

DATE 10/08/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000028130

APPLICANT JAMES NETTLES PHONE 755-5010
ADDRESS 1240 SE ROGERS DR. LULU FL 32061
OWNER MICHAEL & LAUREL LOMINACK PHONE 752-7489
ADDRESS 2419 SW ICHETUCKNEE AVE LAKE CITY FL 32055
CONTRACTOR JAMES NETTLES PHONE 755-5010
LOCATION OF PROPERTY 247S, TL ON CR 240, TR ON OLD ICHETUCKNEE AVE, 3/4 MILE ON
LEFT JUST PAST CARPENTER.
TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 25000.00
HEATED FLOOR AREA TOTAL AREA 1620.00 HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 19-5S-16-03653-007 SUBDIVISION
LOT BLOCK PHASE UNIT 0 TOTAL ACRES 5.84

RR28281169
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X09-310 BK WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 4947

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Insulation
date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
date/app. by date/app. by date/app. by
Reconnection RV Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 125.00 CERTIFICATION FEE \$ 8.10 SURCHARGE FEE \$ 8.10
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 216.20
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

of Lake City, Inc.
Boulevard, Suite 105
Lake City, Florida 32025

File Number: 08-355

Warranty Deed

Inst: 20081203302 Date: 12/31/2008 Time: 10:33 AM
Doc Stamp-Deed: 1953.00
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B: 1164 P: 2138

Made this December 30, 2008 A.D., By

Unmarried

Carl Bullard, a Married Man, whose post office address is: Post Office Box 114, Lake City, Florida 32056, hereinafter called the grantor, to

Michael W. Lominack. Sr. and Laurel D. Lominack, husband and wife, whose post office address is: 2419 SW Ichetucknee Avenue, Lake City, Florida 32024, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule A

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any members of the household of Grantor reside thereon.

Parcel ID Number: **03653-007**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lisa Braswell

Witness Printed Name Lisa Braswell

Carl Bullard

(Seal)

Carl Bullard

Address: Post Office Box 114
Lake City, Florida 32056

Megan M. Harrell

Witness Printed Name Megan M. Harrell

Address:

(Seal)

State of Florida

County of Columbia

The foregoing instrument was acknowledged before me this 30th day of December, 2008, by Carl Bullard, a Married Man, who is/are personally known to me or who has produced Driver's License as identification.



Megan M. Harrell

Notary Public

Print Name:

My Commission Expires:

... of Lake City, Inc.
... Boulevard, Suite 105
... Florida 32025

File Number: 08-355

Warranty Deed

Inst:200812023302 Date:12/31/2008 Time:10:33 AM
Doc Stamp-Deed:1953.00
✓ DC, P. DeWitt Cason, Columbia County Page 1 of 2 B:1164 P:2138

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Unmarried

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Parcel ID Number: 03653-007

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In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Lisa Braswell
Witness Printed Name Lisa Braswell

Carl Bullard (Seal)
Carl Bullard
Address: Post Office Box 114
Lake City, Florida 32056

Megan M. Harrell
Witness Printed Name Megan M. Harrell

____ (Seal)
Address:

State of Florida
County of Columbia

The foregoing instrument was acknowledged before me this 30th day of December, 2008, by Carl Bullard, a Married Man, who is/are personally known to me or who has produced Driver's License as identification.



Megan M. Harrell
Notary Public
Print Name: _____
My Commission Expires: _____

Columbia County Building Permit Application

For Office Use Only Application # 0910-21 Date Received 10/6/09 By G Permit # 28130

Zoning Official BZK Date 08.10.09 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner (WR) Date 10/8/09

Comments

☐ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL N/A Accessory use

Septic Permit No. X09-310 11/60X Fax _____

Name Authorized Person Signing Permit James C Nettles Phone 386 255 5010
386 365 7355

Address 1240 SE Rogers Dr Lulu FL 32061

Owners Name Michael W. & Laurel D. Lominack Phone 386-752-7489

911 Address 2419 SW Ichetucknee Ave. Lake City, FL 32024

Contractors Name James C Nettles Phone 386 255 5010
386 365 7355

Address 1240 SE Rogers Dr Lulu FL 32061

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address MARTY Humphries P.E. 51946 7932 240th ST O'Brien, FL 32071

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 19-55-16-03653-007 Estimated Cost of Construction \$25,000.00

Subdivision Name N/A Lot _____ Block _____ Unit _____ Phase _____

Driving Directions Hwy 47 South to CR 240 west to Ichetucknee Ave South
1.33 miles on Left 2419 SW Ichetucknee Ave

Number of Existing Dwellings on Property 1

Construction of Detached Garage Total Acreage 5.84 Lot Size 330'x796'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 20'

Actual Distance of Structure from Property Lines - Front 725' Side 45' Side 235' Rear 25'

Number of Stories 1 Heated Floor Area 0 Total Floor Area 1620 Roof Pitch 6-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)


Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

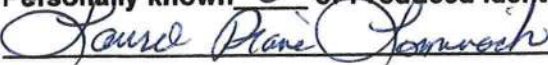
CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permitee)

Contractor's License Number RR262811699
Columbia County # 328
Competency Card Number 6th

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 6th day of OCTOBER 2009.

Personally known ☒ or Produced Identification ☐


State of Florida Notary Signature (For the Contractor)

SEAL:



N 89°51'06" W 1293.71' (M)

LB6685

4" WELL

POWER POLE
7.7' OF LINE

SEE DETAIL

Proposed
Garage

FRONT

725' to front of property

REAR

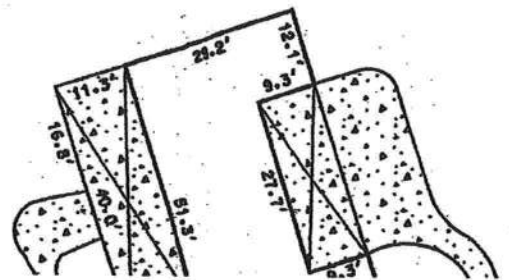
CROSS EASEMENT

776.18' (M)

LB6685

SW

OF



SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____

CONTRACTOR

James C Nettles

PHONE

386 755 5010

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

CA/386 365 7358

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER	25,	Gary Moore	Gary Moore
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Location: 2419 S.W. Ichetucknee Ave
Lake City, FL 32024

Project Name: Lominack

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridaproducing.org

Category/Subcategory	Manufacturer	Product Description	Approval Number
A. EXTERIOR DOORS			FL 4242-A
1. Swinging		3/0 RHIS D-510 GPNH Steel	
2. Sliding			
3. Sectional	CHI	Garage Door	FL 5520
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	Orrel	3060 Windows	FL 5108
2. Horizontal Slider		NA	FL 5451
3. Casement			
4. Double Hung			
5. Fixed		NA	FL 5418
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			FL 889-R
2. Soffits			FL 4899
3. EIFS	KAYCAN	Vinyl Siding DS	FI 4905
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			FL 3820-R1
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles		NA	FL 586-R2
2. Underlayments		30# Roofing Felt	FL 1814-R1
3. Roofing Fasteners			
4. Non-structural Metal Rf	Union	29 Gaa Master Rib Metal Roof	FL 2287
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys.			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings		NA	FL 1960-R1
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight		NA	FL 451-R
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor	SIMPSON	H-5, GPH6, H-10, 18" Ties	FL 474-R1
2. Truss plates			
3. Engineered lumber			FL 1008-R1
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

