

DATE 09/14/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026235

APPLICANT	ROXANNE NAPIER	PHONE	386.719.7143
ADDRESS	2109 W US HWY 90,STE 170,PMB #338	LAKE CITY	FL 32025
OWNER	ISAAC BRATKOVICH	PHONE	386.719.7143
ADDRESS	228 SW WATERFORD COURT	LAKE CITY	FL 32025
CONTRACTOR	ISAAC BRATKOVICH	PHONE	386.719.7143
LOCATION OF PROPERTY	90- W TO C-341,TL TO MIDTON COMM. DEV.TL @ STOP SIGN @ WATERFORD CT, AND IT'S ON THE L.(2ND ON L)		
TYPE DEVELOPMENT	COMM. WAREHOUSE	ESTIMATED COST OF CONSTRUCTION	175000.00
HEATED FLOOR AREA	4200.00	TOTAL AREA	HEIGHT 120.00 STORIES 1
FOUNDATION	CONC	WALLS METAL	ROOF PITCH 1/212 FLOOR CONC
LAND USE & ZONING	CI	MAX. HEIGHT	120
Minimum Set Back Requirments:	STREET-FRONT 20.00	REAR 15.00	SIDE 15.00
NO. EX.D.U.	0	FLOOD ZONE	XPP DEVELOPMENT PERMIT NO.

PARCEL ID	31-3S-17-06247-112	SUBDIVISION	MIDTOWN COMMERCIAL CENTER
LOT	12	BLOCK	PHASE UNIT TOTAL ACRES 0.50

000001447	CBC059323	/ Roxanne Napier	
Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
WAIVER	X-07-346	BLK	JTH N
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance New Resident

COMMENTS: PARCEL LESS THAN 1 ACRE.NO SDP REQUIRED. ENGINEER REQUIRES MFE OF 175.6'. CONFIRMATION LETTER REQUIRED.

Check # or Cash 8985

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power	Foundation	Monolithic
date/app. by	date/app. by	date/app. by
Under slab rough-in plumbing	Slab	Sheathing/Nailing
date/app. by	date/app. by	date/app. by
Framing	Rough-in plumbing above slab and below wood floor	
date/app. by		date/app. by
Electrical rough-in	Heat & Air Duct	Peri. beam (Lintel)
date/app. by	date/app. by	date/app. by
Permanent power	C.O. Final	Culvert
date/app. by	date/app. by	date/app. by
M/H tie downs, blocking, electricity and plumbing		Pool
	date/app. by	date/app. by
Reconnection	Pump pole	Utility Pole
date/app. by	date/app. by	date/app. by
M/H Pole	Travel Trailer	Re-roof
date/app. by	date/app. by	date/app. by

BUILDING PERMIT FEE \$	875.00	CERTIFICATION FEE \$	0.00	SURCHARGE FEE \$	0.00
MISC. FEES \$	0.00	ZONING CERT. FEE \$	50.00	FIRE FEE \$	0.00
WASTE FEE \$					
FLOOD DEVELOPMENT FEE \$		FLOOD ZONE FEE \$	25.00	CULVERT FEE \$	
				TOTAL FEE	950.00
INSPECTORS OFFICE			CLERKS OFFICE		

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

HN: WEEG: E

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000001447**

DATE: 09/14/2007

BUILDING PERMIT NO. 26235

APPLICANT ROXANNE NAPIER

PHONE 719-7143

ADDRESS 2109 W US HIGHWAY 90, STE 170, PMB # 338

LAKE CITY

FL 32055

OWNER ISAAC BRATKOVICH

PHONE 719-7143

ADDRESS 228 SW WATERFORD CT

LAKE CITY

FL 32025

CONTRACTOR ISAAC CONSTRUCTION

PHONE 719-7143

LOCATION OF PROPERTY 90W, TL ON SISTER'S WELCOME RD, TL ON MIDTOWN COMMERCIAL PLACE,
TL ON WATERFORD COURT, 2ND ON LEFT.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT MIDTOWN COMM. CENTER

12

PARCEL ID # 31-3S-17-06247-112

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: Roxanne Napier

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE
CULVERT WAIVER IS:

✓

APPROVED

NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: _____

SIGNED: Euto Plut

DATE: 9/19/07

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160





BAILEY BISHOP & LANE, INC.

Engineers

Surveyors

Planners

November 15, 2007

26235

Lot 12, Midtown Commercial Subdivision

Isaac Construction, Inc.
2109 W US Hwy 90, Suite 170
Lake City, FL 32055

To Whom it May Concern:

Bailey Bishop & Lane, Inc. has performed as-built survey of the building under construction at Lot 12, Midtown Commercial subdivision and have found that the finish floor elevation to be 175.93'. The site plans for said building require the finish floor elevation to be 175.60'.

Please feel free to contact me if you have any additional questions.

Sincerely,

Scott Daniel, PSM
Director of Surveying
Bailey Bishop & Lane, Inc.

P. O. Box 3717

Lake City, FL 32056-3717

Ph. (386) 752-5640

FAX (386) 755-7771

P. O. Box 814

Port St. Joe, FL 32457

Ph. (850) 227-9449

FAX (850) 227-9650

1835 Fiddler Court

Tallahassee, FL 32308

Ph. (850) 894-1200

FAX (850) 894-0200

COLUMBIA COUNTY FIRE DEPARTMENT



P. O. BOX 1529
LAKE CITY, FL 32056
PHONE (386) 754-7071
FAX (386) 754-7064

08 February 2008

**To: Columbia County Building and Zoning
Attention: Harry Dicks**

**From: Jeff Crawford
Columbia County Fire Department**

**Re: Permit # 26235,
Isaac Bratkozich, 228 SW Waterford Court, Lake City, Florida**

Mr. Dicks,

I fire safety inspection was performed today of the above address. This building meets all requirements of Chapter 36 of the Florida Fire Prevention Code, 2004 edition. I recommend approval.

Columbia County Building Permit Application

CK# 807-346 (JW)

For Office Use Only Application # 0708-70 Date Received 8/29/07 By CH Permit # 1447/267034
 Application Approved by - Zoning Official B2K Date 31.08.07 Plans Examiner DKYTH Date 9-11-07
 Flood Zone 2p91t Development Permit N/A Zoning CI Land Use Plan Map Category COMMERCIAL
 Comments Parcel Less than 1 Acre no SDP Required Engineer requires F.F.E. of 175.6' Confirmation Letter Required
☐ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit Roxanne Napier Phone 719-7143
 Address 2109 W US Hwy 90, Suite 170, PMB #338 LC FL 32055
 Owners Name Isaac C Bratkovich Phone _____
 911 Address 228 SW Waterford Ct, Lake City, FL 32025
 Contractors Name Isaac Construction Phone _____
 Address 2109 W US Hwy 90, Suite 170, PMB #338 LC FL 32055
 Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____

Architect/Engineer Name & Address Will Myers / Nick Geisler
 Mortgage Lenders Name & Address Campus USA Credit Union

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 31-35-17-06247-112 Estimated Cost of Construction \$175,000.00
 Subdivision Name Midtown Commercial Place Center Lot 12 Block _____ Unit _____ Phase _____
 Driving Directions Take us 90 to Sisters Welcome Rd. Turn left into Midtown Commercial Place. Turn left at stop sign onto Waterford Court. Lot #12 is on left. 2nd

Type of Construction Commercial Warehouse Number of Existing Dwellings on Property 0 on 1/8
 Total Acreage 1/2 AC Lot Size 21,817 SF Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 20'57" Side 10'12" Side 10'58" Rear 15'30"
 Total Building Height 120'-0" Number of Stories 1 Heated Floor Area 4,200 SF Roof Pitch 12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter Barbara C. Webster Contractor Signature Isaac Bratkovich
 STATE OF FLORIDA Commission # DD329279 Contractors License Number BC05932
 COUNTY OF COLUMBIA Expires July 2, 2008 Competency Card Number _____
 NOTARY STAMP/SEAL

Sworn to (or affirmed) and subscribed before me
 this 29th day of August 2007
 Personally known X or Produced Identification 8984
 Notary Signature Barbara Webster (Revised Sept. 2006)
SPOKE TO Roxanne

ATTN: KAREN



Greater Lake City Regional Utility Authority

205 North Marion Avenue
LAKE CITY, FLORIDA 32055-3918
TELEPHONE: 386.719.5778 FAX: 386.719.5837
E-mail: customer.service@ci.lake-city.fl.us

APPLICATION FOR WATER/SEWER/GAS TAP-CAPACITY COMMITMENT

Project Name: MILITARY LOT #12 Date/Time: 8-31-07
Service Address: 228 SW. Waterford Court Lake City 32025
Applicant Name: Isaac Const. Telephone Number: 386-719-7143
Applicant's Agent: Roxanne Napier Telephone Number: 386-719-7143
Business Name: Isaac Const. Telephone Number: 386-719-7143
Parcel ID #'s: 31-35-17-06247-112
Mailing Address: 2109 W. US HWY 90 Suite 170 PMB 338
Lake City FL 32055

Requested Water Capacity: ☐ No ☒ Yes, in the amount of 500 gpd/gph
Requested Sewer Capacity: ☐ No ☒ Yes, in the amount of 250 gpd/gph
Requested Gas Capacity: ☒ No ☐ Yes, in the amount of btu/unit

Application For:

☒ Water/Tap Size 1" ☒ Sewer/Tap Size 4"
☐ Irrigation/Tap Size N/A ☐ Gas/Tap Size N/A

Meter Size /Quantity: ☐ 3/4" ☒ 1" ☐ 1 1/2" ☐ 2" ☐ 6" ☐ Other Specify

Within City limits: ☒ Yes ☐ No

Fire Protection: ☒ No ☐ Yes, Diameter of new mainline
Quantity of new Hydrants:

Growth Management Zoned: Commercial ☐ Residential ☒ Commercial ☐ Industrial

The above named applicant request that an inspection be made by the Greater Lake City Regional Utility Authority for verification of available services based on address, parcel numbers, lot numbers, etc. Upon confirmation of both capacity and or availability, the applicant will be notified and provided a "Cost Estimate/Tap & Impact Fees" summary.

NOTE: This is only an estimate, fees are subject to change.

Applicant: Roxanne Napier

Date: 8-31-07

Service Available Date Requested

Date:

Billing will begin upon completion of tap.

ATTN: KAREN

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/24/2007 DATE ISSUED: 8/24/2007

ENHANCED 9-1-1 ADDRESS:

228 SW WATERFORD CT
LAKE CITY FL 32025

PROPERTY APPRAISER PARCEL NUMBER:

31-3S-17-06247-112

Remarks:

LOT 12 MIDTOWN COMMERCIAL CENTER S/D

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

Approved Address

AUG 24 2007

911Addressing/GIS Dept

932

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 05-750
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Property Appraiser's
Identification Number

Inst:2005022401 Date:09/14/2005 Time:09:22
Doc Stamp-Deed : 489.30
mk DC, P. DeWitt Cason, Columbia County B:1058 P:475

WARRANTY DEED

This Warranty Deed, made this 3/5 day of August, 2005, BETWEEN THOMAS H. EAGLE, STEPHEN N. KIRALY and WILLIAM H. RILEY, of the State of Florida, grantor*, and ISAAC CONSTRUCTION, INC., A Florida Corporation, whose post office address is 144 SW Waterford Court, Suite 101, Lake City, FL 32025, of the County of Columbia, State of Florida, grantee*.

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 12, MIDTOWN COMMERCIAL CENTER, a subdivision according to the plat thereof as recorded in Plat Book 6, Pages 200-201 of the public records of Columbia County, Florida.

N.B.: Neither the Grantors nor any member of their families live on or reside on the property described herein or any adjacent land thereto or claim any part hereof or any adjacent land thereto as their homestead.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And subject to taxes for the current year and later years and all valid easements and restrictions of record, if any, which are not hereby reimposed; and also subject to any claim, right, title or interest arising from any recorded instrument reserving, conveying, leasing, or otherwise alienating any interest in the oil, gas and other minerals. And grantor does warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, subject only to the exceptions set forth herein.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

LYNN H. ROBERTS
(Signature of First Witness)
(Typed Name of First Witness)

KAREN WRIGHT
(Signature of Second Witness)
(Typed Name of Second Witness)

LYNN H. ROBERTS
Witness #1 as to SNK & WHR

Janet Riley
Witness #2 as to SNK & WHR

STATE OF Florida
COUNTY OF FLA

The foregoing instrument was acknowledged before me this 30th
day of August, 2005, by STEPHEN N. KIRALY and WILLIAM H. RILEY, who
are personally known to me or who have produced DL as
identification and who did not take an oath.

My Commission Expires:
(Seal)

THOMAS H. EAGLE (SEAL)
Grantor

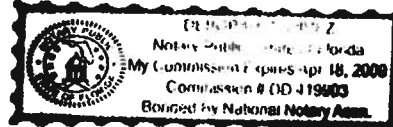
THOMAS H. EAGLE
Printed Name

STEPHEN N. KIRALY (SEAL)
Grantor

STEPHEN N. KIRALY
Printed Name

WILLIAM H. RILEY (SEAL)
Grantor
WILLIAM H. RILEY

Deborah A. Ramirez
Notary Public
Printed, typed, or stamped name:

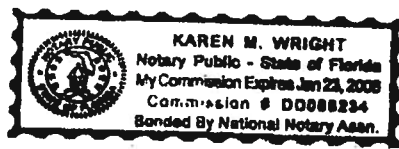


STATE OF Florida
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 30th
day of August, 2005, by THOMAS H. EAGLE who is personally known to
me or who has produced Personal Knowledge as identification and who
did not take an oath.

My Commission Expires:

Karen M. Wright
Notary Public
Printed, typed, or stamped name:



Columbia County Property Appraiser

DB Last Updated: 8/2/2007

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

New Super Homestead Taxable Value Calculator

Print

Parcel: 31-3S-17-06247-112

Search Result: 1 of 1

Owner & Property Info

Owner's Name	ISAAC CONSTRUCTION INC		
Site Address	MIDTOWN COMM CENTER		
Mailing Address	2109 W US HIGHWAY 90 SUITE 170 PMB 338 LAKE CITY, FL 32055		
Use Desc. (code)	VACANT COM (001000)		
Neighborhood	31317.06	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000 ACRES		
Description	LOT 12 MIDTOWN COMMERCIAL CENTER S/D. ORB 835-764, WD 1039-2288, WD 1058-475.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$60,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$60,000.00

Just Value	\$60,000.00
Class Value	\$0.00
Assessed Value	\$60,000.00
Exempt Value	\$0.00
Total Taxable Value	\$60,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
8/31/2005	1058/475	WD	V	Q		\$69,900.00
3/4/2005	1039/2288	WD	V	U	02	\$150,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001000	VACANT COM (MKT)	1.000 LT - (.000AC)	1.00/1.00/1.00/1.00	\$60,000.00	\$60,000.00

Columbia County Property Appraiser

DB Last Updated: 8/2/2007

1 of 1

-----EXTRA FEATURES-----										FIELD CK:				-----					
AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	
		LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:									
AE		CODE		TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS				UNITS	UT	PRICE	ADJ	UT	PI
N	001000	VACANT	COM	CI	0007					1.00	1.00	1.00	1.00	1.000	LT	60000.000		60000.0	
				0002	0006														
L001 - 0.50 AC																			
2007																			



Lake City (386) 755-3611
Gainesville (352) 494-5751
Fax (386) 755-3885
Toll Free 1-800-616-4707

Notice of Intent for Preventative Treatment for Termites
(as required by Florida Building Code (FBC) 104.2.6)

Aspen Pest Control, Inc.
(386) 755-3611
State License # - JB109476
State Certification # - JF104376

228 SW Waterford Ct. Lake City, FL 32025 (Isaac Construction)

Address of Treatment or Lot/Block of Treatment

Bora-Care Wood Treatment – 23% Disodium Octaborate Tetrahydrate

Method of Termite Prevention – Soil Barrier, Wood Treatment, Bait System, Other

Application onto Structural Wood

Description of Treatment

The above named structure will receive a complete treatment for the prevention of subterranean termites at the dried-in stage of construction. Treatment is done in accordance with the rules and laws established by the Florida Department of Agriculture and Consumer Services and according to EPA registered label directions as stated in Florida Building Code Section 1861.1.8.

Michelle Fischer
Authorized Signature

8-27-07
Date

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 05-750
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Property Appraiser's
Identification Number

Inst:2005022401 Date:09/14/2005 Time:09:22
Doc Stamp-Deed : 489.30
MK DC, P. DeWitt Cason, Columbia County B:1058 P:475

WARRANTY DEED

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(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 12, MIDTOWN COMMERCIAL CENTER, a subdivision according to the plat thereof as recorded in Plat Book 6, Pages 200-201 of the public records of Columbia County, Florida.

N.B.: Neither the Grantors nor any member of their families live on or reside on the property described herein or any adjacent land thereto or claim any part hereof or any adjacent land thereto as their homestead.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And subject to taxes for the current year and later years and all valid easements and restrictions of record, if any, which are not hereby reimposed; and also subject to any claim, right, title or interest arising from any recorded instrument reserving, conveying, leasing, or otherwise alienating any interest in the oil, gas and other minerals. And grantor does warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, subject only to the exceptions set forth herein.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

LH 9/17
(Signature of First Witness)

LYNN H. ROBERTS
(Typed Name of First Witness)

Karen Wright
(Signature of Second Witness)

Karen Wright
(Typed Name of Second Witness)

LH 9/17
Witness #1 as to SNK & WHR

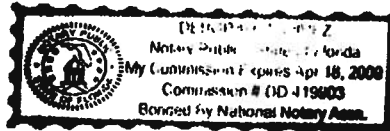
Janet Riley
Witness #2 as to SNK & WHR

STATE OF Florida
COUNTY OF FLC

The foregoing instrument was acknowledged before me this 30th
day of August, 2005, by STEPHEN N. KIRALY and WILLIAM H. RILEY, who
are personally known to me or who have produced OK as
identification and who did not take an oath.

My Commission Expires:
(Seal)

Deborah A. Ramirez
Notary Public
Printed, typed, or stamped name:

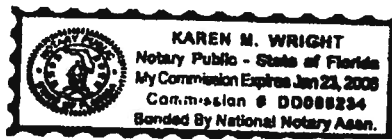


STATE OF Florida
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 3rd
day of August, 2005, by THOMAS H. EAGLE who is personally known to
me or who has produced Resend Kraly as identification and who
did not take an oath.

