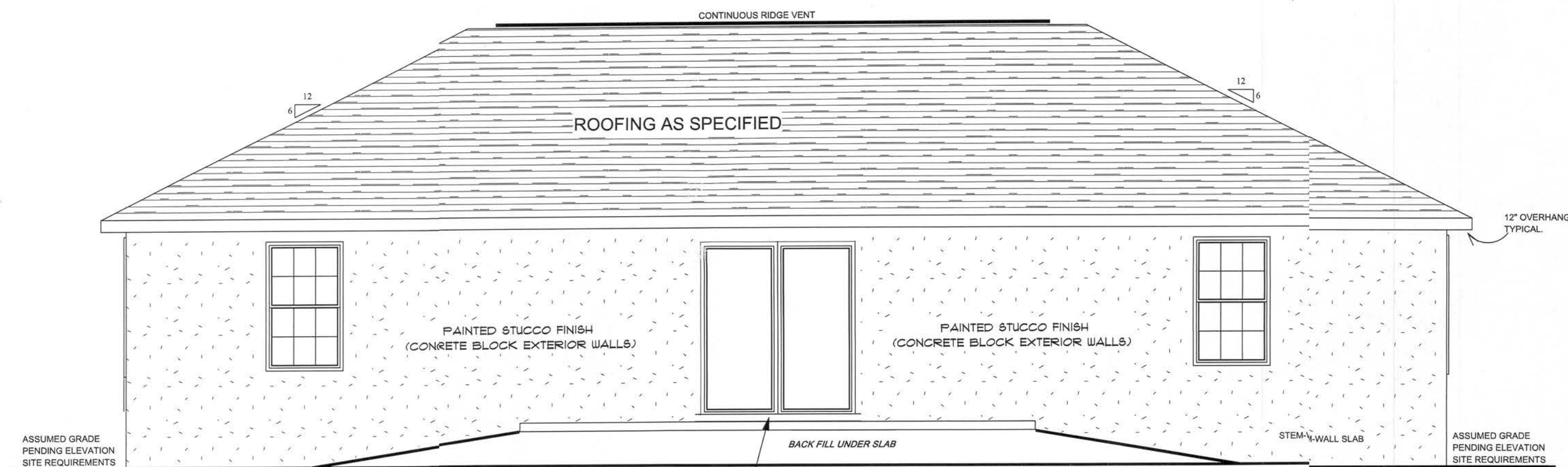


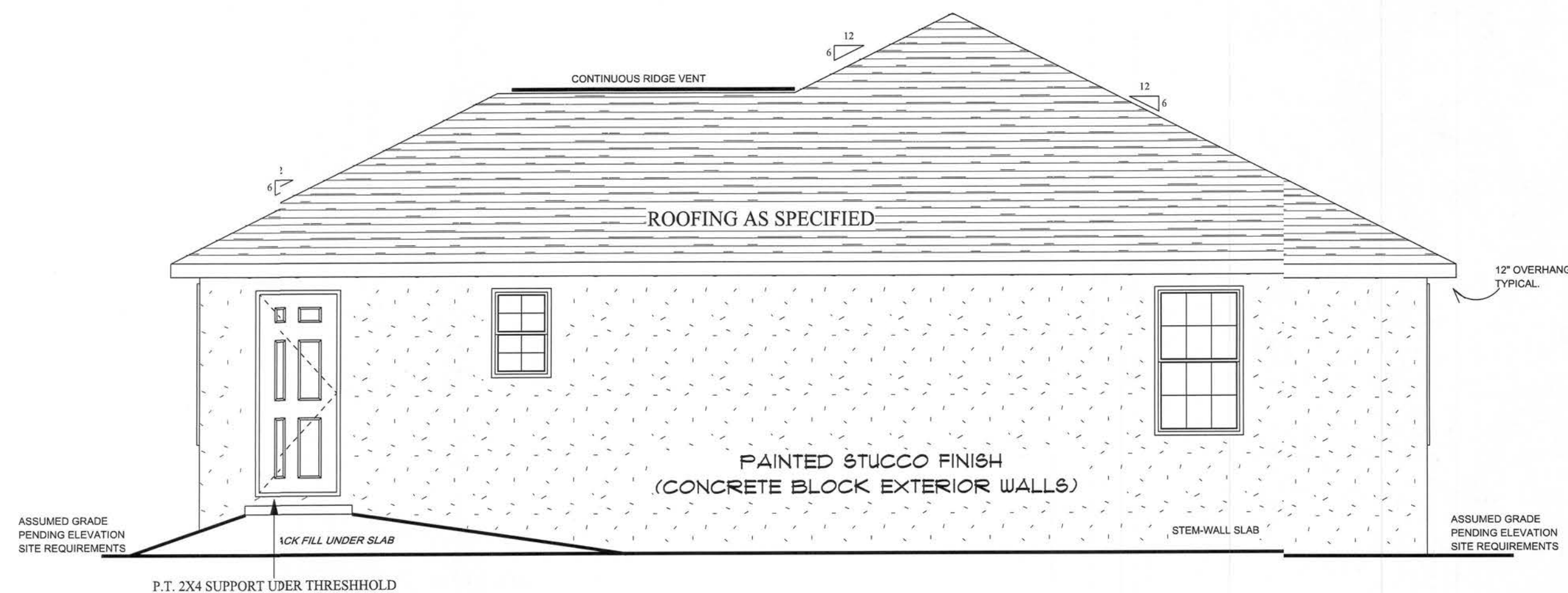


SCALE: 1/4" = 1'-0"

REV.#	REV. DATE:	DRAWN BY:	DISCRPTION OF REVISION
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P.T. 2X4 SUPPORT UNDER THRESHOLD
REAR ELEVATION



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

REV. #	REV. DATE	DRAWN BY	DISCRIPTION OF REVISION

Pennyworth Homes

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EXHIBIT "A"