James C Nettles
Contractor or Contractor's Authorized Agent Signature
Colombia County
Location

James C Nettles 10-6-09
Print Name Date
Permit # (FOR STAFF USE ONLY)



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS**

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007
ONE (1) AND TWO (2) FAMILY DWELLINGS**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**Items to Include-
Each Box shall be
Circled as
Applicable**

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.) <u>0</u>	Total (Sq. Ft.) under roof <u>1620</u>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIII	IIII	IIIII
		YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval	✓		
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			✓
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)			✓
25	Safety glazing of glass where needed			✓
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)			✓

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)

GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

Items to Include-
Each Box shall be
Circled as
Applicable

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>		
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>		
31	Any special support required by soil analysis such as piling.			<input checked="" type="checkbox"/>
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			<input checked="" type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)	<input checked="" type="checkbox"/>		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	<input checked="" type="checkbox"/>		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	<input checked="" type="checkbox"/>		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	<input checked="" type="checkbox"/>		
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type			<input checked="" type="checkbox"/>
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			<input checked="" type="checkbox"/>

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			<input checked="" type="checkbox"/>
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			<input checked="" type="checkbox"/>
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			<input checked="" type="checkbox"/>
42	Attachment of joist to girder			<input checked="" type="checkbox"/>
43	Wind load requirements where applicable			<input checked="" type="checkbox"/>
44	Show required under-floor crawl space			<input checked="" type="checkbox"/>
45	Show required amount of ventilation opening for under-floor spaces			<input checked="" type="checkbox"/>
46	Show required covering of ventilation opening			<input checked="" type="checkbox"/>
47	Show the required access opening to access to under-floor spaces			<input checked="" type="checkbox"/>
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			<input checked="" type="checkbox"/>

48	intermediate of the areas structural panel sheathing			✓
49	Show Draftstopping, Fire caulking and Fire blocking			✓
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			✓
51	Provide live and dead load rating of floor framing systems (psf).			✓

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	✓		
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	✓		
67	Valley framing and support details	✓		✓
68	Provide dead load rating of rafter system	✓		

FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	<input checked="" type="checkbox"/>		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			<input checked="" type="checkbox"/>
74	Attic space			<input checked="" type="checkbox"/>
75	Exterior wall cavity			<input checked="" type="checkbox"/>
76	Crawl space			<input checked="" type="checkbox"/>

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			<input checked="" type="checkbox"/>
78	Exhaust fans locations in bathrooms			<input checked="" type="checkbox"/>
79	Show clothes dryer route and total run of exhaust duct			<input checked="" type="checkbox"/>

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			<input checked="" type="checkbox"/>
81	Show the location of water heater			<input checked="" type="checkbox"/>

Private Potable Water

82	Pump motor horse power			<input checked="" type="checkbox"/>
83	Reservoir pressure tank gallon capacity			<input checked="" type="checkbox"/>
84	Rating of cycle stop valve if used			<input checked="" type="checkbox"/>

Electrical layout shown including

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>
86	Ceiling fans			<input checked="" type="checkbox"/>
87	Smoke detectors & Carbon dioxide detectors			<input checked="" type="checkbox"/>
88	Service panel, sub-panel, location(s) and total ampere ratings	<input checked="" type="checkbox"/>		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.			

90	Appliances and HVAC equipment and disconnects			✓
91	Arc Fault Circuits (AFCI) in bedrooms			✓

Disclosure Statement for Owner Builders If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable
---	--	--

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	City of Lake City A permit showing an approved waste water sewer tap			✓
96	Toilet facilities shall be provided for all construction sites <i>toilet in the house</i>			✓
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			✓
98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			✓
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			✓
100	A development permit will also be required. Development permit cost is \$50.00			✓
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			✓
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125			✓

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

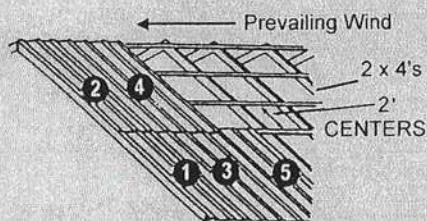
Installation Instructions for MasterRib®

Roofing

Slopes of less than 3" in 12" are not recommended. For slopes of 3" on 12" or greater, end lap panels 6".

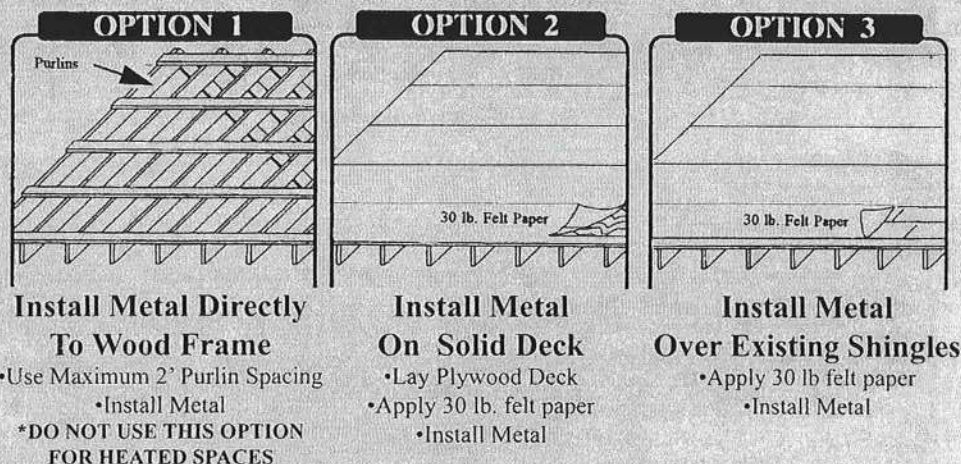
Side laps should face away from the prevailing wind. Lay the first sheet along the eave at the down-wind side of the roof, farthest away from the direction of the prevailing winds. (See Figure #4). Install sheets in the sequence shown in Figure #4.

Figure #4



Maximum purlin spacing for roof 2' on center

Figure #5 - Installation Options



*Proper ventilation and vapor barrier protection recommended for heated spaces.

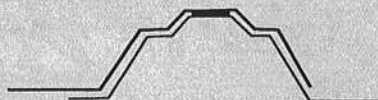
Allow an overhang of 2" at the eave to provide for a drip edge. Use inside closure at eave to prevent insect or bird infestation at openings.

To protect against uplifting winds and to provide a finished appearance, apply rake trim or other standard gable trim. Apply fasteners every 6-10".

14" ridge roll or ridge cap is recommended to prevent leakage. Seal off ridge and panel using outside closure strip.

Use of 3/8" side lap tape is recommended. Apply the tape as shown in Figure #6 along the top of all lap ribs. Do not block the siphon channel with the tape. For best results, apply a 7/8" lap tek screw into the crown of the rib to secure the side lap.

Figure #6 - Proper Application of Side Lap Tape



Siding

For best results, start siding at a door, window or other opening in the wall. Use corner trim, base molding, eave trim, and other trim to improve the weather-tightness and appearance of the structure.

ALLOWABLE UNIFORM LOADS PER SQUARE FOOT

Maximum purlin spacing for roof 2' on center and maximum girt spacing for sidewall 3' on center.

Place fasteners in the pan of panel for best results.

(Three Spans or More)

Span (inches)	LIVE LOADING							WIND UPLIFT LOADING						
	18"	24"	30"	36"	48"	60"	72"	18"	24"	30"	36"	48"	54"	72"
29 Gauge	200	112	72	50	28	18	14	281	158	101	70	40	25	18
26 Gauge	268	151	97	67	38	24	24	368	207	132	92	52	33	23

NOTES:

The panel weight has been deducted from the allowable stress values.