My Commission Expires:

Karen M. Wright
Notary Public
Printed, typed, or stamped name:



Notice of Intent for Preventative Treatment for Termites
(As required by Florida Building Code 104.2.6)

Date: 9-13-07
St. Vincent

(Address of Treatment or Lot/Block of Treatment)

City

Florida Pest Control & Chemical Co
www.flapest.com

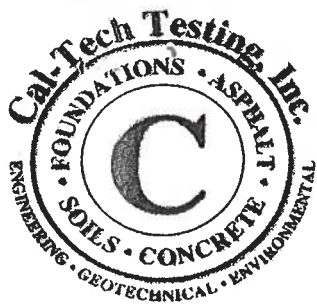
Product to be used: Bora-Care Termiticide (Wood Treatment)

Chemical to be used: 23% Disodium Octaborate Tetrahydrate

Application will be performed onto structural wood at dried-in stage of construction.
Bora-Care Termiticide application shall be applied according to EPA registered label directions as stated in the Florida Building Code Section 1861.1.8.

(Information to be provided to local building code offices prior to concrete foundation installation.)

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

P.O. Box 1625 • Lake City, FL 32056

4784 Rosselle Street • Jacksonville, FL 32254

2230 Greensboro Highway • Quincy, FL 32351

LABORATORIES

Tel. (386) 755-3633 • Fax (386) 752-5456

Tel. (904) 381-8901 • Fax (904) 381-8902

Tel. (850) 442-3495 • Fax (850) 442-4008

September 9, 2007

Isaac Construction, Inc.

2109 West U.S. 90, Suite 170, PMB 338
Lake City, Florida 32055

Attention: Mr. Josh Willems

Reference: Subsurface Exploration
New Office Building
SW Waterford Ct., Lake City, Columbia County, Florida
Cal-Tech Project No. 07-00430

Dear Mr. Willems:

Cal-Tech Testing, Inc. (CTI) has completed the subsurface exploration and engineering evaluation for the proposed commercial development located on SW Waterford Court in Lake City, Florida. Our work was performed in conjunction with and authorized by you.

INTRODUCTION

This report presents the results of our subsurface exploration performed for the proposed commercial development. The services rendered by CTI during the course of this exploration can be summarized as follows:

- Reviewed available in-house data such as results of similar exploration and published data including the U.S.G.S. Quadrangle map, and the Geologic Map of Florida for this area.
- Planned and performed three (3) SPT soil borings each extending to a depth of 15 feet below the existing ground surface.
- Reviewed and analyzed gathered data in order to evaluate the subsurface conditions with respect to the proposed construction.
- Prepared this report, which includes the results of our field exploration as well as our recommendations with respect to foundation design, foundation related site work, general site development, and quality control.

PROJECT INFORMATION

The subject site is located on the west side of SW Waterford Court approximately 125 feet north of SW Midtown Place in Lake City, Columbia County, Florida. It is our understanding the proposed development will consist of constructing a 35 by 120 feet one-story building for use as office space/light retail. We assume that the building frame will consist of interior steel columns with steel joists and girders with metal decking. Structural loading information for the building is not available at this time; however, we anticipate that column loads will be no greater than 50 kips and wall loads no greater than 3 kips per lineal foot. Design grade elevations were also not provided at this. We anticipate that less than 2 feet of earthwork fill (and no significant cut) will be required to bring the sites to the desired grades.

The existing site conditions were observed by the author of this document on August 31, 2007. At the time of our site visit, the ground surface within the construction area was stripped of topsoil and was at or near finished subgrade elevation. Exposed soils generally consisted of light gray to dark gray silty fine sand (SM/SP).

FIELD PROGRAM

The field investigation consisted of performing three (3) Standard Penetration Test (SPT) borings, each extending to a depth of 15 feet below the existing ground surface. The boring locations were determined in the field by our personnel during the initial site visit. For the approximate location of each SPT boring, refer to the attached Field Exploration Plan.

The sampling and penetration procedures of the SPT borings were accomplished in general accordance with **ASTM D-1586**, using a power rotary drill rig. The standard penetration tests were performed by driving a standard 1-3/8" I.D. and 2" O.D. split spoon sampler with a 140 pound hammer falling 30 inches. The number of hammer blows required to drive the sampler a total of 18 inches, in 6-inch increments, were recorded. The penetration resistance or "N" value is the summation of the last two 6-inch increments and is illustrated on the attached boring records adjacent to their corresponding sample depths. The penetration resistance is used as an index to derive soil parameters from various empirical correlations.

The results of the SPT borings are shown on the attached Generalized Subsurface Profile. It must be noted the stratification lines indicated on the boring logs represent the approximate boundaries between major soil types and the actual transition may be gradual.

SUBSURFACE CONDITIONS

In general, the soil profile as disclosed by SPT borings B-1 through B-3 initially consisted of about 12 inches of brown silty fine sand (SM). This surficial cover was underlain by about 4 ½ to 5 ½ feet of tan to light tan, fine sand (SP). This stratum was underlain by about 6 ½ to 7 feet of light gray and reddish tan clayey fine sand (SP/SC or SC). These clayey soils were underlain by about 2 ½ to 3 feet of tan fine sand (SP).

With the exception of the upper 5 feet of existing ground surface, the soils encountered have a relative density of loose to medium with "N" values ranging from 7 to 22 Blows Per Foot (BPF). Soils encountered within the upper 5 feet were found in a very loose to loose relative density with "N" values ranging from 1 to 7 BPF.

For a more detailed description of the subsurface conditions encountered, please refer to the attached Generalized Subsurface Profile. Note that the transition between soil types may be gradual and not abrupt as indicated by the boring logs; therefore, the thickness of soil layers should be considered approximate.

Groundwater

The depth to groundwater level was measured at the boring locations at the time of drilling. The groundwater table was encountered at a depth ranging from 8 to 8 ½ feet below the existing ground surface. Due to the relatively short time frame of the field exploration, the groundwater may not have had sufficient time to stabilize. Groundwater level fluctuation should be anticipated due to precipitation, construction activities, or other interrelated factors.

Discussion and Recommendations

The subject site is considered acceptable for the support of the proposed structure on a conventional shallow foundation system. Provided individual column footings and continuous wall footings bear on compacted acceptable existing soils or newly placed structural fill soils, the shallow foundation may be designed using an allowable net soil bearing pressure of 2,500 psf.

Due to the varying density of the upper soils, it is recommended the exposed subgrade be proofrolled and proofcompacted to a depth of 3 ½ feet below the existing grade prior to concrete placement (including bottom of footings and slab areas). This may require the overexcavation and recompaction of the upper 3 ½ feet of the existing soils. Soils should be proofcompacted to a minimum of 95% of the modified Proctor maximum dry density (ASTM D 1557).

The exploration and recommendations presented in this report are based upon subsurface conditions encountered at a specific location and time as presented within this report. However, subsurface conditions may exist that differ from our findings. We request that we be notified if dissimilar subsurface conditions are encountered.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Should you have questions concerning this report or if we may be further service, please contact this office.

Respectfully submitted,
Cal-Tech Testing, Inc.

Linda Creamer, CEO

Linda Creamer
President / CEO

Nabil O. Hmeidi 9/7/07
Nabil O. Hmeidi, P.E.
Senior Geotechnical Engineer
Licensed, Florida No. 57842

Columbia County Property Appraiser

DB Last Updated: 8/2/2007

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

New Super Homestead Taxable Value Calculator

Print

Parcel: 31-3S-17-06247-112

Search Result: 1 of 1

Owner & Property Info

Owner's Name	ISAAC CONSTRUCTION INC		
Site Address	MIDTOWN COMM CENTER		
Mailing Address	2109 W US HIGHWAY 90 SUITE 170 PMB 338 LAKE CITY, FL 32055		
Use Desc. (code)	VACANT COM (001000)		
Neighborhood	31317.06	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000-ACRES		
Description	LOT 12 MIDTOWN COMMERCIAL CENTER S/D. ORB 835-764, WD 1039-2288, WD 1058-475.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$60,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$60,000.00

Just Value	\$60,000.00
Class Value	\$0.00
Assessed Value	\$60,000.00
Exempt Value	\$0.00
Total Taxable Value	\$60,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
8/31/2005	1058/475	WD	V	Q		\$69,900.00
3/4/2005	1039/2288	WD	V	U	02	\$150,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
001000	VACANT COM (MKT)	1.000 LT - (.000AC)	1.00/1.00/1.00/1.00	\$60,000.00	\$60,000.00

Columbia County Property Appraiser

DB Last Updated: 8/2/2007

1 of 1

LOT 12 MIDTOWN COMMERCIAL CENTER S/D. ORB 835-764, WD 1039-2288, WD 1058-475.	ISAAC CONSTRUCTION INC 2109 W US HIGHWAY 90 SUITE 170 LAKE CITY, FL 32055	31-3S-17-06247-112	Columbia Coun
		PRINTED 8/01/2007 13:08	
		APPR 5/28/2004 DF	

[illegible]

EXTRA FEATURES										FIELD CK:					GRANTEE GROSS RIGHTS & INTERESTS					
AE	BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	\$	
		LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:										
AE		CODE		TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS										
N	001000	VACANT	COM	CI	0007					1.00	1.00	1.00	1.00							
				0002	0006															
L001 - 0.50 AC																				
2007																				

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 8/24/2007 DATE ISSUED: 8/24/2007

ENHANCED 9-1-1 ADDRESS:

228 SW WATERFORD CT
LAKE CITY FL 32025

PROPERTY APPRAISER PARCEL NUMBER:

31-3S-17-06247-112

Remarks:

LOT 12 MIDTOWN COMMERCIAL CENTER S/D

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

Approved Address

AUG 24 2007

911Addressing/GIS Dept

932



Lake City (386) 755-3611
Gainesville (352) 494-5751
Fax (386) 755-3885
Toll Free 1-800-616-4707

Notice of Intent for Preventative Treatment for Termites
(as required by Florida Building Code (FBC) 104.2.6)

Aspen Pest Control, Inc.
(386) 755-3611
State License # - JB109476
State Certification # - JF104376

228 SW Waterford Ct. Lake City, FL 32025 (Isaac Construction)

Address of Treatment or Lot/Block of Treatment

Bora-Care Wood Treatment – 23% Disodium Octaborate Tetrahydrate

Method of Termite Prevention – Soil Barrier, Wood Treatment, Bait System, Other

Application onto Structural Wood

Description of Treatment

The above named structure will receive a complete treatment for the prevention of subterranean termites at the dried-in stage of construction. Treatment is done in accordance with the rules and laws established by the Florida Department of Agriculture and Consumer Services and according to EPA registered label directions as stated in Florida Building Code Section 1861.1.8.

Michelle Fischer
Authorized Signature

8-27-07
Date

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number
1. EXTERIOR DOORS			
A. SWINGING	PlastPRO INC	3068 x 10068 Fiberglass	4760.1 & 2
B. SLIDING	CAPITAL	8065	7055.1
C. SECTIONAL	Raynor	Classic Sectional Garage Door	FL-3070
D. ROLL UP	Janus	Model 3100 - Rolling Sheet Door	FL-2274
E. AUTOMATIC			
F. OTHER			
2. WINDOWS			
A. SINGLE HUNG	Capital	48 x 84	6029.7
B. HORIZONTAL SLIDER	Capital	126 x 59	6024.4
C. CASEMENT			
D. DOUBLE HUNG	Danridge	Single Hung windows	FL1369
E. FIXED	Capital	96 x 72	6028.20
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
3. PANEL WALL			
A. SIDING	Alcoa	vinyl siding	FL1621
B. SOFFITS	ASI Building Pro.	Aluminum & vinyl soffit	FL5546 1 & 2
C. EIFS			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES	Tamko	30-year shingles asphalt	FL673
B. UNDERLAYMENTS			
C. ROOFING FASTENERS			
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			

ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			
L. ROOFING SLATE			
M. CEMENTS-ADHESIVES COATINGS			

Category/Subcategory	Manufacturer	Product Description	Approval Number
N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
5. SHUTTERS			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
6. SKYLIGHTS			
A. SKYLIGHT			
B. OTHER			
7. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS/ ANCHORS	Simpson Strong	Wood connectors/anchors	FL1474
B. TRUSS PLATES	Alpine Engineered	Product - Alpine Truss Plates	FL999
C. ENGINEERED LUMBER	LPEWP	Laminated Beams, I Joist	FL1511
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
8. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of the products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the per characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Rodarte Naper
APPLICANT SIGNATURE

12-6-06
DATE

L:/GENERAL/STATEPROD.XLS

District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - George Skinner
District No. 4 - Stephen E. Bailey
District No. 5 - Elizabeth Porter



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

31 August 2007

TO: File

FROM: Land Development Regulation Administrator

SUBJECT: BP 07-2 (Isaac Construction, Inc.)

Concurrency Assessment Concerning a Building Permit

The following assessment is provided for the purpose of a binding concurrency determination regarding the demand and residual capacities for public facilities required to be addressed within the Concurrency Management System. This assessment serves as a binding concurrency determination, but does not ensure that facilities, which are not owned, operated or permitted by the County will be available to the property at the time development occurs.

BP 07-2, an application by Isaac Construction, Inc., for building permit approval for general office and warehouse use located in a COMMERCIAL INTENSIVE (CI) zoning district in accordance with a site plan and submitted as part of building permit application 0708-70 dated August 28, 2007 to be located on property described, as follows:

A parcel of land lying with in Section 31, Township 3 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Lot 12 Midtown Commercial Center Subdivision, as recorded in Plat Book 6, Pages 200 and 201 of the Records of Columbia County, Florida.

Containing 0.51 acre, more or less.

Availability of and Demand on Public Facilities

Potable Water Impact -

The site is located within the City of Lake City community potable water system service area. The community potable water system is currently meeting or exceeding the adopted level of service standard for potable water facilities established within the Comprehensive Plan.

The proposed development will result in the location of 700 square feet gross floor area of general office use and 3,500 square feet gross floor area of warehouse use to be located on the site.

An average general office use is estimated to have 3.39 employees per 1,000 square feet gross floor area.

$0.7 \text{ (700 square feet gross floor area)} \times 3.39 \text{ (employees per 1,000 square feet gross floor area)} = 3 \text{ employees}$
 $3 \text{ employees} \times 30 \text{ (gallons of potable water generated per 1,000 square feet gross floor area)} = 90 \text{ gallons of potable water generated per day.}$

An average warehouse use is estimated to have 1.87 employees per 1,000 square feet gross floor area.

$3.5 \text{ (3,500 square feet gross floor area)} \times 1.87 \text{ (employees per 1,000 square feet gross floor area)} = 7 \text{ employees}$
 $7 \text{ employees} \times 22.5 \text{ (gallons of potable water generated per 1,000 square feet gross floor area)} = 158 \text{ gallons of potable water generated per day.}$

Therefore, the estimated number of gallons of potable water generated day = 245 gallons per day ($90 + 158 = 245$).

Permitted capacity of the community potable water system = 6,000,000 gallons of potable water per day.

The average daily potable water usage for 2006 = 3,320,000 gallons of potable water per day

Residual available capacity prior to reserved capacity for previously approved development = 2,680,000 gallons of potable water per day.

Less reserved capacity for previously approved development = 146,820 gallons of potable water per day.

Residual available capacity after reserved capacity for previously approved development = 2,533,180 gallons of potable water per day.

Less estimated gallons of potable water use as a result of this proposed development = 245 gallons of potable water per day.

Residual capacity after proposed development = 2,532,935 gallons of potable water per day.

Based upon the above analysis, the potable water facilities are anticipated to continue to meet or exceed the adopted level of service standard for potable water facilities as provided in the Comprehensive Plan, after adding the potential potable water demand generated by the general office and warehouse uses of the site.

Sanitary Sewer Impact -

The site proposes to connect in with the City of Lake City community centralized sanitary sewer system service area. The community centralized sanitary sewer system is currently meeting or exceeding the adopted level of service standard for sanitary sewer established within the Comprehensive Plan. Currently the City of Lake City has a temporary permit from F.D.E.P. allowing for an addition 500,000 gallons of sanitary sewer effluent being treated per day.

The proposed development will result in the location of 700 square feet gross floor area of general office use and 3,500 square feet gross floor area of warehouse use to be located on the site.

An average general office use is estimated to have 3.39 employees per 1,000 square feet gross floor area.

$0.7 \text{ (700 square feet gross floor area)} \times 3.39 \text{ (employees per 1,000 square feet gross floor area)} = 3 \text{ employees} \times 23 \text{ (gallons of sanitary sewer effluent generated per day)} = 69 \text{ gallons of sanitary sewer effluent generated per day.}$

An average warehouse use is estimated to have 1.87 employees per 1,000 square feet gross floor area.

$4.2 \text{ (4,200 square feet gross floor area)} \times 1.87 \text{ (employees per 1,000 square feet gross floor area)} = 7 \text{ employees} \times 17.25 \text{ (gallons of sanitary sewer effluent generated per day)} = 121 \text{ gallons of sanitary sewer effluent generated per day.}$

Therefore, the estimated number of gallons of sanitary sewer effluent generated per day = 190 gallons ($69 + 121 = 190$).

Permitted available capacity of the community centralized sanitary sewer system = 3,000,000 gallons of sanitary sewer effluent per day.

The average daily sanitary sewer usage for 2006 = 2,400,000 gallons of sanitary sewer effluent per day.

The residual available capacity prior to reserved capacity for previously approved development = 600,000 gallons of sanitary sewer effluent per day.

With the temporary permit allowing an additional 500,000 gallons of sanitary sewer effluent per day. The residual available capacity prior to reserved capacity for previously approved development = 1,100,000 gallons of sanitary sewer effluent per day.

Less reserved capacity for previously approved development = 1,050,000 gallons of sanitary sewer effluent per day.

Residual available capacity after reserved capacity for previously approved development = 50,000 gallons of sanitary sewer effluent per day.

Less estimated gallons of sanitary sewer use as a result of this proposed development = 190 gallons of sanitary sewer effluent per day.

