 MPH INTERIOR & 150 END ZONE.

total  
3040 SF

TIMBERLAND SERIES



COA # 1025

NOTE: WINDOWS & DOORS MUST BE RATED FOR THE FOLLOWING WIND PRESSURES PER CHARTS ON CS-1



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Plant: PLANT CITY  
Location: 06/09  
Number: DWH  
By: 06/09/08  
Date:  
Series: TIMBERLAND  
Model Number: FMX4766L  
Page Number: FP-2  
Designation:

Floor Plan

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. Clearwater  
630 Chesnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-796-8774

3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:

Shear Wall Table Notes:

Numbers shown in table column headings ( (1) through (9) for one story, (11) through (111) for 2 story ), correspond with note numbers.Refer to floor plan(s) for shear wall locations corresponding to alpha-numeric designation in 1st column of table.

- 1. Design Shear Values are based on the WFCM - 2001 Edition. All values for DSV and fastening is based on S-P-F Lumber, unless otherwise specified.
- 2. Indicates whether sheathing is required one side only with interior covering, or required both sides of wall with interior covering over sheathing.
- 3. Nails may either be 6d Common (0.113x1 5/8) or 8d Common (0.131x 1 3/4). 8d nails yield better DSV's.
- 4. Edge / Field spacing. Edge fastening is into each framing member. When sheathing overlap onto rim joist is not used and 2/12 shearwall sheathing fastening is required, it also requires double top and bottom plates.
- 5. Number and minimum length of each shear wall section within each end wall.
- 6. indicates number of framing members required each end of each shear section. Minimum framing as indicated in table header.
- 7. indicates the number of rows of nails spaced @ 2" o.c., through the sheathing overlap onto the floor framing.
- 8. Alternatively, screws may be used at x/y, where x=number of rows and y=number of screws per foot for each row. Connection is through the bottom plate into floor joists with minimum 2-1/2" penetration. When double plates are required per Note (6), make sure to increase fastener length.
- 9. Top plate to rafter or ceiling joist is the spacing (inches o/c) with #8 screws or 0.131" diameter nails with 1-3/8" minimum penetration into receiving member.

10. For 2 story only: The 2x , factory installed bearing plate at each end at the very top of the lower story must be fastened to the ceiling framing with #10 x 3" screws spaced (inches on center) per table. Factory installed. Note: column 10 is not displayed for one story or cape applications.

11. For 2 stories, on-site connection is required between the upper and lower story using #10x3" screws (toed), installed through the upper storyend joist into the lower story, factory installed 2x bearing plate of the lower story, spaced per column 11.

Special Note: With hinged roof, the truss above the end wall ( shear wall) must be sheathed after erection. In the case of a porch, the truss above the end wall at the main roof to porch transition, must be sheathed for a minimum of 48" length, anywhere along the truss and fastened to truss chords with 8d common nails spaced per column "Porch Truss" . Sheathing in spaces between the chords greater than 24" must be stiffened with a 2x3 vertical member, fastened to sheathing with the same nails at 2" o.c.

Shear Wall General Notes:

- 1. LSAB1 and 2 represent longitudinal shear sections for unit with A and B end shearwalls.LSCD1 and 2 represent longitudinal shear sections for unit with C and D end shearwalls, respectively. The table notes above (except (6)) apply.
- 2. How to read Roof Diaphragm Connection Table: Check "Dbl Fast'g" column. If "N/A" is displayed, no special fastening required in End Zone. Use the required spacing column for at least the distance tabulated in the first non-zero column, then the spacing in that column is required to the distance in the next column to the right and so forth or the Req'd Spacing can be used throughout.If double fastening is required for any of the shear wall conditions (A,B,C or D), the fastening must be maintained to the first truss at or beyond the distance shown in the first column (A) of the single fastener spacing table, for the respective shear wall, or, when that column is zero, to the first non-zero distance of any of the other columns (B to E) to a distance of any of the other tabulated fastening requirements (Columns B to E).
- 3. When Roof Diaphragm construction requires special fastening within the end zone(s), the fastening displayed is doubled, ie: 2 fasteners @ each location.Example: Dbl@6/6 means 2 fasteners each at 6" o.c. field and 2 each at 6" o.c. perimeter. The fastening is required within distance from the roof end as displayed (ft) or next truss. 'N/A' means the end zone fastening is the same as normal.

See Pages FP-2.2 For Shear wall Tables



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Plant	PLANT CITY
Location:	
Plant Number:	06/09
Drawn	DWH
By:	
Date:	06/09/08
Series:	TIMBERLAND
Model	
Number:	FMX4766L
Page	
Number:	FP-2.1
Designation:	

Shear Wall Notes

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
RA  
630 Chesnut Street  
Clearwater, FL 33756  
FL. Lic. No. 9927  
Phone 727-966-8174



COA # 1025

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756  
Plan Number:  
2102-0733F

State:



Shear Wall Requirements

A & B									
Wind Speed: 150	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	365	1	8d 6/12	154	1	2	or 1/2	4 1/4	N/A
B1	750	1	8d 3/12	36.25	2	10	or 2/8	2 1/8	N/A
B2	750	1	8d 3/12	36.75	2	10	or 2/8	2 1/8	N/A
LSAB1	330	1	8d 6/12	168	N/A	1	or 1/1	4 3/4	N/A
C1	506	1	8d 4/12	111.25	2	2	or 1/4	3 1/8	N/A
D1	365	1	8d 6/12	154	1	2	or 1/2	4 1/4	N/A
LSCD1	320	1	8d 6/12	173	N/A	1	or 1/1	4 7/8	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	365	1	8d 6/12	154	1	2	or 1/2	4 1/4	N/A
B	750	1	8d 3/12	36.25	2	10	or 2/8	2 1/8	N/A
C	506	1	8d 4/12	111.25	2	2	or 1/4	3 1/8	N/A
D	365	1	8d 6/12	154	1	2	or 1/2	4 1/4	N/A

Shear Wall Requirements

A & B									
Wind Speed: 140	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	318	1	8d 6/12	154	1	1	or 1/2	5	N/A
B1	653	1	8d 3/12	36.25	2	9	or 2/7	2 3/8	N/A
B2	653	1	8d 3/12	36.75	2	8	or 2/7	2 3/8	N/A
LSAB1	287	1	8d 6/12	168	N/A	1	or 1/1	5 1/2	N/A
C1	440	1	8d 6/12	111.25	2	2	or 1/4	3 5/8	N/A
D1	318	1	8d 6/12	154	1	1	or 1/2	5	N/A
LSCD1	279	1	8d 6/12	173	N/A	1	or 1/1	5 5/8	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	318	1	8d 6/12	154	1	1	or 1/2	5	N/A
B	653	1	8d 3/12	36.25	2	9	or 2/7	2 3/8	N/A
C	440	1	8d 6/12	111.25	2	2	or 1/4	3 5/8	N/A
D	318	1	8d 6/12	154	1	1	or 1/2	5	N/A

Shear Wall Requirements

A & B									
Wind Speed: 130	Side Wall HT: 108	Exposure: C	Max Elev: 120	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	274	1	8d 6/12	154	1	1	or 1/2	5 3/4	N/A
B1	563	1	8d 4/12	36.25	2	8	or 2/6	2 3/4	N/A
B2	563	1	8d 4/12	36.75	2	7	or 2/6	2 3/4	N/A
LSAB1	248	1	8d 6/12	168	N/A	1	or 1/1	6 3/8	N/A
C1	380	1	8d 6/12	111.25	1	2	or 1/3	4 1/8	N/A
D1	274	1	8d 6/12	154	1	1	or 1/2	5 3/4	N/A
LSCD1	240	1	8d 6/12	173	N/A	1	or 1/1	6 1/2	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	274	1	8d 6/12	154	1	1	or 1/2	5 3/4	N/A
B	563	1	8d 4/12	36.25	2	8	or 2/6	2 3/4	N/A
C	380	1	8d 6/12	111.25	1	2	or 1/3	4 1/8	N/A
D	274	1	8d 6/12	154	1	1	or 1/2	5 3/4	N/A

Shear Wall Requirements

A & B									
Wind Speed: 150	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	327	1	8d 6/12	154	1	1	or 1/2	4 3/4	N/A
B1	672	1	8d 3/12	36.25	2	9	or 2/7	2 3/8	N/A
B2	672	1	8d 3/12	36.75	2	9	or 2/7	2 3/8	N/A
LSAB1	295	1	8d 6/12	168	N/A	1	or 1/1	5 3/8	N/A
C1	453	1	8d 6/12	111.25	2	2	or 1/4	3 1/2	N/A
D1	327	1	8d 6/12	154	1	1	or 1/2	4 3/4	N/A
LSCD1	287	1	8d 6/12	173	N/A	1	or 1/1	5 1/2	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	327	1	8d 6/12	154	1	1	or 1/2	4 3/4	N/A
B	672	1	8d 3/12	36.25	2	9	or 2/7	2 3/8	N/A
C	453	1	8d 6/12	111.25	2	2	or 1/4	3 1/2	N/A
D	327	1	8d 6/12	154	1	1	or 1/2	4 3/4	N/A

Shear Wall Requirements

A & B									
Wind Speed: 140	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	285	1	8d 6/12	154	1	1	or 1/2	5 1/2	N/A
B1	585	1	8d 4/12	36.25	2	8	or 2/6	2 3/4	N/A
B2	585	1	8d 4/12	36.75	2	8	or 2/7	2 3/4	N/A
LSAB1	257	1	8d 6/12	168	N/A	1	or 1/1	6 1/8	N/A
C1	395	1	8d 6/12	111.25	1	2	or 1/3	4	N/A
D1	285	1	8d 6/12	154	1	1	or 1/2	5 1/2	N/A
LSCD1	250	1	8d 6/12	173	N/A	1	or 1/1	6 1/4	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	285	1	8d 6/12	154	1	1	or 1/2	5 1/2	N/A
B	585	1	8d 4/12	36.25	2	8	or 2/6	2 3/4	N/A
C	395	1	8d 6/12	111.25	1	2	or 1/3	4	N/A
D	285	1	8d 6/12	154	1	1	or 1/2	5 1/2	N/A

