# STOVALL RESIDENCE CARPORT ADDITION FORT WHITE, FLORIDA CONSTRUCTION DOCUMENTS

# SHEET INDEX

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REFLECTED CEILING PLAN AND NOTES

# **CONTACT INFORMATION:**

OWNER: STOVALL RESIDENCE 182 SW DREW FEAGLE AVENUE FORT WHITE, FLORIDA

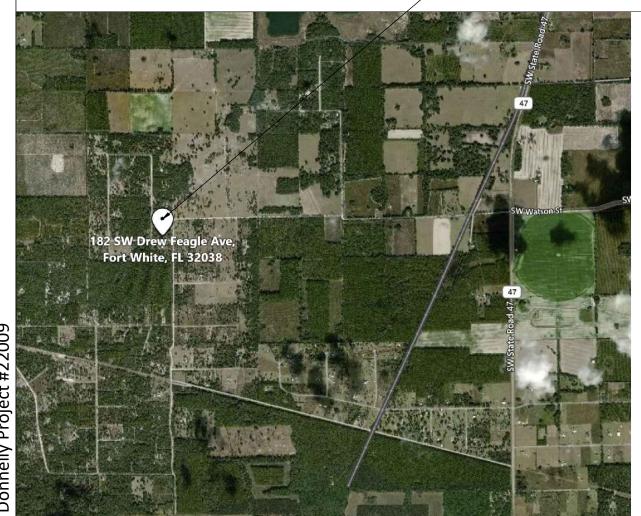
CONTRACTOR: TANNER CONSTRUCTION 16407 NW 174TH DRIVE, SUITE E ALACHUA, FLORIDA 32615 PHONE: 386.418.0001

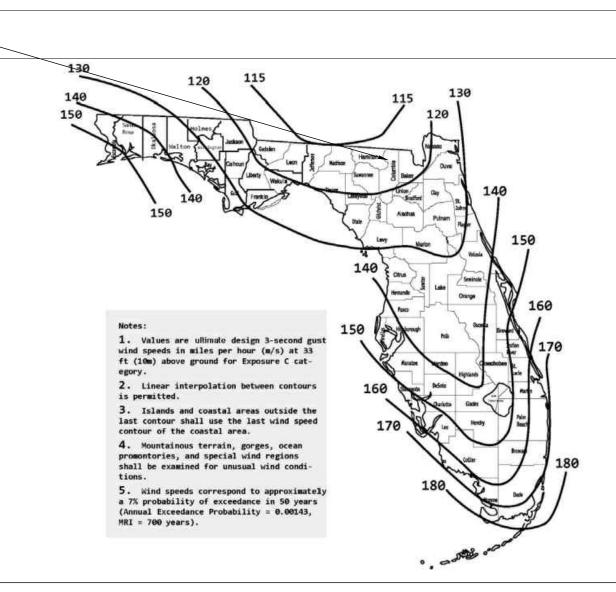
ARCHITECT: DONNELLY ARCHITECTURE, INCORPORATED 1384 NORTH CITRUS AVENUE CRYSTAL RIVER, FLORIDA 34428 PHONE: 352.249.1166

### PROJECT DESCRIPTION:

CREATION OF A NEW CARPORT AT THE STOVALL RESIDENCE IN FORT WHITE, FLORIDA.

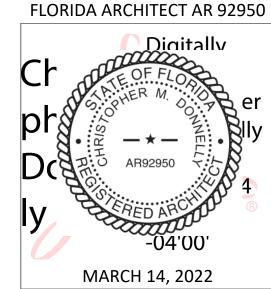
# PROJECT LOCATION: -





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PROJECT LOCATION: STOVALL FAMILY 182 SW DREW FEAGLE AVENUE FORT WHITE, FLORIDA



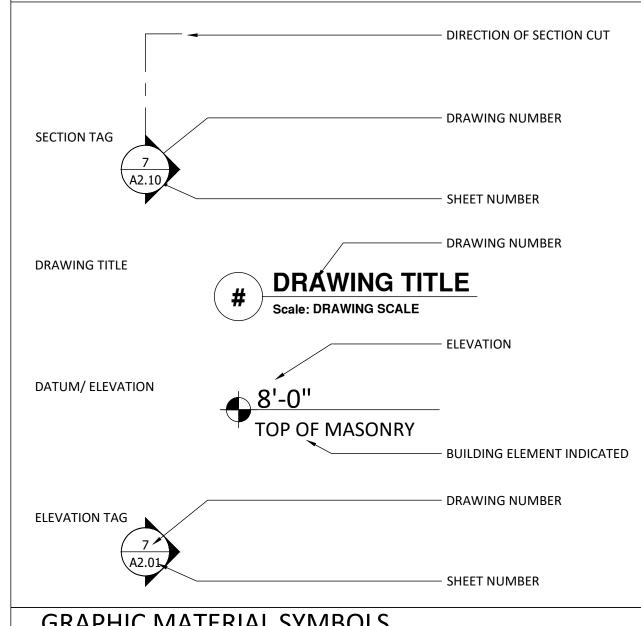
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**COVER SHEET** AND CONTENTS

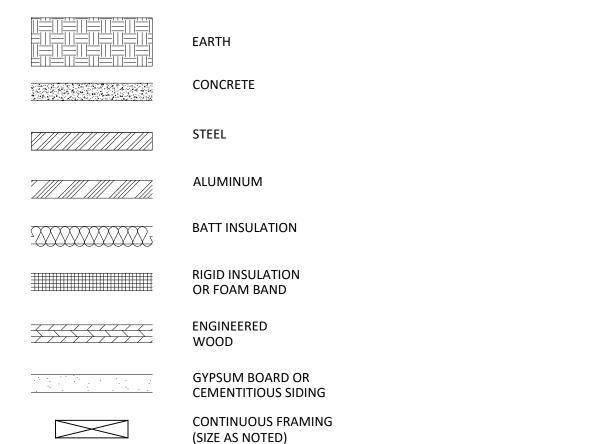
### **ABBREVIATIONS:**

AMERICANS WITH DISABILITIES ACT AFF ABOVE FINISHED FLOOR ARCHITECT, ARCHITECTURAL ARCH. CAST IN PLACE CL **CENTER LINE** CFM CUBIC FEET PER MINUTE CMU CONCRETE MASONRY UNIT DIAMETER EA. EACH ELEC. ELECTRIC, ELECTRICAL FT OR ' FOOT, FEET GYP. **GYPSUM BOARD GWB GYPSUM WALL BOARD** IN OR " INCH, INCHES I.D. **INSIDE DIAMETER** MECH. **MECHANICAL** NIC NOT IN CONTRACT NTS NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER OPP. **OPPOSITE** OPP. HAND OPPOSITE HAND O.D. OUTSIDE DIAMETER P. LAM. PLASTIC LAMINATE PLUMB. PLUMBING PVC POLYVINYL CHLORIDE LBS POUNDS PSF POUNDS PER SQUARE FOOT R.O.W. RIGHT OF WAY SIM. SIMILAR S.F., SQ. FT. SQUARE FOOT (FEET) STRCT. STRUCTURAL T & G **TONGUE AND GROOVE** T.O.M. **TOP OF MASONRY** T.O.S. **TOP OF STEEL** TYP. TYPICAL UNDERWRITER'S LIMITED U.N.O. **UNLESS NOTED OTHERWISE** VTR VENT THRU ROOF V.I.F. VERIFY IN FIELD VCT VINYL COMPOSITE TILE WITH