Residual capacity after the proposed development = 49,810 gallons of sanitary sewer effluent per day.

Based upon the above analysis, the sanitary sewer facilities are anticipated to continue to meet or exceed the adopted level of service standard for sanitary sewer facilities as provided in the Comprehensive Plan, after adding the potential sanitary sewer demand generated by the general office and warehouse uses of the site.

Solid Waste Impact -

Solid waste facilities for the use to be located on the site are provided at the County sanitary landfill, the level of service standard established within the Comprehensive Plan for the provision of solid waste disposal is currently being met or exceeded.

The proposed development will result in the location of 700 square feet gross floor area of general office use and 3,500 square feet gross floor area of warehouse use to be located on the site.

Based upon an average of 5.5 pounds of solid waste generated per 1,000 square feet gross floor area per day:

4.2 (4,200 square feet gross floor area) x 5.5 (pounds of solid waste generated per 1,000 square feet gross floor area per day) = 24 pounds of solid waste generated per day.

Total County average solid waste disposal per day (including municipalities) = 416,000 pounds per day.

Based upon the annual projections of solid waste disposal at the sanitary landfill for 2007, solid waste facilities are anticipated to meet or exceed the adopted level of service standard for solid waste facilities, as provided in the Comprehensive Plan, after adding the solid waste demand generated by the general office and warehouse use of the site.

Drainage Impact -

Drainage facilities are already maintained on site for the management of stormwater. As stormwater is to be retained on site, the proposed development is not anticipated to adversely impact drainage systems. Therefore, the adopted level of service standard for drainage established within the Comprehensive Plan is anticipated to continue to be met or exceeded.

Recreation Impact -

The level of service standards established within the Comprehensive Plan for the provision of recreation facilities are currently being met or exceeded.

As there will be no additional population generated by the proposed general office and warehouse uses, the proposed development is not anticipated to have an adverse impact on recreational facilities.

Therefore, the level of service standards established within the Comprehensive Plan for the provision of recreation facilities are anticipated to continue to be met or exceeded.

Traffic Impact -

The roadway serving the site is currently meeting or exceeding the level of service standard required for traffic circulation facilities as provided in the Comprehensive Plan.

The proposed development will result in the location of 700 square feet gross floor area of general office use and 3,500 square feet gross floor area of warehouse use to be located on the site.

Summary of Trip Generation Calculations for General Office Use

Based upon 0.46 p.m. peak hour trip per 1,000 square foot gross floor area:

$0.7 \text{ (700 square foot gross floor area)} \times 0.46 \text{ (p.m. peak hour trips)} = 1 \text{ p.m. peak hour trips.}$

Summary of Trip Generation Calculations for a Warehouse Use

Based upon .59 p.m. peak hour trips on a weekday per 1,000 square foot gross floor area:

$4.2(4,200 \text{ square foot gross floor area}) \times .59 \text{ (p.m. peak hour trips per weekday)} = 3 \text{ trips per day.}$

Therefore, the estimated number of p.m. peak hour trips generated per day = 4 p.m. peak hour trips per day ($1 + 3 = 4$).

Existing p.m. peak hour trips = 1,850 annual average daily traffic trips per day (2005 Annual Average Daily Traffic Count Station Data, Florida Department of Transportation). $\times .097 \text{ (k factor)} = 180 \text{ peak hour p.m. trips per day.}$

The following table contains information concerning the assessment of the traffic level of service on the surrounding road network by the proposed development.

Level of Service Section	Existing P.M. Peak Hour Trips	Existing Level of Service	Reserved Capacity P.M. Peak Hour Trips Previously Approved	Development P.M. Peak Hour Trips	P.M. Peak Hour Trips With Development	Level of Service With Development
Section 71 C.R. 341 (from Lake City Urban Area Boundary to C.R.242)	180 ^a	B	34	4	218	C

a 2006 Estimates Based on 1989 Annual Average Daily Traffic Count Station Data, Florida Department of Transportation.

Sources: Trip Generation. Institute of Transportation Engineers, 7th Edition, 2003.

Quality/Level of Service Handbook. Florida Department of Transportation, February 2002.

Based upon the above analysis and the adopted level of service standard of "D" with a capacity of 1,350 p.m. peak hour trips for Section 71, the roadway serving the site is anticipated to continue to meet or exceed the level of service standard required for traffic circulation facilities as provided in the Comprehensive Plan after adding the projected number of trips associated with the proposed development.

Surrounding Land Uses

The site is currently vacant. The site is bound on the north by vacant land, on the east by commercial, on the south by commercial land uses and on the west by vacant land.

Historic Resources

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 1989 and 1996, there are no known historic resources located on the site.

Flood Prone Areas

According to Illustration A-V of the Comprehensive Plan, entitled General Flood Map, which is based upon the Flood Insurance Rate Map, prepared by the Federal Emergency Management Agency, dated January 6, 1988, the site is not located within flood zone area.

Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetland Areas, which is based upon the National Wetlands Reconnaissance Survey, dated 1981, and the National Wetlands Inventory, dated 1987, there are no wetlands located on the site.

Minerals

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the North Central Florida Regional Planning Council, 1977, the site is within an area known to contain phosphate deposits.

Soil Types

According to Illustration A-VIII of the Comprehensive Plan, entitled General Soil Map, which is based upon the U.S. Department of Agriculture, Soil Conservation Service, Soil Survey dated October 1984, the Chipley fine sand soils (0 to 5 percent slope).

Chipley fine sand soils (0 to 5 percent slope) are moderately well drained, nearly level to gently sloping soils in somewhat depressed areas and on flats in the uplands. The surface is comprised of fine sand to a depth of 7 inches. Fine sand extends to a depth of 80 inches.

Chipley fine sand soils (0 to 5 percent slope) have moderate limitations for building site development.

Stream to Sink

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District, dated October 7, 1997, the site is located within a stream to sink area.

File
Memorandum
Page 9

High Aquifer Groundwater Recharge

According to the Areas of High Recharge Potential to the Floridan Aquifer, prepared by the Suwannee River Water Management District, dated July 17, 2001, the site is not located within an area of high aquifer groundwater recharge.

Vegetative Communities/Wildlife

According to Illustration V-I of the Data and Analysis Report, entitled Vegetative Communities, the site is located within a non-vegetative community. There are no known wildlife habitats associated with a non-vegetative community.

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

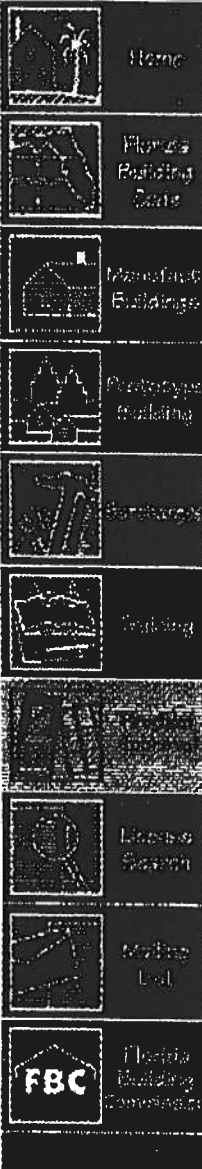
Category/Subcategory	Manufacturer	Product Description	Approval Number
1. EXTERIOR DOORS			
A. SWINGING	Vistawall (white)	asst pivot narrow stile doors	2484.3
B. SLIDING			
C. SECTIONAL			
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
2. WINDOWS			
A. SINGLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. DOUBLE HUNG			
E. FIXED	VISTAWALL	2020 Flush Glaze	2484.2
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. EIFS			
D. STOREFRONTS	Vistawall	narrow stile doors & flush glaze (white)	2484.3
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE			
I. GREENHOUSE			
J. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. UNDERLAYMENTS			
C. ROOFING FASTENERS			
D. NON-STRUCTURAL METAL ROOFING			
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION			
H. WATERPROOFING			

ROOF SYSTEMS		
J. MODIFIED BITUMEN		
K. SINGLE PLY ROOF SYSTEMS		
L. ROOFING SLATE		
M. CEMENTS-ADHESIVES COATINGS		

Category/Subcategory	Manufacturer	Product Description	Approval Number
N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED POLYURETHANE ROOF			
Q. OTHER			
5. SHUTTERS			
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
8. SKYLIGHTS			
A. SKYLIGHT			
B. OTHER			
7. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS/ ANCHORS			
B. TRUSS PLATES			
C. ENGINEERED LUMBER			
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER			
8. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			
B.			



SITE NAVIGATION



PRODUCT APPROVAL

Product Type Detail

Overview Product Search Organization Search Product Application

User: Public User - Not Associated with Organization -

Need Help ?

Application #: FL2484
Date Submitted: 05/03/2004
Product Manufacturer: Vistawall Group
Address/Phone/email: 8655 Elm Fair Blvd
Tampa, FL 33610
(770) 252-3090

Technical Representative: William Smith
Technical Representative Address/Phone/email: 8655 Elm Fair Blvd
Tampa, FL 33610
(800) 366-0349
bsmith@vistawall.com

Quality Assurance Representative: Architectural Testing Inc.
Quality Assurance Representative Address/Phone/email: 130 Derry Court
York, PA 17402-9405
(717) 764-7700
surich@archtest.com

Category: Panel Walls

Subcategory: Storefronts

Evaluation Method: Evaluation Report from a Florida Registered Architect or Florida Professional Engineer

Referenced Standards from the Florida Building Code:		
Section	Standard	Year
FBC	ASTM E 283-	1991
2400	91	
	ASTM E 331-	1996
	96	
	ASTM E 330-	1996
	96	
	ASTM E 330-	1996
	96	

Post-it* Fax Note	7671	Date	# of pages 13
To CARL	From Jan		
Co./Dept. LAKE CITY	Co. V. WALL		
Phone #	Phone #		
Fax # 786-752-5952	Fax #		

Florida Engineer or Architect Name: Elizabeth Broadway

Florida License: PE- 38558

Quality Assurance Entity: Architectural Testing, Inc.

Validation Entity: Architectural Testing, Inc

Authorized Signature: William Smith
bsmith@vistawall.com

Evaluation/Test Reports Uploaded: PTID_2484_T_FG1000 RPT.pdf
PTID_2484_T_FG2000 RPT.pdf
PTID_2484_T_FG3000 RPT
INSIDE.pdf
PTID_2484_T_FG3000S
RPT.pdf
PTID_2484_T_letterofindpen
[1].pdf

Installation Documents Uploaded:

Product Approval Method: Method 1 Option D

Application Status: Approved

Date Validated: 07/13/2004

Page: 

Page 1 / 1

App/Seq #	Product Model # or Name	Model Description	Limits of Use
2484.1	FG-1000	1 3/4" x 4" Flush Glaze	The structural capabilities of the system shall be determined based on the test report data and in conjunction with accepted engineering guidelines.
2484.2	FG-2000	1 3/4" x 4 1/2" Flush Glaze OG	The structural capabilities of the system shall be determined based on the test report data and in conjunction with accepted engineering guidelines.
2484.3	FG-2000	1 3/4" x 4 1/2" Flush Glaze IG	The structural capabilities of the system shall be determined based on the test report data and in conjunction with accepted engineering guidelines.
2484.4	FG-3000	2" x 4 1/2" Flush Glaze OG/IG	The structural capabilities of the system shall be determined based on the test report data and in conjunction with accepted engineering guidelines.
			The structural capabilities of the system shall be

2484.5	FG-3000S	2" x 4 1/2" Flush Glaze Thermal Slotted	determined based on the test report data and in conjunction with accepted engineering guidelines.
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Mark

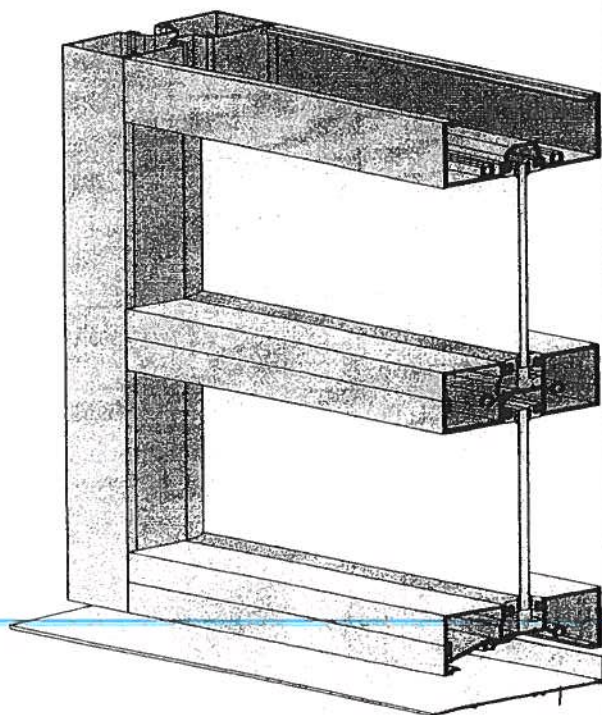
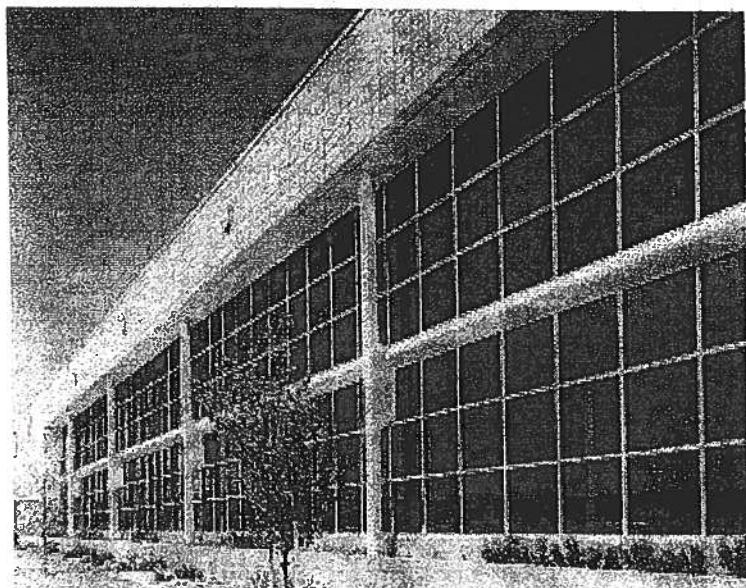


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mgj

VISTAWALL

Standard Flush Glaze Systems



Vistawall offers a complete line of storefront framing systems to meet virtually any application and condition. The Series 1000 is 1 1/2" x 4" and the Series 2000 is 1 3/4" x 4". Both are designed for 3/4" glazing but are easily adapted to 1/2" or 1" infills. The Series 3000 (2" x 4 1/2") is designed for 1" but is adaptable to many different infills ranging from 3/4" to 1 1/4".

Features:

- Three different assembly methods: Screw, Spline, Shear Block, and Strapping
- Installation manuals
- Tested by independent laboratories
 - Air Infiltration: < .06 allowable at 6.24 PSF
 - Water Resistance: 9PSF
- Door framing components
- Sidelite bases to match door bottom rails
- Multiple corner post configurations
- Adjustable and 135° mullions
- Anodized or painted finishes

For more information on how Vistawall can meet or exceed your design ideas, call your local sales representative.

Vistawall locations:

Headquarters

P.O. Box 629, Terrell, TX 75160

972-551-6100

www.vistawall.com

Atlanta, GA

Chicago, IL

Cincinnati, OH

Cleveland, OH

Dallas, TX

Denver, CO

Houston, TX

Las Vegas, NV

Los Angeles, CA

Modesto, CA

Newnan, GA

San Francisco, CA

Seattle, WA

St. Louis, MO

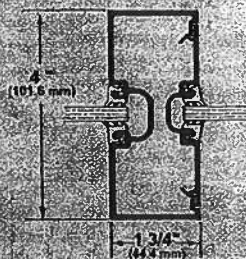
Tampa, FL

Terrell, TX

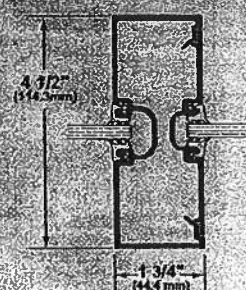
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Washington, DC