The wind uplift stress values have been increased by 33-1/3%.

The properties and load tables are for the panel alone.

The panel section properties have been calculated in accordance with the 1996 AISI Specification.

Steel panel material conforms to ASTM A446-85.

MasterRib® UL Ratings: UL2218 Impact Resistance Class 4 --- UL790 Fire Resistance Class A
26 Ga MasterRib® Metro-Dade County, FL Approval NOA #02-0726.06, Florida Code Approval #FL72
and ASCE 7-98 Compliant (meets FL Bldg Code); 29 Ga MasterRib® Florida Code Approval #FL2287

It is the users responsibility to verify all applicable code requirements for the area, check all measurements, and determine suitability of product for job. IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR PARTICULAR PURPOSE ARE DISCLAIMED. Copyright © 1998 by Union Corrugating Company. All rights reserved. No part of this document may be reproduced or distributed in any form whatsoever without prior written authorization.

Installation Instructions for MasterRib®

Storage

If metal is not to be used immediately, store inside in a well ventilated, dry location. Condensation or other moisture can form between the sheets during storage causing water stains or white rust which detract from the appearance of the product and may affect the product's useful life. **Trapped moisture between sheets of painted metal can cause white rust to form underneath the paint. This can cause the paint to flake off the panel immediately or several years later.** To prevent white rust and staining, break the shipping bands on the material. Store the material on end or on an incline of at least 8" with a supporting board underneath to prevent sagging. Fan the sheets slightly at the bottom to allow for air circulation. Keep the sheets off of the ground with an insulator such as wood. Any outdoor storage is at the customer's own risk. If outdoor storage cannot be avoided, protect the metal using a canvas cover or waterproof paper. Never cover the metal with plastic as this will cause condensation to form.

Some Safety Precautions

Always wear heavy gloves when working with steel panels to avoid cuts from sharp edges. When cutting or drilling steel panels, always wear safety glasses and sweep off any metal shavings immediately to prevent eye injury from flying metal fragments. If you must walk on a metal roof, take great care. Metal panels can become slippery, so always wear shoes with non-slip soles. Avoid working on metal roofs during wet conditions when the panels can become extremely slippery. Walking or standing on a metal roof which does not have a plywood or other deck beneath it is not recommended. However, if you must do so, always walk on the purlins, never between. Do not for any reason walk on a roof made of material less thick than 29 gauge.

General Installation Information

Insure that the structure is square and true before beginning panel installation. If the structure is not square, the panels will not properly seal at the side laps.

Green or damp lumber is not recommended. Moisture released from the damp lumber may damage the metal panels. Nails installed in green or damp lumber may back out.

The prevention of steel debris staining is the responsibility of the installer. The recommended tools for on site cutting are profile shears, hand shears, or electric nibblers. Friction saws and abrasive discs should not be used to cut panels.

Remove any loose metal shavings left on roof surface immediately to prevent corrosion. After installing roof, remove any debris such as leaves or dirt to prevent moisture from getting trapped on panels.

Fastening

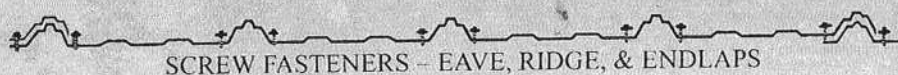
If you wish to predrill fastener holes, use a cover sheet to prevent hot shavings from sticking to panels.

Screws - For best results use a 1-1/2" double washered wood screw in the flat of the panel as shown in the illustration below. Fasteners should be applied at every purlin. Drive the fastener so that the washer is compressed securely against the metal. Do not over drive the fastener as this will form a dimple that can collect water and cause leakage. Do not leave any loose fasteners that have missed the purlin. Use a #14 stitch screw or caulk to fill the hole.

Nails - If the panels are nailed, use 1-3/4" ring-shanked neoprene washered nails. Nail into the crown of the major ribs of the panel as illustrated below. (See Figure #2 below). **NOTE: If rigid insulation is used directly under the panel, the fastener length needs to be increased to allow a minimum of 1" penetration into the wood.** General installation instructions listed above for screws also apply to nails. Do not apply nails into flat area of panel.

Figure #1 - Fastening Patterns for MasterRib®

RECOMMENDED FASTENING PATTERN FOR 1-1/2" SCREWS



SCREW FASTENERS - EAVE, RIDGE, & ENDLAPS



SCREW FASTENERS - INTERMEDIATE SUPPORTS



FASTENING PATTERN FOR 1-3/4" NAILS

Figure #2 - (Nails only)

UNDER DRIVEN CORRECT OVER DRIVEN



Figure #3



UNION
CORRUGATING COMPANY
Fayetteville, NC

www.unioncorrugating.com



SPENCER
STEEL SUPPLY

ANDERSON
STEEL SUPPLY

TIFTON
STEEL PRODUCTS

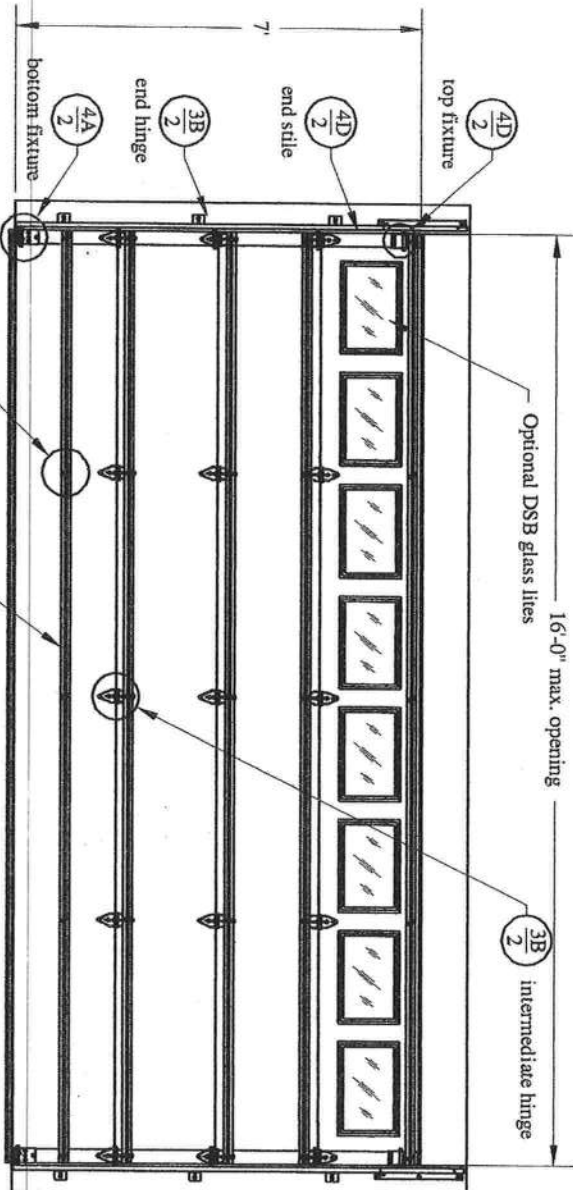
ORANGE
STEEL ROOFING

UNICO
METAL PRODUCTS

VICKSBURG
METAL PRODUCTS

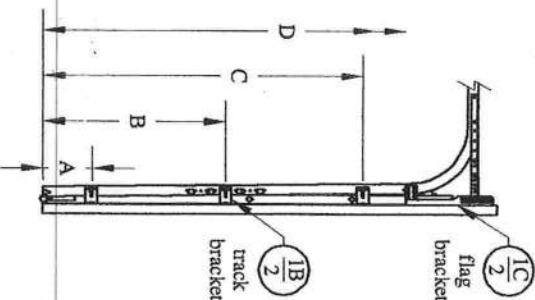
DAYTON
METALS

Door Model	Gauge in/text	Decimal in/text
2283/2284	27 / 27	.0155 / .0155
2285/2286	27 / 26	.0155 / .0170
4285	27 / 26	.0155 / .0170



door height	section quantity	strut quantity	trk brkt per side
6'-6" to 7'-0"	4	5	3
7'-6" to 8'-0"	5	6	4
8'-3" to 8'-9"	5	7	4
9'-0" to 10'-6"	6	9	5
10'-9" to 12'-3"	7	11	6
12'-6" to 14'-0"	8	13	7