### **GRAPHIC MATERIAL SYMBOLS**



BLOCKING

(SIZE AS NOTED)

### **GENERAL NOTES:**

- THE FOLLOWING DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE OWNER FOR THE SOLE PROJECT NAMED AND DESCRIBED IN THE ATTACHED DRAWINGS AND SPECIFICATIONS, AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF DONNELLY ARCHITECTURE, INCORPORATED AND SHALL NOT BE USED FOR ANY ENDEAVOR OTHER THAN THE SPECIFIC PROJECT DESCRIBED IN THE ATTACHED DOCUMENTS.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES.
- DO NOT SCALE OFF OF DRAWINGS. USE ONLY WRITTEN DIMENSIONS.
- DIMENSIONS ARE FROM FACE OF MASONRY, FACE OF GYPSUM BOARD, FACE OF ALUMINUM STOREFRONT/ CURTAIN WALL FRAME, AND FINISHED FLOOR SURFACE UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS INDICATE THE REQUIRED DIMENSION AFTER ALL FINISH MATERIALS HAVE BEEN INSTALLED. DIMENSIONS INDICATED AS ± DESCRIBE AN APPROXIMATE DIMENSION WHERE THERE IS FLEXIBILITY WITHIN REASONABLE CONSTRUCTION TOLERANCES TO ALLOW OTHER DIMENSIONS TO REMAIN CONSTANT. DIMENSIONS INDICATED AS MINIMUM OR MIN. INDICATE THAT THE FINAL DIMENSION AFTER ALL FINISHES AND FIXTURES HAVE BEEN INSTALLED SHALL NOT BE LESS THAN THE DIMENSION LISTED. DIMENSIONS INDICATED AS MAXIMUM OR MAX. INDICATE THAT THE FINAL DIMENSION AFTER ALL FINISHES AND FIXTURES HAVE BEEN INSTALLED SHALL NOT BE GREATER THAN THE DIMENSION LISTED.
- THE GENERAL CONTRACTOR DETERMINES THE DIVISION OF WORK BETWEEN TRADES. THE ATTACHED DOCUMENTS ARE NOT TO BE USED FOR THE DIVISION OF WORK BETWEEN TRADES.
- PRIOR TO SUBMITTING A BID TO THE OWNER, THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS. SHALL EXAMINE AND VERIFY ALL EXISTING CONDITIONS AT THE PROJECT SITE. SUBCONTRACTORS SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY AND ALL CONFLICTS OR DISCREPANCIES. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
- 10. ALL COMPONENTS REQUIRED FOR THE PROPER COMPLETION AND OPERATION OF THE WORK SHALL BE INCLUDED.
- 11. THE WORK DESCRIBED IN THE ATTACHED DOCUMENTS AND SPECIFICATIONS SHALL ALSO INCLUDE ANY WORK REASONABLY INFERRED AS BEING REQUIRED TO COMPLETE THE WORK.
- 12. ALL MATERIALS, FIXTURES, AND EQUIPMENT TO BE INSTALLED SHALL BE NEW, UNLESS NOTED OTHERWISE.
- 13. CONTRACTOR SHALL OBTAIN AND PAY COSTS OF PERMITS AND LICENSES NECESSARY FOR COMPLETION OF THIS WORK.
- PRIOR TO DIGGING CONTRACTOR SHALL NOTIFY LOCAL UTILITY COMPANIES.
- PROVIDE ACCESS DOORS/ PANELS WHERE ACCESS IS REQUIRED FOR MECHANICAL, ELECTRICAL, OR PLUMBING EQUIPMENT AND FIXTURES. ACCESS DOORS/ PANELS IN FIRE RATED WALLS OR CEILINGS SHALL BE RATED AS REQUIRED.
- 16. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED ACCORDING TO THE RATED PENETRATION DETAILS (UL OR OTHER) INDICATED IN THE DOCUMENTS. IF SUBCONTRACTOR FINDS THAT A MATERIAL OR SIZE PENETRATIONS NOT LISTED UNDER THE PENETRATION DETAILS, THE GENERAL CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR INFORMATION PROVIDING THE PENETRATING MATERIALS AND SIZES ALONG WITH A PROPOSED PENETRATION DETAIL (UL OR OTHER).
- 17. ANY BUILDING AREAS LISTED ON THE ATTACHED DOCUMENTS ARE PROVIDED FOR THE PERMITTING AUTHORITY TO ILLUSTRATE COMPLIANCE WITH BUILDING CODES AND ARE NOT TO BE RELIED UPON FOR CONTRACTOR'S MATERIAL ESTIMATES OR "TAKEOFFS". ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIFFERENCES BETWEEN THE LISTED AREAS AND THE AREA OF MATERIALS REQUIRED TO COMPLETE THE WORK DESCRIBED HEREIN.
- 18. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. SHALL VERIFY EXISTING TOPOGRAPHY AND GRADE ELEVATIONS, AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- 19. ANY SITE VISITS BY THE ARCHITECT ARE TO REVIEW GENERAL CONFORMANCE TO THE CONSTRUCTION DOCUMENTS AND DO NOT RELIEVE THE GENERAL CONTRACTOR FROM HIS RESPONSIBILITY OF BUILDING ACCORDING TO THE APPROVED DRAWINGS AND BUILDING CODES.
- 20. THESE DRAWINGS DO NOT INCLUDE WARRANTY OR GUARANTEE INCLUDING BUT NOT LIMITED TO WARRANTY FOR WATER INTRUSION OR MILDEW/ MOLD DAMAGE.
- 21. ARCHITECT IS NOT RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS, SPECIFICATIONS, OR INFORMATION TO SUBCONTRACTORS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE SET OF CONTRACT DOCUMENTS AND ANY ADDENDA OR REVISIONS. CONTRACTOR IS ALSO RESPONSIBLE FOR ENSURING THAT ALL SUBCONTRACTORS ARE WORKING FROM THE MOST CURRENT SET OF DOCUMENTS.

### **SUBSTITUTIONS:**

ANY PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED FOR ARCHITECT'S / ENGINEER'S APPROVAL AS PART OF THE CONTRACTOR'S BIDDING PROCESS, PRIOR TO THE OWNER'S NOTICE OF COMMENCEMENT. CONTRACTOR SHALL PROVIDE ARCHITECT/ ENGINEER WITH ALL REQUIRED DATA SHEETS, SAMPLES, AND/OR TEST DATA REQUIRED FOR PROPOSED MATERIAL OR SYSTEM AS WELL AS SAME FOR SPECIFIED SYSTEM.

### **TESTING LABORATORY SERVICES:**

TESTS OF MATERIALS, EQUIPMENT, AND SYSTEMS REQUIRED AS PART OF THE CONSTRUCTION DOCUMENTS SHALL BE PAID FOR BY THE CONTRACTOR. THREE COPIES OF ALL TEST REPORTS SHALL BE PROVIDED TO ARCHITECT.