Shear Wall Requirements

A & B									
Wind Speed: 130	Side Wall HT: 108	Exposure: C	Max Elev: 24	Framing: 2x6					
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A1	246	1	8d 6/12	154	1	1	or 1/2	6 3/8	N/A
B1	505	1	8d 4/12	36.25	2	7	or 2/5	3 1/8	N/A
B2	505	1	8d 4/12	36.75	2	7	or 2/6	3 1/8	N/A
LSAB1	222	1	8d 6/12	168	N/A	1	or 1/1	7 1/8	N/A
C1	340	1	8d 6/12	111.25	1	2	or 1/3	4 5/8	N/A
D1	246	1	8d 6/12	154	1	1	or 1/2	6 3/8	N/A
LSCD1	215	1	8d 6/12	173	N/A	1	or 1/1	7 1/4	N/A

Truss Spacing: 16  
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections									
Shear Wall	Min. Sheathed PLF Sides # (1)	Noils Spacing (2)	SW Sections (3)	End Nails in # Overlap (4)	Rows of Nails in # Each Row (5)	#10 Screws/Ft (6)	Top Plate (7)	Porch Truss	
A	246	1	8d 6/12	154	1	1	or 1/2	6 3/8	N/A
B	505	1	8d 4/12	36.25	2	7	or 2/5	3 1/8	N/A
C	340	1	8d 6/12	111.25	1	2	or 1/3	4 5/8	N/A
D	246	1	8d 6/12	154	1	1	or 1/2	6 3/8	N/A

COLUMNS RANCH STORY

COLUMNS RANCH STORY									
NO.	26 GA STRAP	TYPE	NUM	LENGTH	SIZE	BLK	WIDTH	SPAN	LOAD
1	3	2	1	105	2x3	N	160	12'-4"	1439
2	3	2	1	105	2x3	N	160	12'-4"	1439
3	3	1	2	105	2x3	N	160	12'-4"	1439
4	3	1	2	105	2x3	N	160	12'-3"	1429
5	4	1	4	105	2x3	N	160	19'-11"	2324
6	4	1	4	105	2x3	N	160	19'-11"	2324
7	4	1	4	105	2x3	N	160	19'-11"	2324
8	4	1	4	105	2x3	N	160	19'-11"	2324
9	1	1	1	105	2x3	N	160	4'-9"	554
10	1	1	1	105	2x3	N	160	4'-9"	554
11	1	1	1	105	2x3	N	160	4'-9"	554
12	1	1	1	105	2x3	N	160	4'-9"	554
13	3	1	2	105	2x3	N	160	11'-11"	1390
14	3	1	2	105	2x3	N	160	11'-11"	1390
15	3	1	2	105	2x3	N	160	11'-11"	1390
16	3	1	2	105	2x3	N	160	11'-11"	1390
17	2	1	2	105	2x3	N	160	9'-10"	1147
18	2	1	2	105	2x3	N	160	9'-10"	1147
19	2	1	2	105	2x3	N	160	9'-10"	1147
20	2	1	2	105	2x3	N	160	9'-10"	1147
21	2	1	2	105	2x3	N	160	8'-10"	1031
22	2	1	2	105	2x3	N	160	8'-10"	1031
23	2	1	2	105	2x3	N	160	8'-10"	1031
24	2	1	2	105	2x3	N	160	8'-10"	1031

COLUMNS RANCH STORY

ROOF LOAD: 20 PSF WIND SPEED: 140 MPH									
NO.	26 GA STRAP	TYPE	NUM	LENGTH	SIZE	BLK	FLOOR WIDTH	SPAN	LOAD
1	2	2	1	105	2x6	N	160	12'-4"	1439
2	2	2	1	105	2x6	N	160	12'-4"	1439
3	2	1	2	105	2x3	N	160	12'-4"	1439
4	2	1	2	105	2x3	N	160	12'-3"	1429
5	3	1	4	105	2x3	N	160	19'-11"	2324
6	3	1	4	105	2x3	N	160	19'-11"	2324
7	3	1	4	105	2x3	N	160	19'-11"	2324
8	3	1	4	105	2x3	N	160	19'-11"	2324
9	1	1	1	105	2x3	N	160	4'-9"	554
10	1	1	1	105	2x3	N	160	4'-9"	554
11	1	1	1	105	2x3	N	160	4'-9"	554
12	1	1	1	105	2x3	N	160	4'-9"	554
13	2	1	2	105	2x3	N	160	11'-11"	1390
14	2	1	2	105	2x3	N	160	11'-11"	1390
15	2	1	2	105	2x3	N	160	11'-11"	1390
16	2	1	2	105	2x3	N	160	11'-11"	1390
17	2	1	2	105	2x3	N	160	9'-10"	1147
18	2	1	2	105	2x3	N	160	9'-10"	1147
19	2	1	2	105	2x3	N	160	9'-10"	1147
20	2	1	2	105	2x3	N	160	9'-10"	1147
21	2	1	2	105	2x3	N	160	8'-10"	1031
22	2	1	2	105	2x3	N	160	8'-10"	1031
23	2	1	2	105	2x3	N	160	8'-10"	1031
24	2	1	2	105	2x3	N	160	8'-10"	1031



<input type="checkbox"/>	GENERAL LIGHTING	<input type="checkbox"/>	MAIN PANEL BOX	\$	SWITCH	<input type="checkbox"/>	EXHAUST--CELL'G FAN
<input type="checkbox"/>	SMALL APPLIANCE	<input type="checkbox"/>	WALL MOUNTED FIXTURE	\$3	3-WAY SWITCH	<input type="checkbox"/>	HEAT TAPE RECEIPT
<input type="checkbox"/>	GFI PROTECTED	<input type="checkbox"/>	CEILING MOUNTED FIXTURE		RECESSED	<input type="checkbox"/>	LIGHTED EXHAUST--CELL'G FAN
<input type="checkbox"/>	240V APPLIANCE	<input type="checkbox"/>	WHOLE HOUSE FAN			<input type="checkbox"/>	OPT CEILING FAN PREP.
<input checked="" type="checkbox"/>	SMOKE ALARM	<input type="checkbox"/>	THERMOSTAT			<input checked="" type="checkbox"/>	
<input type="checkbox"/>	RECESSED LIGHT	<input type="checkbox"/>	WHOLE HOUSE FAN 100 CFM				

NOTE: SMOKE ALARMS ARE INTERCONNECTED FOR  
SIMULTANEOUS ACTIVATION WITH BATTERY BACK-UP.  
ALL SMOKE ALARMS ARE HUSH BUTTON TYPE.  
CO/SA WITHIN 10' OF SLEEPING ROOMS  
(COMBINATION CARBON MONOXIDE/SMOKE ALARMS)

CO/SA  
CARBON MONOXIDE  
SMOKE ALARM

### 200 AMP PANEL

DESCRIPTION	KVA
FLOOR AREA (3040 SF x 3 VA) / 1000 =	9.12 KVA
(3) SMALL APPLIANCES AT 1500 VA / 1000 =	4.5 KVA
RANGE AT 8.0 KW. =	8.0 KVA
WATER HEATER AT 6.5 KW. =	6.5 KVA
DISHWASHER AT 1.4 KW. =	1.4 KVA
WASHER AT 1500 VA. / 1000 =	1.5 KVA
DRYER AT 5.0 KW. =	5.0 KVA
GARAGE DISPOSAL AT 1.4 KW. =	1.4 KVA
WALL OVEN AT 8.0 K.W. =	8.0 KVA
MICROWAVE AT 1500 VA. / 1000 =	1.5 KVA
OPT. FREEZER AT 1500 VA. / 1000 =	1.5 KVA
OPT. JACOZZI AT 1500 VA. / 1000 =	1.5 KVA
TOTAL LOAD	57.92 KVA
FIRST 10 KVA AT 100% REDUNDANT AT 40% HVA/C AT 100% ASSIGNED	10.0 KVA 15.8 KVA 15.8 KVA
TOTAL	31.6 KVA

NOTE: SITE ELECTRIC/HVAC CONTRACTOR TO VERIFY ADEQUACY OF TRANS. AMP PANEL LOAD IN PANEL CALCULATIONS 120/240 V. 1ø

### LISTING AGENCY APPROVAL

These prints comply with the Florida  
Manufactured Building Act of 1979 Construction  
Code and adhere to the following criteria:

CONST. TYPE VB  
OCCUPANCY R-3  
ALLOWABLE NO. OF FLOORS 1  
WIND VELOCITY 150 (2 spec)  
FIRE RATING OF EXT. WALLS 0  
PLAN NO. 2102-0733F  
ALLOW. FLOOR LOAD 40  
APPROVAL DATE 7/16/08  
MANUFACTURER PHH  
HURRICANE ZONE NO