Refer to Supplemental Instructions for strut placement on doors over 7'-0" high



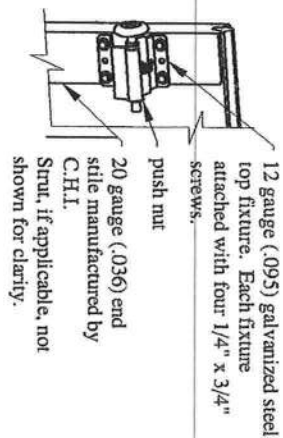
Track Bracket Chart		door height									
		6'-6"	6'-9"	7'-0"	7'-6"	7'-9"	8'-0"	8'-3"	8'-6"	8'-9"	
track brackets		D	n/a	n/a	n/a	72"	69"	72"	81"	84"	87"
	C	60"	63"	66"	58"	55"	58"	60"	63"	66"	
	B	35"	35"	38"	34"	31"	34"	32"	35"	38"	
	A	10"	7"	10"	10"	7"	10"	4"	7"	10"	

Track bracket locations shown above are for doors up to five sections high. Additional door sections may be added for a maximum door height of 14'-0". One track bracket (per track) must be added for each section and spaced at a distance not greater than the corresponding section height.

This door has been tested in accordance with ANSI/DASMA 108-2002
 Design Pressure (DP): 18.5 psf / 20.7 neg
 Test Pressure (TP): 27.8 psf / 31.1 neg
 Per 2004 FBC Table 1609.6E, DP meets or exceeds basic wind speed of:
 V = 110 MPH for Exposure B and mean roof height of 30' or less
 V = 93 MPH for Exposure C and mean roof height of 30' or less
 Maximum door size: 16'-0" wide by 14'-0" tall
 Glazing and door have not been tested for windborne debris.
 Wood buck and supporting structural elements shall be designed by a registered professional engineer for wind loads shown on this drawing. If door is not electrically operated, a lock must be installed.

Professional Engineer's seal provided only for verification of windload construction details

John F. Seares, P.E.
 1411 LeMay Street #205
 Carrollton, Texas 75007
 Florida P.E. #51737



The 2x6 vertical wood jambs are to be grade 2 or better southern pine. Fasteners may be countersunk to provide a flush mounting surface.

2" x 7/16" (nominal) Stop molding required (not supplied by C.H.I.)

12 gauge (.095) galvanized steel track bracket fastened to wood jamb with one 5/16" x 1-5/8" wood lag screw per bracket.

2" x .051 min. galvanized steel track fastened to track brackets. Each track bracket attached with one 1/4" x 5/8" track bolt and nut.

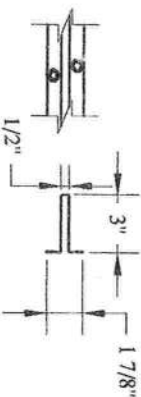
2" steel track roller.

End Hinge
16 gauge (.058) galvanized steel end hinge fastened to section with four 1/4" x 3/4" screws.
push nut
2 3/4"
3-1/2" (min.) stem

Intermediate Hinge
16 gauge (.058) galvanized steel intermediate hinge fastened to section with four 1/4" x 3/4" screws.
2 3/4"

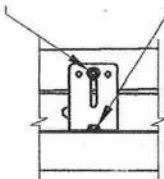
12 gauge (.102) galvanized steel bottom bracket manufactured by C.H.I. Each bracket attached with four red 1/4" x 3/4" screws.

20 gauge (.034) 33 ksi galvanized steel 3" strut attached with two 1/4" x 3/4" screws per stile or hinge plate.



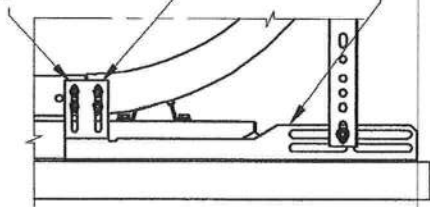
Each track bracket attached with one 1/4" x 5/8" track bolt and nut. Or two 1/4" x 11/32" rivets.

12 gauge (.095) galvanized steel track bracket fastened to wood jamb with one 5/16" x 1-5/8" wood lag screw per bracket.



Flag bracket attached to horizontal track with two 1/4" x 5/8" track bolts and nuts.

Flag bracket attached to vertical track with two 1/4" x 5/8" track bolts and nuts.



Details on some views may have been omitted for clarity.

Professional Engineer's seal provided only for verification of windload construction details

John E. Scates, P.E.
1411 LeMay Street #205
Carrollton, Texas 75007
Florida P.E. # 51737

Design Load: 18.5 pos / 20.7 neg
Test Load: 27.8 pos / 31.1 neg
page 2 of 2



ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844

Florida Engineering Certificate of Authorization Number: 0 278

Florida Certificate of Product Approval # FL1999

Page 1 of 1 Document ID:ITVH8228Z0229091507

Truss Fabricator: Anderson Truss Company
Job Identification: 9-192--OWNER BUILDER Jimmy Nettles-Lominack -- , **
Truss Count: 2
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 9.02.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
the seal date per section 61G15-31.003(5a) of the FAC
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: BRCLBSUB-A1103005-GBLLETIN-