### **SPECIFICATIONS:**

- ALL PERMITS, IMPACT FEES, AND CONNECTION FEES BY CONTRACTOR
- SLAB MONOLITHIC SLAB FOOTERS WITH REINFORCING BARS AS PER PLAN. SEE A0.25 FILL IS TO BE COMPACTED AND TREATED FOR TERMITES.
- EXTERIOR WALL SEE A0.25
- EXTERIOR FINISHES SEE A0.25 AND A0.20
  - ROOF FRAMING ENGINEERED ROOF TRUSSES WITH PITCH AS PER PRINT.
- TO BE SHEATHED WITH 1/2" 4 PLY PLYWOOD AND COVERED WITH #15 FELT.
- ROOF SHINGLES SEE A0.25
- SOFFIT SEE A0.25
- **INTERIOR WALL FRAMING SEE A1.01**
- **INTERIOR FINISHES SELECTIONS BY OWNER**
- 10. **INSULATION - SEE A0.25**
- 11. TRIM: FINGER-JOINT WALL BASE, CASINGS, AND CROWN AS SELECTED BY
- 12. WINDOWS AND DOORS SEE SHEET A3.00. ALL WINDOWS WILL GET SOLID SURFACE (CORIAN) OR PAINTED WOOD SILLS.
- 13. GARAGE DOOR SEE SHEET A3.00.
- 14. ELECTRICAL COPPER WIRE FROM SWITCHES AND OUTLETS.
- UNDERGROUND WRONG END 200 AMP SERVICE. ALL WIRE TO BE 12 GAUGE OR BETTER. INCLUDED ARE:
- CEILING FAN INSTALLATIONS,
- WEATHERPROOF OUTLETS, TV / DATA OUTLETS,
- TELEPHONE JACKS,
- SMOKE DETECTORS,

CARBON MONOXIDE / SMOKE DETECTORS

- RANGE CIRCUIT,
- MICROWAVE CIRCUIT,
- A/C CIRCUIT,
- RECESS FIXTURES WITH OPEN TRIMS,
- RECESS FIXTURES WITH SHOWER TRIMS, FOUR FOOT FLUORESCENT FIXTURES,
- WATER HEATER CIRCUIT,
- DEFIANT DIGITAL WALL TIMERS FOR EXTERIOR LIGHTS,
- **DECORA SWITCHES.**
- 15. ELECTRICAL FIXTURES SEE SHEET A1.21
- 16. PLUMBING CPVC ½" & ¾" SUPPLY LINES. PVC WASTE LINES. ALL FIXTURES TO BE WHITE. PROVIDE LOW-FLOW WATER FIXTURES IN
  - BATHROOMS—WATERSENSE LABELED PRODUCTS OR THE FOLLOWING SPECIFICATIONS:
    - TOILETS: 1.6 GALLONS/FLUSH OR LESS FAUCETS: 1.5 GALLONS/MINUTE OR LESS
    - SHOWERHEADS: 2.2 GALLONS/MINUTE OR LESS
- 17. WATER HEATING MINIMUM EFFICIENCY SPECIFICATIONS:
- ELECTRIC: 50 GAL = .92 EF
- 18. HEAT & A/C XR15 HEAT PUMP SYSTEM / SEER 15
- **CONDENSER TRANE AIR HANDLER - TRANE** 
  - **HEAT STRIP**
- PROGRAMMABLE THERMOSTAT /HUMIDISTAT
- SMOKE DETECTOR W SHUTOFF / APOLLO AMERICA SL2000 SUPPLY OUTLETS.
- RETURN AIR. 19. VENTING
  - AIRKING AK50LS BATH FAN WITH VENTING THROUGH ROOF. RANGE VENTING ONLY THROUGH ROOF
  - RECESSED DRYER VENT WITH VENTING THROUGH ROOF.
- **GAF COBRA RIDGE VENT** 20. CABINETS - FINISHES SELECTIONS BY OWNER
- 21. PAINTING INTERIOR LOW OR NO-VOC PAINT FOR ALL INTERIOR WALLS (LOW-VOC MEANS 50 GRAMS PER LITER OR LESS FOR FLAT; 150 GRAMS PER LITER OR LESS FOR NON-FLAT PAINT);
  - INTERIOR WALLS ONE COAT SHERWIN-WILLIAMS S-W PROGREEN 200 INTERIOR LATEX PRIMER, ONE COAT S-W 200 INTERIOR LATEX EG-SHEL (FLAT AT CEILINGS, SEMI-GLOSS AT TRIM, CASINGS,
  - INTERIOR PAINT GRADE DOORS) EXTERIOR WALLS - ONE COAT SHERWIN-WILLIAMS S-W LOXON EXTERIOR ACRYLIC MASONRY PRIMER, ONE COAT S-W A-100 EXTERIOR LATEX SATIN
- 22. CLOSET SHELVING VINYL CLAD SHELVING IN ALL CLOSETS AND LAUNDRY ROOM AS PER PLANS.
- 23. POST CONSTRUCTION CLEAN UP BY CONTRACTOR

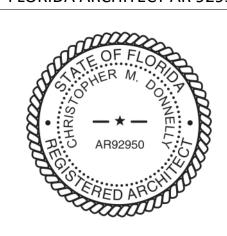
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825 NW 13TH STREET GAINESVILLE, FLORIDA 32601

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# 

PROJECT LOCATION: STOVALL FAMILY 182 SW DREW FEAGLE AVENUE FORT WHITE, FLORIDA FLORIDA ARCHITECT AR 92950



MARCH 14, 2022

100% CONSTRUCTION **DOCUMENTS** 

**GENERAL NOTES** AND LEGENDS

## **BUILDING DESCRIPTION SUMMARY**

APPLICABLE CODES:

FLORIDA BUILDING CODE - RESIDENTIAL, 7TH EDITION (2020)

OCCUPANCY CLASSIFICATION: NEW RESIDENTIAL (R-3) PER FBC 310

**CODE REQUIREMENTS:** NO RATED WALLS REQUIRED: ALL EXTERIOR WALLS ARE LOCATED A MINIMUM 3' FROM THE MINIMUM FIRE SEPARATION LINE (PROPERTY LINE)

MINIMUM GLAZING: NOT LESS THAN 8% OF FLOOR AREA SERVED (R303.1) MINIMUM OPENABLE GLAZING: NOT LESS THAN 4% OF FLOOR AREA (R303.1) BATHROOMS SHALL HAVE WINDOWS NOT LESS THAN 3 SQ. FT., HALF OF WHICH MUST BE OPENABLE (R303.3) OR SHALL BE PROVIDED WITH MECHANICAL VENTILATION.