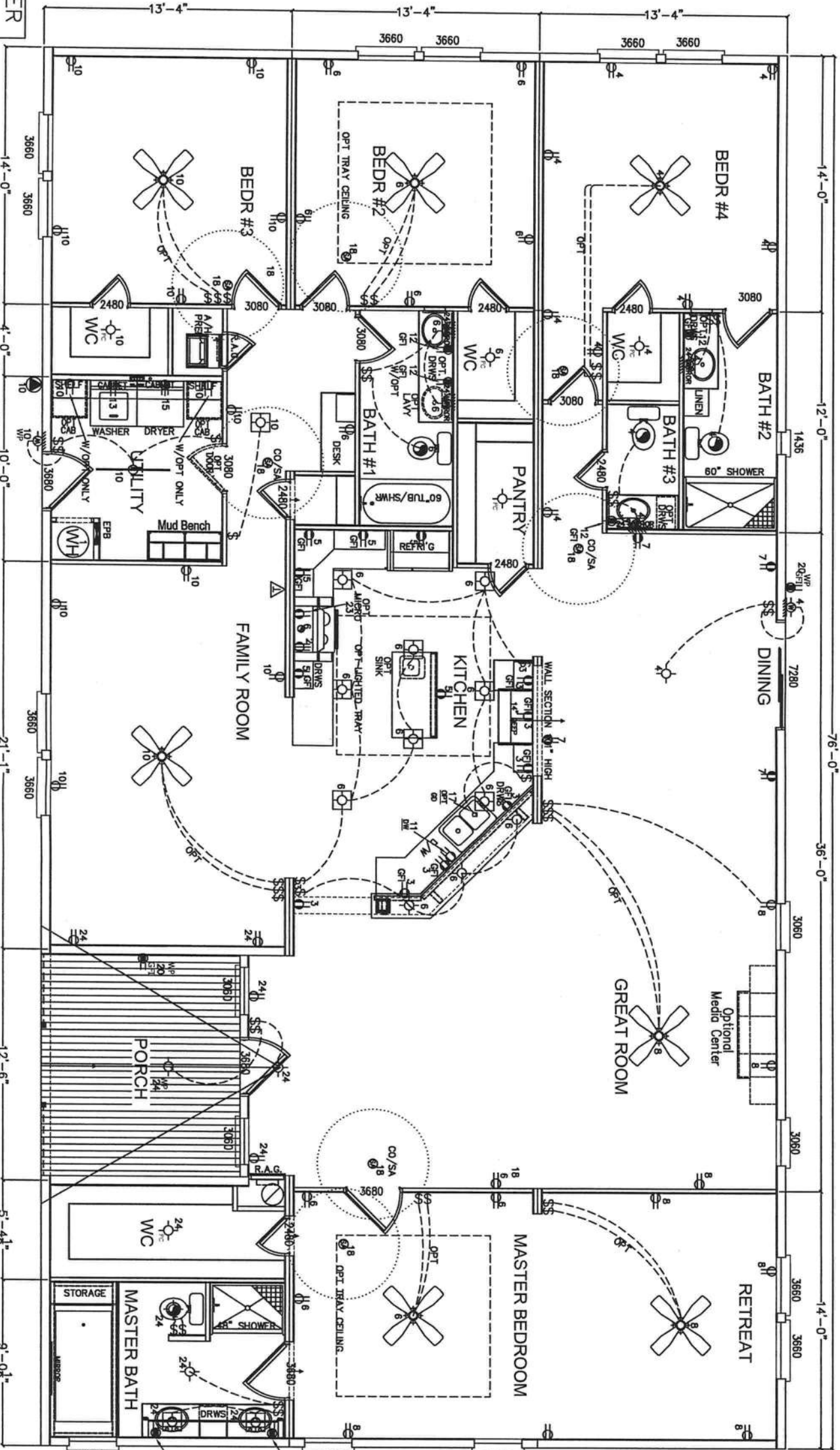


COA # 1025

NEC - 2005

### MAIN BREAKER 200 AMP

AMP WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE	CIR. NO.	DESCRIPTION	AMP WIRE SIZE
PER MFG (4600V/240V)	WATER HEATER	1	*	2	RANGE OR OVEN	PER MFG
20 12-2	APPLIANCE	3	*	4 AF	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	5	*	8 AF	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	7	*	8 AF	GEN. LIGHTING	15 14-2
20 12-2	APPLIANCE	9	*	10 AF	GEN. LIGHTING	15 14-2
15 14-2	OPT. D.W.	11	*	12	BATH G.F.I.	20 12-2
20 12-2	LAUNDRY	13	*	14	OPT. ELECTRIC HEAT-A/C	PER MFG
30 10-3	CLOTHES DRYER	15	*	16	COOK-TOP	PER MFG
15 14-2	OPT. DISPOSAL	17	*	18 AF	SMOKE DETECTOR	15 14-2
20 12-2	OPT. MICROWAVE	23	*	20	EXTERIOR GFI	20 12-2
20 12-2		25	*	20 AF	GEN. LIGHTING	15 14-2



### Electrical Notes:

1. ALL circuits and equipment shall be installed and grounded in accordance with the appropriate articles of the National Electrical Code (NEC) that is adopted by the State of Florida, at the time of construction of the building.
2. When light fixtures are installed in closets, they shall be surface mounted or recessed. Incandescent fixtures shall have completely enclosed lamps. Surface mounted incandescent fixtures shall have a minimum clearance of 12 inches and all other fixtures shall have a minimum clearance of 6 inches from any "storage area" as defined by NEC 410-8 (a).
3. When water heaters are installed, they shall be provided with readily accessible disconnects adjacent to the water heaters served. The branch circuit switch OR circuit breaker shall be permitted to be as the disconnecting means only where the switch OR circuit breaker is within sight of the water heater OR is capable of being locked in the open position. When water heaters are not installed at the factory, the means of disconnect shall be designed and installed on-site, by others.
4. HVAC shall be provided with readily accessible disconnects (installed on-site, by others) adjacent to the equipment being served. A unit switch with a marked "OFF" position that is part of the HVAC equipment and disconnects ALL ungrounded conductors shall be permitted to be as the disconnecting means where other disconnecting means are also provided by a readily accessible circuit breaker.
5. When the main electrical service panel is not installed at the factory, the main electrical panel and feeders are to be designed by others, site installed and subject to local jurisdiction approval.
6. ALL circuits crossing over module marriage line(s), shall be site connected with approved accessible junction boxes OR cable connectors.
7. ALL outlets located within 6 feet of a sink OR basin shall be equipped with GFI protection. ALL receptacle outlets, serving countertops, located in the kitchen shall be equipped with GFI protection.
8. Smoke alarms shall be interconnected so that the activation of any one alarm will cause simultaneous activation of ALL other smoke alarms. All smoke alarms are equipped with a "Hush Button" feature.
9. ALL receptacles installed in wet locations (exterior) shall have a weather proof (WP) enclosure (cover). The integrity of which is not effected when an attachment plug cap is inserted or removed.
10. ALL branch circuits supplying 15 and 20-ampere outlets in sleeping areas shall be protected by an Arc-Fault circuit interrupter in accordance with Section 210.12 of the NEC.
11. ALL wiring is NM-Cable unless otherwise specified.
12. Additional outlets may be added (in addition to those shown on the approved details) without re-approval.
13. Ceiling fans shall be 80 inches minimum, from the bottom of the blades to the finished floor.
14. ALL electrical components shall be U.L. Listed and installed in accordance with that listing.
15. Receptacles intended to service bathroom lavatories shall not be located more than 36" away from said lavatory.
16. Breakers and wire sizing may be changed if optional or custom appliances or devices are installed in the building. ALL breakers and wiring shall be sized in accordance with applicable sections of the N.E.C.
17. Switches, receptacles, and other fixtures or devices may be relocated from the locations shown on the approved details due to construction restraints. ALL locations shall comply with applicable sections of the N.E.C.
18. Refer to the cover sheet for additional electrical notes.



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Plant	PLANT CITY
Location:	
Plant Number:	06/09
Drawn	DWH
By:	
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page	
Number:	FP-3
Designation:	

### ELECTRICAL

Rev. By: -  
Revision: -

### Approvals

P.E. Robert B. Gregg  
R. A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 99277  
Phone 727-786-8774

3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL 33756

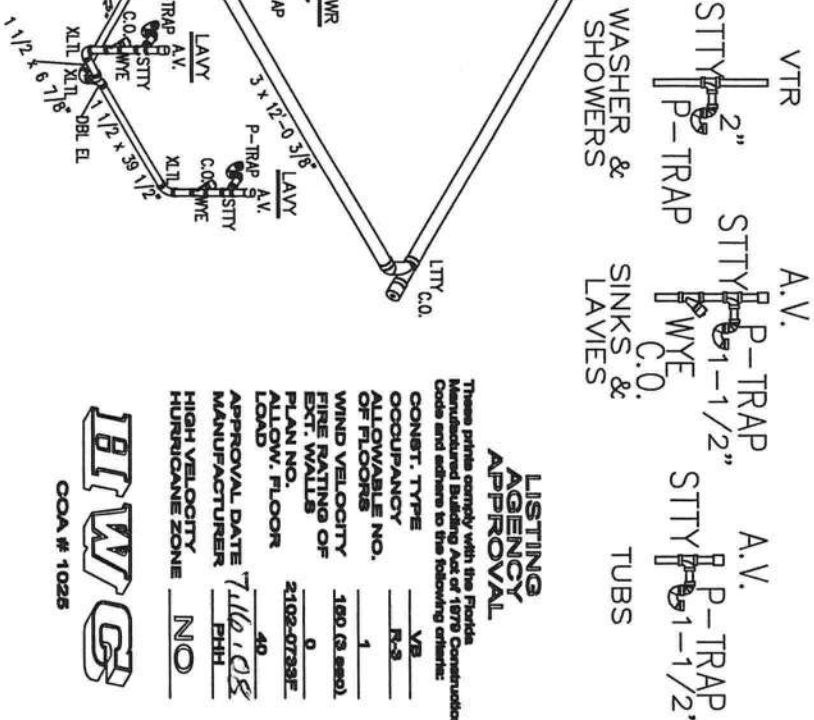
Plan Number:  
2102-0733F

State:

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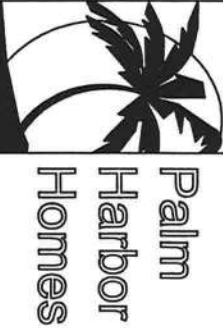
DWV FITTINGS SCHEDULE	
QTY	Description
2	Clean Out 3"
1	Double Elbow 3"
1	Elbow 1 1/2" 90 Degree XLT
2	Elbow 3" 90 Degree XLT
6	LTTY 3"
4	LTTY 3" x 3" x 1-1/2"
1	LTTY 3" x 3" x 2"

TYPICAL FIXTURE DETAILS



LISTING  
AGENCY  
APPROVAL

These prints comply with the Florida Building Code and adhere to the following criteria:	
CONSTR. TYPE	VR
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY EXT. WALLS	160 (3 sec)
PLAN NO.	2102-0733F
APPROVAL DATE	7/16/08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO



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Plant Location:	PLANT CITY
Plant Number:	06/04
Drawn By:	DWH
Date:	06/03/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-4
Designation:	

DRAIN SYSTEM

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. 630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-796-8774

3rd Party:

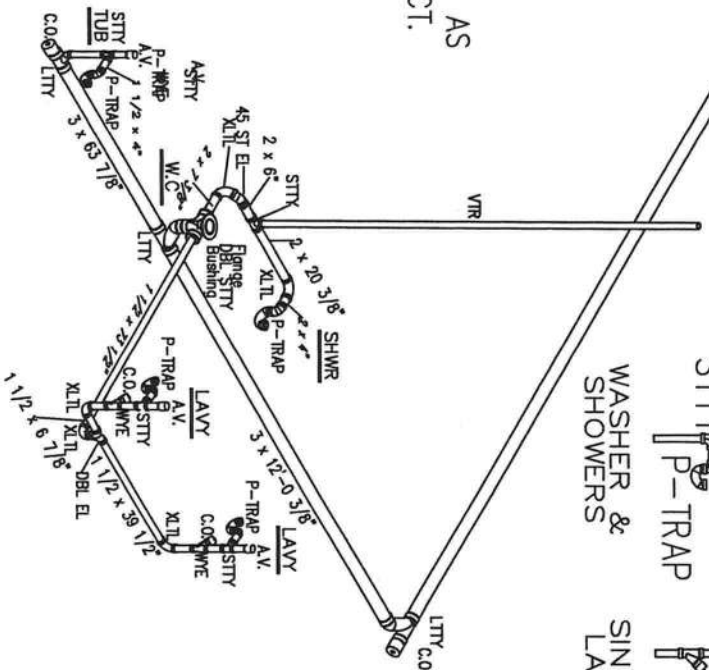
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL 33756

Plan Number:  
2102-0733F

State:

- NOTES:
- 1.) DRAIN, WASTE & VENT PIPING SHALL BE ABS OR PVC SCHEDULE 40.
  - 2.) DRAIN PIPE SIZING SHALL BE SIZED IN ACCORDANCE WITH TABLE 3005.4.1.
  - 3.) INTERCONNECTION OF VENTS ABOVE CEILINGS SHALL BE MADE IN THE FACTORY WHERE PRACTICAL.
  - 4.) BELOW FLOOR PLUMBING SHALL BE PROVIDED AND INSTALLED BY OTHERS AT SITE TO STATE AND LOCAL CODES.
  - 5.) CHANGE IN DIRECTION IN DRAINAGE PIPING SHALL BE MADE THROUGH THE APPROPRIATE USE OF SANITARY TEES, WYES, SWEEPS, BENDS OR BY A COMBINATION OF THESE FITTINGS.
  - 6.) DRAIN PIPING RAN HORIZONTALLY SHALL BE SUPPORTED A MIN. OF 4'-0" O.C.

- NOTE:====
1. ALL FITTINGS ARE SAME SIZE AS THE PIPE THAT THEY CONNECT.
  2. \* =SHIPLOOSE







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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-5
Designation:	

HOT WATER LINES

Rev. By: -  
Revision: -

Approvals

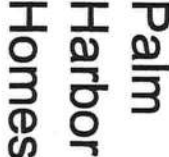
P.E. Robert E. Gregg  
R.A. R.A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 99275  
Phone 727-796-8774

APPROVE  
[Signature]

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:

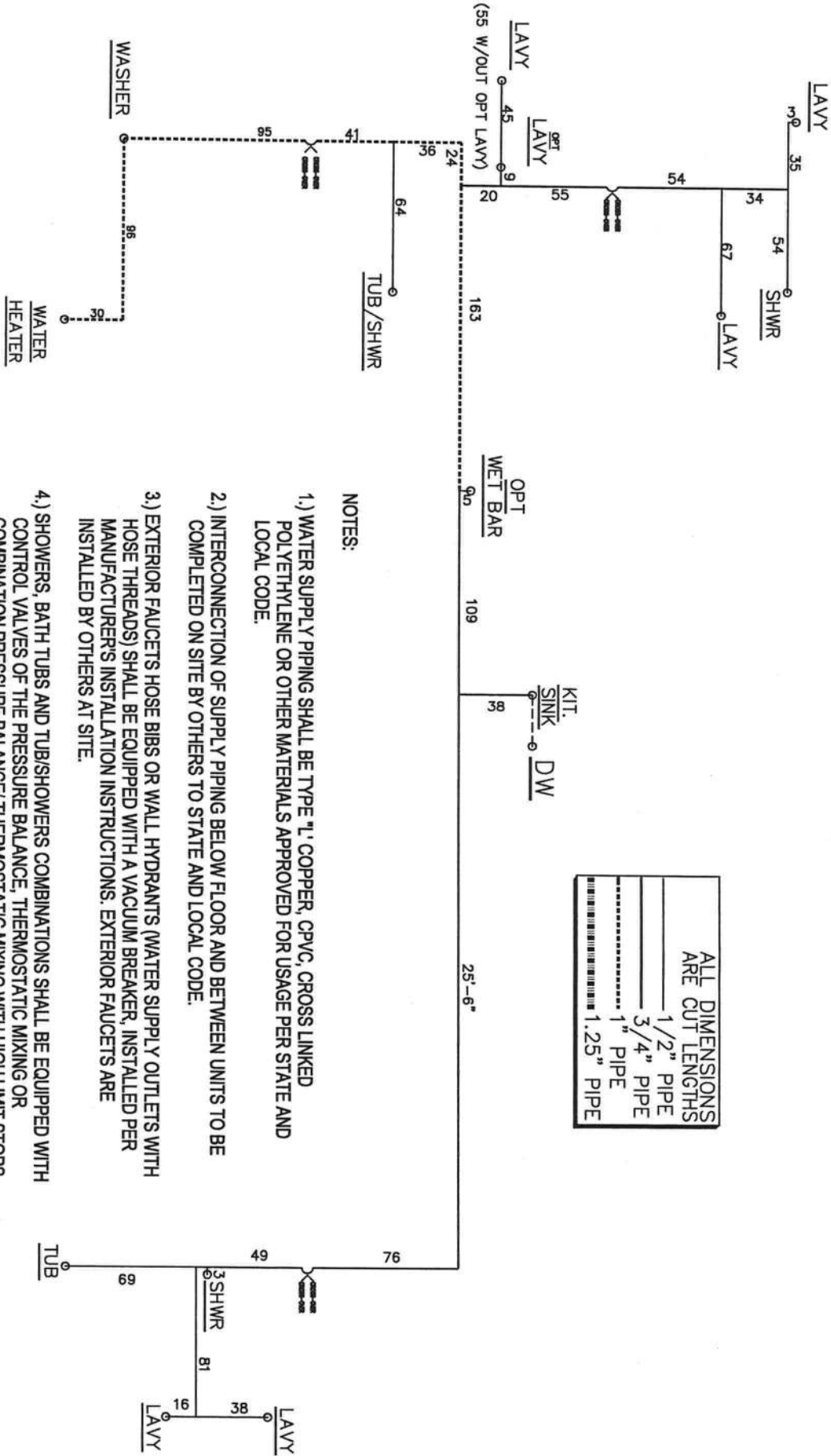


ALL WATER LINES ARE TO  
BE SECURED 32" O.C.

DESIGN BASED ON 40 TO 49 PSI  
PRESSURE RANGE & MDL = 114.792 FT.  
(150' COLUMN)

ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING

ALL DIMENSIONS ARE CUT LENGTHS
1/2" PIPE
3/4" PIPE
1" PIPE
1.25" PIPE



NOTES:

- 1.) WATER SUPPLY PIPING SHALL BE TYPE 'L' COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE.
- 2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
- 3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURERS INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
- 4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
- 5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
- 6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
- 7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
- 8.) VALVES SERVING INDIVIDUAL FIXTURES, APPLIANCES, RISERS AND BRANCHES SHALL BE INSTALLED PER P2903.9.3
- 9.) INSTALL WATTER HAMMER ARRESTORS AT ALL LOCATIONS WHERE QUICK CLOSING VALVES ARE UTILIZED.





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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-5.1
Designation:	

COLD WATER LINES

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9922  
Phone 727-796-8574



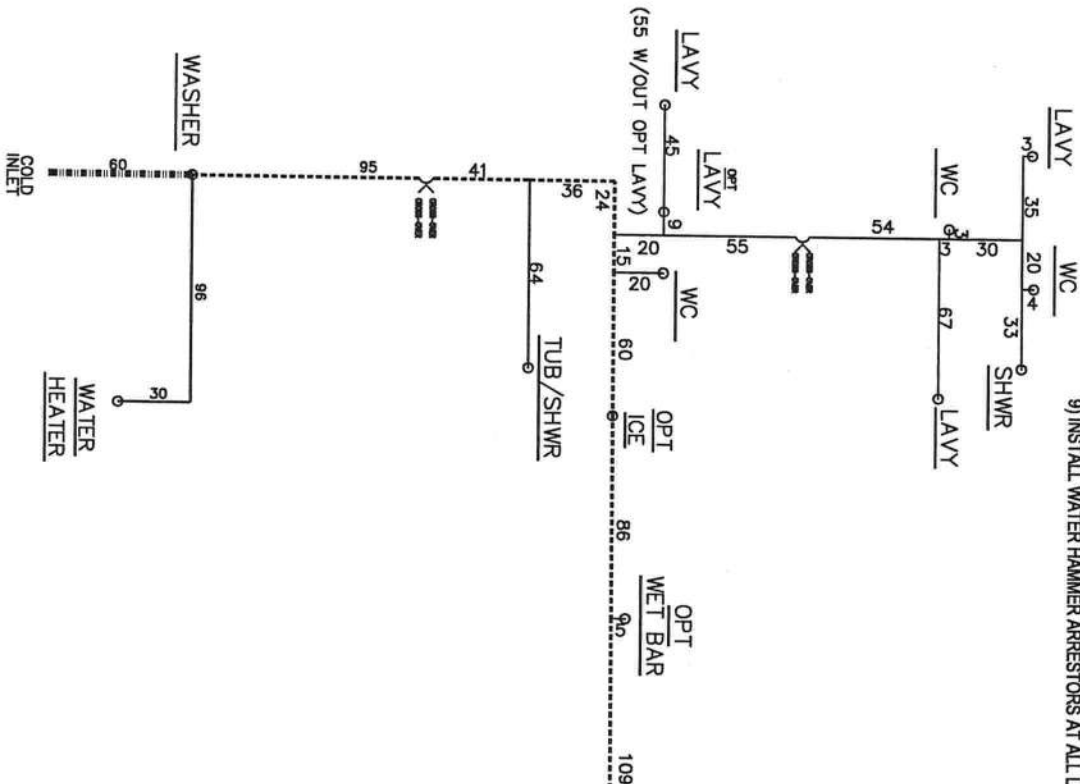
3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