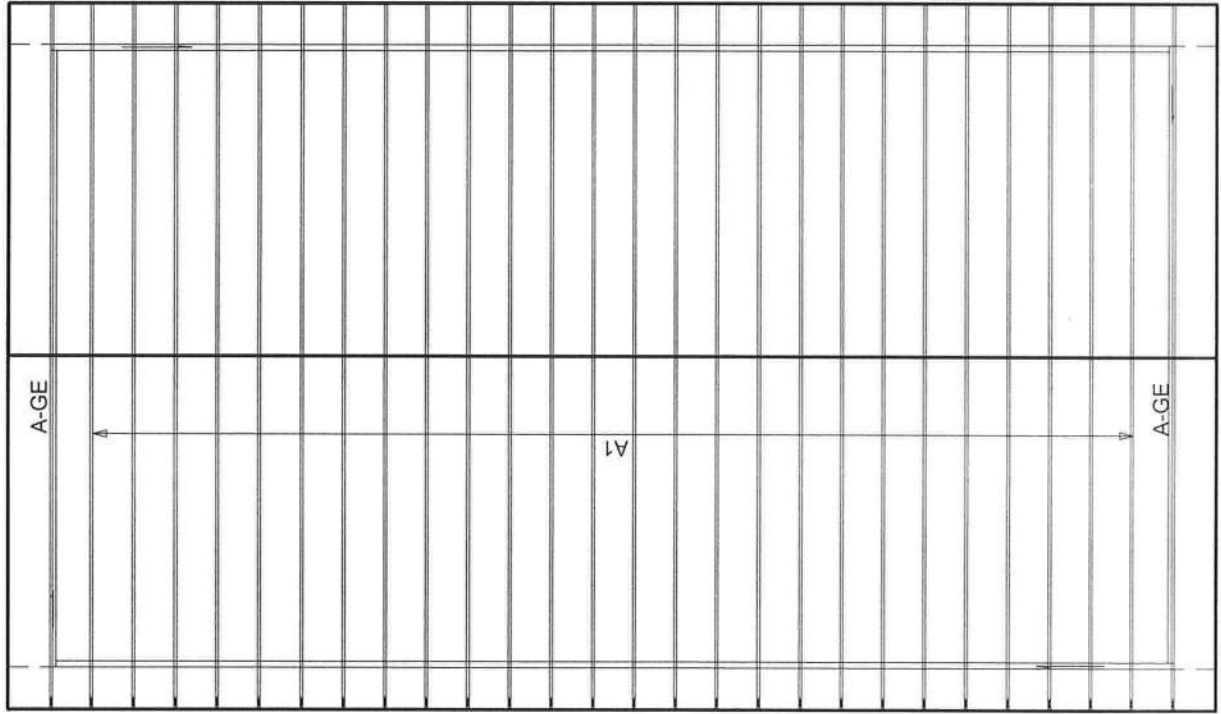
#	Ref	Description	Drawing#	Date
1	20889--A1		09272026	09/29/09
2	20890--A-GE		09272027	09/29/09

Seal Date: 09/29/2009

-Truss Design Engineer-
Doug Fleming
Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844



#9-192
 JIMMY NETTLES-
 LOMINACK
 Roof Plane Sheathing Area = 2205 sq. ft
 Gable Sheathing Area = 246 sq. ft
 Total Sheathing Area = 2451 sq. ft
 Fascia Material = 192 linear ft
 Ridge Cap Material = 58 linear ft



JOB DESCRIPTION: OWNER BUILDER
 /: Jimmy Nettles-Lominack

JOB NO:
 9-192

PAGE NO:
 1 OF 1

(9-192--OWNER BUILDER Jimmy Nettles-Lominack --, ** - A1)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

110 mph wind, 15.60 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpl(+/-)-0.18

Roof overhang supports 2.00 psf soffit load.

Wind reactions based on MWFRS pressures.

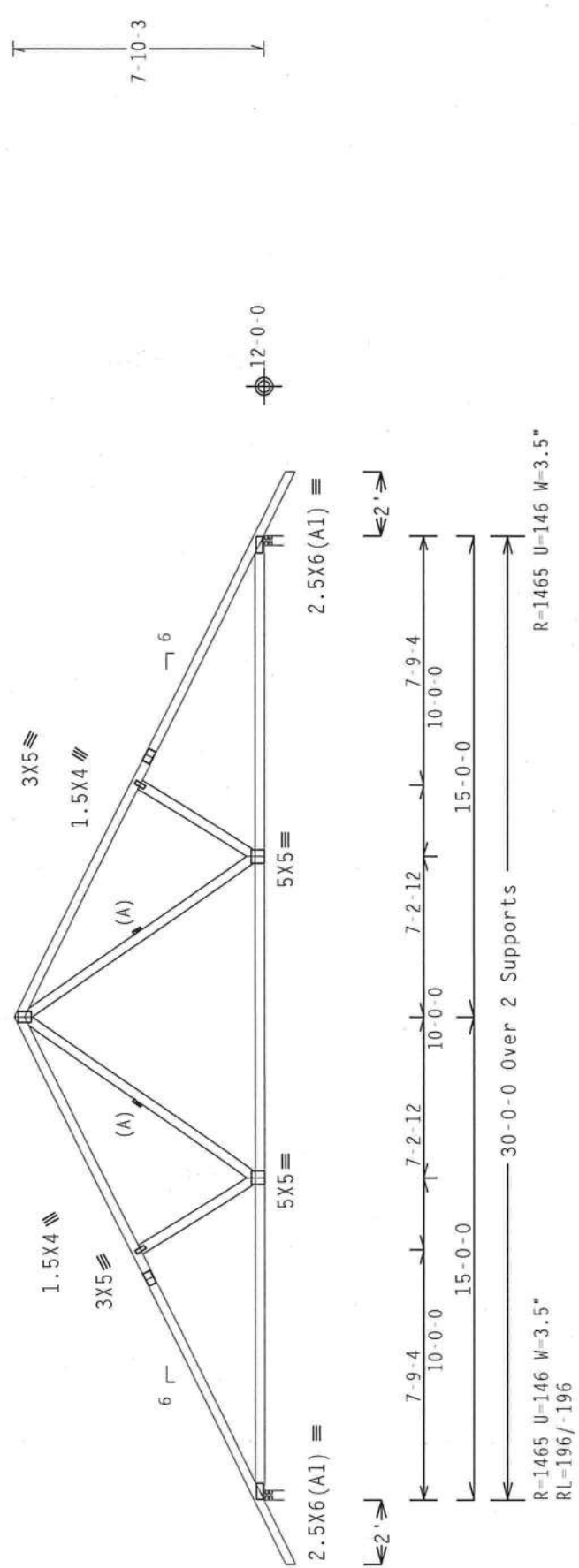
(A) Continuous lateral bracing equally spaced on member.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load.

4X5 (R) III



Design Crit: FBC2007Res/TPI-2002 (STD)
FT/RT=10%(0%) / 0(0)

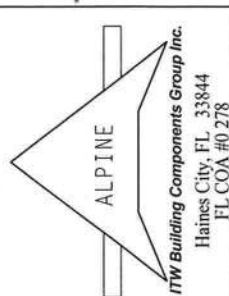
PLT TYP. Wave	QTY: 26 FL / - / 4 / - / - / R / -		Scale = .1875" / Ft.	
	TC LL	20.0 PSF	REF	R8228- 20889
	TC DL	10.0 PSF	DATE	09/29/09
	BC DL	10.0 PSF	DRW	HCUSR8228 09272026
	BC LL	0.0 PSF	HC - ENG	DF / DF *
TOT. LD.			SEON	48229
DUR. FAC.			FROM	AH
SPACING			JREF	1TVH8228Z02



****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BEST BUILDING COMPONENT SAFETY INFORMATION, PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND MICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, MI 48071) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITM BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF AISC (NATIONAL DESIGN SPEC. BY AISC) AND TPI. ITM BCG CORRELATOR PLATES ARE MADE OF 2018/16GA (4-H/55/8) ASH 6053 GRADE 40/60 (W, K/H/SS) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT DESIGNER. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