PLAN: CUSTOM

CUSTOMER NAME:
MAUREEN RODRIGUEZ

HEATED LIVING AREA

GROUND FLOOR: 1798
SECOND FLOOR: N/A
OTHER: N/A
TOTAL HEATED: 1798

NON-HEATED
LIVING AREA

PORCH: 21
GARAGE: N/A
OTHER: N/A
TOTAL U/R 1819

IMPORTANT-PLEASE READ
BELOW CAREFULLY

OUR SALES BROCHURES AND OTHER ADVERTISING LITERATURE ARE INTENDED TO GENERALLY REFLECT AND DEPICT THE STYLES AND QUALITY OF HOMES WE BUILD THROUGHOUT A PORTION OF THE UNITED STATES. OUR SALES MODELS ARE DESIGNED AND BUILT TO GENERALLY CONFORM WITH A VARIETY OF LOCAL CUSTOMS, PRACTICES, AND BUILDING CODES PREVALENT OR IN EFFECT IN THE IMMEDIATE AREA SURROUNDING THE LOCATION OF THOSE MODELS. THIS SET OF PLANS IS AN ACTUAL PART OF OUR CONTRACT WITH YOU AND, AS SUCH, IS INTENDED TO TAKE PRIORITY OVER ANYTHING IN CONFLICT WITH IT CONTAINED IN OUR ADVERTISING LITERATURE, OUR SALES MODELS AND EVEN OUR ORAL SALES PRESENTATION. NO CHANGE, MODIFICATION, OR REVISION OF THESE PRINTED PLANS SHALL BE BINDING ON THE PARTIES UNLESS SET FORTH ON THESE PLANS OR OTHERWISE REDUCED TO WRITING AND EXECUTED BY SAID PARTIES. PLEASE REVIEW THESE PLANS ALONG WITH "EXHIBIT B" OF YOUR CONTRACT CAREFULLY AND MAKE CERTAIN BEFORE YOU SIGN THEM THAT THEY ACCURATELY REPRESENT THE HOME YOU ARE PURCHASING. ADDITIONALLY, P.W.H. HOMES INC. HEREBY RESERVES THE RIGHT TO SUBSTITUTE MATERIALS OF EQUIVALENT QUALITY AND/OR TECHNIQUES OF ASSEMBLY AND/OR CONSTRUCTION METHODS FROM THAT CONTAINED IN THESE PLANS OR SPECIFIED IN EXHIBIT "B" WHERE NECESSARY TO ACCOMMODATE DIFFERENCES IN LOCAL CODES, GEOGRAPHIC CUSTOMS, OPTION SELECTION AND AVAILABILITY OF MATERIALS. ALL MATERIALS (LUMBER, OR OTHER BUILDING SUPPLIES) DELIVERED TO JOBSITE WHICH ARE IN EXCESS OF THOSE REQUIRED TO CONSTRUCT THE HOUSE AS AGREED REMAIN THE PROPERTY OF P.W.H. HOMES INC.

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: DATE:

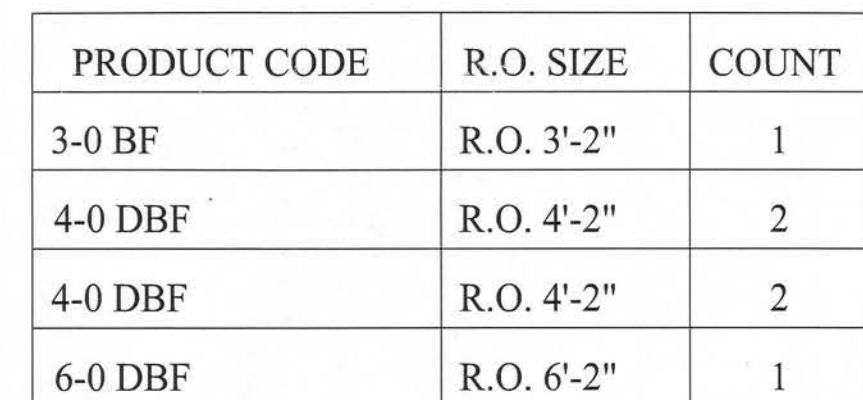
BUYER/OWNER: DATE:

PENNYWORTH HOMES: June 11, 2007
AGENT OF PWH HOMES
CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THIS PLAN AFTER THE BUYERS APPROVAL / SIGNATURE, DUE TO THE ENGINEER'S AND BUILDING DEPT. REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA CHANGE ORDER.

DRAWN BY: BKC
PLAN DATE: June 11, 2007

PAGE 2
OF 7



PRODUCT CODE	R.O. : SIZE	COUNT
L 3-0 6PNL COL	R.O. 3'-3"	2
6ft sliding glass door	R.O. 6'-3"	1

NOTE:
ALL WINDOWS ARE
TO BE METAL.

SCALE: 1/4" = 1'-0"



PENNYWORTH HOMES RESERVES THE RIGHT TO MAKE CHANGES TO THE ELECTRICAL LAYOUT, IT TO MEET NECESSARY ELECTRICAL OR BUILDING CODES. CHANGES MAY ALSO BE MADE AT THE DISCRETION OF THE BUILDER OR ELECTRICIAN DUE TO HOUSE FRAMING OR ELECTRICAL INSTALLATION TECHNIQUES.

SCALE: 1/4" = 1'-0"

Pennyworth Homes

EXHIBIT "A"

PLAN:

CUSTOMER NAME:

HEATED LIVING AREA

GROUND FLOOR:

SECOND FLOOR:

OTHER:

TOTAL HEATED:

NON-HEATED
LIVING AREA

PORCH:

GARAGE:

OTHER:

TOTAL U/R

IMPORTANT-PLEASE READ
BELOW CAREFULLY

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NOTE:
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PENNYWORTH HOMES INC. DEEMS TO BE
AESTHETICALLY, ARCHITECTURALLY,
AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: _____ DATE: _____

BUYER/OWNER: _____ DATE: _____

Bruce W. Schell June 11, 2007

Ben Math Cady
AGENT OF PWH HOMES
CORPORATE OFFICE

NOTE:
PENNYWORTH HOMES INC. RESERVES
THE RIGHT TO MAKE MODIFICATIONS
TO THIS PLAN AFTER THE BUYERS
APPROVAL / SIGNATURE, DUE TO THE
ENGINEER'S AND BUILDING DEPT.
REVIEW. THE BUYER SHALL BE NOTIFIED
OF THESE MODIFICATIONS TO THE PLAN
VIA CHANGE ORDER.

DRAWN BY:
BKC

PLAN DATE:
June 11, 2007

PAGE 4
OF 7

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PennyworthHomes.com

EXHIBIT "A"

CUSTOMER NAME:

GROUND FLOOR: _____
SECOND FLOOR: _____
OTHER: _____
TOTAL HEATED: _____

PORCH:	_____
GARAGE:	_____
OTHER: _____	_____
TOTAL U/R	_____

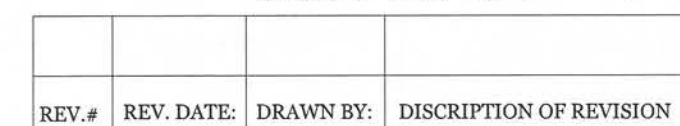
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SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER: _____	DATE: _____
BUYER/OWNER: _____	DATE: _____

PENNYWORTH HOMES: *Ben Kirk Cary* June 11, 2007
AGENT OF PWH HOMES
CORPORATE OFFICE

DRAWN BY: BKC	PLAN DATE: June 11, 2007	PAGE 5
		OF 7





REV.#	REV. DATE:	DRAWN BY:	DISCRIPTION OF REVISION

EXHIBIT "A"