MINIMUM ROOM DIMENSIONS: HABITABLE ROOMS SHALL HAVE FLOOR AREA NOT LESS THAN 70 SQUARE FEET (EXCEPT KITCHENS) (R304.1) AND NOT BE LESS THAN 7'-0" HORIZONTAL IN ANY DIMENSION (R304.3) MINIMUM CEILING HEIGHT: NOT LESS THAN 7'-0" (R304.3)

NON-ABSORPTIVE SURFACES: IN BATHROOMS TUB AND SHOWER FLOORS AND WALLS TO A MINIMUM OF 6'-0" ABOVE FINISHED FLOOR (R307.2)

**MEANS OF EGRESS:** HALLWAYS SHALL BE MINIMUM 3'-0" WIDE (R311.6) DOORS: NOT LESS THAN (1) DOOR SHALL HAVE DIRECT ACCESS TO THE EXTERIOR, SHALL BE SIDE

HINGED, AND SHALL NOT BE LESS THAN 3'-0" WIDE X 6'-8" IN HEIGHT. (R311.2) SMOKE ALARMS: (APPLICABLE LOCATIONS LISTED) REQUIRED AT EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING ROOM, ON EACH STORY, NOT LESS

OR SHOWER (R314.3) **CARBON MONOXIDE ALARMS:** PROVIDE AT EVERY BUILDING HAVING A FOSSIL FUEL BURNING HEATER OR APPLIANCE, FIREPLACE, ATTACHED GARAGE, OR OTHER FEATURE THAT EMITS CARBON MONOXIDE; INSTALLED

THAN 3' HORIZONTALLY FROM THE DOOR OR OPENIN GTO A BATHROOM WITH A BATHTUB

WITHIN 10' OF EACH ROOM USED FOR SLEEPING PURPOSES FLAME SPREAD RATING NOT TO EXCEED 25 AND SMOKE DEVELOPED NOT TO EXCEED 450

### AREA BREAKDOWN

**EXISTING LIVING AREA: NEW CARPORT:** 

NO CHANGE 280 SQ FT

1. SEE GENERAL NOTES ON A0.05 REGARDING DIMENSIONS AND FLOOR AREAS.

FLOOR PLAN WALL LEGEND: **EXISTING CONSTRUCTION** 

HATCHED AREAS NOT INCLUDED IN THE SCOPE OF ARCHITECTURAL WORK 1384 NORTH CITRUS AVENUE CRYSTAL RIVER, FLORIDA 34428

825 NW 13TH STREET GAINESVILLE, FLORIDA 32601

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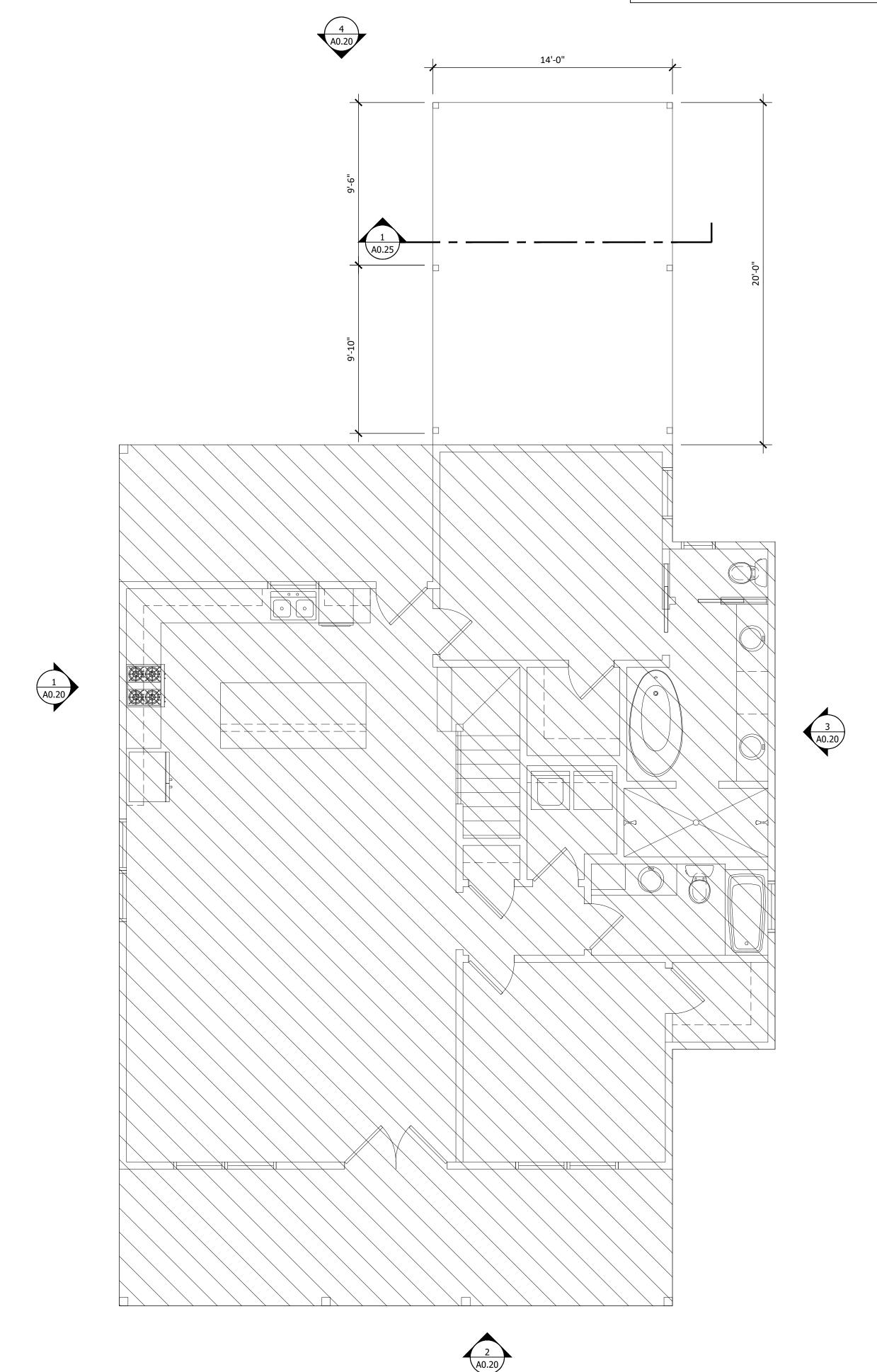
PROJECT LOCATION: STOVALL FAMILY 182 SW DREW FEAGLE AVENUE FORT WHITE, FLORIDA FLORIDA ARCHITECT AR 92950



MARCH 14, 2022

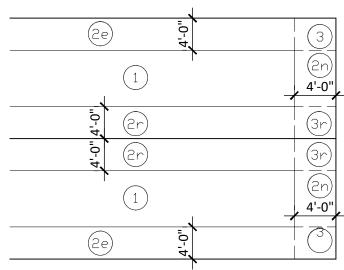
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OVERALL FLOOR PLAN



Overall Floor Plan (Shown without tags or dimensions to show completed design intent)

Scale: 1/4" = 1'-0"



### **ROOF SHEATHING NAILING ZONE:**

ROOF SHEATHING NAILING PATTERN: 1. ZONE ①: USE 8D COMMON NAILS AT 6" O.C. AT EDGES AND 6"

ZONE ②: USE 8D COMMON NAILS AT 4" O.C. (ALL FIELDS)
 ZONE ③: USE 8D COMMON NAILS AT 4" O.C. (ALL FIELDS)

GABLE END WALL SHEATHING NAILING PATTERN: 1. SEE ROOF SYSTEM SPECIFICATIONS

O.C. INTERMEDIATE.