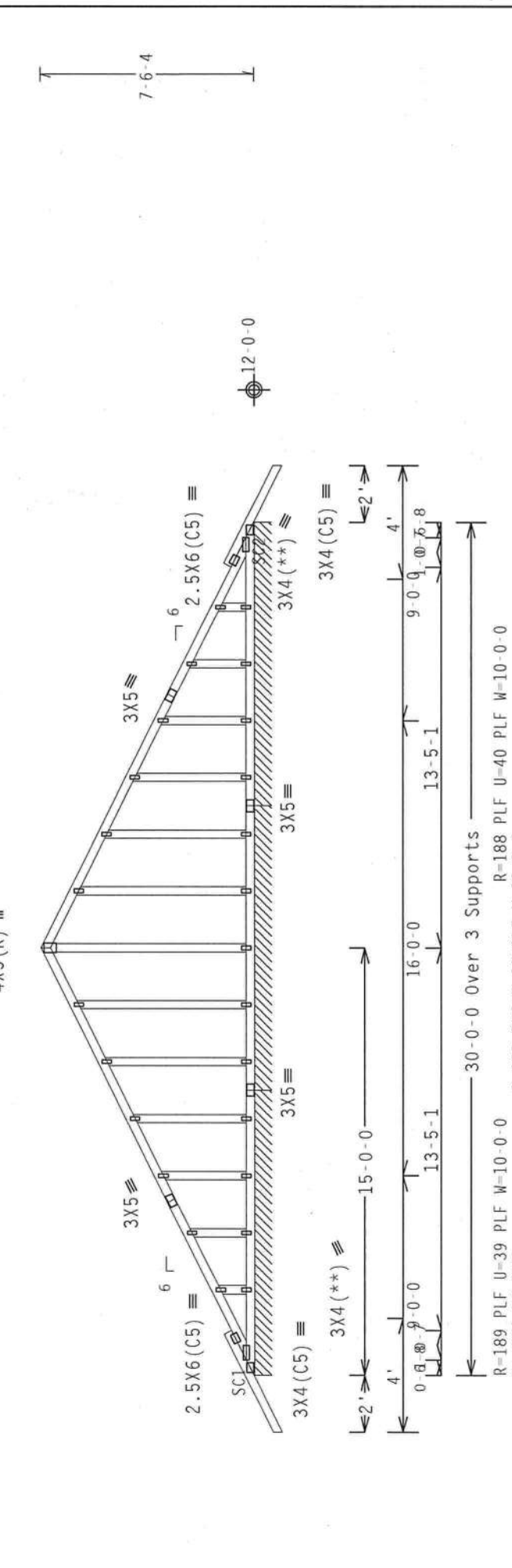
Top chord 2x4 SP #2 Dense	(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.
Bot chord 2x4 SP #2 Dense	
Web 2x4 SP #3	
Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:	110 mph wind, 15.43 ft mean hgt, ASCE 7-05, CLOSED bldg. Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. LW=1.00 GCoi(+/-)=0.18
Top overhang supports 2.00 psf soffit load.	

Truss spaced at 24.0" OC designed to support 2-0-0 top chord
outlookers. Cladding load shall not exceed 10.00 PSF. Top chord must
not be cut or notched.

stacked top chord must NOT be notched or cut in area (NNL). Attach stacked top chord (5c) to dropped top chord in notchable area using 4x4 tie-plates 24" o.c. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF
 HE ROOF, FLOOR AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS,
 AND SUPPORTING SHEAR WALLS. DIAPHRAGMS AND SHEAR WALLS MUST
 PROVIDE CONTINUOUS LATERAL RESTRAINT TO THE GABLE END. ALL
 CONNECTIONS ARE TO BE PROVIDED BY THE BUILDING DESIGNER.

4X5(R) III



Note: All Plates Are 1.5X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002 (STD)
 EST=10% (9%) (0.0)

RL-39/-39 PLF
 R-197 PLF U=10 PLF W=10-0-0

[illegible]



ITW Building Components Group Inc.
Haines City, FL 33844
El Cerrito, CA 40 278

REF: K8228- Z0890

DATE: 09/29/09

DRW: HCUSR8228 09272027

HC-ENG: DF/DF

SEQN: 48240

FROM: AH

JREF: 1TVH8228Z02

IC LL 20.0 PSF

TC DL 10.0 PSF

BC DL 10.0 PSF

BC LL 0.0 PSF

TOT.LD. 40.0 PSF

DUR.FAC. 1.25

SPACING SEE ABOVE

09

IMPORTANT** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN, INCLUDING FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC., BY ACPRA) AND TP1. ITW BCG CONNECTOR PLATES ARE MADE OF 2018/116GA (W-H/SS/N) ASTM A653 GRADE 40/60 (4. K/H/SS) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2. ANY INSPECTION OF PLATES FOLLOWED BY (3) SHALL BE PER ANNEX A3 OF TP1-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TP1-1 SEC. 2.

REFERENCE TO BECSI (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TP1 (TRUSS PLATE INSTITUTE, 2100 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND MICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

FLORIDA PROFESSIONAL ENGINEER

STATE OF FLORIDA

NO. 666648

DATE: 09/29/09

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

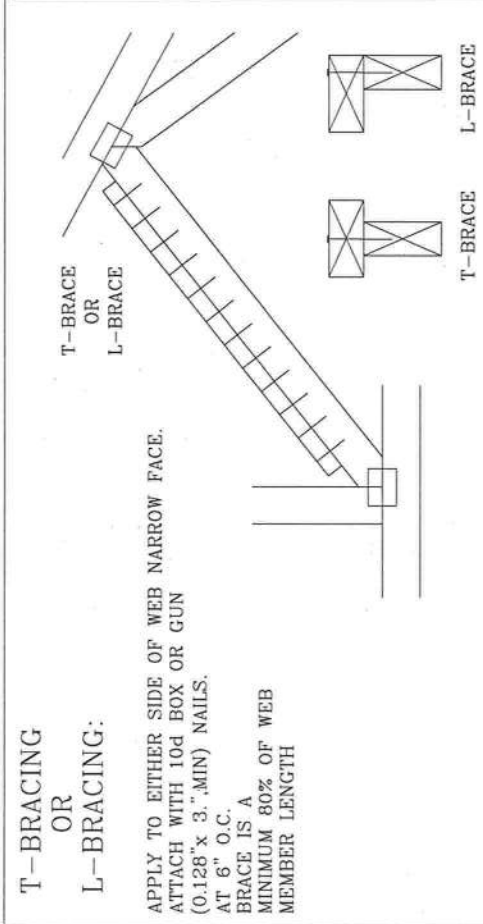
THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE. FOR MINIMUM ALTERNATIVE BRACING, RE-RUN DESIGN WITH APPROPRIATE BRACING.

WEB MEMBER SIZE	SPECIFIED CLB BRACING	T OR L-BRACE	ALTERNATIVE BRACING
2X3 OR 2X4	1 ROW	2X4	1-2X4
2X3 OR 2X4	2 ROWS	2X6	2-2X4
2X6	1 ROW	2X4	1-2X6
2X6	2 ROWS	2X6	2-2X4(*)
2X8	1 ROW	2X6	1-2X8
2X8	2 ROWS	2X6	2-2X6(*)

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

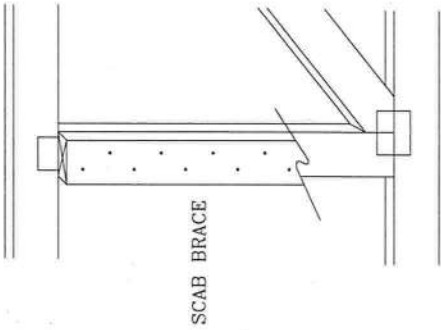
(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.



SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB. NO MORE THAN (1) SCAB PER FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3" MIN) NAILS. AT 6" O.C.

BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



****WARNING**** READ AND FOLLOW ALL NOTES ON THIS SHEET. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Trusses shall be installed in accordance with the manufacturer's instructions. Trusses shall be installed in accordance with the manufacturer's instructions. Trusses shall be installed in accordance with the manufacturer's instructions.