PLAN: CUSTOM

CUSTOMER NAME:
 MAUREEN RODRIGUEZ

HEATED LIVING AREA

GROUND FLOOR: 1798
 SECOND FLOOR: N/A
 OTHER: N/A
 TOTAL HEATED: 1798

NON-HEATED
 LIVING AREA

PORCH: 21
 GARAGE: N/A
 OTHER: N/A
 TOTAL U/R 1819

IMPORTANT-PLEASE READ

BELOW CAREFULLY

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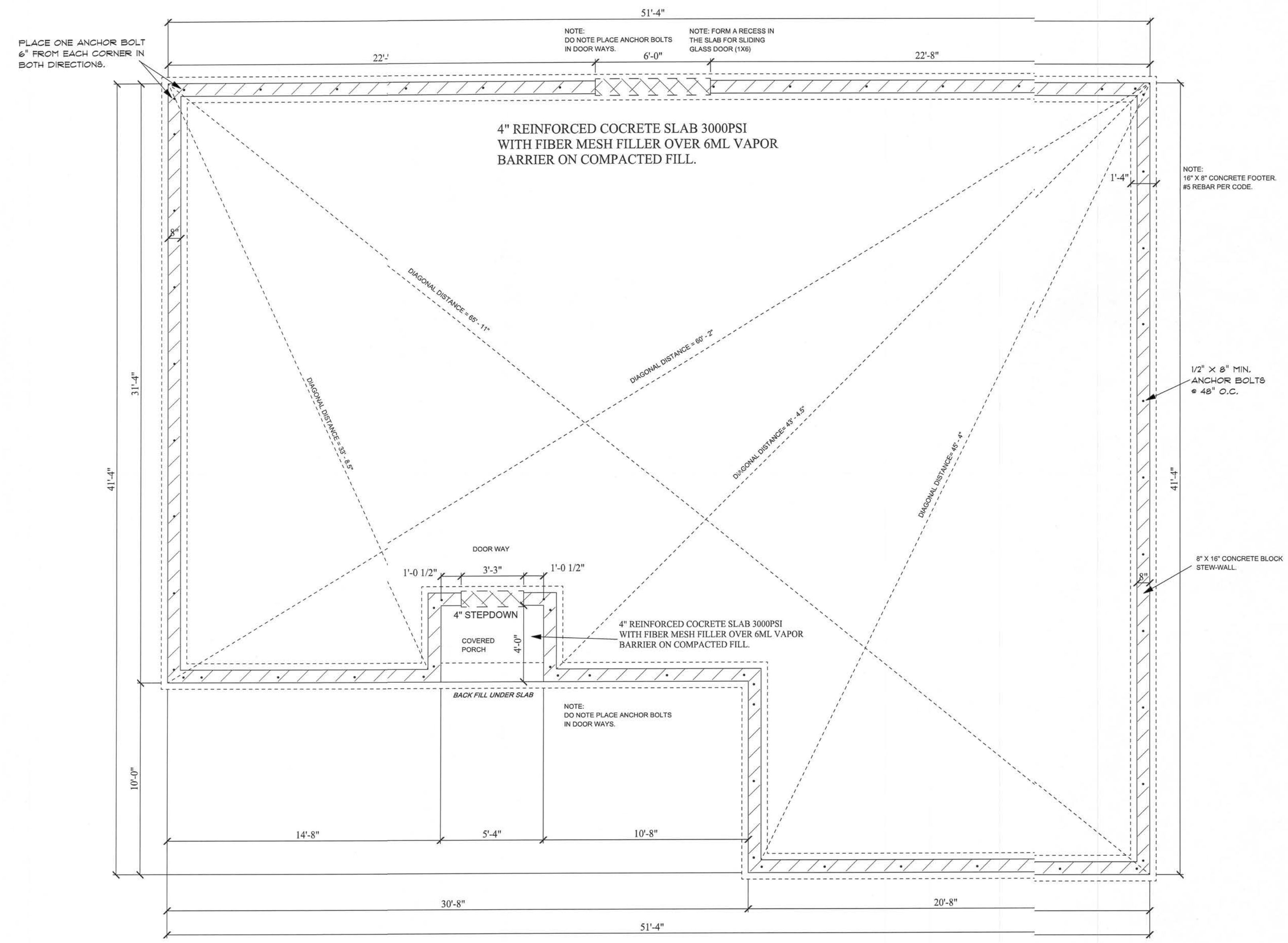
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SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER/OWNER:	DATE:	DATE:	DATE:
			June 11, 2007
PENNYWORTH HOMES, INC. AGENT OF P.W.H. HOMES CORPORATE OFFICE			<i>Ben Mark Cary</i> AGENT OF P.W.H. HOMES CORPORATE OFFICE

NOTE:
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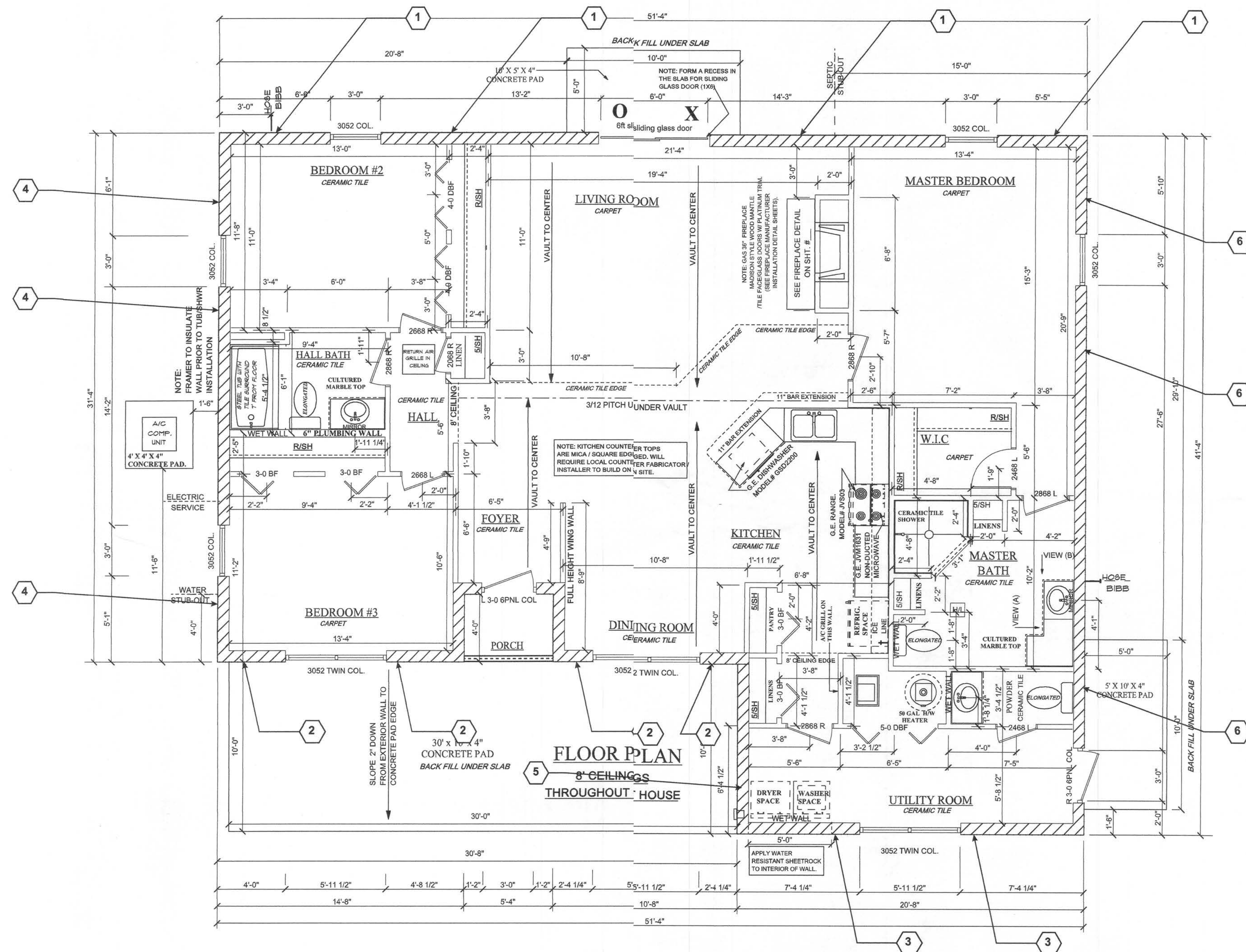
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BKC	June 11, 2007	7
		OF 7