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### **ROOF FRAMING PLAN LEGEND:**

STANDARD WOOD TRUSS ---- WOOD BEAM AS LABELED ---- WOOD FRAMING AS NOTED

### **ROOF FRAMING PLAN NOTES:**

- 1. THIS ROOF FRAMING PLAN MAY BE ALTERED WITH PRIOR APPROVAL OF ARCHITECT OF RECORD. FINAL ROOF TRUSS CONFIGURATION AND DESIGN WILL BE BY THE TRUSS MANUFACTURER.
- 2. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE EXTERIOR FACE OF THE BEARING WALL.
- 3. COORDINATE LOCATION OF ATTIC ACCESS PANELS WITH ARCHITECTURAL FLOOR PLAN AND REFLECTED CEILING PLAN. PANELS SHALL BE A MINIMUM OF 3'-0" LONG X CLEAR WIDTH BETWEEN TRUSSES.

# SLAB/ FOUNDATION PLAN NOTES

- 1. ALL EXTERIOR CONCRETE SLABS SHALL RECEIVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE.
- 2. FIBER MESH REINFORCING MAY BE USED IN LIEU OF
- 3. STEP FOUNDATIONS WHERE SHOWN AND AS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES. SEE TYPICAL STEPPED FOOTING DETAIL.
- 4. ALL FOOTINGS SHALL BE CENTERED BENEATH BEARING WALLS AND COLUMNS UNLESS OTHERWISE NOTED.

Know what's **below**. **Call** before you dig.

- (2) 2 X 12

RIDGE BEAM



### 1. SEE A0.25 FOR FLOOR SYSTEM SPECIFICATIONS.

2020 FLORIDA BUILDING CODE SECTION 1604 INFORMATION FOR STOVALL RESIDENCE

- 1. ULTIMATE WIND DESIGN SPEED = 140 NOMINAL DESIGN WIND = 113 MPH
- 2. I = 1.00
- **BUILDING CATEGORY II**
- 3. RISK EXPOSURE = C
- 4. INTERNAL PRESSURE COEFFICIENT= 0.18
- 5. C&C WIND PRESSURE ZONE 1 = +15.98/-25.43 PSF ZONE 2 = +15.98/-44.35 PSF

ZONE 3 = +15.98/-65.56 PSF ZONE 4 = +17.63/-19.13 PSF ZONE 5 = +17.63/-23.61 PSF

### **DESIGN NOTES:**

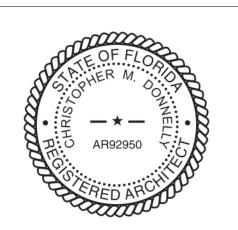
ROOF SHEATHING: SEE ROOF SYSTEM SPECIFICATIONS

ROOF SHEATHING NAILS: SEE ROOF SHEATHING NOTES

GABLE END FASTENERS: SEE ROOF SYSTEM SPECIFICATIONS

RAFTERS TO FRAME: SIMPSON H10A

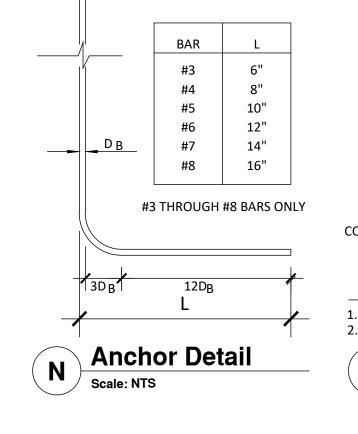
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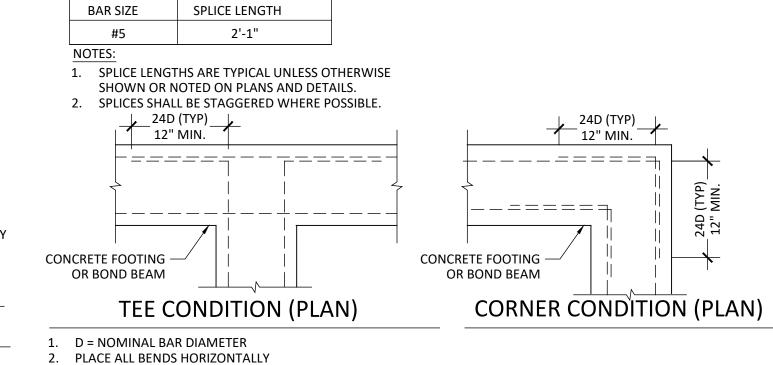


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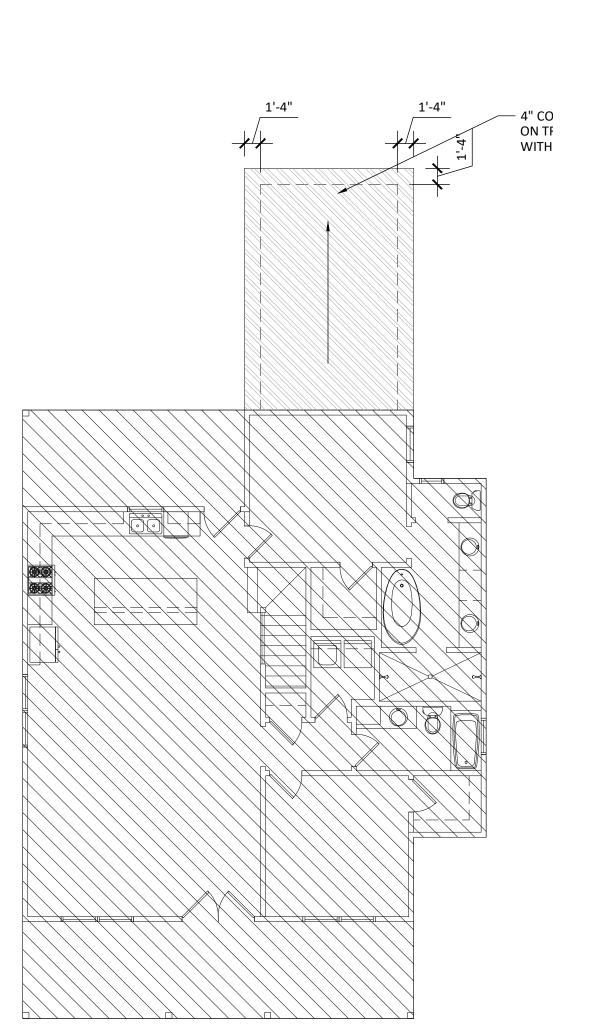
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ROOF/FRAMING /SLAB PLANS