****IMPORTANT**** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. Trusses shall be installed in accordance with the manufacturer's instructions. Trusses shall be installed in accordance with the manufacturer's instructions. Trusses shall be installed in accordance with the manufacturer's instructions.

TC LL	PSF	REF	CLB SUBST.
TC DL	PSF	DATE	1/1/09
BC DL	PSF	DRWG	BRCLBSUB0109
BC LL	PSF		
TOT. LD.	PSF		
UR. FAC.			
PACING			



GABLE STUD REINFORCEMENT DETAIL

ASCE 7-05: 110 MPH WIND SPEED, 30' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

2X4 GABLE VERTICAL SPACING		BRACE GRADE		NO BRACES		(1) 1X4 "L" BRACE		(2) 2X4 "L" BRACE		(1) 2X6 "L" BRACE		(2) 2X6 "L" BRACE	
SPACING	SPECIES	#1 / #2	GRADE	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B	GROUP A	GROUP B
MAX GABLE VERTICAL LENGTH	SPF	#1 / #2	STANDARD	6' 4"	6' 6"	7' 6"	7' 8"	8' 11"	9' 2"	11' 9"	12' 1"	14' 0"	14' 0"
	HF	#3	STANDARD	5' 5"	5' 5"	7' 1"	7' 2"	8' 11"	8' 11"	11' 2"	11' 2"	14' 0"	14' 0"
	SP	#1	STANDARD	4' 0"	4' 8"	6' 1"	6' 1"	8' 3"	8' 3"	9' 6"	9' 6"	12' 11"	12' 11"
	DFL	#2	STANDARD	3' 11"	6' 10"	7' 6"	8' 1"	8' 11"	9' 7"	11' 9"	12' 8"	14' 0"	14' 0"
MAX GABLE VERTICAL LENGTH	SPF	#1 / #2	STANDARD	4' 9"	5' 6"	7' 3"	7' 3"	8' 11"	9' 5"	11' 4"	11' 4"	14' 0"	14' 0"
	HF	#3	STANDARD	4' 2"	7' 3"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
	SP	#1	STANDARD	4' 1"	5' 8"	7' 6"	7' 6"	10' 1"	10' 1"	11' 8"	11' 8"	14' 0"	14' 0"
	DFL	#2	STANDARD	4' 4"	6' 10"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"
MAX GABLE VERTICAL LENGTH	SPF	#1 / #2	STANDARD	4' 2"	5' 10"	7' 8"	7' 8"	10' 3"	10' 4"	11' 11"	11' 11"	14' 0"	14' 0"
	HF	#3	STANDARD	4' 6"	7' 8"	9' 5"	9' 5"	11' 3"	11' 3"	14' 0"	14' 0"	14' 0"	14' 0"
	SP	#1	STANDARD	4' 1"	5' 8"	7' 6"	7' 6"	10' 1"	10' 1"	11' 8"	11' 8"	14' 0"	14' 0"
	DFL	#2	STANDARD	4' 4"	6' 10"	8' 7"	8' 7"	10' 3"	10' 3"	13' 5"	13' 5"	14' 0"	14' 0"

BRACING GROUP SPECIES AND GRADES:

GROUP A:	
SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	#2
STANDARD	STANDARD
#3	STUD
DOUGLAS FIR-LARCH	
#3	STUD
STANDARD	STANDARD

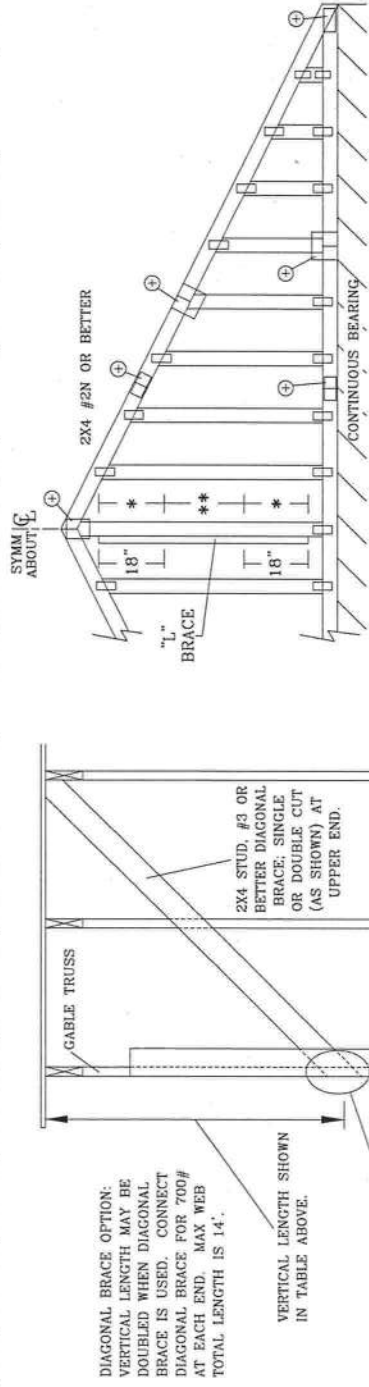
GROUP B:	
HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1
SOUTHERN PINE	#2

GABLE TRUSS DETAIL NOTES:

- LIVE LOAD DEFLECTION CRITERIA IS L/240.
- PROVIDE UPLIFT CONNECTIONS FOR 100 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
- GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
- ATTACH EACH "L" BRACE WITH 10d NAILS.
- * FOR (1) "L" BRACE: SPACE NAILS AT 2' O.C. IN 18" END ZONES AND 4' O.C. BETWEEN ZONES.
- ** FOR (2) "L" BRACES: SPACE NAILS AT 3' O.C. IN 18" END ZONES AND 6' O.C. BETWEEN ZONES.
- "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.

WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow ITW Building Components Safety Information, by TPI and WTC (for safety practices prior to performing work on trusses). Trusses are designed and manufactured to meet or exceed the requirements of the International Building Code (IBC) and shall have properly attached structural panels and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3 & B7. See this job's general notes for more information.

IMPORTANT** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTORS. ITW Building Components Group Inc. (BCSI) is not responsible for any deviation from this design. Trusses are designed and manufactured to meet or exceed the requirements of the International Building Code (IBC) and shall have properly attached structural panels and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI sections B3 & B7. See this job's general notes for more information.

REF ASCE7-05-CAB1030
DATE 1/1/09
DRWG A11030050109

MAX. TOT. LD. 60 PSF
MAX. SPACING 24' 0"



Earth City, MO 63045



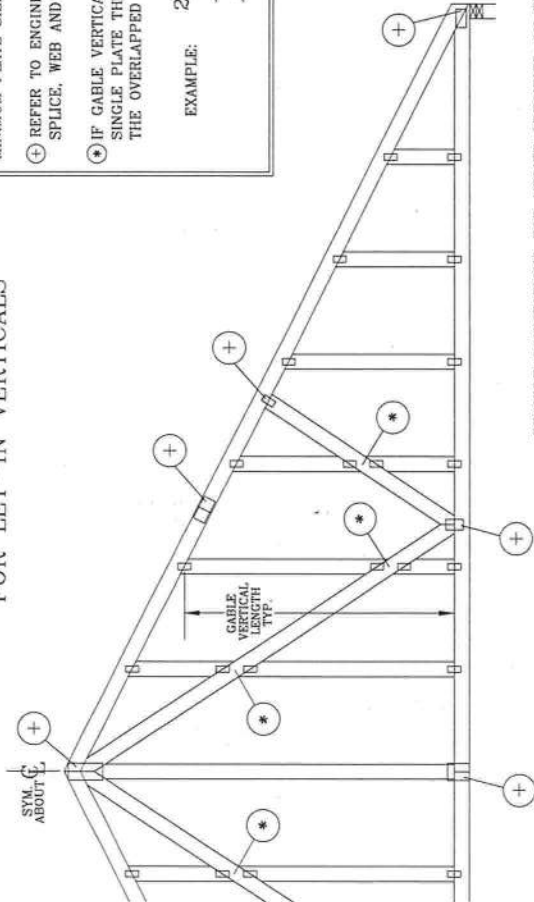
GABLE DETAIL FOR LET-IN VERTICALS

GABLE TRUSS PLATE SIZES

REFER TO APPROPRIATE ITW GABLE DETAIL FOR MINIMUM PLATE SIZES FOR VERTICAL STUDS.