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REV. #	REV. DATE:	DRAWN BY:	DISRIPTION OF REVISION



STRUCTURAL ONLY
THOMAS E. BEITELMAN
LICENSE #51870

7/10/07

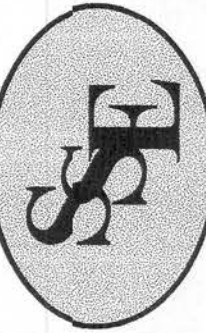
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TITLE: Structural Details and Wind Load
SCALE: Varies

CLIENT: Pennyworth Homes, Inc.

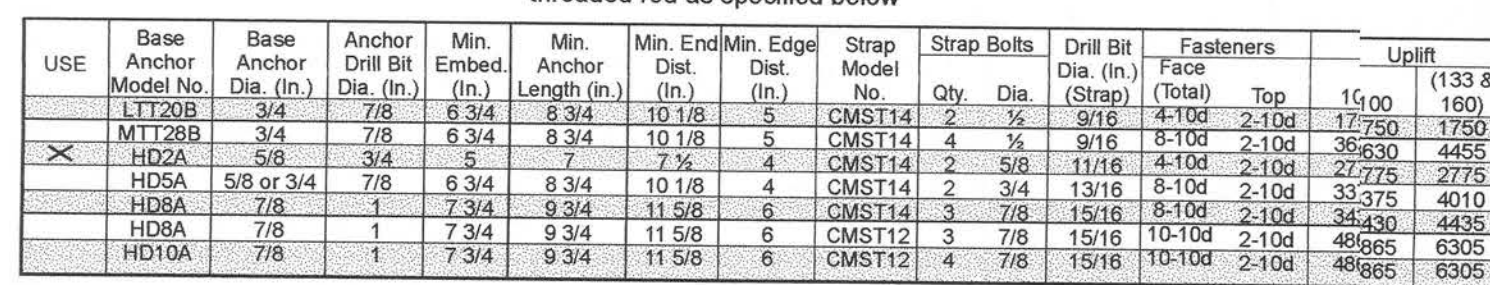
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2	TEB		DRAWING
3	TEB		CHECKED
4	TEB		DATE

Sheet **S12** of **3**
No. **06S-567**

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Structural Engineering
William E. Douglas P.E., President



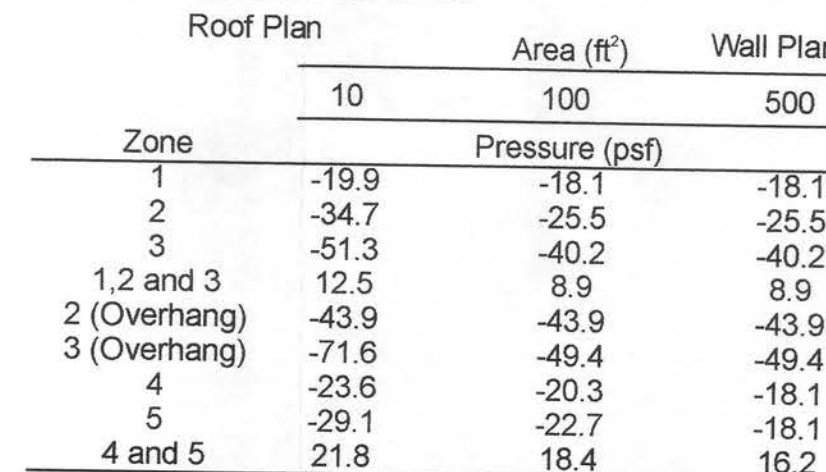
2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586



Hollow Post Uplift Connection - Conventional Strapping

Hollow Post Uplift Connection - Conventional Strapping

Wall Number	Length (ft)	Unit Shear (plf)	Capacity (lbs)	Actual Load (lbs)	% Used	Location
<i>Longitudinal Walls</i>						
1	39.3	100.3	47200.0	3946.8	8.4	Exterior
2	13.3	101.5	16000.0	1353.9	8.5	Exterior
3	14.7	114.6	17600.0	1681.4	9.6	Exterior
<i>Transverse Walls</i>						
4	25.3	117.3	30400.0	2971.9	9.8	Exterior
5	10.0	98.8	12000.0	987.9	8.2	Exterior
6	33.3	112.4	40000.0	3747.0	9.4	Exterior



Component and Cladding Design Pressures (Worst Case Only)

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THOMAS E. BEITELMAN
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7/col 14

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William F. Dwyer, P.E., S.E., C.E.

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT:	Pennyworth Homes, Inc. - Rodriguez Residence - High Springs, FL
TITLE:	Structural Details and Wind Load
SCAFF:	Varies
CLIENT:	Pennyworth Homes, Inc.

TITLE: Structural Details and Wind Load		SCALE: <i>Varies</i>	CLIENT: Dannyworth Homes, Inc.
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			Description:

File Name:	06S-567.cdr
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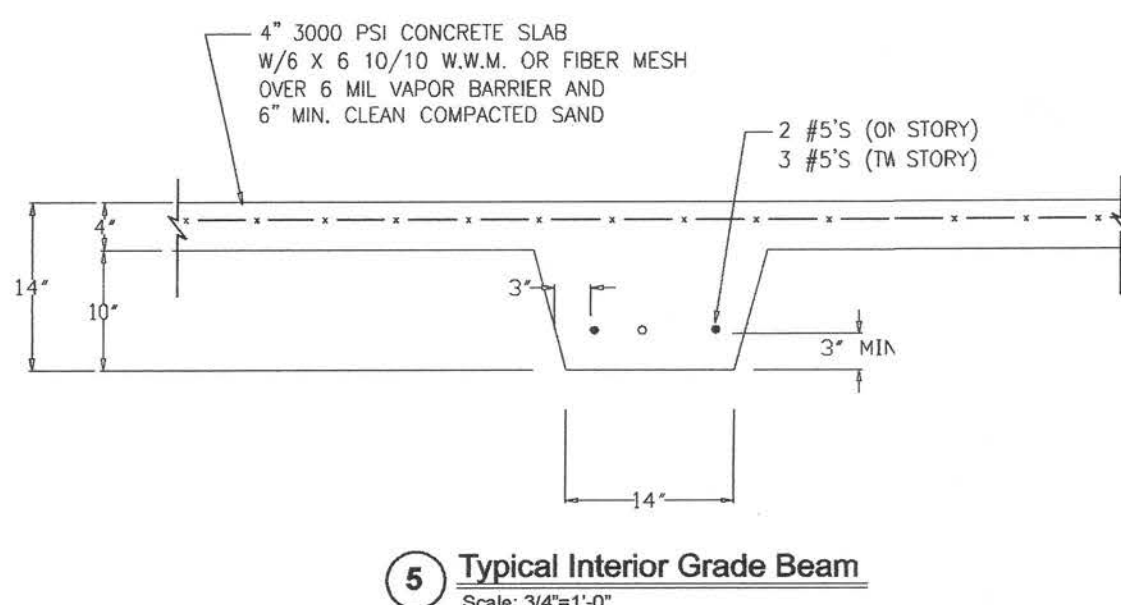
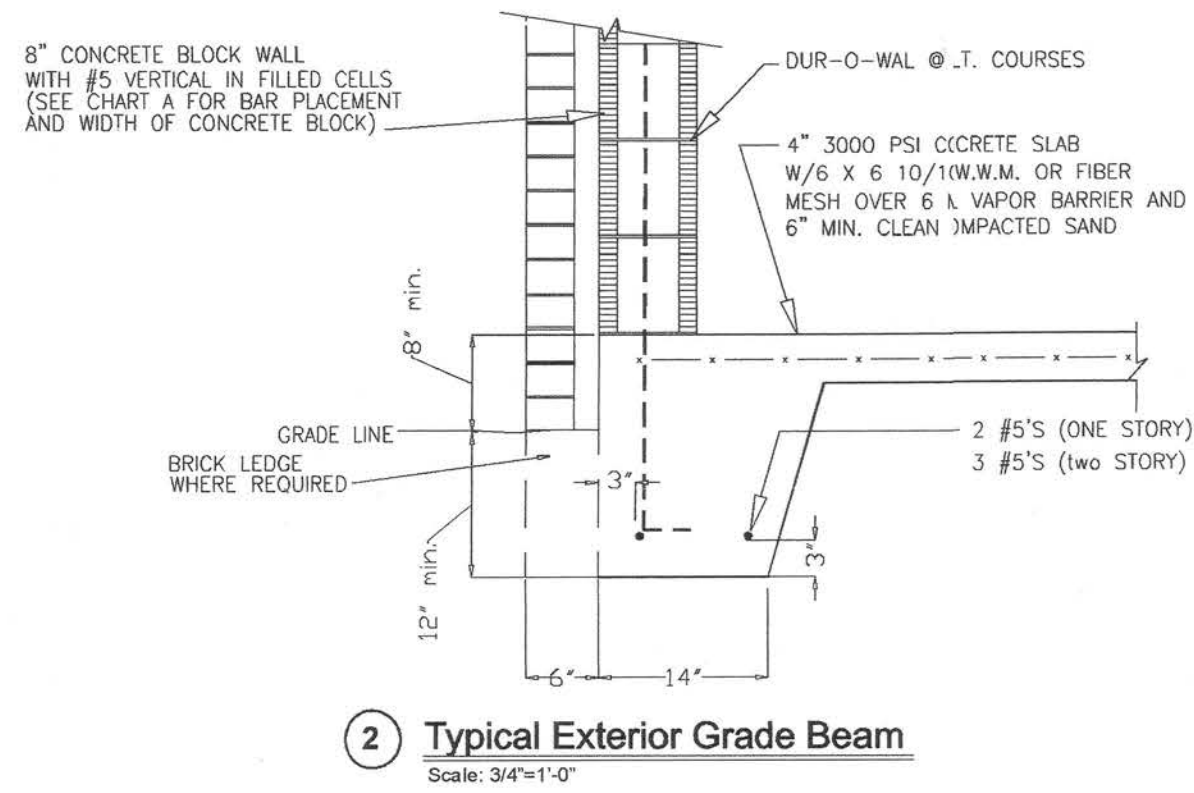
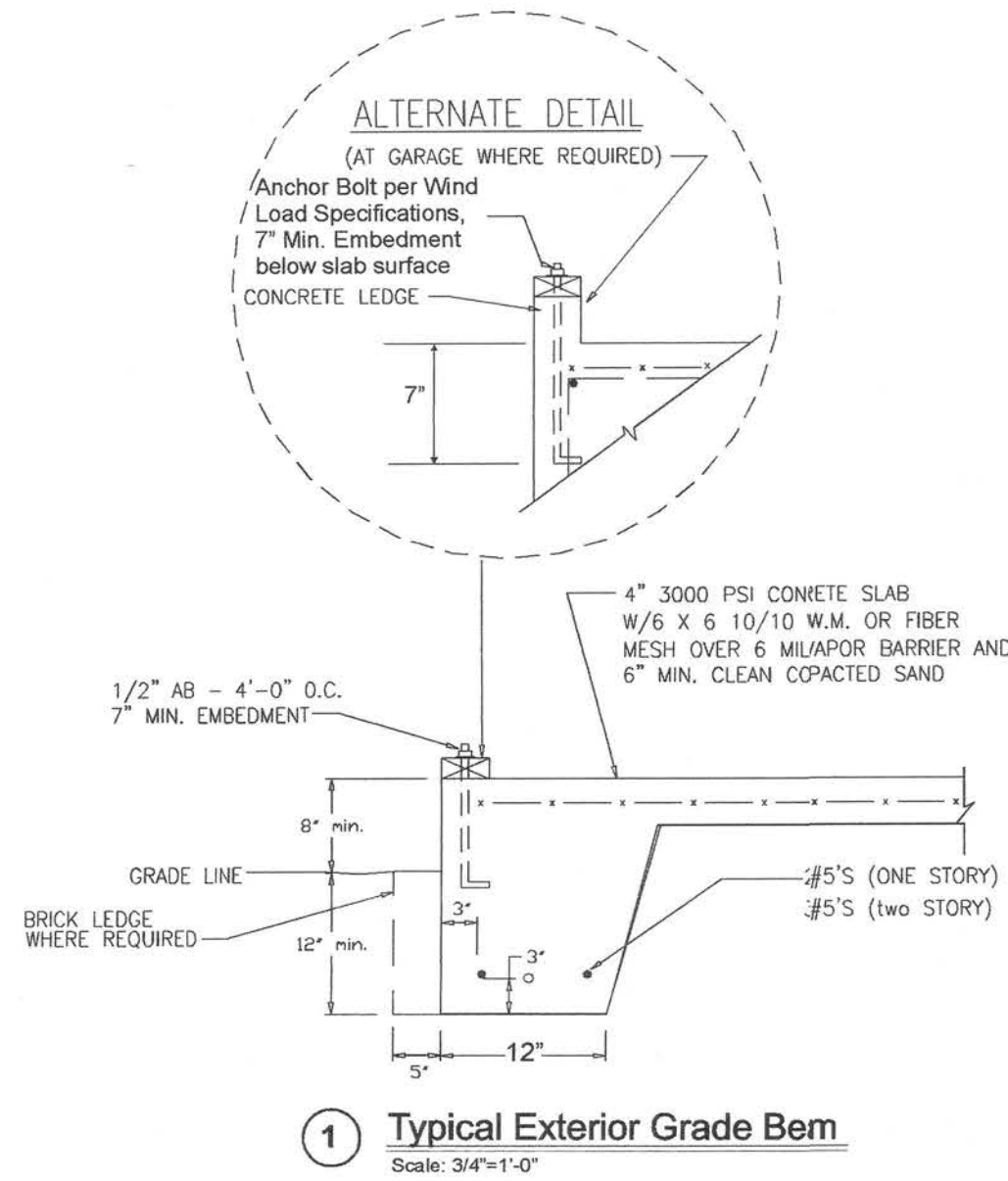