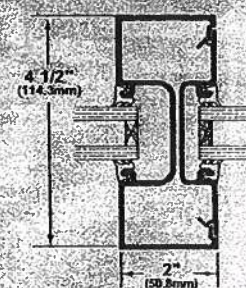
FG-1000



FG-2000



FG-3000

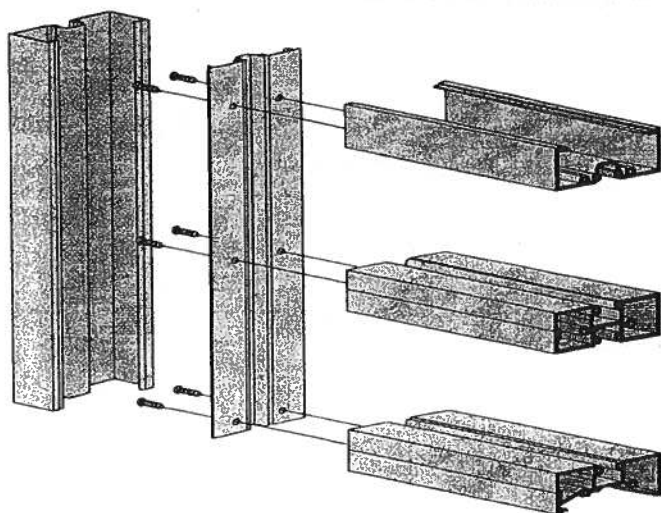


VISTAWALL
ARCHITECTURAL PRODUCTS

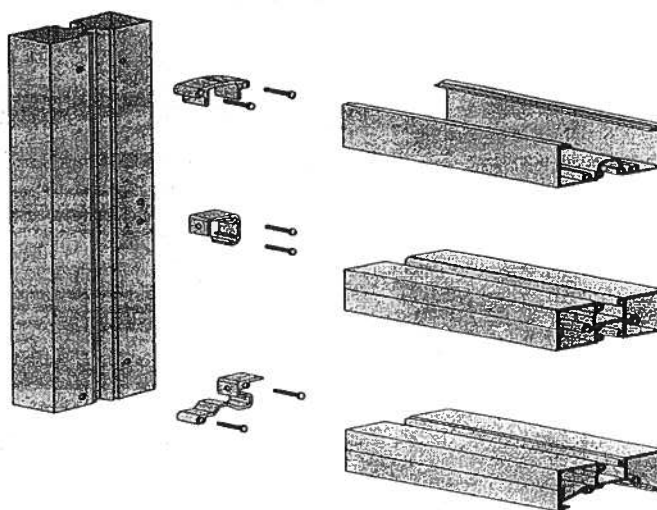
ENGINEERED TO LAST™

Standard Flush Glaze Systems

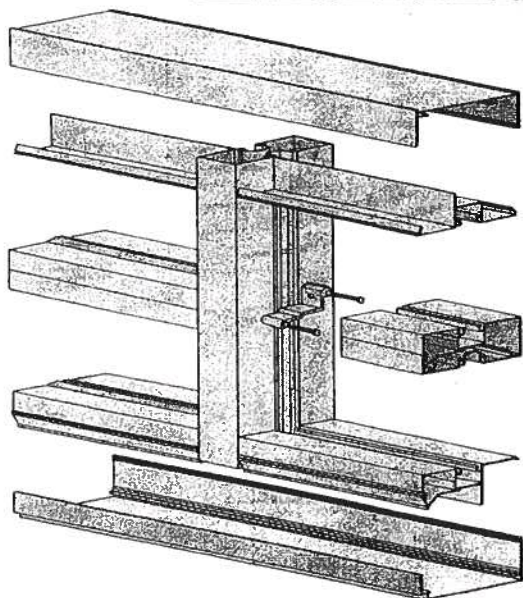
SCREW SPLINE ASSEMBLY



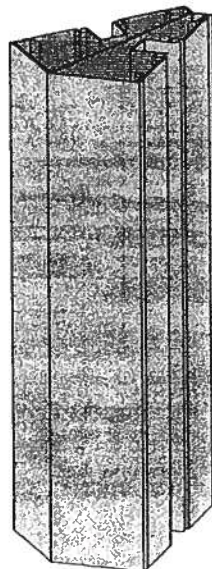
SHEAR BLOCK ASSEMBLY



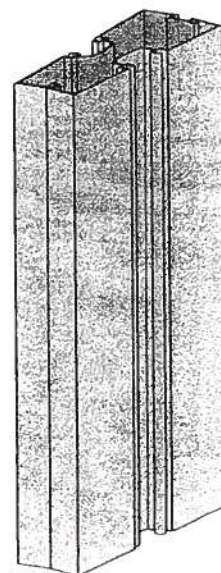
STACK ASSEMBLY



135° CORNER



ADJUSTABLE MULLION



THE VISTAWALL GROUP
BOTLER MANUFACTURING COMPANY

FG-2000 TABLE OF CONTENTS

FG-2000 FeaturesPage 2

Elevation & Standard System Details - 1/4 Scale Page 4

Optional Framing and Corner Details - 1/4 Scale Pages 5-6

Entrance Framing - 1/4 Scale Pages 7-8

Windload Charts Pages 9-10

Note: All Details are shown at 1/4 scale.

NOTE:

Most details shown in this catalog are standard systems for Vistawall. Optional details are non-standard and are meant to illustrate how modifications can be made to meet various design requirements. For more information on our systems and how they can be customized to meet your application, please contact Vistawall via email at design_support@vistawall.com or by phone at 972-551-6100.

FG-2000 STOREFRONT SYSTEM

FG-2000 FEATURES

- 1 3/4" x 4 1/2" Framing
- Three different assembly methods: Screw Spline, Shear Block, and Stacking
- Installation Manual available
- Door framing components
- Sidelite bases to match door
- Multiple corner post configurations
- Adjustable and 135° mullions
- Anodized and painted finishes

AIR: 0.06 CFM/FT²@6.24psf

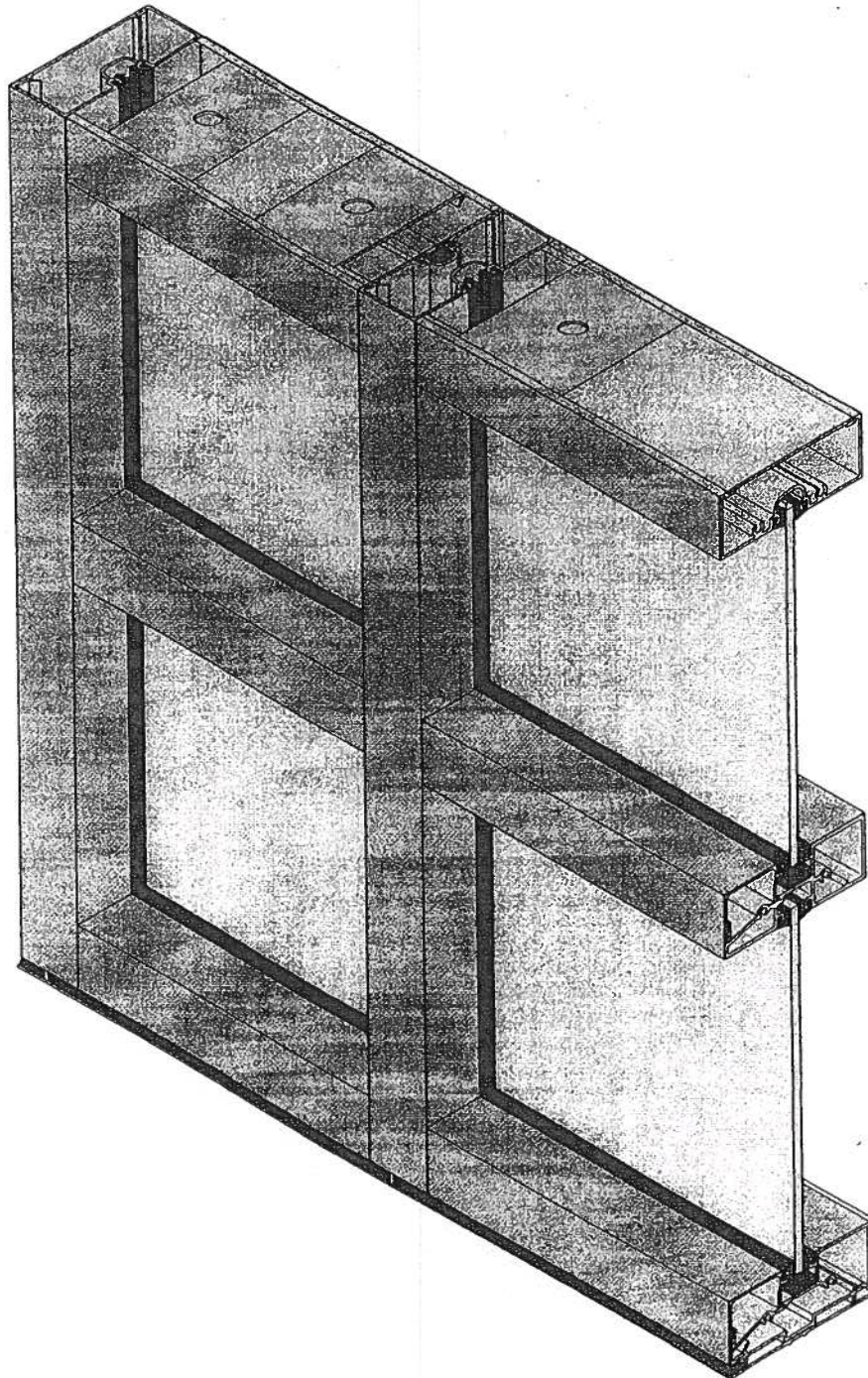
Water: No leakage @10.00psf

Structural: 30.0psf

To download 3-part specification go to:

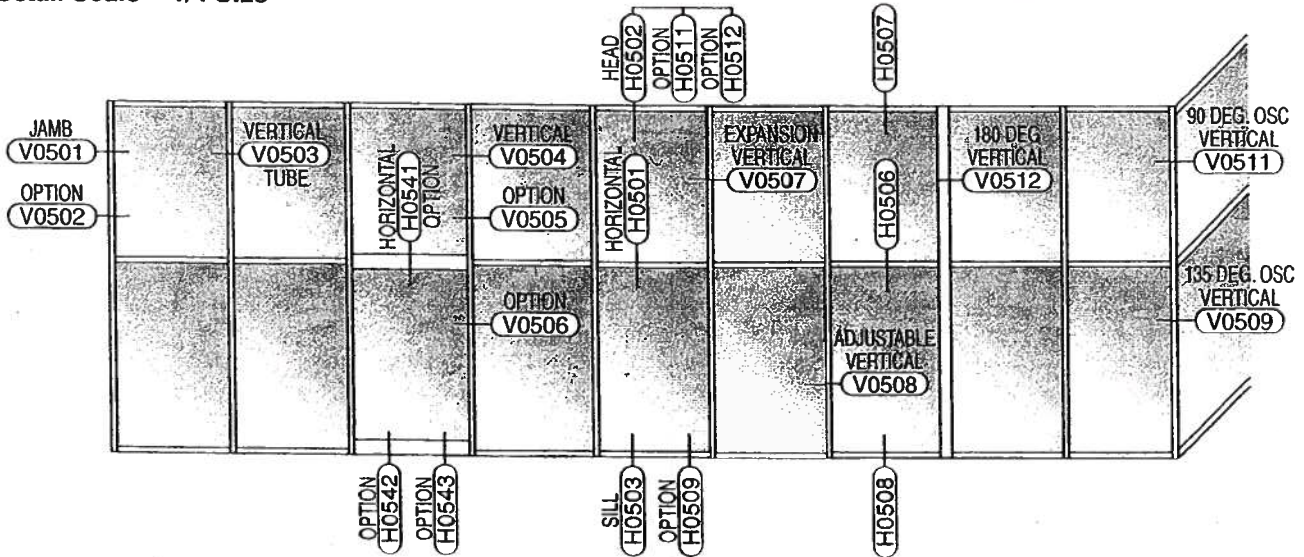
www.vistawall.com/specs/FG2000

FG-2000 STOREFRONT SYSTEM



FG-2000 STOREFRONT SYSTEM

Detail Scale = 1/4 Size



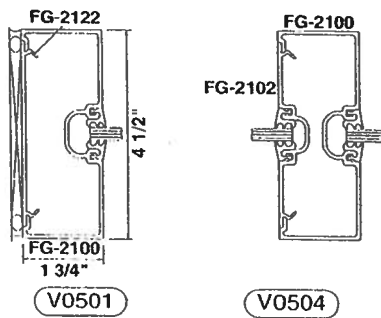
FG-2000 1 3/4" x 4 1/2" FRAMING - 1/4" GLASS

WEBSITE MODEL NO. 35FG2

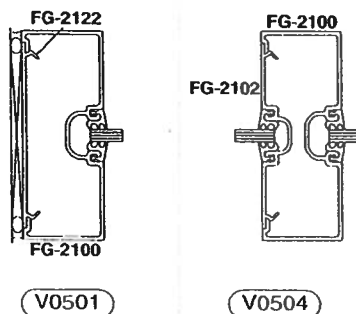
To download full size details: www.vistawall.com/fg2000

Drawing numbers shown (ie H0503) are reference to electronic details only.

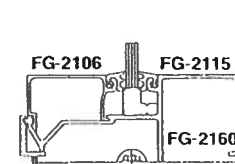
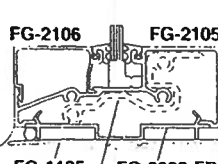
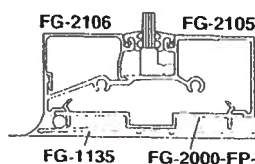
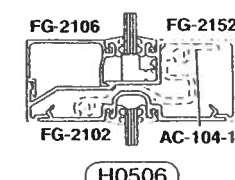
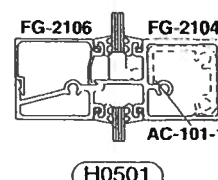
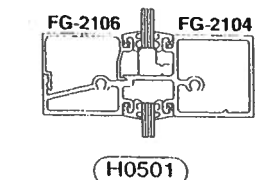
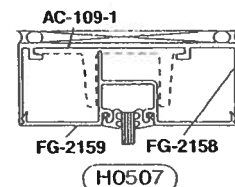
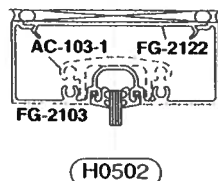
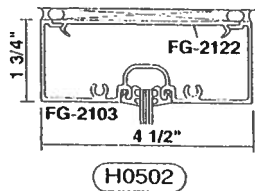
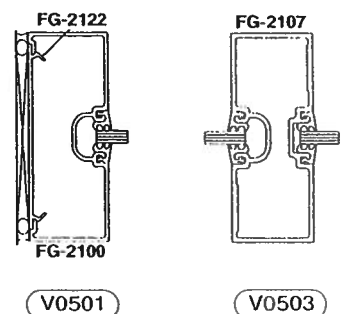
SCREW SPLINE SYSTEM



SHEAR BLOCK SYSTEM



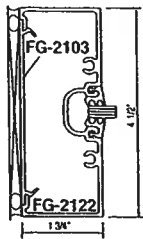
STACKED SYSTEM



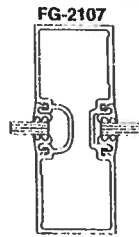
FG-2000 STOREFRONT SYSTEM

Detail Scale = 1/4 Size

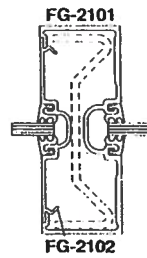
OPTIONAL FRAMING



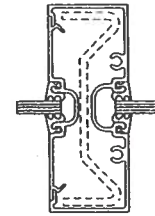
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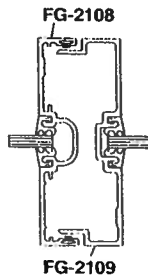
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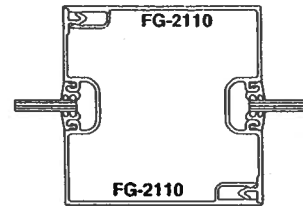
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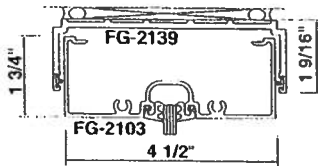
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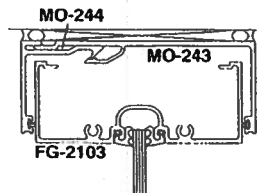
V0507 EXPANSION VERTICAL



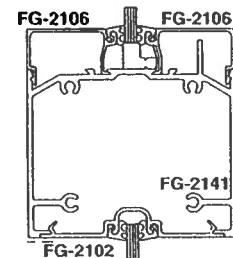
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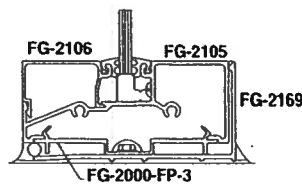
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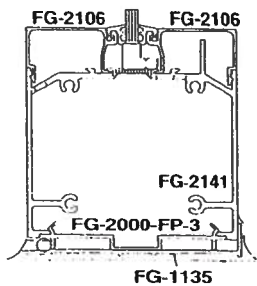
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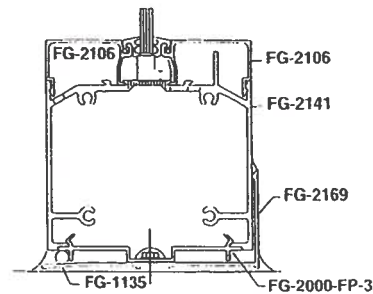
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H0509



H0542

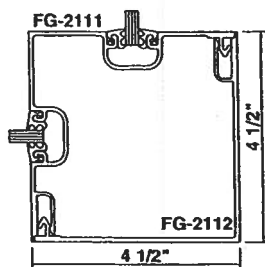


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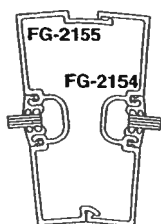
FG-2000 STOREFRONT SYSTEM