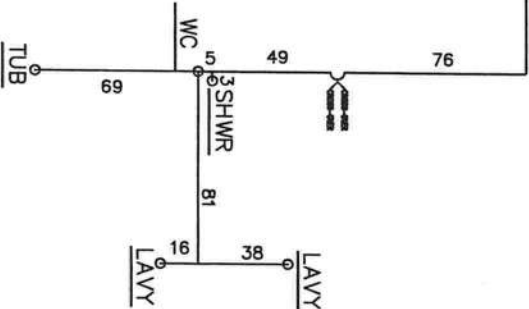
State:

- NOTES:
- 1.) WATER SUPPLY PIPING SHALL BE TYPE "L" COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE.
  - 2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.
  - 3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS (WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURERS INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.
  - 4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.
  - 5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.
  - 6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.
  - 7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.
  - 8.) VALVES SERVING INDIVIDUAL FIXTURES, APPLANCES, RISERS AND BRANCHES SHALL BE INSTALLED PER P2903.9.3
  - 9.) INSTALL WATER HAMMER ARRESTORS AT ALL LOCATIONS WHERE QUICK CLOSING VALVES ARE UTILIZED.



COLD

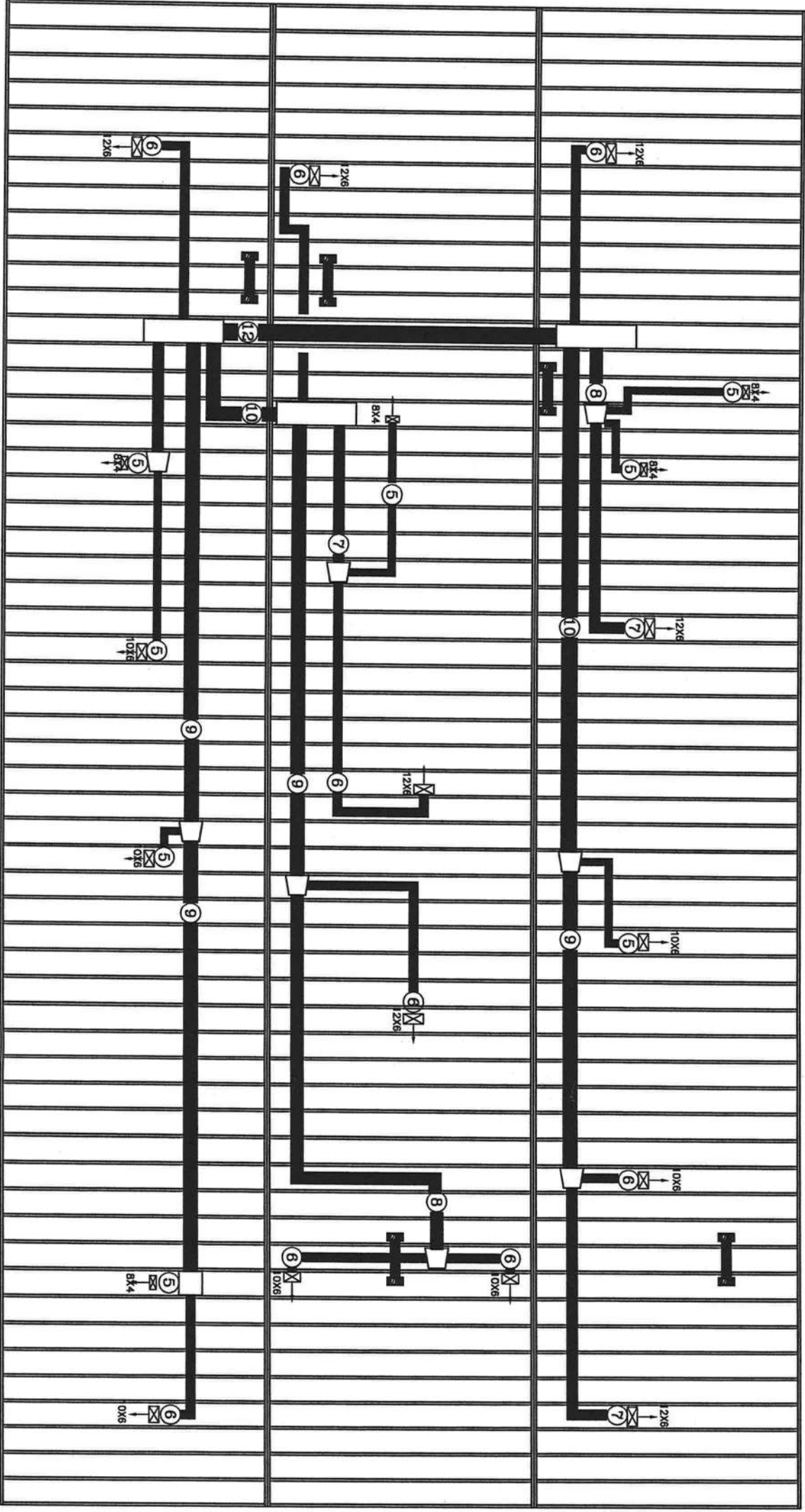
ALL DIMENSIONS ARE CUT LENGTHS
1/2" PIPE
3/4" PIPE
1" PIPE
1.25" PIPE



ALL WATER LINES ARE TO  
BE SECURED 32" O.C.

DESIGN BASED ON 40 TO 49 PSI  
PRESSURE RANGE & MDL =108.096 FT.  
(150' COLUMN)

ALL PIPING MATERIAL IS CROSSLINKED POLYETHYLENE (PEX) TUBING



150 MPH

1. Roof trusses installed at 16" o.c. maximum spacing are allowed in buildings designed to comply with a maximum 150 mph wind load.
2. All flex duct is Class 1, U.L. 181 with minimum R-6 insulation (in attic with insulation).
3. All flex duct installed below the building shall be Class 1, U.L. 181 exterior rated duct with a minimum R-8 insulation.
4. Return air balance (from room to room) may be achieved through the installation of "jump ducts" (in ceiling return air pathways), undercut doors, and/or return air grills.
5. All gable endwalls shall be braced in accordance with Palm Harbor Home's Florida Modular Construction Manual.
6. All exhaust fans/vents shall be braced to the exterior of the structure.
7. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
8. All air supply registers are adjustable, except where otherwise specified on the plans (in ceiling "jump ducts" for return air purposes are NOT adjustable and remain in the always open position).
9. All Return Air Grills to be 21" x 26"

150 MPH Maximum Wind Loads with Trusses at 16" o.c.

RIDGE BEAM:

3 LAYER OF 15/32" x 24" HIGH (3 LAYER /3 PLY)

PLYWOOD ALL PLIES GROUP I (32/16 INDEX)

RETURN AIR BALANCE IS ACHIEVED BY IN-CEILING AIR (JUMP DUCTS), RETURNING CFM'S EQUAL OR GREATER THEN THE CFM'S DELIVERED INTO THE SPACE. REFERENCE HVAC CALC'S & SUB SECTION 2 OF THE BUILDING MANUALS HVAC SECTION.

TRUSS NUMBERS

TRUSS # c142005

TRUSS # p229605

(CHECK TRUSS PRINT FOR SPACING REQUIREMENTS)

ATTIC ACCESS NOTES  
FRAMING TO BE SAME X-BY DIM OR GREATER THAN TRUSS BOTTOM CHORD



These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:  
CONST. TYPE VB  
OCCUPANCY R-3  
ALLOWABLE NO. OF FLOORS 1  
WIND VELOCITY 150 (3 sec)  
FIRE RATING OF EXT. WALLS 0  
PLAN NO. 2102-0733F  
ALLOW. FLOOR LOAD 40  
APPROVAL DATE 7.16.10  
MANUFACTURER PHH  
HIGH VELOCITY HURRICANE ZONE NO



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Plant Location: PLANT CITY  
Plant Number: 06/09  
Drawn Number: DWH  
By: DWH  
Date: 06/09/08  
Series: TIMBERLAND  
Model Number: FMX4766L  
Page Number: FP-6  
Designation:

ROOF LAYOUT

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. R. A. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-796-8774