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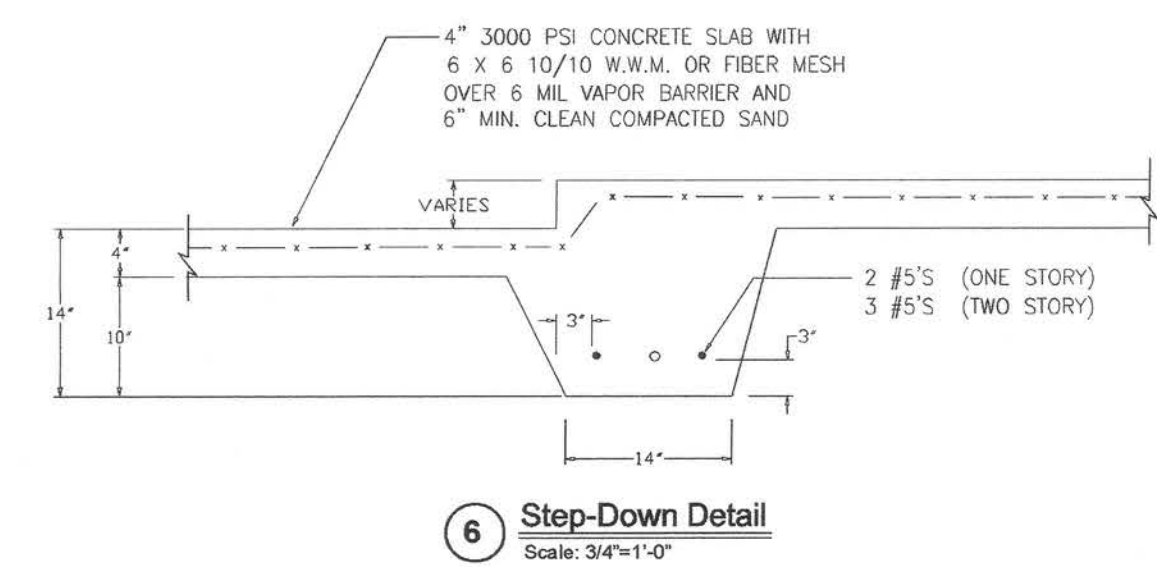
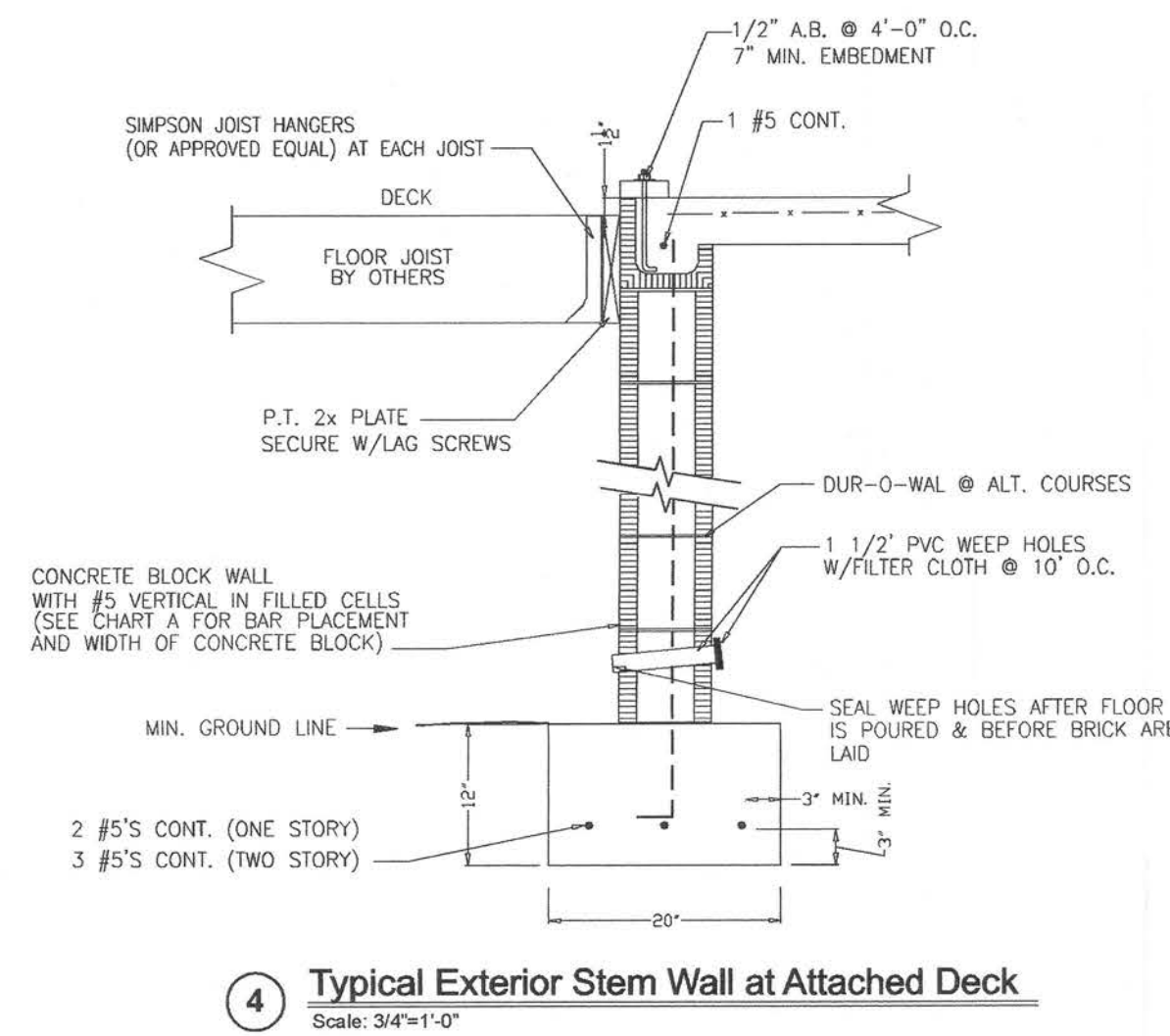
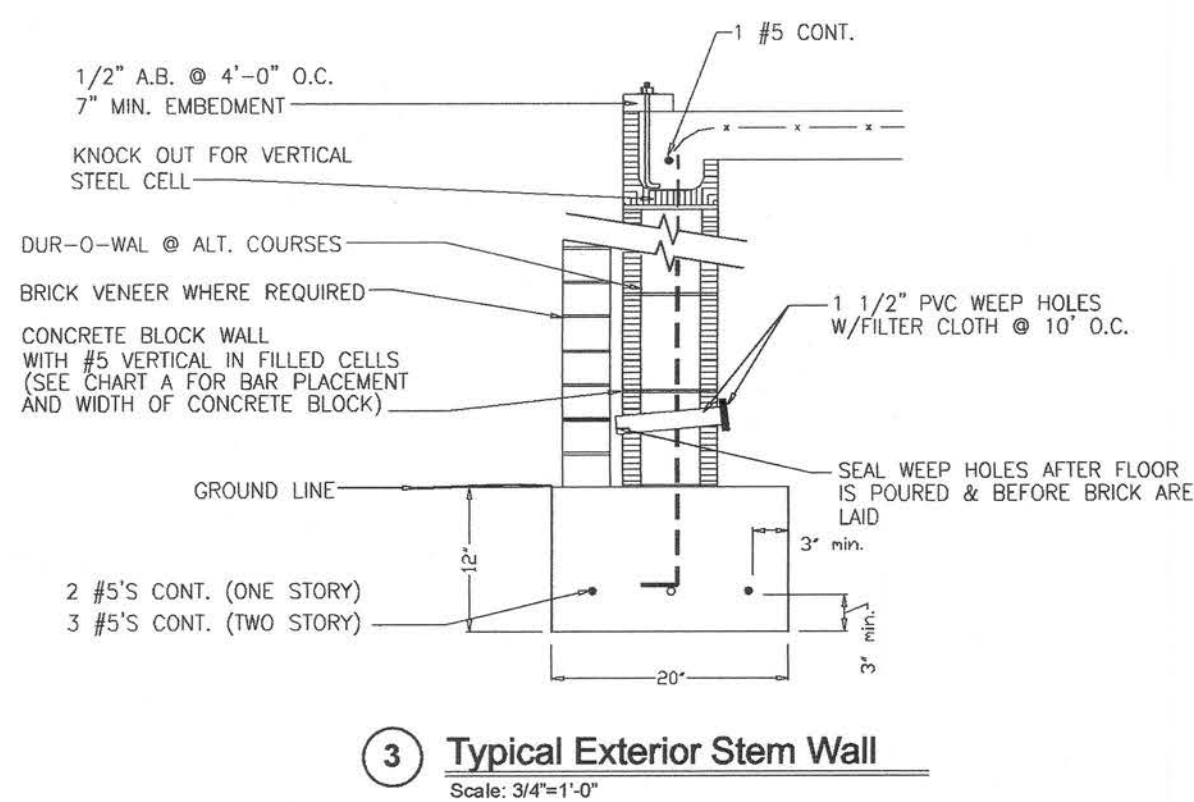
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Sheet	S2	of	3
No.	16S-567		