Detail Scale = 1/4 Size

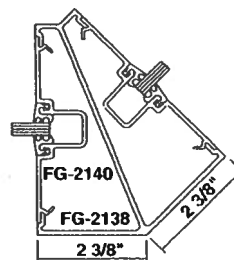
CORNERS



V0511 90° OSC



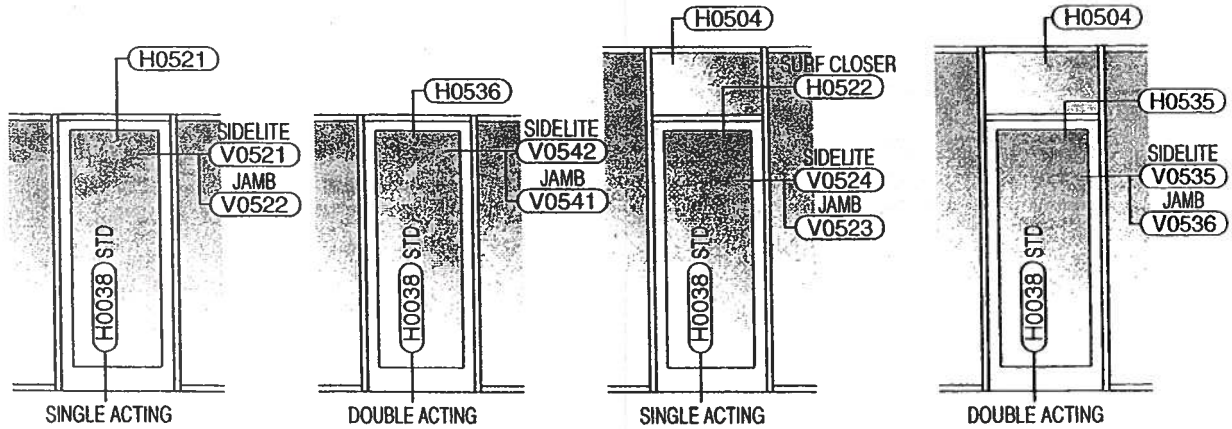
V0508 ADJUSTABLE VERTICAL



V0509 135° OSC

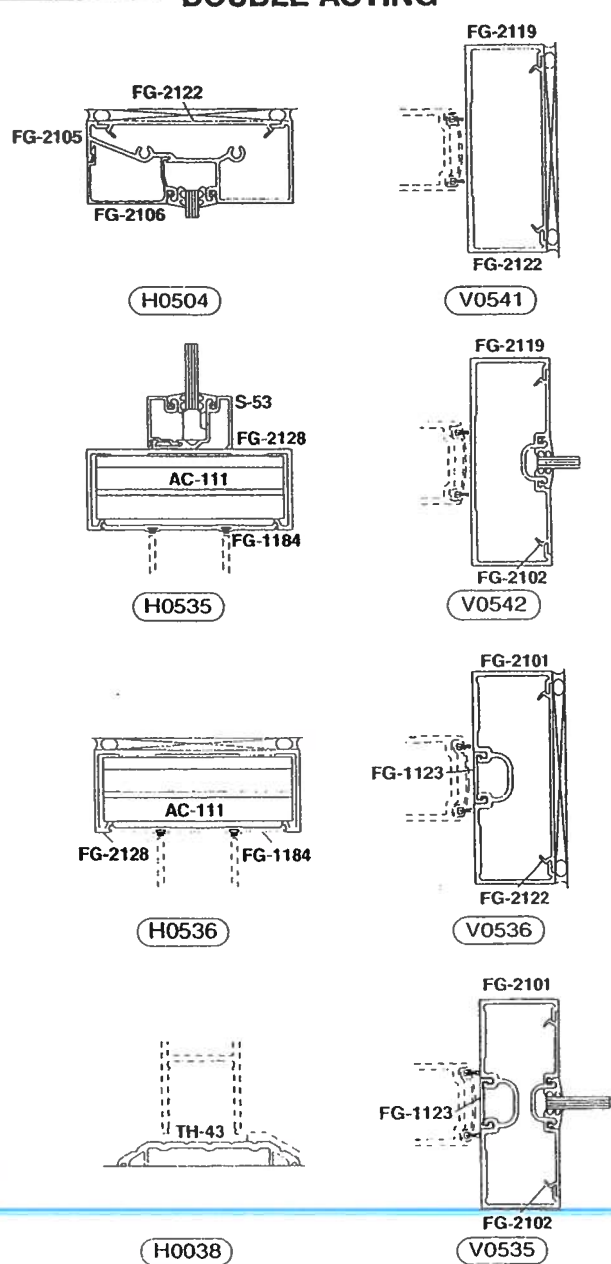
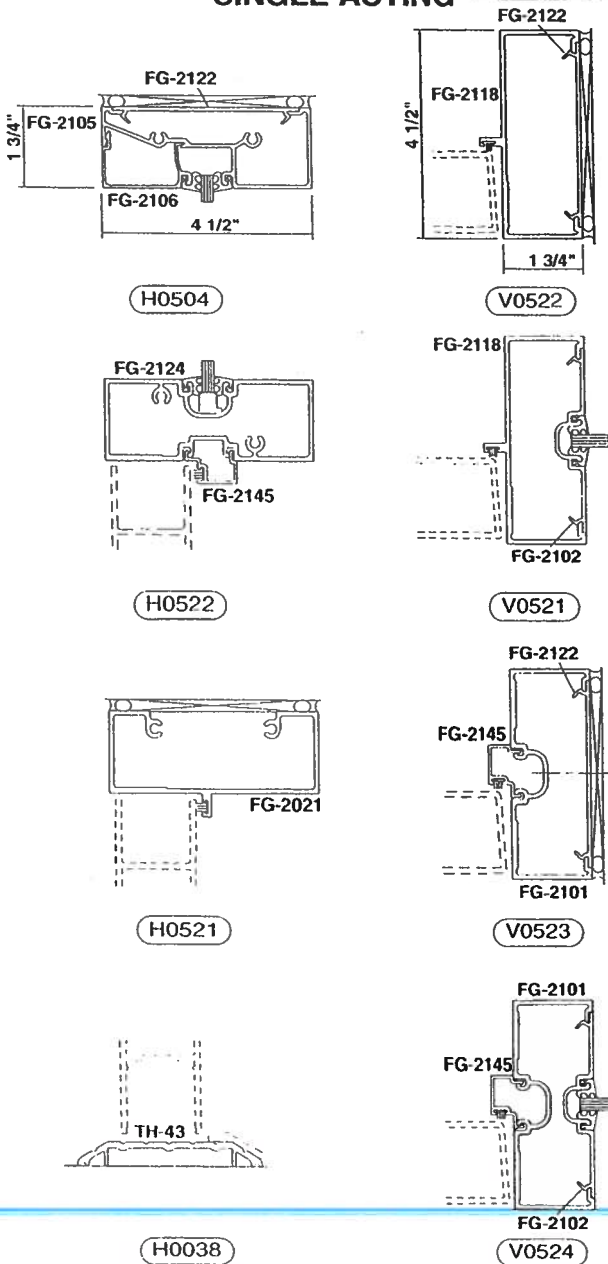
FG-2000 STOREFRONT SYSTEM - ENTRANCE FRAMING

Detail Scale = 1/4 Size



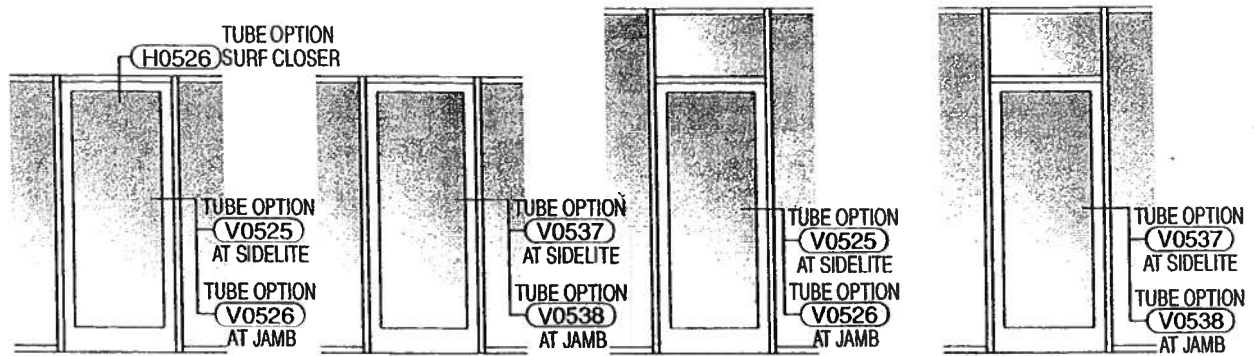
SINGLE ACTING

DOUBLE ACTING



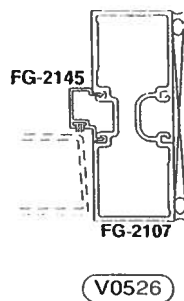
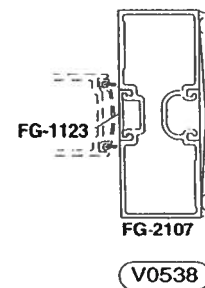
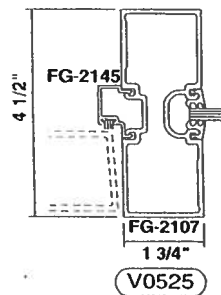
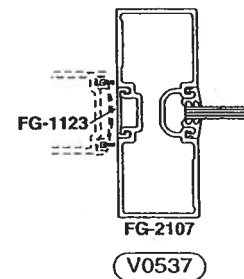
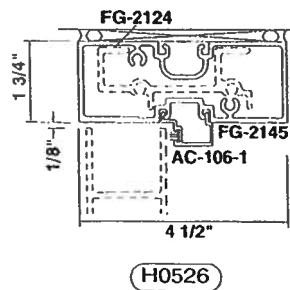
FG-2000 STOREFRONT SYSTEM

Detail Scale = 1/4 Size



SINGLE ACTING

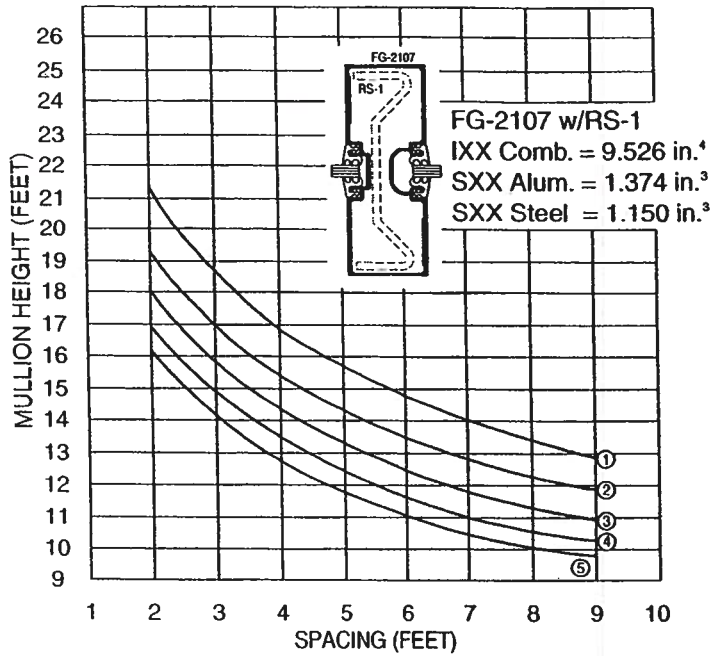
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WIND LOAD CHARTS

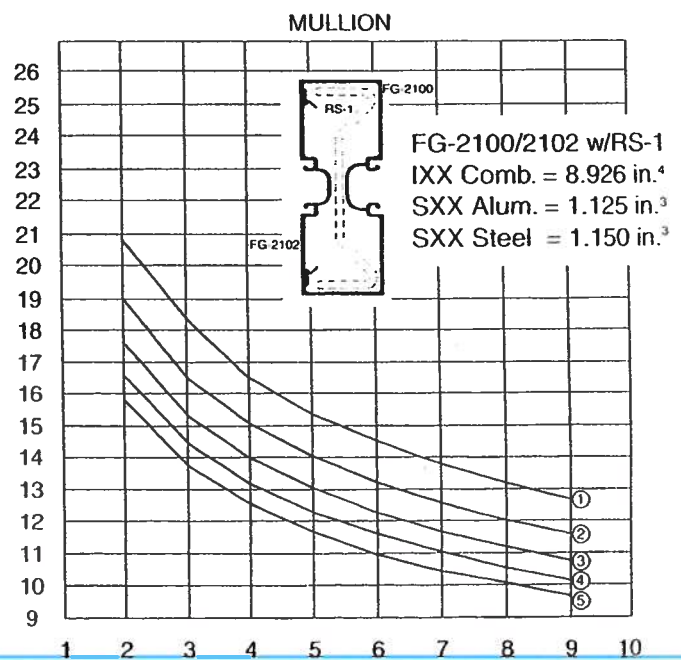
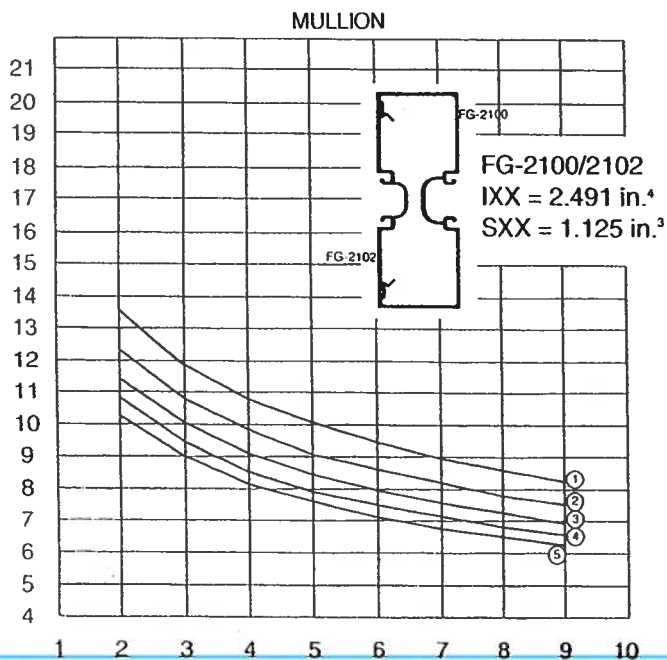
DEFLECTION LIMITED TO L/175

6063-T5



DEFINITION OF CURVES

- ① = 15 P. S. F.
- ② = 20 P. S. F.
- ③ = 25 P. S. F.
- ④ = 30 P. S. F.
- ⑤ = 35 P. S. F.

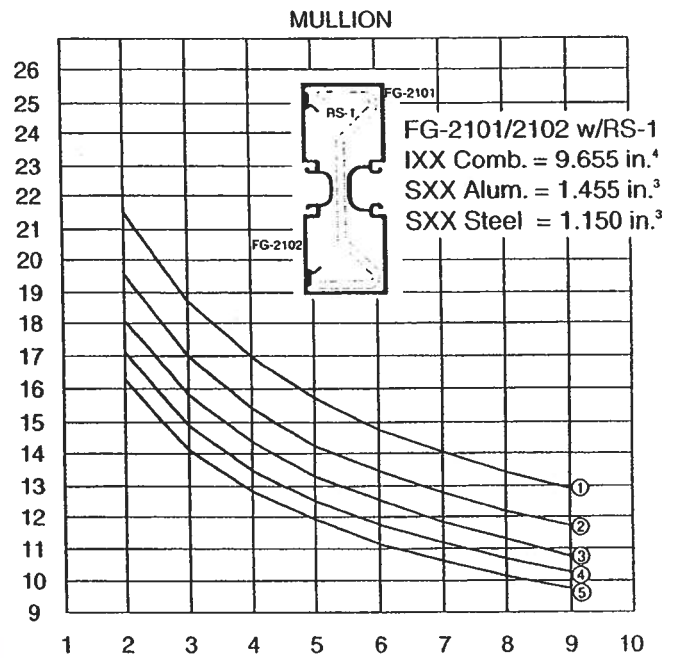
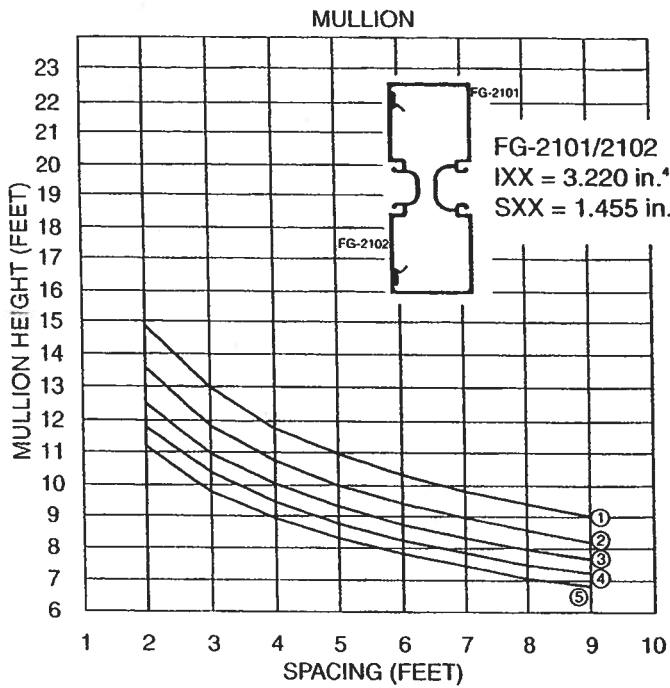


FG-2000 STOREFRONT SYSTEM

WIND LOAD CHARTS

DEFLECTION LIMITED TO $L/175$

6063-T5

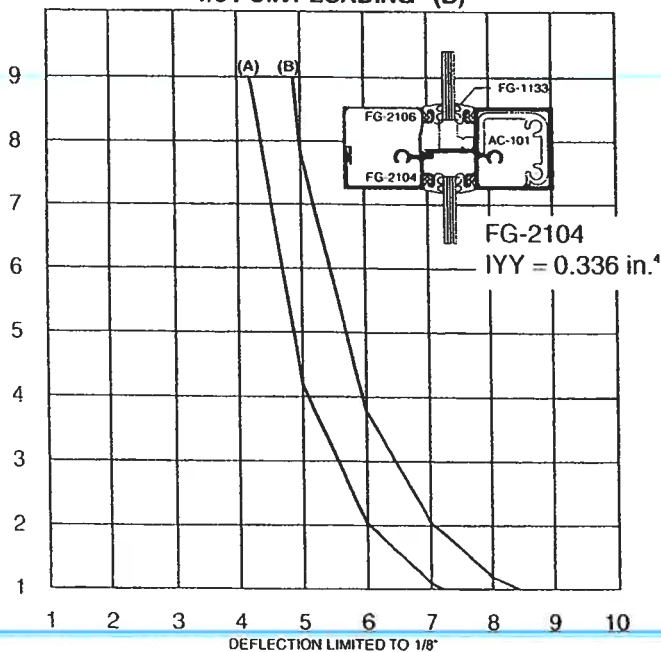


DEFINITION OF CURVES

- ① = 15 P. S. F.
- ② = 20 P. S. F.
- ③ = 25 P. S. F.
- ④ = 30 P. S. F.
- ⑤ = 35 P. S. F.

DEAD LOAD CHART

1/4 POINT LOADING (A)
 1/8 POINT LOADING (B)



FG-1000, FG-2000 & FG-3000 FLUSH GLAZE SYSTEMS FASTENER CHART FOR USE IN HIGH WIND LOAD AREAS SEE SHEETS 5-15 FOR DOOR FRAME FASTENER CHARTS

NOTE: THESE DETAILS ONLY REPRESENT FASTENERS LOCATIONS. PLEASE REFERENCE SHOP DRAWINGS AND VISTAWALL INSTALLATION INSTRUCTIONS FOR PROPER LOCATION AND APPLICATION OF SEALANTS.