APPROVED

3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

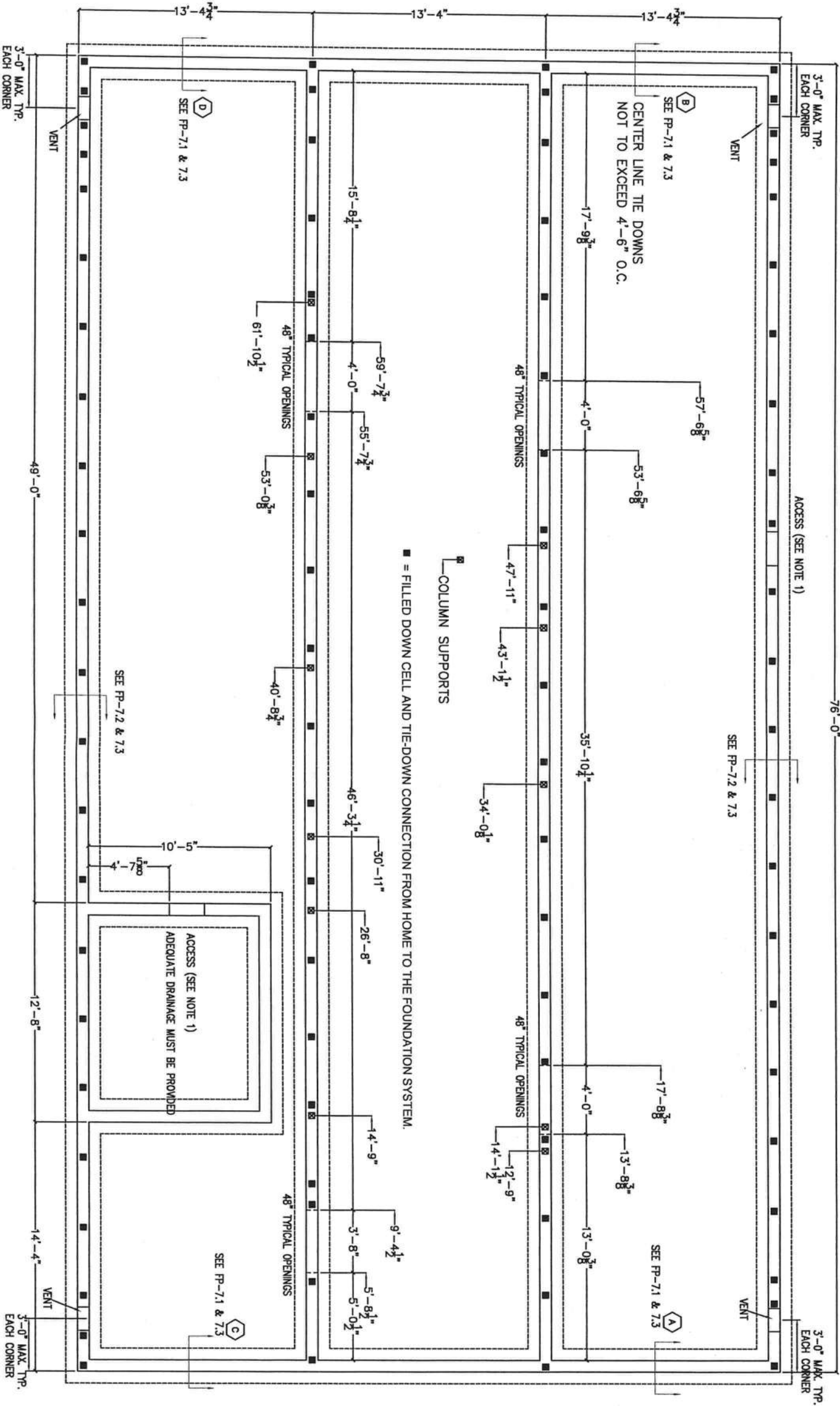
Plan Number:  
2102-0733F

State:

CONCRETE CURING TIME:  
IN ACCORDANCE WITH ACI-308, MAINTAIN CURING MEASURES BEFORE CONSTRUCTION ON  
CONCRETE FOUNDATION COMPONENTS BEGINS, UNTIL A MINIMUM OF 70 % OF THE SPECIFIED 28-DAY  
COMPRESSIVE STRENGTH HAS BEEN ACHIEVED. THE RECOMMENDED TIME TO ATTAIN THIS LEVEL OF  
STRENGTH IS 7 DAYS FOR ASTM C150 TYPE I MIXTURES AND 10 DAYS FOR TYPE II MIXTURES. "IN  
SERVICE" LOADING (FULL DESIGN LIVE & DEAD LOADS) MAY NOT BE APPLIED UNTIL THE 28 DAY  
DURATION HAS ELAPSED FOR ACHIEVING FULL STRENGTH.  
STANDARD FASTENING OF HOUSE TO FOUNDATION - ALL SEISMIC ZONES TOENAIL PERIMETER JOIST  
TO SILL PLATE WITH 16d NAILS PER CHARTS ON PAGES FP-7.2 & 7.3. FOR SEISMIC ZONES D0 AND  
ABOVE - ADD 4" STRIP OF SHEATHING (MIN.) & FASTEN WITH .099 NAILS @4" O.C. INTO PERIMETER  
JOIST AND SILL PLATE.

SEE FP-7.1 - 7.3 FOR DETAILS, NOTES, AND TABLES.

NOTE TO CONTRACTORS  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LENGTH, WIDTH,  
AND OTHER STANDARD OR OPTIONAL FEATURES SUCH AS BAYS, OFFSETS,  
PORCHES, ETC., AGAINST THE FACTORY SERIALIZED PRINT. CONTACT YOUR  
FACTORY REPRESENTATIVE FOR A SERIALIZED COPY OF YOUR PROJECT.



NOTES:

- 1) CRAWL SPACE ACCESS OPENING MUST BE 24" WIDE X 18" HIGH OR AS MANDATED BY LOCAL CODES. ACCESS MAY BE LOCATED ANYWHERE EXCEPT UNDER DOORS, PORCHES AND SHEAR WALLS.
- 2) CRAWL SPACE VENTILATION OPENINGS REQUIRED WITHIN 36" OF EACH CORNER OR AS MANDATED BY LOCAL CODE.
- 3) RESERVED.
- 4) MINIMUM CONCRETE COMPRESSIVE STRENGTH (fc) IS 2000 PSI AFTER 28 DAYS.
- 5) MINIMUM CLEARANCE IN CRAWL SPACE IS 18" BETWEEN GROUND AND WOOD FRAMING.
- 6) FOUNDATION WALLS ARE POURED CONCRETE OR FULLY MORTARED CONCRETE BLOCK (CMU).
- 7) DESIGN BASED ON 20 PSF ROOF LIVE LOAD & 40 PSF FLOOR LIVE LOAD.
- 8) LOCAL SITE CONDITIONS WHICH VARY SUBSTANTIALLY FROM ASSUMPTIONS NOTED ON THIS DRAWING, MAY AT THE DISCRETION OF THE LOCAL BUILDING OFFICIAL, REQUIRE A FOUNDATION DESIGNED BY A PROFESSIONAL ENGINEER WHO IS FAMILIAR WITH THE SPECIFIC SITE CONDITIONS.

IMPORTANT:  
OVER ALL FOUNDATION WIDTH  
INCLUDES 2" TO ALLOW FOR  
MATING WALL SHEATHING GAP  
FOR CABLING OR STRAPPING  
WHEN CRANE SET.

INDICATES THE SHEARWALL LOCATIONS  
SEE SHEAR WALL SUMMARY FOR ANCHORAGE  
AND FOUNDATION REQUIREMENTS AT SHEAR  
WALL LOCATIONS SHOWN.



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Plant	PLANT CITY
Location:	
Plant	06/09
Number:	
Drawn	DWH
By:	
Date:	06/09/08
Series:	TIMBERLAND
Model	
Number:	FMX4766L
Page	
Number:	FP-7
Designation:	FOUNDATION

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.A. 33750  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-296-8774

APPROVED JUL 2008

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:



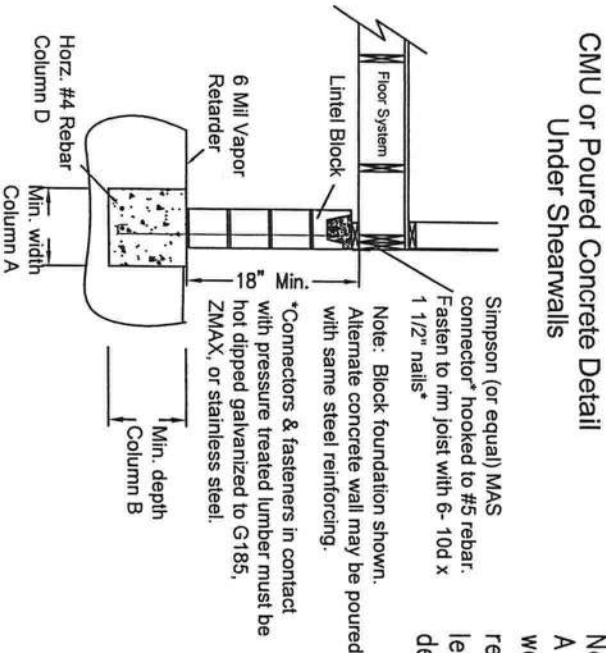
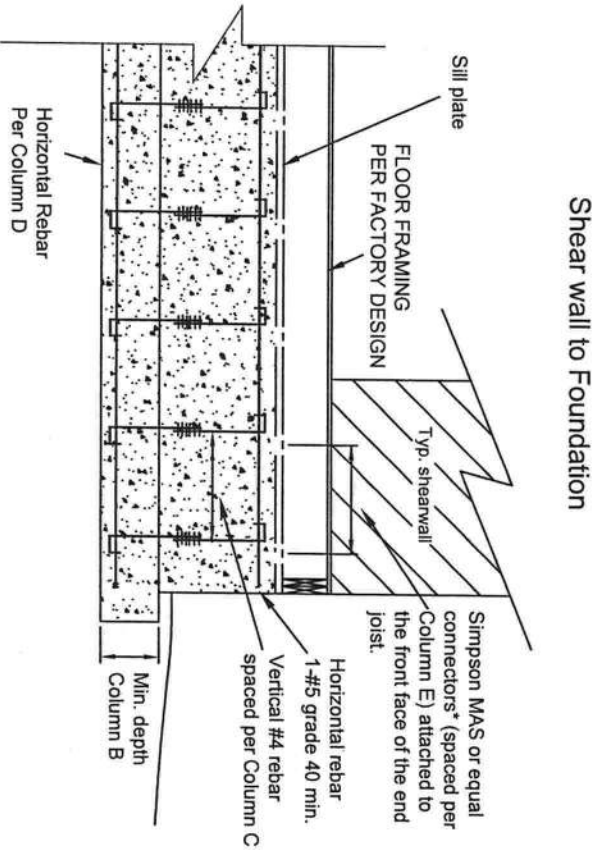
Foundation Shear Wall General Notes:

- 1. Connection requirements shown in Columns A through H apply to shear walls in end walls only.
- 2. Side wall connections are shown above the header of each table.  
**Rim to Sill Plate:** Toe-nail the floor rim along the side walls to the sill plate with 0.131x3" nails at spacing shown in the appropriate table.  
**Anchor spacing along Side Walls:** Anchorage at the foundation walls along each side wall consists of securing the pressure treated sill plate (S. Pine or better) to the foundation wall with 1/2" diameter Simpson or equal Wedge-All anchor bolts with 2 1/4" minimum embedment spaced as indicated in the appropriate table header.
- 3. Use stainless steel fasteners with stainless steel connectors for all steel in contact with pressure treated lumber, or use hot-dipped galvanized fasteners (ASTM A153) with galvanized connectors (ASTM A653).