No.	16S-567
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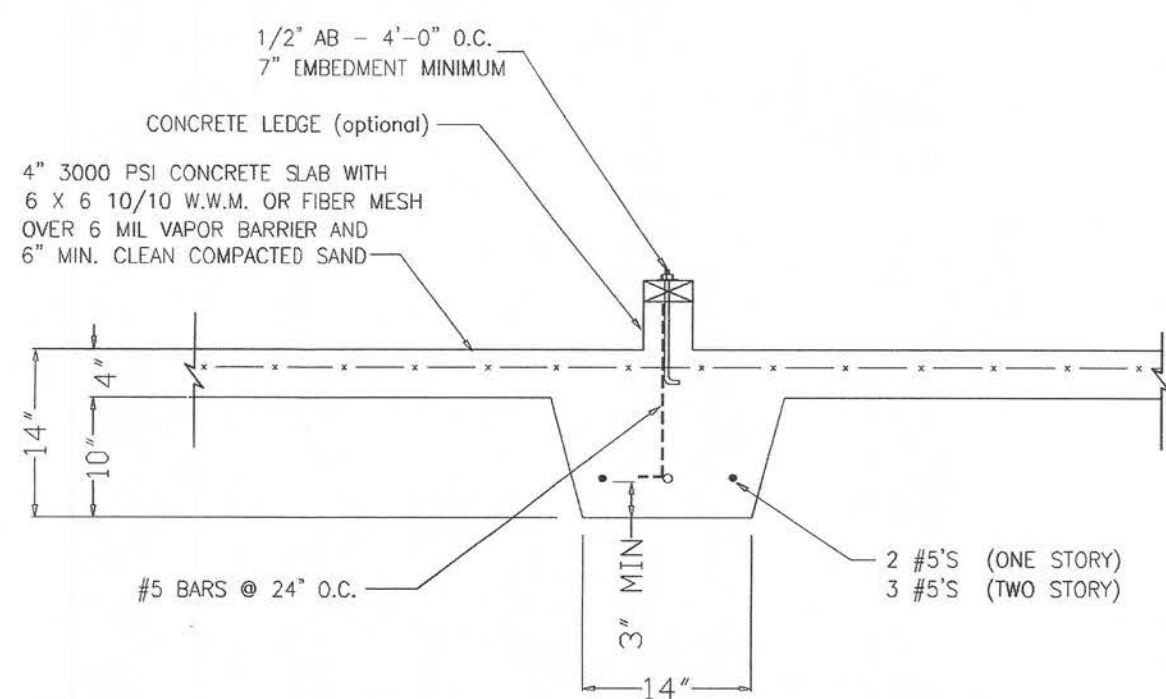
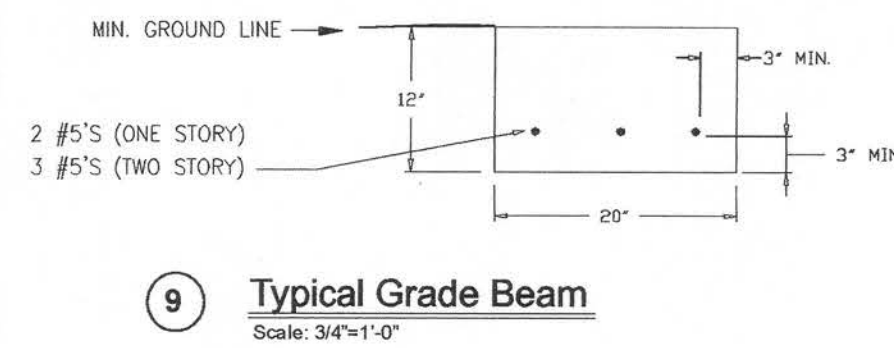
Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications



Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications

General Notes For Special Foundation

- All construction conform to the 2004 Florida Building Code with 2006 revisions.
- In the event of a conflict between plans and the codes, the codes shall govern.
- Lot shall be landscaped to prevent the detention of surface water.
- Concrete: 3000 psi Steel: Grade 60
- All fill shall be compacted to 95% of maximum dry density as determined by the Modified Proctor Test.
Definition:
 - Compaction test will not be required when the fill is less than 12 inches in depth, the inspector's shall use best judgement.
 - When the fill is 12 inches to 18 inches in depth, compaction test will be required only if the inspector's judgement is that the compaction is questionable.
 - When the fill is 18 inches in depth or more, compaction test will be required.
- All splices in footing steel shall be lapped 40 bar diameters in concrete block and 30 bar diameters in monolithic slabs.
- Steel interior grade beams shall be spliced to steel in exterior grade beams to assure continuity of footing throughout structure.
- Exterior grade beams shall run continuous around the perimeter of the structure to assure continuity.
- All concrete slabs shall have control joints to control cracking spaced maximum of 15 feet in each direction.
- Soil shall be chemically treated for termites.
- The contractor shall verify all dimensions at the site prior to beginning construction.
- All reinforcing steel shall be located a minimum of 3 inches from concrete surface.
- A clean compacted sand fill at least 18 inches thick shall be placed under all exterior and interior grade beams. Note: This may be omitted in areas that have at least 30 inches of clean compacted natural soil that has minimum bearing capacity of 2000 psf and is free of mulch, organic material and plastic clays and consist of at least 50% sand (ext.)
- Any organic material under foundation shall be removed prior to construction, unless otherwise specified.
- For stem walls 56 inches or higher, formwork shall be braced before backfilling.
- Concrete block shall have minimum compressive strength of 1500 psi (Grade N-1 or better) as per 2001 Florida Building Code Table 2106.2.
- Additional #5 with filled cells at load bearing points on walls.



Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.
Install Anchor Bolts per Wind Load Specifications

CHART A VERTICAL BAR PLACEMENT FOR BLOCK WALL WITH CONCRETE FLOOR SLAB OR JOIST DESIGN

For floor joist design use bond beam with (1) #5 reinforced bar continuous for slab floor, pour into block with welded wire mesh. (See chart below)

In all cases vertical bars shall be placed at either side of openings in wall and at each corner. Vertical bars shall be bent 24 inches into slab, each reinforced cell shall be filled with concrete.

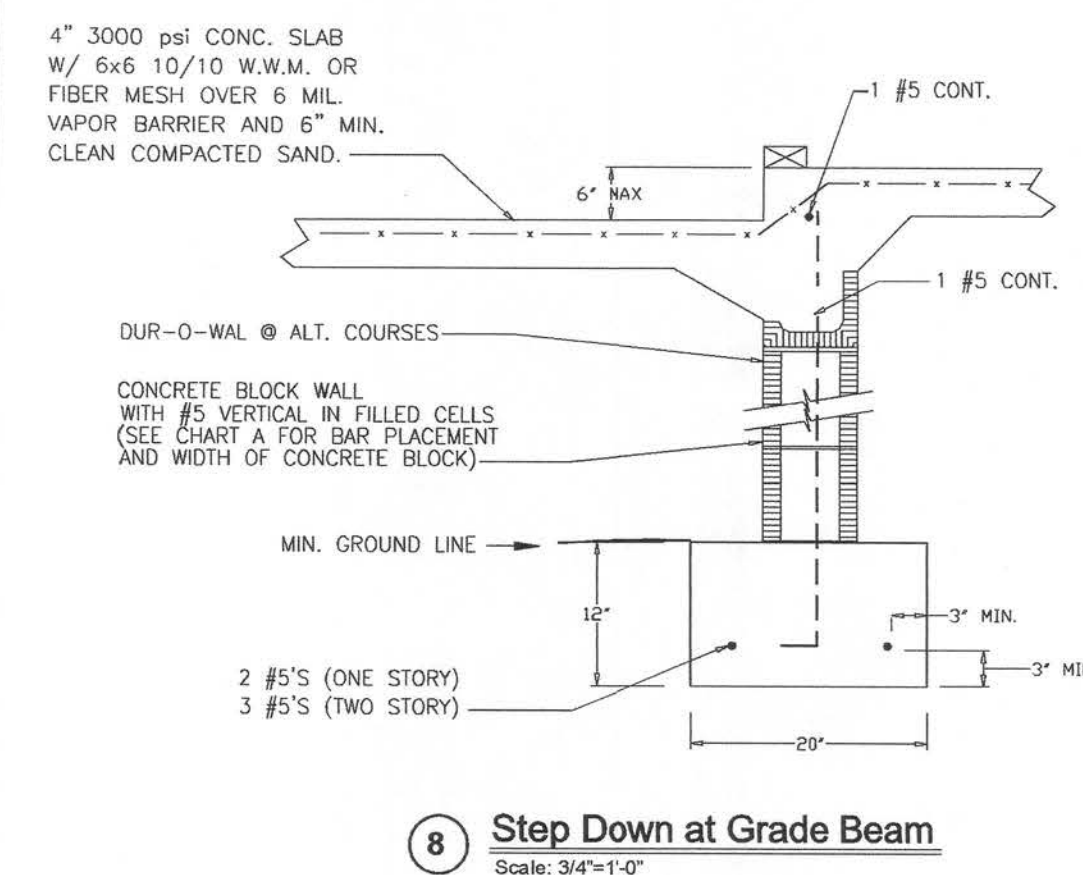
**Floor system to be placed before backfilling

H (Height of wall)	Width of Block	Vertical Bar Spacing
H <= 32"	8"	No. 5 @ 72" O.C.
32 < H <= 56"	8"	No. 5 @ 48" O.C.
56 < H <= 72"	8"	No. 5 @ 32" O.C.
72 < H <= 88"	12"	No. 5 @ 32" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 32" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
88 < H <= 120"	12"	No. 5 @ 24" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
96 < H <= 120"	12"	No. 5 @ 16" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
120 < H <= 132"	12"	No. 5 @ 8" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. * (8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.

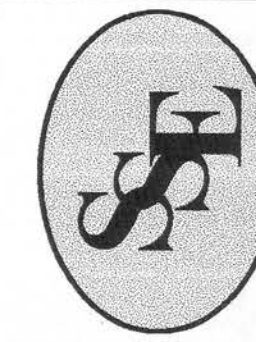
CHART B PHYSICAL PROPERTIES OF MASONRY CEMENTS

Masonry Cement Type	N	*S	*M
Time of setting			
Initial set, minimum, hr.	2	1 1/2	1 1/2
Final set, maximum, hr.	24	24	24
Compressive strength (average of 3 cubes, min.)			
7 days, (psi)	500	1300	1800
28 days (psi)	900	2100	2900

*For the purpose of these plans, use grade "S" or "M"



STRUCTURAL ONLY
THOMAS E. BEITELMAN
LICENSE #51870



Sound Structures Engineering, Inc.
Structural Engineering
William E. Douglas P.E., President

2467 Centerville Road, Tallahassee, FL 32308
Phone: (850) 385-5288 Fax: (850) 386-7586

PROJECT: Pennyworth Homes, Inc. - Rodriguez Residence - High Springs, FL

TITLE: Foundation Details

SCALE: Varies

CLIENT: Pennyworth Homes, Inc.

Revision By: TEB **Date:** 6/7/07

Design: TEB **Drawn:** TEB **Checked:** TEB

Sheet S3 **of** 3
No. 06S-567

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