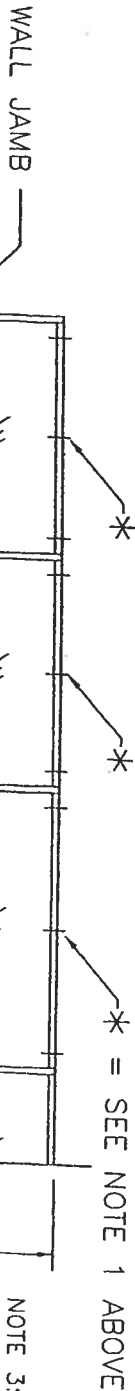
GRAPHS ON SHEETS 2-4 SHOW THE REQUIRED NUMBER OF FASTENERS AT EACH SIDE OF VERTICAL MULLIONS

NOTE 1:

IF THE VERTICAL MULLION SPACING EXCEEDS 3/4 OF THE VERTICAL MULLION HEIGHT, ONE (1) EACH FASTENER IS REQUIRED AT MIDPOINT OF THE HEAD AND SILL MEMBER. FOR EXAMPLE: VERTICAL MULLION HEIGHT IS 70". VERTICAL MULLION SPACING IS 58". MIDPOINT FASTENER CHECK: $70" \times 0.75 = 52 \frac{1}{2}"$. 58" IS GREATER THAN $52 \frac{1}{2}"$, THEREFORE ONE (1) EACH ADDITIONAL FASTENER IS REQUIRED AT MIDPOINT OF HEAD AND SILL.

NOTE 2:

JAMB MULLIONS EXCEEDING 6 FT. IN HEIGHT REQUIRE ONE (1) EACH FASTENER AT MIDPOINT.



REFERENCE NOTE 2 ABOVE.

Low's A. Meddrop, P.E.
P.O. Box 280
Aubrey, GA 30510
770-779-2764

Low's A. Meddrop, P.E.
P.O. Box 280
Aubrey, GA 30510

Low's A. Meddrop
6/5/03

NOTE 3: REFERENCE VISTAWALL WIND LOAD CHARTS FOR STRUCTURAL LIMITATIONS OF VERTICAL MULLIONS BASED ON TRIBUTARY WIDTH & WINDLOADS.

$$\text{TRIBUTARY WIDTH} = \frac{W1 + W2}{2}$$

FOR EXAMPLE:

$$W1 = 4'-0"$$

$$W2 = 5'-0"$$

$$\text{TRIBUTARY WIDTH} = \frac{4' + 5'}{2}$$

$$\text{TRIBUTARY WIDTH} = 4'-6"$$

* = SEE NOTE 1 ABOVE

VISTAWALL
ARCHITECTURAL PRODUCTS
314 WALT SANDERS MEMORIAL BLVD. KENNESAW, GA 30144 (770) 235-2990

THE VISTAWALL GROUP
BUTLER MANUFACTURING COMPANY

FG-1000, FG-2000 & FG-3000
FASTENER CHART

PROJECT

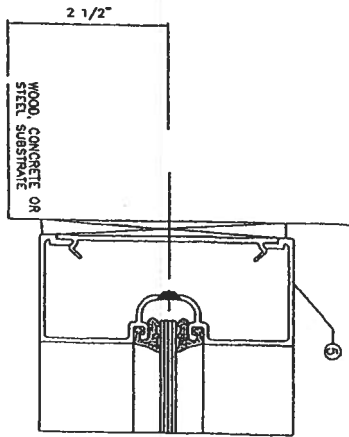
DATE

BY

FOR

OF

17



RECOMMENDED SPACING OF FASTENERS ON EACH SIDE OF VERTICAL MILLIONS AT HEAD & SILL:

1. EDGE OF VERTICAL TO $\frac{1}{2}$ OF 1ST FASTENER = 2"
2. ADDITIONAL FASTENERS WILL NOT IMPROVE STRUCTURAL PERFORMANCE.

NOTE: POSITION A SNAP-IN PLAT FILLER NO LESS THAN 18" IN LENGTH AT FASTENER LOCATIONS.

NOTE: POSITION A SNAP-IN PLAT FILLER NO LESS THAN 18" IN LENGTH AT FASTENER LOCATIONS.

STL

2 1/2" (TYPICAL)
MINIMUM EDGE
DISTANCE

Lawrence A. McIntosh, P.E.
P.O. Box 520
Alto, GA 30510
706-779-5794

6/1/70

JAMB

STANDARD FRAMING MEMBERS FOR STOREFRONT SYSTEMS				
ITEM NO.	DESCRIPTION	FG-1000	FG-2000	FG-3000
1	HEAD	FG-1103	FG-2103	FG-3103
2	FILLER	FG-1122	FG-2122	FG-3122
3	SILL	FG-1105	FG-2105	FG-3161
4	GLASS STOP	FG-1106	FG-2106	FG-3144
5	JAMB	FG-1100	FG-2100	FG-3100
* 6	FLASHING	FG-2231	FG-2231	FG-3380

STANDARD FRAMING MEMBERS FOR STOREFRONT SYSTEMS

DETAILS SHOWN ARE FOR 1/4" CLAZING.

*NON-STRUCTURAL: ANY FLASHING MEMBER MAY BE SUBSTITUTED

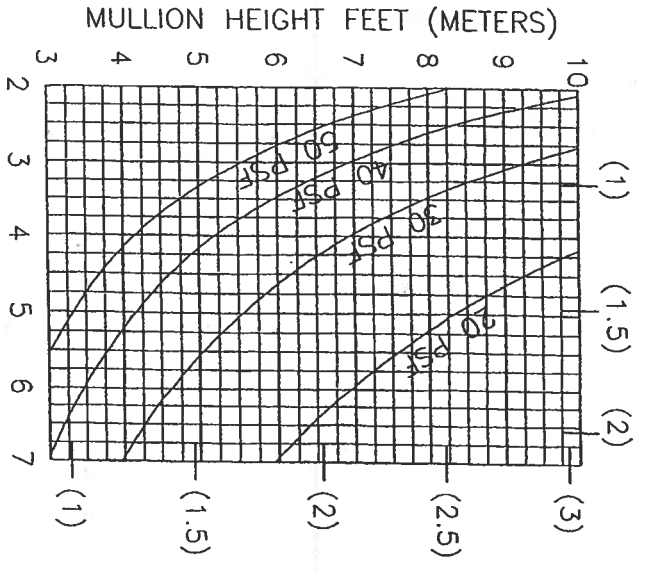
FG-1000, FG-2000 & FG-3000 FASTENER CHART

VISTAWALL
ARCHITECTURAL PRODUCTS

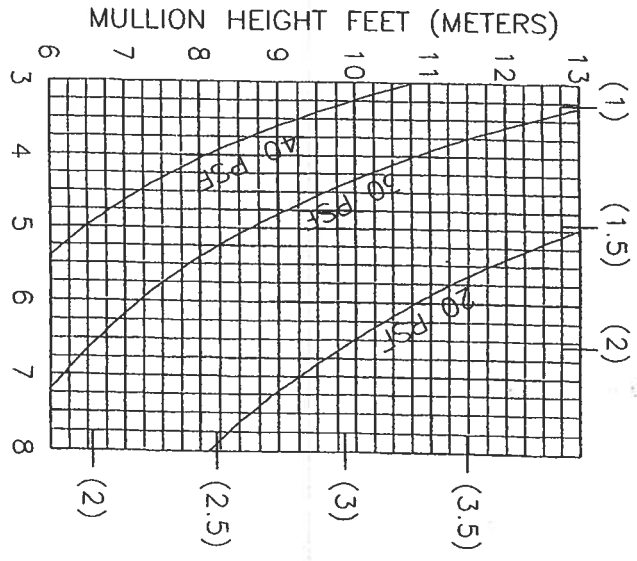
714 WALT SANDERS MEMORIAL BLVD NEWNAN, GA 30066 (770) 253-3091

THE VISTAWALL GROUP
BUTLER MANUFACTURING COMPANY

ANCHOR CHART

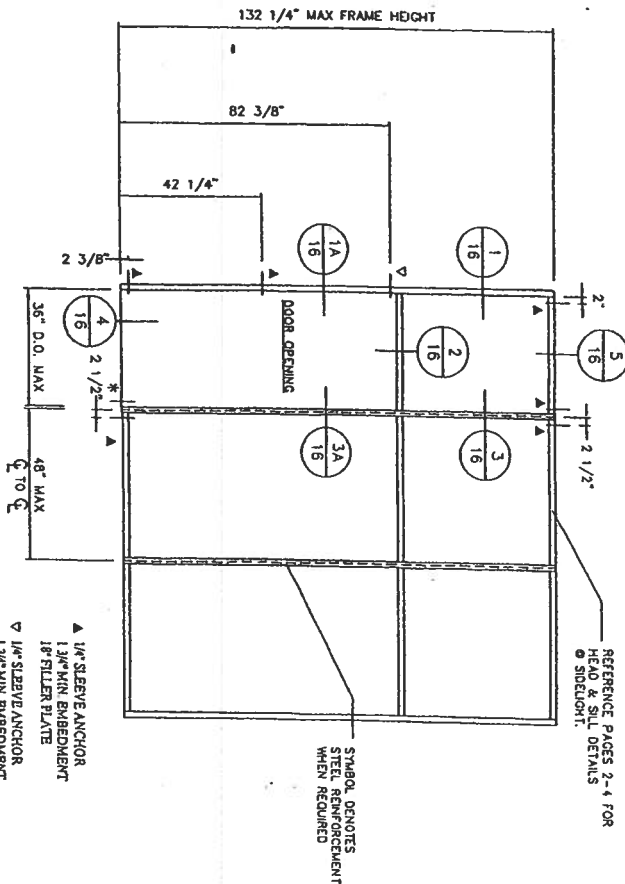


ANCHOR CHART

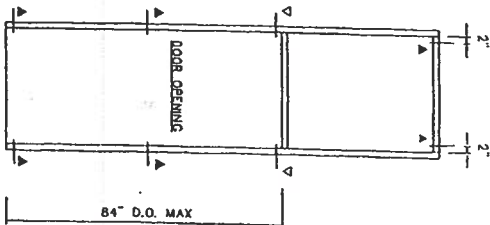


Handwritten signature and date: 4/1/03

DOOR FRAME FASTENER CHART FOR FG-1000, FG-2000 & FG-3000 FLUSH GLAZE SYSTEMS



- ▲ 1/4\"/>



NON-STRUCTURAL FASTENERS MAY BE REQUIRED FOR ATTACHING THE THRESHOLD IN THE OPENING

2500 OR 3000 PSI CONCRETE SUBSTRATE

ANCHOR SIZE AND TYPE

ANCHOR SIZE AND TYPE *						
WIND LOAD	JAMB ADJACENT TO SIDE LIGHT *		JAMB ADJACENT TO STRUCTURE			
	HEAD	SILL	HEAD	TRANSOM †	MID DOOR	SILL
20 PSF	2 EA 1/4" DIA SLEEVE ANCHORS	2 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS
30 PSF	2 EA 1/4" DIA SLEEVE ANCHORS	2 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS
40 PSF	2 EA 1/4" DIA SLEEVE ANCHORS	2 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS	1 EA 1/4" DIA SLEEVE ANCHORS

STAINLESS STEEL SLEEVE TYPE ANCHORS MAY BE SUBSTITUTED FOR SLEEVE ANCHORS, PROVIDED FASTENER MANUFACTURER WARRANTS THEIR PRODUCT FOR THIS TYPE OF INSTALLATION.

FASTENERS HAVING A ROCKWELL HARDNESS GREATER THAN 35 ARE SUBJECT TO HYDROGEN ASSISTED CORROSION CRACKING (HASC) WHEN IN CONTACT WITH ALUMINUM IN THE PRESENCE OF MOISTURE

- ANCHOR LOCATION AND DISCUSSION SHOWN ON ELEVATION ARE FOR MAXIMUM NUMBER OF ANCHORS. FOR WIND LOADS EXCEEDING 155 PSF, MAXIMUM NUMBER OF ANCHORS, DELETE THE ONES ON THE OUTSIDE OF THE GROUP.
- SIDE LIGHT UP TO AND INCLUDING 48\"/>

NOTE: HILTI HLG, RAMSET/REDHEAD, POWERBOLT OR DYNABOLT SLEEVE ANCHORS MAY BE USED.

Paul J. Kelly

100-110-0101

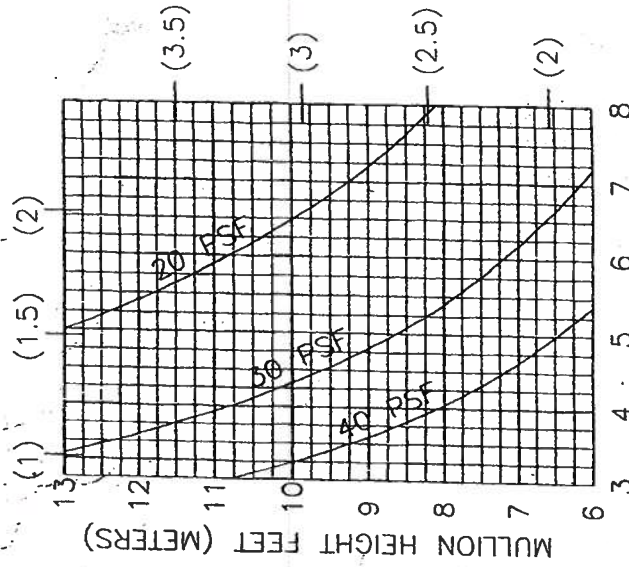
100-110-0101

100-110-0101

TH-56 THRESHOLD MUST BE USED ON DOOR FRAME 1\"/>

TH-56 THRESHOLD WITH TH-56-3 CUP MAY BE SUBSTITUTED FOR TH-56 THRESHOLD WHEN WIND LOADS DO NOT EXCEED 10 PSF

ANCHOR CHART



TRIBUTARY WIDTH IN FEET (METERS)

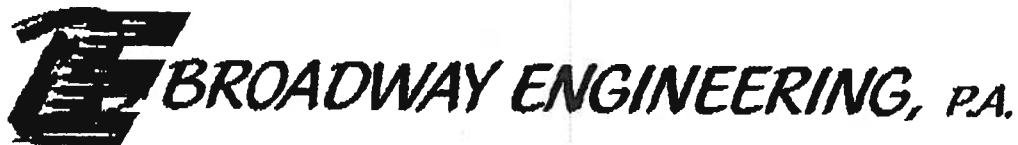
STEEL SUBSTRATE

ONE (1) 1/4" DIAM. TEK EACH
SIDE OF MULL
STEEL : FY = 36 KSI MIN.
MINIMUM EDGE DISTANCE EQUALS
1.5 X BOLT DIAMETER.

Lewis A. Waldron, P.E.
P.O. Box 222
Alto, GA 30510
706-778-3784

Lewis A. Waldron, P.E.
FLA. P.E. #21959

Lewis A. Waldron
6/15/03



March 31, 2004

STATE OF FLORIDA
DEPARTMENT OF COMMUNITY AFFAIRS
2555 Shumard Oak Boulevard
Tallahassee, FL 32399-2100

Manufacturer: Vistawall Architectural Products
Products Development Group
P.O. Box 629
750 Airport Rd.
Terrell, TX 75160

Testing Laboratory: Dallas Laboratories, Inc.
P.O. Box 152837
Dallas, TX 75315
Original Issue Date: February 20, 1997
Revised Date: February 2, 2004
Report No. 25221-R-1R

Product Category: Windows

Product Type: Store Front

Series/Model: FG-2000 (Outside Glazed)

To Whom It May Concern:

I have reviewed the test report prepared by Dallas Laboratories, Inc., dated February 20, 1997, and revised February 2, 2004, for the above referenced product. According to this report, the Vistawall Series FG-2000 storefront system was tested in accordance with the following standards:

1. ASTM E 283-91 for air infiltration;
2. ASTM E 331-96 for water infiltration;
3. ASTM E 330-96 for uniform load deflection; and
4. ASTM E 330-96 for uniform load structural.

According to the information provided in the test report, the Vistawall Series FG-2000 storefront system was tested in accordance with ASTM E 283-91 for air infiltration, ASTM E 331-96 for water infiltration, and ASTM E 330-96 for uniform load deflection and uniform

.....
1335 W. Cass Street

Tampa, FL 33606

(813) 251-8244

Fax: 251-8330

www.broadway-eng.com

.....

CIVIL

MECHANICAL

STRUCTURAL

BUILDING DESIGN

.....

STATE OF FLORIDA
DEPARTMENT OF COMMUNITY AFFAIRS
March 31, 2004
Page 2

structural load. Based on the test report data and in conjunction with accepted engineering guidelines to determine the structural capabilities of the system, we hereby certify that the Vistawall Series FG-2000 storefront system fulfills the requirements of the 2001 Florida Building Code Chapter 24.

Sincerely,

BROADWAY ENGINEERING, P.A.



Elizabeth A. Broadway, P.E.
President
Florida Registration No. 38558

2787-2000.ltr.wpd/eab



BUILDING CODE COMPLIANCE OFFICE (BCCO)
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1603
MIAMI, FLORIDA 33130-1563
(305) 375-2901 FAX (305) 375-2908

NOTICE OF ACCEPTANCE (NOA)

Vistawall Architectural Products
803 Airport Road
Terrell, TX 75160

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Series "FG-2000" Flush Glazed Aluminum Storefront System

APPROVAL DOCUMENT: Drawing No. FG-2000, titled "FG-2000 Framing System", sheets 1 through 3 of 3, dated 10/24/03, prepared by the manufacturer, signed and sealed by William M. Meyers, P.E., bearing the Miami-Dade County Product Control Renewal stamp with the Notice of Acceptance number and expiration date by the Miami-Dade County Product Control Division.

MISSILE IMPACT RATING: None

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA revises and renews NOA # 00-0124.02 and consists of this page 1 and evidence page E-1, as well as approval document mentioned above.

The submitted documentation was reviewed by Manuel Perez, P.E.



MP

NOA No 03-0903.02
Expiration Date: October 02, 2008
Approval Date: November 06, 2003
Page 1

Vistawall Architectural ProductsNOTICE OF ACCEPTANCE: EVIDENCE SUBMITTED**A. DRAWINGS**

1. Manufacturer's die drawings and sections.
2. Drawing No. FG-2000, titled "FG-2000 Framing System", sheets 1 through 3 of 3, dated 10/24/03, prepared by the manufacturer, signed and sealed by William M. Meyers, P.E.