Reinforcing Detail - Corner/Tee Splices

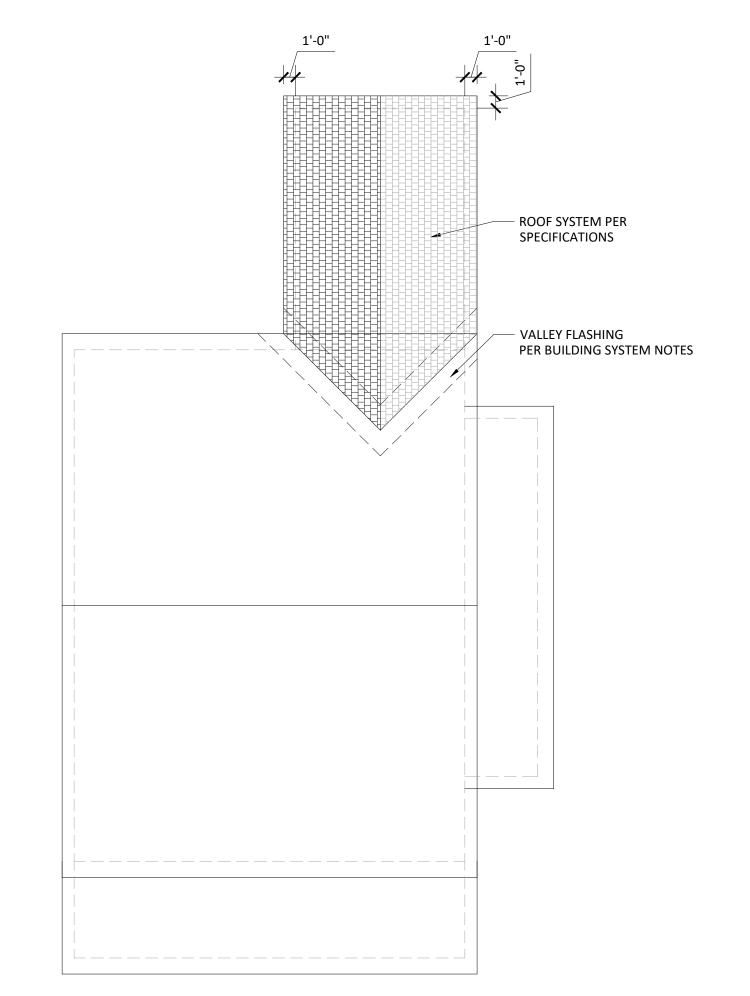


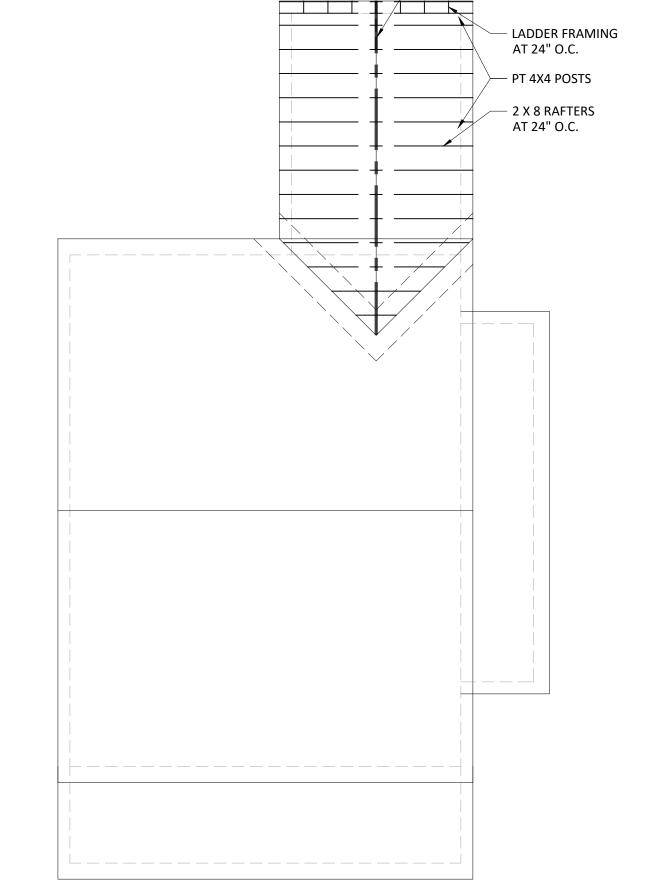
🗡 TYPICAL LAP 🗡

30 Ø

Foundation Detail - Stepped Foundation (If Required)

Scale: 3/4" = 1'-0"





**Roof Framing Plan** 

**Roof Plan** Scale: 1/8" = 1'-0"

Slab Plan Scale: 1/8" = 1'-0"

### **ELEVATION NOTES:**

- PROVIDE MINIMUM 6" ADDRESS NUMBERS ON FRONT ELEVATION, VISIBLE FROM THE STREET.
- SEE A0.25 FOR BUILDING SECTIONS AND EXTERIOR BUILDING SYSTEM SPECIFICATIONS.
- 3. WHERE EXTERIOR FINISHES AND COLORS ARE INDICATED,
  TRANSITIONS SHALL OCCUR AT INSIDE CORNERS OR TRIMS, UNLESS
  NOTED OTHERWISE.

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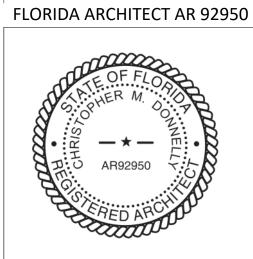
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STOVALL RESIDENCE CARPORT ADDITION Fort White, Horida

PROJECT LOCATION:

STOVALL FAMILY

182 SW DREW FEAGLE AVENUE
FORT WHITE, FLORIDA

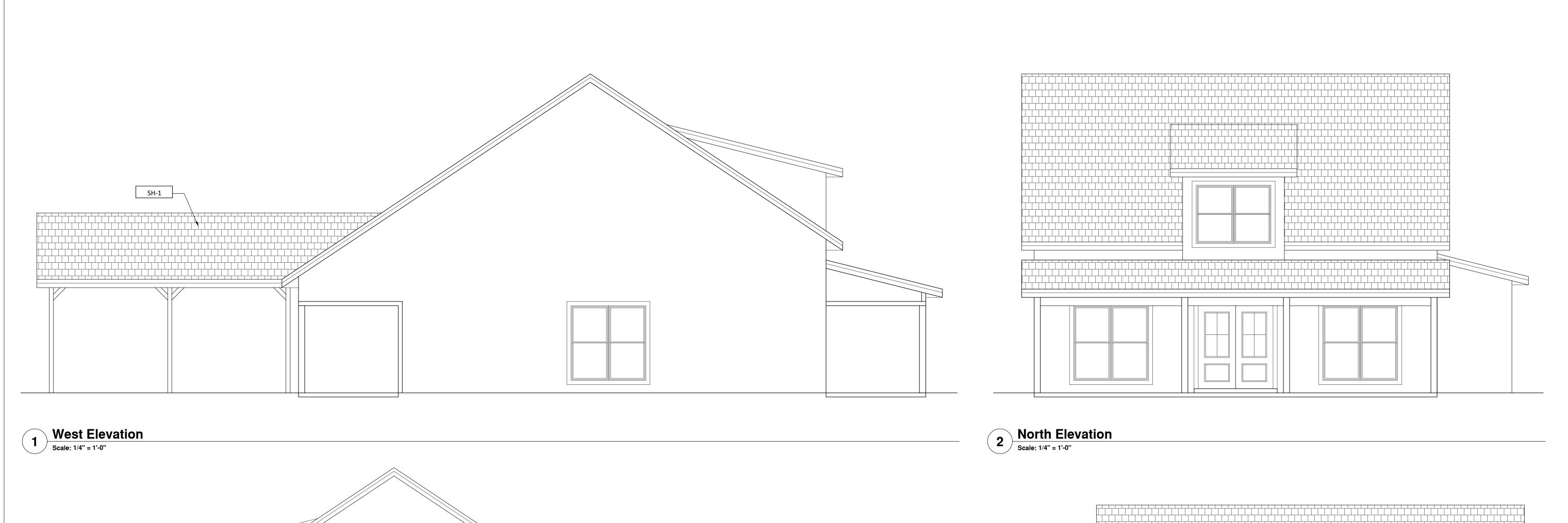


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EXTERIOR ELEVATIONS

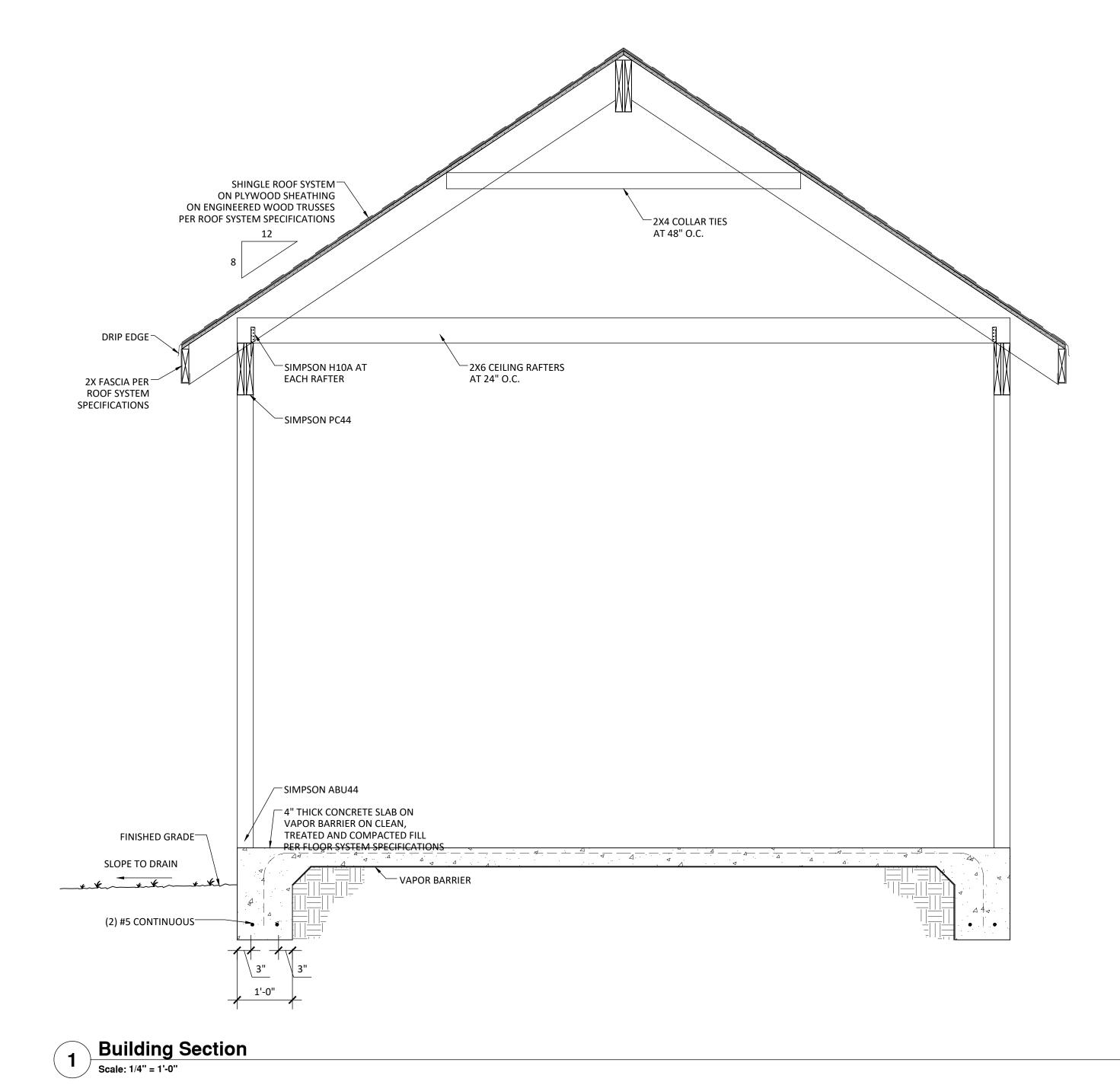
A0.20



Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

CEMENTITIOUS -LAP SIDING



**ROOF SYSTEM SPECIFICATIONS** ROOF/ ATTIC VENTILATION SYSTEM SOFFIT SYSTEM MANUFACTURER/ PRODUCT SELECTION SUBSTRATE FLASHING INSULATION SYSTEM EQUAL TO GAF TIMBERLINE HDZ ON TWO ROOF SHEATHING SHALL BE EXTERIOR 0.032 INCH (0.8 MM) ALUMINUM RIDGE VENT SHALL BE FLEXIBLE RIDGE VINYL SOFFIT EQUAL TO CERTAINTEED R-38 BATTS (12" THICKNESS) EQUAL TO EXPOSURE: 5/8" PLYWOOD OSB. 24 SHEET, COMPLYING WITH ASTM B 209. | VENTILATOR DESIGNED TO ALLOW THE | VINYL SOFFIT (VENTED) INSTALLED PER | OWENS CORNING ECOTOUCH LAYERS SELF-ADHERING SHEET WATERPROOFING INSTALLED PER
FL#10124.1. COLOR TO BE SELECTED FROM MANUFACTURE'S FULL LINE OF STANDARD
MANUFACTURE'S FULL LINE OF STANDARD
TYPE AND SPACING.

WITH H-CLIPS, SEE ROOF SHEATHING
NOTES ON SHEET A0.41 FOR FASTENER
TYPE AND SPACING.

WITH H-CLIPS, SEE ROOF SHEATHING
RAKE EDGES, STEP FLASHING AT
CHIMNEYS, SIDE WALLS AND DORMERS.

CHIMNEYS, SIDE WALLS AND DORMERS.

CHIMNEYS, SIDE WALLS AND DORMERS. SYSTEM INSULATION SUB CONTRACTOR SHALL PROVIDE ARCHITECT AN INSULATION VALLEYS SHALL HAVE LEAK BARRIER AT CEMENTITIOUS SOFFIT EQUAL TO CERTIFICATE STATING TYPE AND LEAST 36 INCHES WIDE CENTERED ON HARDIE SOFFIT PANELS NON-VENTED INSULATION R-VALUE OF INSTALLED SEE EXTERIOR WALL SYSTEM (LIFETIME MATERIAL DEFECT WARRANTY, | SPECIFICATIONS FOR GABLE END VALLEY; LAP ENDS 8 INCHES (203 MM) INSTALLED PER FL#13265. INSULATION FOR ALL AREAS AND TYPES. 15 YEAR WIND COVERAGE, WIND SHEATHING AND FASTENER TYPE AND AND SEAL. COVERAGE WITH NO MAXIMUM WIND SPACING.