Foundation Shear Wall Table Notes:

Letters in the table column headings (A through H) correspond with notes below. Refer to the typical foundation print for shear wall locations corresponding to alpha-numeric designations shown in first table column.

- A. Minimum footer width for the full width of the unit endwall the shear section(s) is/are in. See column D for the number of horizontal bars required in this footer. See details below.
- B. Minimum footer depth for the full width of the unit end wall the shear section(s) is/are in.
- C. Required spacing and size of the vertical rebar continuous from the lintel horizontal bar to the footing horizontal rebar. See details below.
- D. Required number and size of the horizontal rebar in the footing to be placed on chairs per code. Rebar is continuous (lapped) for the full length of footer. See details below.
- E. Required spacing of anchors from end joist of the module to the lintel horizontal rebar in the case of Simpson MAS connectors. When MAS or equal connectors are NOT used and another connector is not specified in this column, the connection must be designed by a local registered engineer. See details below.
- F. This column applies only when a Simpson MAS or equal connector is not used. In this case, a 4" sheathing strip is fastened with 0.099 x 1 1/2" nails into the sill plate and the end joist, at the maximum spacing indicated in column F.
- G. Moment shown is in ft-lbs and is provided for a designer's use in case this foundation design is not practical or desired and an alternate foundation design is to be engineered. For elevated (slit) sets this moment must be used to determine the required anchorage and foundation design.



Note: Footer width and thickness as shown in Columns A & B, are required only under the respective end shear wall, and extends the full width of the end wall, regardless of the shear segment(s) location or combined length(s). For side wall footer dimensions refer to other details.

See FP-7.3  
For Foundation  
Shear Wall Tables



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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-7.1
Designation:	

SHEARWALL NOTES

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Grogg  
R.A. Grogg  
630 Chesnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-961-8774

APPROVED

3rd Party:  
Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:



Plant	PLANT CITY
Location:	
Plant	06/09
Number:	
Drawn	DWH
By:	
Date:	06/09/08
Series:	TIMBERLAND
Model	FMX4066L
Number:	
Page	FP-7.2
Number:	
Designation:	

FOUNDATION DETAILS

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
RA  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-968-774

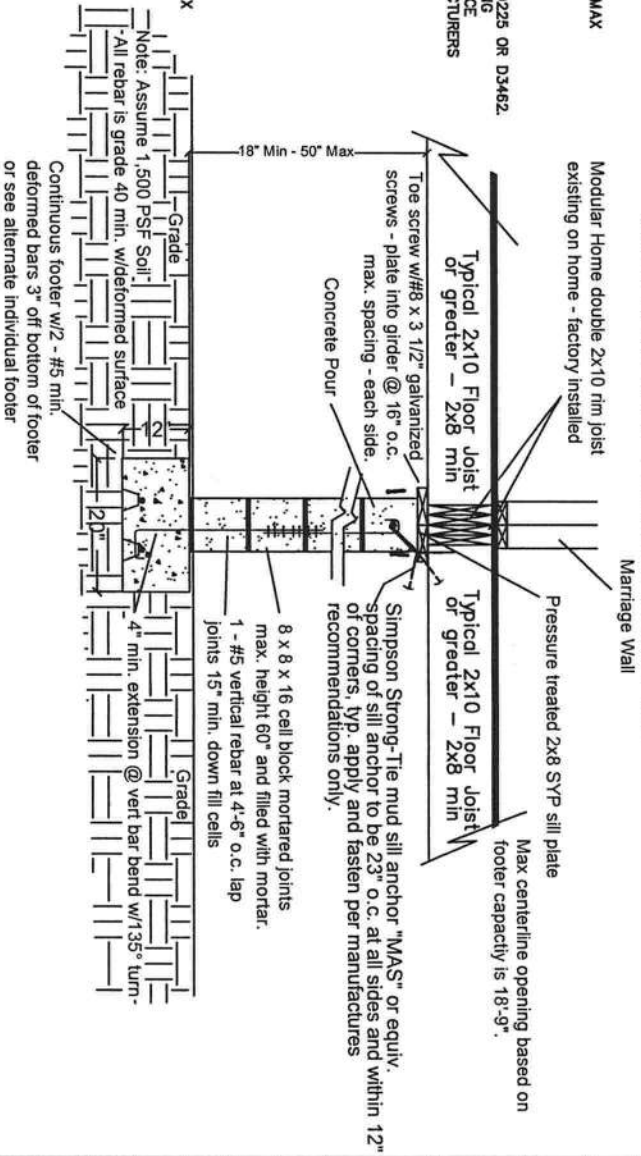
3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

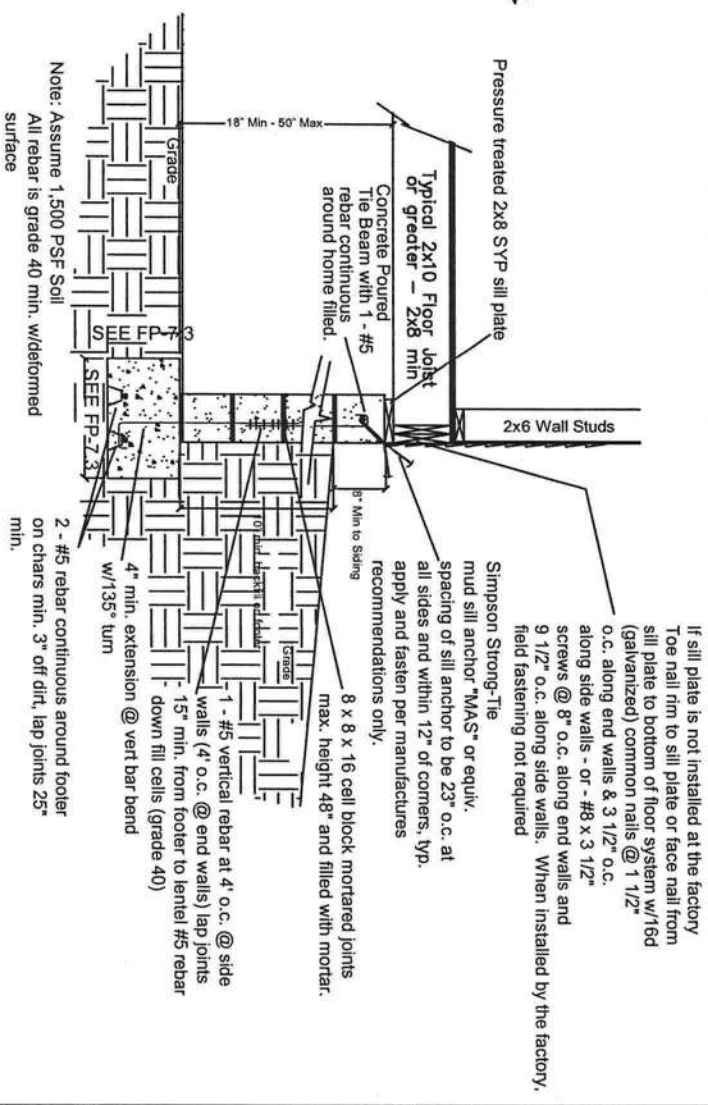
Plan Number:  
2102-0733F

State:

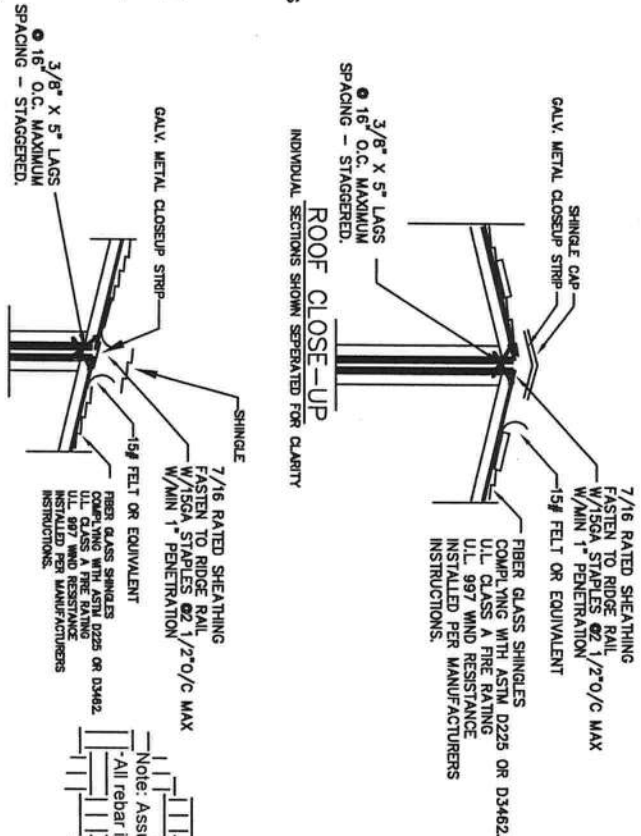
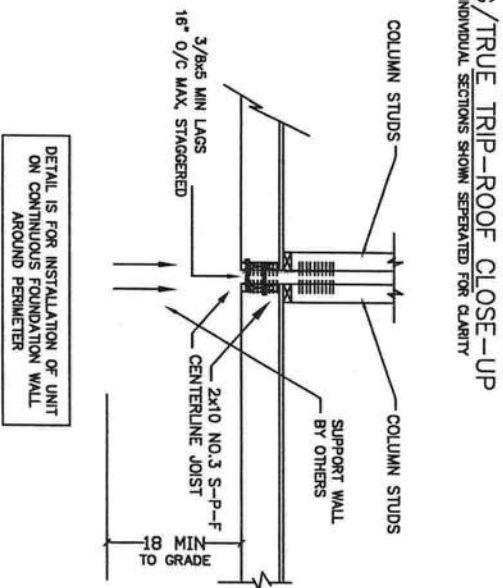
Stem Wall Details - Continuous Center Line