⊕ REFER TO ENGINEERED TRUSS DESIGN FOR PEAK, SPLICE, WEB AND HEEL PLATES.

⊙ IF GABLE VERTICAL PLATES OVERLAP, USE A SINGLE PLATE THAT COVERS THE TOTAL AREA OF THE OVERLAPPED PLATES TO SPAN THE WEB.



PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

10d COMMON (0.148"x3" MIN) NAILS AT 4" O.C. PLUS

(4) NAILS IN TOP AND BOTTOM CHORD.

TOENAIL NAILS:

10d COMMON (0.148"x3" MIN) TOENAILS AT 4" O.C. PLUS

(4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE

WIND LOAD.

ASCE 7-98 GABLE DETAIL DRAWINGS

A13015980109, A12015980109, A11015980109, A10015980109,

A13030980109, A12030980109, A11030980109, A10030980109

ASCE 7-02 GABLE DETAIL DRAWINGS

A13015020109, A12015020109, A11015020109, A10015020109,

A13030020109, A12030020109, A11030020109, A10030020109,

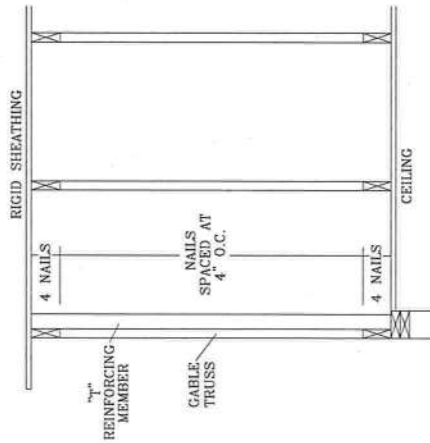
ASCE 7-05 GABLE DETAIL DRAWINGS

A13015050109, A12015050109, A11015050109, A10015050109,

A13030050109, A12030050109, A11030050109, A10030050109

SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM

UNREINFORCED GABLE VERTICAL LENGTH.



WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow ITW Building Components Inc. (ITWBC) safety practices prior to performing any work. ITWBC connector plates are made of 2018/16GA (W/H/S/K) ASTM A653 grade 37/40/60 (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the building designer per ANSI/TPI 1 Sec. 2.

ITW-BCC: www.itwbc.com; TPI: www.tpinet.com; WCA: www.wcaindustry.com; ICC: www.iccsafe.org

IMPORTANT FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.

ITW Building Components Inc. (ITWBC) will not be responsible for any deviation from this design.

any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing &

bracing of trusses. ITWBCG connector plates are made of 2018/16GA (W/H/S/K) ASTM A653 grade 37/40/60

(K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.

A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely

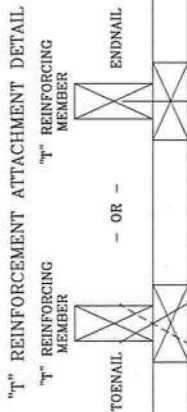
for the truss component design shown. The suitability and use of this component for any building is the

responsibility of the building designer per ANSI/TPI 1 Sec. 2.

ITW-BCC: www.itwbc.com; TPI: www.tpinet.com; WCA: www.wcaindustry.com; ICC: www.iccsafe.org



Earth City, MO 63045



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS, MULTIPLY "T" INCREASE BY LENGTH (BASED ON APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MRH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	20 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH

MEAN ROOF HEIGHT = 30 FT, Kz1 = 1.00

GABLE VERTICAL = 24" O.C. SP #3

"T" REINFORCING MEMBER SIZE = 2X4

"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10

(1) 2X4 "L" BRACE LENGTH = 6' 7"

MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH

1.10 x 6' 7" = 7' 3"

REF LET-IN VERT

DATE 1/1/09

DRWG GBLTIN0109

MAX TOT. LD. 60 PSF

DUR. FAC. ANY

MAX SPACING 24.0"



Inst: 200912016968 Date: 10/8/2009 Time: 3:49 PM
 DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1182 P: 429

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 19-55-16-03653-007

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): SW COR OF SW 1/4 OF NW 1/4 W 517.60 FT Pdb 776-11 TO E 210' TO SW 1/4 Tucknase
 - a) Street (job) Address: 2419 SW 1 Chetucknee Ave. Lake City, FL 32024
2. General description of improvements: Detached Garage
3. Owner Information
 - a) Name and address: Michael W. Lominack 2419 SW 1 Chetucknee Ave. Lake City, FL 32024
 - b) Name and address of fee simple titleholder (if other than owner) N/A
 - c) Interest in property OWNER
4. Contractor Information
 - a) Name and address: James C. Nettles 1240 SE Rogers Lulu FL 32061
 - b) Telephone No.: 386-755-5010 Fax No. (Opt.) N/A
5. Surety Information
 - a) Name and address: N/A
 - b) Amount of Bond: _____
 - c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
 - a) Name and address: N/A
 - b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
 - a) Name and address: N/A
 - b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
 - a) Name and address: N/A
 - b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): 10-08-2010

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

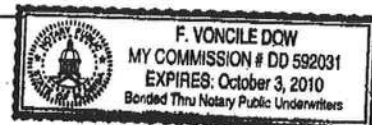
STATE OF FLORIDA
 COUNTY OF COLUMBIA

10. Michael W. Lominack
 Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Michael W. Lominack
 Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 8th day of Oct, 2009, by:
Michael Lominack as owner (type of authority, e.g. officer, trustee, attorney
 fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification FL D/L Type

Notary Signature F. Voncile Dow Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Michael W. Lominack
 Signature of Natural Person Signing (in line #10 above.)

COLUMBIA COUNTY OFFICE OF SALVAGE

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 19-5S-16-03653-007

Building permit No. 000028130

Use Classification DETACHED GARAGE

Fire: 0.00

Permit Holder JAMES NETTLES

Waste:

Owner of Building MICHAEL & LAUREL LOMINACK

Total: 0.00

Location: 2419 SW ICHETUCKNEE AVE., LAKE CITY, FL

Date: 12/02/2009

Wayne H. Ruess

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE BAY AVE

City LAKE CITY Phone 752 1703

Site Location: Subdivision _____

Lot # _____ Block# _____ Permit # 28130

Address 8419 SW Lochucknee

Product used

Active Ingredient

% Concentration

☒ Premise Imidacloprid 0.1%

☐ Termidor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

DET Garage

1670

168

115

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

10/20/09
Date

1200
Time

James Parker F254
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