B. TESTS*Submitted under NOA#96-1023.02*

1. Test reports on 1) Air Infiltration Test, per FBC, TAS 202-94
2) Uniform Static Air Pressure Test, Loading per FBC, TAS 20294
3) Water Resistance Test, per FBC, TAS 202-94
along with installation diagram of an aluminum flush glazed storefront system 10' 0" high x 4'0" mullion spacing, prepared by Hurricane Test Laboratory, Inc., Test Report No. HTL-0105-0803-96, dated 08/02/96, signed and sealed by Timothy S. Marshall, P.E.

C. CALCULATIONS*Submitted under NOA#00-0124.02*

1. Anchor Calculations and structural analysis, prepared by R.E. Fisher & Associates, Inc., dated October 15, 1996, signed and sealed by William M. Meyers, P.E. Complies with ASTM E1300-98

D. QUALITY ASSURANCE

1. Miami Dade County Building Code Compliance Office.

E. STATEMENTS

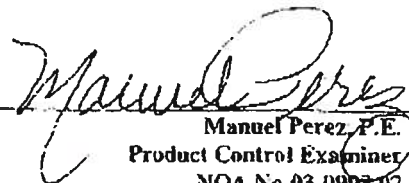
1. Statement letter of no change, issued by The Vistawall Group, signed by Fred Grunewald, dated 8/27/03.

F. MATERIAL CERTIFICATIONS

1. None

G. OTHER

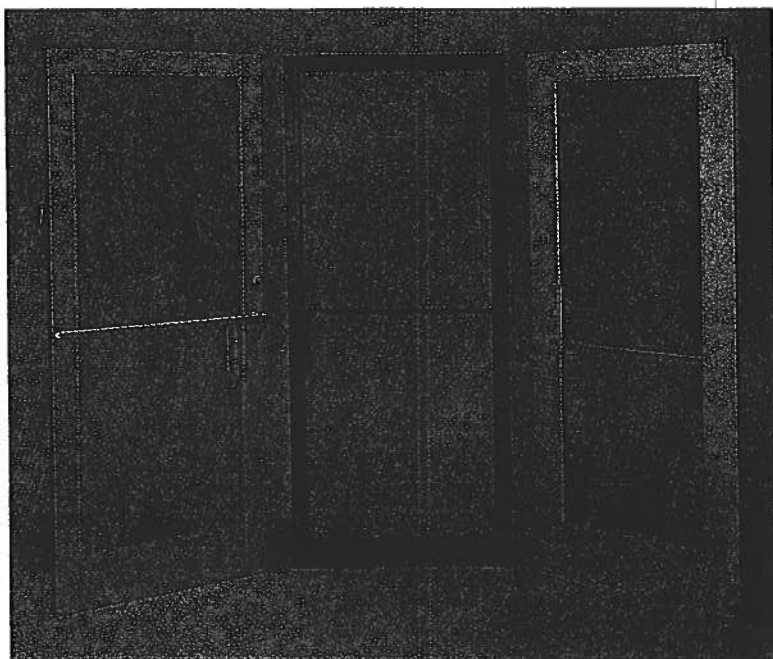
1. Notice of Acceptance No. 00-0124.02 Vistawall Architectural Products, Series "FG-2000" Aluminum Storefront System, approved on 5/26/00 and expiring on 10/02/03.



Manuel Perez, P.E.
Product Control Examiner
NOA No 03-0903.02

Expiration Date: October 02, 2008
Approval Date: November 06, 2003

Standard Entrances



Mechanically
Fastened
Shear Block

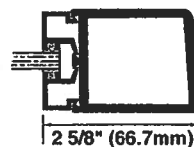
Heavy Duty
Backup Plate

Welded Corner
Connection

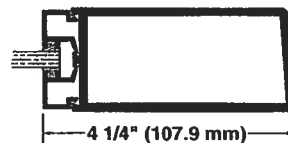


Vistawall offers standard narrow, medium and wide stile entrances to meet a wide range of traffic requirements. All standard Vistawall entrances (3'-0" wide) are ADA compliant and have built-in features that include:

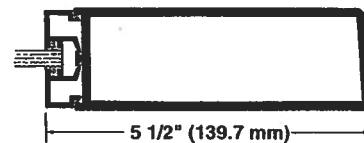
- Maximum security hook bolt locks
- Heavy extruded push/pulls
- Adjustable astragal with dual weathering on pairs of doors
- Mechanically fastened shear blocks and welded corner construction
- Adaptable to virtually all hardware
- 4" to 10" one piece bottom rail options
- Glass stops with bulb gaskets
- 1/4", 3/8" 5/8" and 1" glazing options



Series 212 - Narrow Stile



Series 375 - Medium Stile



Series 500 - Wide Stile

- Adaptable to meet local building codes
- Limited lifetime warranty

Vistawall entrances are durable and virtually maintenance free.

Vistawall also offers a complete line of custom, specialty and all glass entrances. For more information on how Vistawall can meet or exceed your design

ideas, call your local sales representative or contact the customer service department in Terrell, Texas.

Vistawall locations:

Headquarters

P.O. Box 629, Terrell, TX 75160
972-551-6100
www.vistawall.com

Atlanta, GA	Houston, TX	Seattle, WA
Chicago, IL	Las Vegas, NV	St. Louis, MO
Cincinnati, OH	Los Angeles, CA	Tampa, FL
Cleveland, OH	Modesto, CA	Terrell, TX
Dallas, TX	Newnan, GA	Warwick, RI
Denver, CO	San Francisco, CA	Washington, DC

212 - 375 - 500 ENTRANCES

Specifications

General

All aluminum entrances shall be Series _____ (212, 375 or 500 — Architect to specify) as shown on the architectural drawings and manufactured by Vistawall Architectural Products. The immediate door frames, sidelights and fixed windows shall be of the same manufacturer. If substitute materials are to be considered they must be supported by technical literature such as drawings and samples no less than ten (10) days prior to bid for proper evaluation.

Materials

All door and framing sections shall be of extruded aluminum alloy and temper to meet or exceed finishing and structural criteria as specified. Door stiles and rails, excluding glass stops, shall be tubular and have .125 wall thickness. All weathering shall be a hardbacked silicone treated polypropylene. Any exposed fasteners shall be aluminum, stainless steel or other non-corrosive material.

Finish

All exposed surfaces shall be free of unsightly scratches and blemishes. The exposed sections shall receive a caustic etch followed by an anodic coating.

Color shall be...

Enduracolor Bronze or Black with an architectural class anodic coating.

Clear finish with an architectural class anodic coating.

Construction and Design

Door stiles and rails shall be accurately joined at corners with heavy concealed reinforcement brackets secured with bolts and screws, and shall be MIG welded. Doors shall have snap-in stops with bulb glazing vinyl on both sides of the glass. No exposed screws shall be permitted. Each door leaf shall be equipped with an adjusting mechanism located in the top rail near the lock stile which provides for minor clearance adjustments after installation. Weathering shall be installed in the hinge stiles of pairs or single center hung doors. The lock stile of a single center hung door, active meeting stile at a pair of butt hung, offset pivot, or center hung doors shall have an adjustable astragal weatherstrip.

Door frame and sidelight framing shall be accurately joined at corners with unexposed screws. All glazing shall be flush,

including the horizontal muntins and sills and held in place by E.P.D.M. glazing gaskets on both sides. No applied stops shall be permitted except at the transom bar of center hung doors. All butt-hung and offset pivot door frames shall have door stops at jambs and head with continuous weathering.

Standard Hardware

All doors shall be equipped with a maximum security hookbolt lock. Pairs of doors shall be equipped with lever type flush bolts in the top and bottom of the inactive meeting stile. Operating hardware shall be butt hinges, offset pivots or center pivots as supplied by the door manufacturer. Closers for butt hung and offset pivoted doors shall be door manufacturer's standard surface closer. Closers for center pivoted doors shall be door manufacturer's standard overhead concealed closers. All butt hung and offset pivoted doors shall have PH-10 pull handle and PB-11 push bar. All center pivoted doors shall have PB-11 push bars on both sides. Bronze finished hardware shall have an integral accent strip.

(see VIP section for VIP specification).

Custom Hardware (Architect may specify)

If hardware items are to be supplied to the door manufacturer by others, templates and physical hardware must be submitted to the door manufacturer prior to fabrication.

Erection

All openings shall be prepared plumb and square by others and shall be of sufficient size to provide clearance at jambs, head and sill as shown on the architectural drawings. Installation, glass and glazing shall be performed by experienced technicians according to the manufacturer's recommended procedures. All units shall be securely anchored with all joints fully caulked to insure a water tight seal.

Cleaning

Upon completion of construction, the general contractor shall be responsible for cleaning all aluminum, employing methods recommended by the manufacturer as follows: Anodized aluminum shall be cleaned with plain water containing a mild detergent, or a petroleum product such as white gasoline, kerosene or distillate. No abrasive agent shall be used.

1/8"

41-1/4"
PUSH BAR

47-1/4"
CYLINDER

Technical drawing of a single acting door. The drawing shows a door with a handle and a lock cylinder. Dimensions are provided for various parts of the door and its components.

Dimensions and Labels:

- Top edge: 37"
- Left edge: 8-25/32", 11/16"
- Right edge: 41-1/4", 47-1/4", 11/16"
- Bottom edge: 4-1/2", 4-1/2", 1/8"
- Internal dimensions: 3-31/32", 1/8"
- Labels: PANIC BAR, PUSH BAR, CYLINDER, HOLE SPACING, 18-1/2"

© 1992 Vistawall Architectural Products

DALLAS LABORATORIES, INC.

CONSULTANTS AND TECHNOLOGISTS
ANALYTICAL AND RESEARCH CHEMISTS —
CHEMICAL ENGINEERS — PETROLEUM ENGINEERS

MEMBERS

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NATIONAL
PETROLEUM ENGINEERS OF AIME

P. O. BOX 152837
1323 WALL ST.

DALLAS, TEXAS 75315

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AMERICAN SOCIETY FOR TESTING MATERIALS
AMERICAN NATIONAL STANDARDS INSTITUTE
AMERICAN SOCIETY FOR QUALITY CONTROL

Submitted by: Vistawall Architectural Products
Products Development Group
P.O. Box 629
Terrell, TX 75160

Date: December 4, 1992

Attn: Mr. Larry Bleibuyck

Report No.: 18975

REPORT

SUBJECT: Performance testing in accordance with ASTM E 283-91 (Air Infiltration).

DESCRIPTION OF UNIT TESTED

Type: Aluminum Outswinging Entry Door.

Series: 375 Medium Stile -

Door Leaf Size: 3'0" x 7'0"

Configuration: X

Glass: 1/4" tempered.

Glazing: Captured glazing using EPDM gasket.

Sealant: Seal header to jambs. Seal threshold to slab and ends to jambs.

Weatherstripping: One row of vinyl bulb (D-125) at full length of frame header and jambs. One strip D-120 silicone door seal at full length of bottom rail.

Date Testing Started: November 2, 1992

Date Testing Completed: November 2, 1992

Tests Performed at: Vistawall Architectural Products testing facility in Terrell, Texas.

SUMMARY OF TEST RESULTS

TITLE OF TEST

TEST METHOD

RESULTS

Air Infiltration @ 1.57 psf

ASTM E 283-91

0.05 CFM/Ft²
or
0.05 CFM/Ft. of crack

Air Infiltration @ 6.24 psf

ASTM E 283-91

0.12 CFM/Ft²
or
0.13 CFM/Ft. of crack

The above results were secured by using the designated ASTM test methods.

DALLAS LABORATORIES, INC.
TESTING LABORATORY



TECHNICIAN

GF:td

DALLAS LABORATORIES, INC.

CONSULTANTS AND TECHNOLOGISTS
ANALYTICAL AND RESEARCH CHEMISTS —
CHEMICAL ENGINEERS — PETROLEUM ENGINEERS

P. O. BOX 16705
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DALLAS, TEXAS 75215

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MEMBERS

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AMERICAN SOCIETY FOR TESTING MATERIAL
AMERICAN NATIONAL STANDARDS INSTITUTE
AMERICAN SOCIETY FOR QUALITY CONTROL

Submitted by: Vistawall Architectural Products
P. O. Box 629
803 Airport Road
Terrell, TX 75160

Attn: Mr. Tom Merrell

Date January 25, 1989

Report No. 13403

REPORT

File:

Door Corner Joint Strength Test

Test specimens were top corner assembly of the following: Narrow Stile Door - Series 212, Medium Stile Door - Series 375, and Wide Stile Door - Series 500.

Corner Construction is as follows: The rail is notched (3/4" x 3/16" w/ 5/32 radius) at both inside and outside corners, welded at both notches to stile and corner block, a threaded (1 1/2" x 2-7/8" x 1/8") steel back-up plate, four #10x3/4" screws, two 3/4"(20)x1" hex bolts and two split washers.

Test Method

Methods and procedures of test were provided by Vistawall Architectural Products and are attached to this report.

Test Results

Specimen	Load (lbs)	Deflection (inch)	Rotation (Degrees)	Joint Opening (inch)	Corner Condition
				Inside/Outside	
Narrow Stile #1	108.31	0.110	1°03'	0.020/0.010	Good
	124.01	0.133	1°16'	0.033/0.014	Good
	135.75	0.160	1°32'	0.041/0.020	Good
	151.45	0.200	1°55'	0.054/0.033	Good
	167.15	0.250	2°23'	0.085/0.045	Good
	182.85	0.320	3°03'	-	Good
	198.55	-	-	-	Welds torn
	214.25	-	-	-	<45° Rotation
	229.95	-	-	-	>45° Rotation - Failure

(Continued)

DALLAS LABORATORIES, INC.

CONSULTANTS AND TECHNOLOGISTS

ANALYTICAL AND RESEARCH CHEMISTS —

CHEMICAL ENGINEERS — PETROLEUM ENGINEERS

P. O. BOX 15705

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DALLAS, TEXAS 75215

MEMBERS

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AMERICAN SOCIETY FOR TESTING MATERIAL
AMERICAN NATIONAL STANDARDS INSTITUTE
AMERICAN SOCIETY FOR QUALITY CONTROL

MEMBERS

INSTITUTE OF CHEMICAL ENGINEERS
SOCIETY OF PROFESSIONAL ENGINEERS
SOCIETY OF PROFESSIONAL ENGINEERS
NATIONAL
OF PETROLEUM ENGINEERS OF AIME

led by: Vistawall Architectural Products
P. O. Box 629
803 Airport Road
Terrell, TX 75160
Attn: Mr. Tom Merrell

Date January 25, 1989Report No. 13403REPORTDoor Corner Joint Strength Test

Test specimens were top corner assembly of the following: Narrow Stile Door - Series 212, Medium Stile Door - Series 375, and Wide Stile Door - Series 500.

Corner Construction is as follows: The rail is notched (3/4" x 3/16" w/ 5/32 radius) at both inside and outside corners, welded at both notches to stile and corner block, a threaded (1 1/2" x 2-7/8" x 1/8") steel back-up plate, four #10x3/4" screws, two 1/4"(20)x1" hex bolts and two split washers.

Test Method

Methods and procedures of test were provided by Vistawall Architectural Products and are attached to this report.

Test Results

<u>Specimen</u>	<u>Load (lbs)</u>	<u>Deflection (inch)</u>	<u>Rotation (Degrees)</u>	<u>Joint Opening (inch) Inside/Outside</u>	<u>Corner Condition</u>
Narrow Stile #1	108.31	0.110	1°03'	0.020/0.010	Good
	124.01	0.133	1°16'	0.033/0.014	Good
	135.75	0.160	1°32'	0.041/0.020	Good
	151.45	0.200	1°55'	0.054/0.033	Good
	167.15	0.250	2°23'	0.085/0.045	Good
	182.85	0.320	3°03'	-	Good
	198.55	-	-	-	Welds torn
	214.25	-	-	-	<45° Rotation
	229.95	-	-	-	>45° Rotation - Failure

(Continued)

Test Results (Continued)

<u>Specimen</u>	<u>Load (lbs)</u>	<u>Deflection (inch)</u>	<u>Rotation (Degrees)</u>	<u>Joint Opening (inch) Inside/Outside</u>	<u>Corner Condition</u>
Narrow Stile #2	108.31				
	124.01	0.127	1°13'	0.036/0.022	Good
	135.75	0.157	1°30'	0.050/0.027	Good
	151.45	0.200	1°55'	0.068/0.042	Good
	167.15	0.279	2°40'	0.096/0.063	Good
	182.85	0.420	4°12'	-	Good
	198.55	-	-	-	>45° Rotation Welds torn - failure
	214.25	-	-	-	No change
	229.95	-	-	-	56° Rotation
Narrow Stile #3	108.31	0.107	1°01'	0.015/0.002	Good
	124.01	0.133	1°16'	0.022/0.005	Good
	135.75	0.158	1°31'	0.031/0.008	Good
	151.45	0.200	1°55'	0.046/0.013	Good
	167.15	0.242	2°19'	0.055/0.025	Good
	182.85	0.275	2°37'	0.069/0.034	Good
	198.55	0.350	3°20'	0.105/0.050	Good
	214.25	0.417	3°58'	-	Corner intact
	229.95	0.509	4°51'	-	< 45° Rotation No separation of parts.
Medium Stile #1	108.87	0.120	1°09'	0.016/0.012	Good
	124.57	0.123	1°10'	0.022/0.014	Good
	140.27	0.152	1°27'	0.031/0.020	Good
	155.97	0.182	1°44'	0.042/0.028	Good
	177.67	0.310	2°58'	0.068/0.054	Good
	187.37	0.470	4°29'	-	Good
	203.07	-	-	-	40° Rotation - Welds tore
	218.77	-	-	-	42° Rotation
	229.62	-	-	-	43° Rotation - No Separation of parts.
Medium Stile #2	108.87	0.100	0°90'	0.011/0.0	Good
	124.57	0.123	1°10'	0.016/0.004	Good
	135.42	0.137	1°19'	0.018/0.006	Good
	151.12	0.175	1°40'	0.022/0.008	Good
	166.82	0.200	1°55'	0.033/0.016	Good
	182.52	0.240	2°17'	0.042/0.025	Good
	198.22	0.287	2°44'	0.063/0.038	< 45° Rotation - Good
	213.92	0.720	7°07'	-	Good
	229.62	-	-	-	Complete failure - Welds and screws sheared off.