ROOF FRAMING AND TRUSSES:

1. ENGINEERED ROOF TRUSS SHOP DRAWINGS SHALL BE PROVIDED BY OWNER. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED TO PRACTICE STRUCTURAL ENGINEERING IN THE STATE OF FLORIDA. SHOP DRAWINGS SHALL SHOW ALL LAYOUTS, PROFILES, LOAD DIAGRAMS, AND TRUSS-TO-TRUSS CONNECTIONS. PROVIDE ALL REQUIRED INFILL FRAMING, BLOCKING, AND BRACING NECESSARY TO FRAME ENTIRE ROOF

ASSEMBLY. 2. ROOF FRAMING:

TOP CHORD DEAD LOAD (TCDL): 10 PSF

TOP CHORD LIVE LOAD (TCLL): 20 PSF BOTTOM CHORD DEAD LOAD (BCDL): 10 PSF

1. PRESSURE TREATED 2X8.

2. PROVIDE ALUMINUM PAINTED FASCIA WRAPS. **GUTTERS AND DOWNSPOUTS:** 

1. PROVIDE MINIMUM 6" DEEP GUTTERS WHERE SHOWN ON ROOF PLAN. 2. PROVIDE 3"X4" DOWNSPOUTS WHERE SHOWN ON ROOF PLAN.

FLOOR SYSTEM SPECIFICATIONS				
SYSTEM	SPECIFICATION	VAPOR BARRIER	SUBSTRATE	INSULATION
CONCRETE SLAB ON GRADE	CONCRETE SLAB WITH 6"X6" W1.4XW1.4 W.W.F. OR FIBER MESH REINFORCING ON VAPOR BARRIER ON CLEAN, TREATED AND COMPACTED FILL.  CAST IN PLACE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED AS SHOWN.  CONCRETE REINFORCING BARS SHALL CONFORM TO ASTM615, GRADE 60.  STEP FOUNDATIONS WHERE SHOWN AND AS REQUIRED TO AVOID INTERFERENCE WITH OTHER TRADES. SEE TYPICAL STEPPED FOOTING DETAIL.	VAPOR BARRIER	ASSUMED SOIL BEARING PRESSURE = 2,000 PSF OR GREATER. ALL FOOTINGS SHALL BE CENTERED BENEATH BEARING WALLS AND COLUMNS UNLESS OTHERWISE NOTED.	N/A

1384 NORTH CITRUS AVENUE CRYSTAL RIVER, FLORIDA 34428 825 NW 13TH STREET GAINESVILLE, FLORIDA 32601

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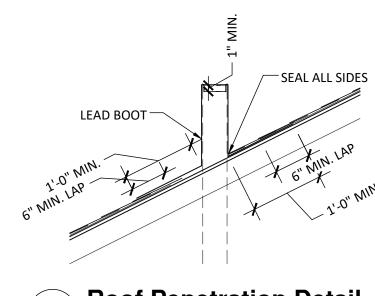
PROJECT LOCATION: STOVALL FAMILY 182 SW DREW FEAGLE AVENUE FORT WHITE, FLORIDA



MARCH 14, 2022

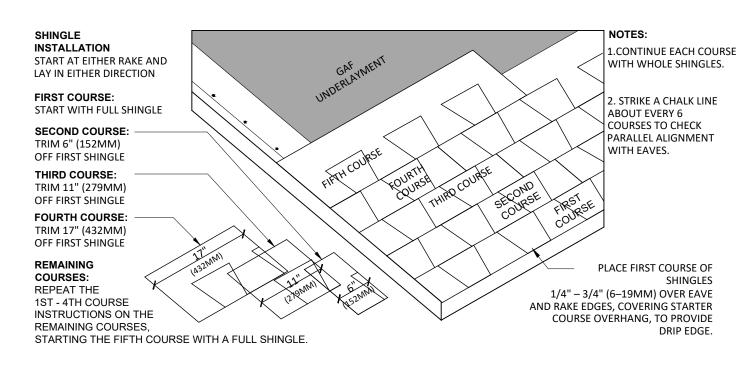
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BUILDING SECTIONS

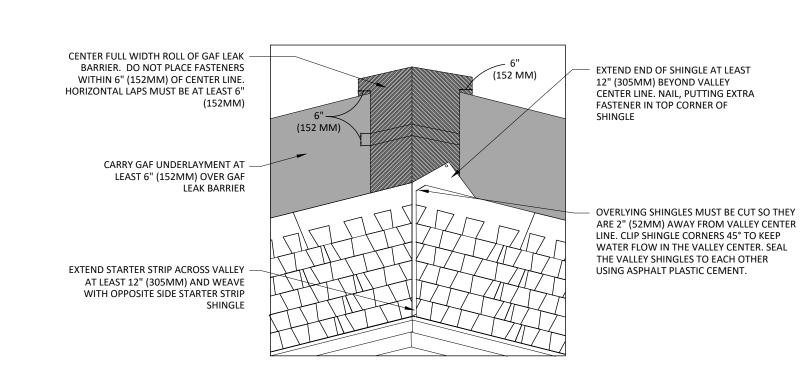


A Roof Penetration Detail

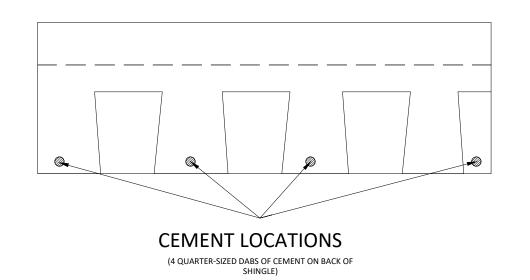
Scale: 3/4" = 1'-0"



B Shingle Installation Detail



C Valley Flashing Detail
Scale: NTS



D Shingle Sealant Detail
Scale: NTS

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Franchiteature

AR92950 INCORPORATED

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> STOVALL RESIDENCE CARPORT ADDITION Fort White, Horida

PROJECT LOCATION:
STOVALL FAMILY
182 SW DREW FEAGLE AVENUE
FORT WHITE, FLORIDA
FLORIDA ARCHITECT AR 92950



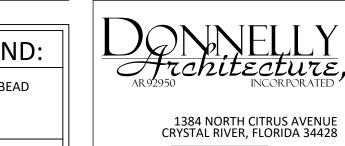
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ROOF DETAILS

A0.45

REFLECTED CEILING PLAN LEGEND:		
SOFFIT PER ROOF SYSTEM SPECIFICATIONS  CEMENTITIOUS BEAI BOARD CEILING		
1'X4' SURFACE MOUNTED FIXTURE		



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PROJECT LOCATION:

STOVALL FAMILY

182 SW DREW FEAGLE AVENUE
FORT WHITE, FLORIDA FLORIDA ARCHITECT AR 92950



MARCH 14, 2022

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REFLECTED CEILING PLAN AND NOTES