Stem Wall Details - Side Walls



150 MPH Maximum



- Notes:
1. Foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
  2. Lots shall be provided with drainage and shall be graded so as to drain surface water away from foundation walls - by lot owner.
  3. Materials shall conform to applicable standards and codes.
  4. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with code - 3000 psi concrete minimum.
  5. All exterior walls, bearing walls, columns, and piers shall be supported on continuous solid concrete footings which shall be of sufficient design to support safely the loads imposed as determined from the character of the soil and shall in all cases extend below the frost line.
  6. Foundation walls shall be constructed in accordance with the code and not less than as shown on the drawings.
  7. Foundations shall extend not less than 12 inches below the finished natural grade or engineered fill and in no case less than the frost line depth. Footings on soil with lower allowable soil pressure shall be designed in accordance with accepted engineering practice. However, where there is evidence that the ground water table can rise to within 8 inches of the finished grade at the building site, the building official may require that the grade on the under - floor space be as high as the outside finished grade, unless an approved drainage system is provided. Termite shields and/or protection shall be provided as per code. Local and state requirements for footings may exceed that shown on drawings. If any questions, contact your local building inspectors department.
  8. Crawl spaces under buildings without basements shall be ventilated by approved mechanical means or by openings in the foundation walls. Openings shall be arranged to provide cross ventilation and shall be covered with corrosion-resistant wire mesh of not less than 1/4 inch nor more than 1/2 inch in any dimension. Openings in foundation walls shall have a net area of not less than 1 sq.ft. for each 150 sq.ft. of crawl space. Crawl space access of minimum 18" x 24" is required.
  9. Mortar shall be type "M" or "S"
  10. Proper support and tying down of your home are very important. Walls shall be as shown on the plan as prescribed on other details. The construction is designed for a continuous support at the perimeter and the center-line. Alternate foundations to the stem wall set included may be installed if a continuous support is provided to include a minimum of 1 1/2" of the bearing for the end of each floor joist, and the alternate foundation is designed by a registered professional engineer. The foundation and anchorage to the foundation of the unit to the foundation must be capable of withstanding uplift loads of 515#/ft along the sidewalls and center-line wall and 590#/ft sliding combined load - 2004 FBC, Residential Code w \ 05, 06, 07 suppl.
  11. Minimum soil bearing capacity shall be 1500 PSF.
  12. For 20 PSF live roof loads only.
  13. If site conditions vary from those listed or if a different setup is desired, consult a professional engineer for a new or altered design.
  14. Soil bearing to be determined by test or by building official having jurisdiction at the set up site.

Foundation Systems:

In accordance with the requirements of the Florida Department of Community Affairs, these building plans DO NOT contain Foundation support and tie-down system details (any foundations that are included in the plan are considered options only).

1. Unless otherwise specified in this package, Palm Harbor Homes, Plant City, Florida, **REQUIRES** that ALL modular buildings be installed on a continuous permanent stem wall foundation. It is the responsibility of the contractor and/or retailer to verify that any foundation systems are in compliance with ALL applicable codes for the area in which the building is being installed. Palm Harbor Homes is NOT responsible for verifying local foundation requirements. When Palm Harbor Homes and/or its engineer provide a foundation plan, the contractor and/or retailer shall maintain responsibility for verifying compliance to local codes.
2. Homes may be "stilt set" when the foundation system is designed by a local Registered Professional Engineer (by others). All stilt foundation systems shall provide support to the buildings structural components in the same manner as prescribed by the details for stem-wall foundations. Tie-down methods to be designed by others. The maximum mean roof height (MRH), as prescribed on this plan, shall not be exceeded. (See General Notes above).
3. When foundation plans are designed by others, Palm Harbor Homes and its third party approval agency(s) along with the architect and/or the engineer of the building plans shall not be held responsible or liable for the foundation design and/or consequential performance of the superstructures structural components and systems relating thereto.
4. In ALL cases (regardless of who designs the foundation) the following requirements shall be meet:
  - a. The foundation and its structural elements shall be capable of accommodating all superimposed live, dead and other loads in accordance with applicable codes and all lateral loads in accordance with accepted design practices.
  - b. Concrete subject to weathering shall have a minimum compressive strength and air content in accordance with the Florida Building Code - 3000 p.s.i. concrete minimum.
  - c. Foundation and anchorage of the building to the foundation shall be capable of withstanding a minimum of 515#/ft uplift along the sidewalls and the marriage line(s) and a minimum of 590#/ft sliding load over ALL connection point (foundation walls).
5. ALL foundation systems shall be designed by a Registered Professional Engineer or Architect licensed for the area in which the building is being installed.
6. ALL foundation and tie-down systems are subject to approval and inspection by the local jurisdiction having authority. It is the responsibility of the contractor and/or retailer to ensure compliance to applicable codes, obtain required permits and schedule required inspections.
7. ALL modular buildings shall be installed (set-up) by a licensed building contractor.
8. The licensed building contractor is responsible for verifying that the size, shape, height etc... of any supplied details or plans corresponds with the building being installed.





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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	06/09/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-7.3
Designation:	

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregory  
R.A. Gregory  
630 Chestnut Street  
Clearwater, FL 33756  
FL Lic. No. 9927  
Phone 727-206-8774

3rd Party:

Hilborn, Werner, Carter  
and Associates(HWC)  
1627 South Myrtle Ave  
Clearwater, FL. 33756

Plan Number:  
2102-0733F

State:

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 36.5 Deep	5	23.3 inches o/c
Interior Zone =	12 Wide x 36.5 Deep	5	31.7 inches o/c

Rim to Sill Plate: 7.38 inches o/c.  
Anchor Spacing Along Side Walls: 40.99 inches o/c.

SHEAR WALLS

Wind Speed:150 Exposure:C Side Wall HT(in.):108 Max Elev(in.):24 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	36	18	48	7	13	N/A
B	36	18	48	7	13	N/A
C	36	18	48	7	13	N/A
D	36	18	48	7	13	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 28.7 Deep	4	27.4 inches o/c
Interior Zone =	12 Wide x 28.7 Deep	4	37.6 inches o/c

Rim to Sill Plate: 8.48 inches o/c.  
Anchor Spacing Along Side Walls: 47.06 inches o/c.

SHEAR WALLS

Wind Speed:140 Exposure:C Side Wall HT(in.):108 Max Elev(in.):24 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	34	16	54	6	15	N/A
B	34	16	54	6	15	N/A
C	34	16	54	6	15	N/A
D	34	16	54	6	15	N/A

SIDE WALLS

Location	Minimum Footer Size	Number of Horizontal Rebar	Vertical Rebar Spacing
6 FT. End Zone =	12 Wide x 21.4 Deep	3	32.8 inches o/c
Interior Zone =	12 Wide x 21.4 Deep	3	45.5 inches o/c

Rim to Sill Plate: 9.83 inches o/c.  
Anchor Spacing Along Side Walls: 54.58 inches o/c.

SHEAR WALLS

Wind Speed:130 Exposure:C Side Wall HT(in.):108 Max Elev(in.):24 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	32	14	61	5	17	N/A
B	32	14	61	5	17	N/A
C	32	14	61	5	17	N/A
D	32	14	61	5	17	N/A

SHEAR WALLS

Wind Speed:150 Exposure:C Side Wall HT(in.):108 Max Elev(in.):120 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

SHEAR WALLS

Wind Speed:140 Exposure:C Side Wall HT(in.):108 Max Elev(in.):120 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

SHEAR WALLS

Wind Speed:130 Exposure:C Side Wall HT(in.):108 Max Elev(in.):120 Framing:2x6						
Elevated Stilt Foundation – Designed by Others						
A & B	A	B	C	D	E	F
Shear Wall	Min. Footer Width(in)	Min. Footer Depth(in)	#4 Vertical Rebar Spacing(in o.c.)	No of #4 Horizontal Rebars	Simpson MAS Conn (in o.c.)	Sheathing Strip to Sill and Roll
A	N/A	N/A	N/A	N/A	N/A	N/A
B	N/A	N/A	N/A	N/A	N/A	N/A
C	N/A	N/A	N/A	N/A	N/A	N/A
D	N/A	N/A	N/A	N/A	N/A	N/A

LISTED FLEX  
CONNECTOR AT  
EACH APPLIANCE

THIS DETAIL IS  
FOR ALL APPLIANCE  
INSTALLATIONS  
IN THIS MODEL

TYPICAL LISTED  
SHUT OFF VALVE  
AT EACH APPLIANCE

TYPICAL  
FITTING  
RISER

MAIN PIPE RUN

LISTED EXTERIOR  
FLEX QUICK DISCONNECT  
DEVICE AT CROSSOVER

COMBUSTION AIR INTAKE,  
COMBUSTION GAS VENTING,  
PER MANUFACTURERS INSRUCTIONS

60,000 BTU'S  
RANGE

81 5/8

97 1/8

62 7/8

71 3/8

22,000 BTU'S  
DRYER

WATER  
HEATER  
34,000 BTU'S

3/4" INLET

LISTING  
AGENCY  
APPROVAL

These prints comply with the Florida  
Manufactured Building Act of 1979 Construction  
Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	150 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0733F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	7.16.08
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

**HWC**

COA # 1025

● = TYPICAL 1/2" PIPE  
RISER @ EACH APPLIANCE

IRON PIPING

1/2" PIPE  
3/4" PIPE

MAXIMUM OVERALL  
DEVELOPED LENGTH  
25'-12"  
TOTAL BTU'S  
116,000



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Plant Location:	PLANT CITY
Plant Number:	06/09
Drawn By:	DWH
Date:	5/5/08
Series:	TIMBERLAND
Model Number:	FMX4766L
Page Number:	FP-8
Designation:	

GAS LINES

Rev. By: -  
Revision: -

Approvals

P.E. Robert E. Gregg  
R.E. Gregg  
630 Chestnut Street  
Clearwater, FL 33756  
FL. Lic. No. 9927  
Phone 724-2968774

APPROVED

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Plan Number:  
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