(Continued)

Test Results (Continued)

<u>Specimen</u>	<u>Load (lbs)</u>	<u>Deflection (inch)</u>	<u>Rotation (Degrees)</u>	<u>Joint Opening (inch) Inside/Outside</u>	<u>Corner Condition</u>
Medium Stile #3	108.87	0.100	0°57'	0.014/0.0	Good
	124.57	0.120	1°08'	0.016/0.003	Good
	135.42	0.140	1°20'	0.022/0.006	Good
	151.12	0.175	1°40'	0.032/0.011	Good
	166.82	0.192	1°50'	0.038/0.014	Good
	182.52	0.220	2°06'	0.047/0.020	Good
	198.22	0.258	2°28'	0.060/0.030	< 45° Rotation
	213.92	0.297	2°50'	0.067/0.040	Good
	229.62	0.348	-	-	No Separation of Parts
Wide Stile #1	108.90	0.082	0°47'	0.016/0.013	Good
	124.60	0.100	0°57'	0.025/0.016	Good
	135.45	0.112	1°04'	0.029/0.018	Good
	151.15	0.137	1°19'	0.038/0.022	Good
	166.85	0.174	1°40'	0.047/0.028	Good
	182.55	0.198	1°53'	0.060/0.040	Good
	198.25	0.242	2°19'	0.082/0.055	Good
	213.95	0.320	3°03'	0.103/0.076	Good
	229.65	0.372	3°37'	-	< 45° Rotation - No Separation of Parts
Wide Stile #2	108.90	0.062	0°35'	0.012/0.008	Good
	124.60	0.075	0°43'	0.016/0.013	Good
	135.45	0.087	0°50'	0.020/0.016	Good
	151.15	0.100	0°57'	0.022/0.018	Good
	166.85	0.120	1°09'	0.033/0.025	Good
	182.55	0.142	1°22'	0.048/0.033	Good
	198.25	0.170	1°37'	0.064/0.045	Good
	213.95	0.240	2°17'	0.084/0.056	Good
	229.65	0.260	2°29'	-	< 45° Rotation - No Separation of Parts

(Continued)

Test Results (Continued)

<u>Specimen</u>	<u>Load (lbs)</u>	<u>Deflection (inch)</u>	<u>Rotation (Degrees)</u>	<u>Joint Opening (inch) Inside/Outside</u>	<u>Corner Condition</u>
Wide Stile #3	108.90	0.070	0°40'	0.018/0.008	Good
	124.60	0.082	0°47'	0.022/0.010	Good
	135.45	0.092	0°53'	0.025/0.012	Good
	151.15	0.103	0°59'	0.025/0.014	Good
	166.85	0.118	1°08'	0.032/0.016	Good
	182.55	0.138	1°19'	0.042/0.020	Good
	198.25	0.160	1°32'	0.054/0.025	Good
	213.95	0.195	1°52'	0.072/0.036	Good
	229.65	0.230	2°12'	0.087/0.042	Good
					<45° Rotation - No Separation of Parts

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DALLAS LABORATORIES, INC.

Jeffrey A. Johnson
Jeffrey A. Johnson

JAJ:td

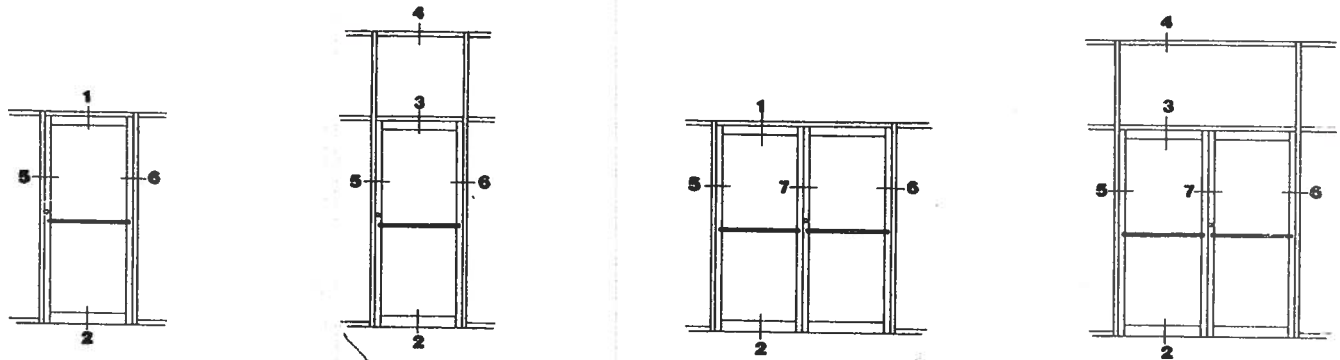
Encl.

Standard Door Frames

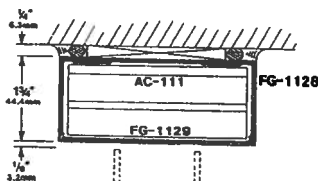
SCALE-1/4 SIZE

4" & 4 1/2" Tubular Frames

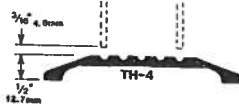
Double acting doors W/ sidelites



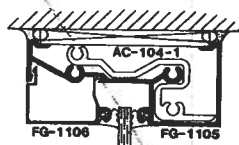
4" Frames



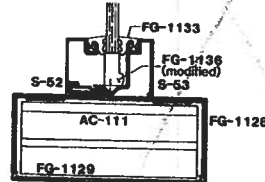
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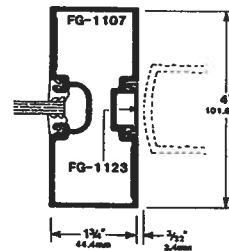
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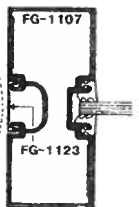


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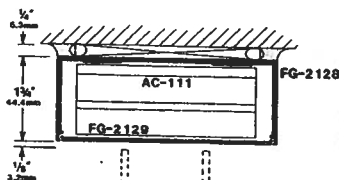
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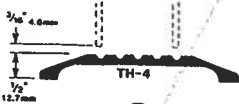


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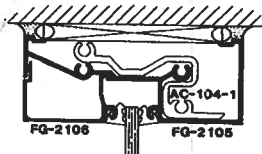
4 1/2" Frames



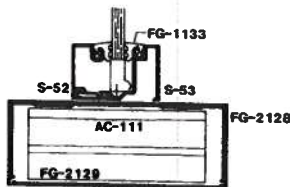
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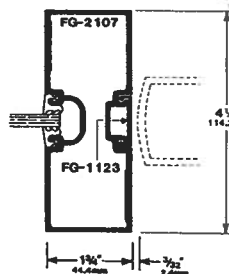
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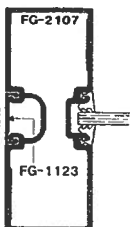


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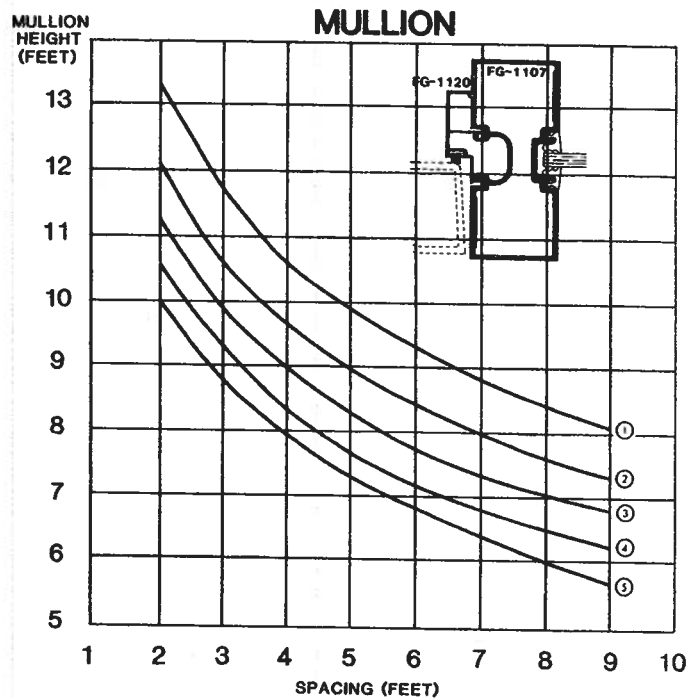
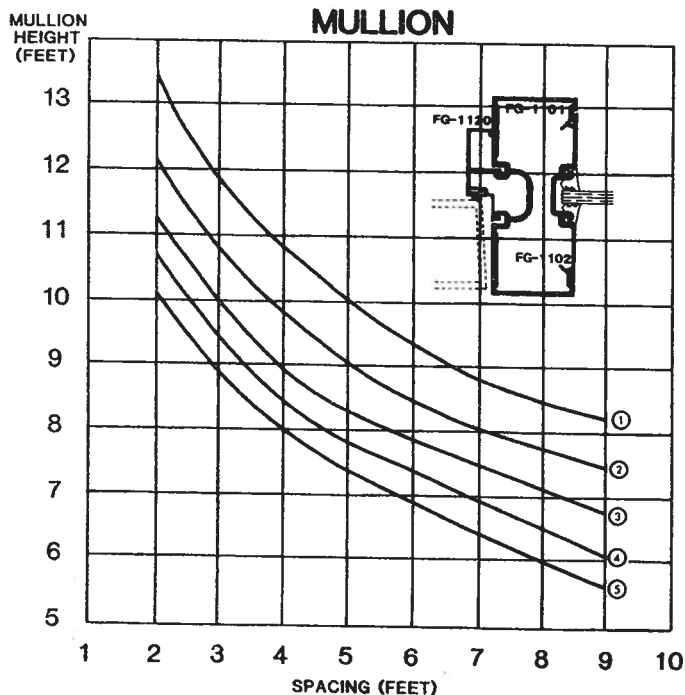
Standard Door Frames

4" Frames

WIND LOAD CHARTS

DEFLECTION LIMITED TO L/175

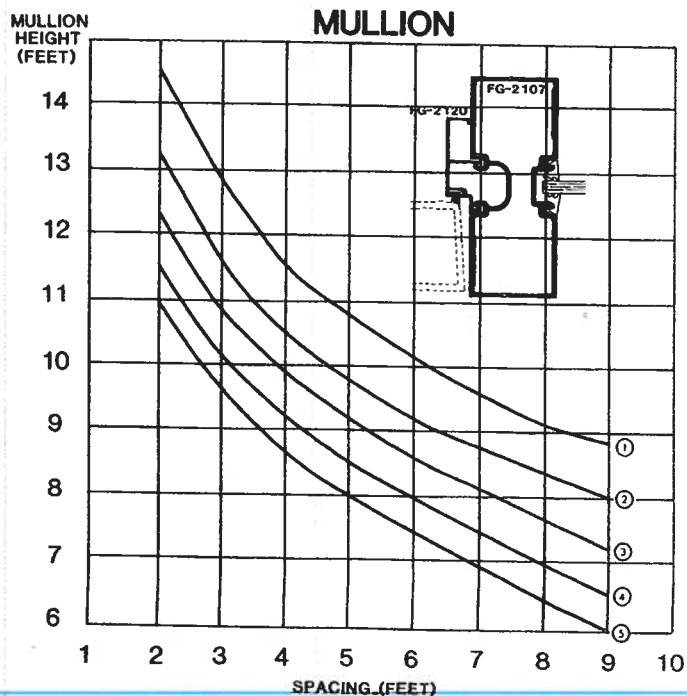
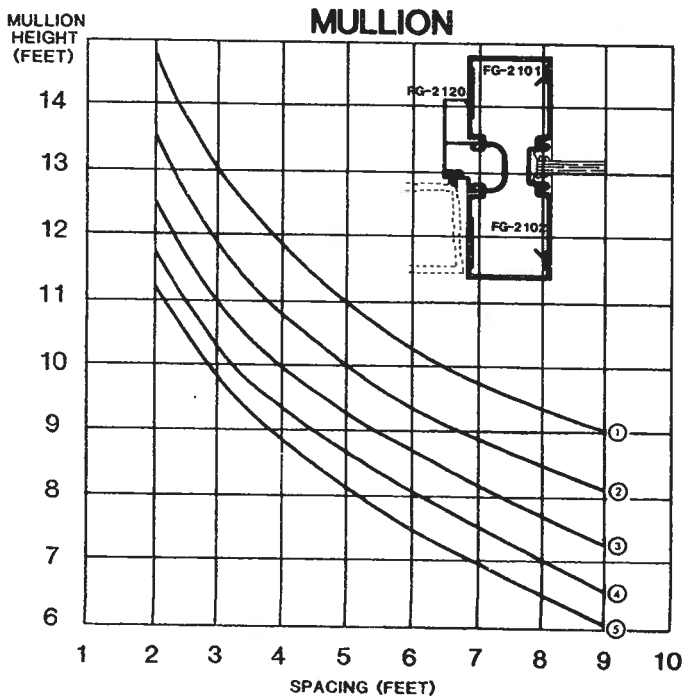
6063-T5



DEFINITION OF CURVES

- ① = 15 P. S. F.
- ② = 20 P. S. F.
- ③ = 25 P. S. F.
- ④ = 30 P. S. F.
- ⑤ = 35 P. S. F.

4 1/2" Frames



TELEPHONE (AREA CODE 214)

565-0583
565-0594
421-1400

CABLE ADDRESS "DALAB"

DALLAS LABORATORIES, INC.

CONSULTANTS AND TECHNOLOGISTS

ANALYTICAL AND RESEARCH CHEMISTS —

CHEMICAL ENGINEERS — PETROLEUM ENGINEERS

MEMBERS

AMERICAN INSTITUTE OF CHEMICAL ENGINEERS
NATIONAL SOCIETY OF PROFESSIONAL ENGINEERS
TEXAS SOCIETY OF PROFESSIONAL ENGINEERS
ASM INTERNATIONAL
SOCIETY OF PETROLEUM ENGINEERS OF AIMEP. O. BOX 152837
1323 WALL ST

DALLAS, TEXAS 75315

MEMBERS

AMERICAN CHEMICAL SOCIETY
AMERICAN SOCIETY FOR TESTING MATERIAL
AMERICAN NATIONAL STANDARDS INSTITUTE
AMERICAN SOCIETY FOR QUALITY CONTROL

Submitted By: Vistawall Architectural Products
Products Development Group
P. O. Box 629
750 Airport Rd.
Terrell, TX 75160

Date: February 2, 2004
(Original Issue Date: 2/20/1997)

Attn: Larry Biebuyck

Report No. 25221-R-1R

REPORT

Subject: Performance testing in accordance with ASTM E 283-91 (Air Infiltration),
ASTM E 331-96 (Water Resistance), ASTM E 330-96 (Uniform Load Deflection),
and ASTM E 330-96 (Uniform Load Structural).

Product Type: Store Front

Series/Model: FG-2000 (Outside Glazed)

Overall Size: 12'9-1/4" x 9'11"

Configuration: O.O.O
O.O.O

PRODUCT DESCRIPTION

Note: Mock-up was tested using two types of intermediate mullions. One mullion was a typical stationary mullion (part #FG-2100 mull) and (part #FG-2102 filler). The second mull was an expansion mull that would allow for lateral movements (part #FG-2109) and (part #FG-2108).

Weatherstripping: Two fingered gasket part #(V-11) at the interior and exterior face of expansion mull part #(FG-2108).

Glass: 1/4" tempered.

Glazing: Outside glazed with gasket #(FG-1133) at the interior and exterior of glass. Snap-in glazing bead part #(FG-2106) at the exterior of glass.

Weep Arrangement: 1/2" break in perimeter sealant at each intermediate vertical mullion. Water diverter part #(FG-1000-PP-1) installed at each end of horizontal rail.

Sealant: Perimeter caulked with a foam backer rod and sealant at the interior and exterior of mock-up, full span of frame head and jambs. Frame sill sealed exterior with sealant and backer rod and structural silicone only at interior. Exterior seal has 1/2" break at vertical mullions for weepage (See Weep description). Glazing gasket part #(FG-1133), ends are mitered and sealed prior to installation. Butyl gasket at all frame connections. Sealant applied to joint between part #(FG-2169) and (FG-2104) at frame sill. Sealant applied between exterior joint of filler part #(FG-2102), and mull part #(FG-2100).

Vistawall Arch. Products
Feb. 2, 2004
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Other Features: Frame corners are connected with two (2) #14x1" screws per corner. Mock-up was anchored to the test buck using 3" anchors 4" off center of vertical mullions and jambs eight clips at sill and three clips per jamb, and frame head.

Date Testing Started: February 17, 1997

Date Testing Completed: February 17, 1997

Testing Performed At: Vistawall testing facility in Terrell, Texas.

PERFORMANCE TEST RESULTS

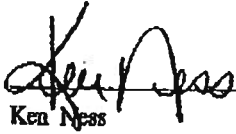
<u>TITLE OF TEST</u>	<u>TEST METHOD</u>	<u>MEASURED</u>	<u>ALLOWED</u>
Air Infiltration @ 1.57 psf	ASTM E 283-91	0.002 CFM/Ft ²	0.06 CFM/Ft ²
Air Infiltration @ 6.24 psf	ASTM E 283-91	0.003 CFM/Ft ²	0.06 CFM/Ft ²
Water Resistance @ 6.24 psf	ASTM E 331-96	No Leakage	No Leakage
Water Resistance @ 8.00 psf	ASTM E 331-96	No Leakage	No Leakage
Water Resistance @ 9.00 psf	ASTM E 331-96	No Leakage	No Leakage
Water Resistance @ 10.00 psf	ASTM E 331-96	No Leakage	No Leakage
Uniform Load Deflection - Stationary Mull	ASTM E 330-96		
- Exterior @ 20.00 psf		0.580"	0.680"
- Interior @ 20.00 psf		0.560"	0.680"
Uniform Load Deflection - Expansion Mull	ASTM E 330-96		
- Exterior @ 20.00 psf		0.495"	0.680"
- Interior @ 20.00 psf		0.485"	0.680"
Uniform Load Structural	ASTM E 330-96		
- Exterior		30.0 psf*	30.0 psf*
- Interior		30.0 psf*	30.0 psf*
- Permanent Set			
- Stationary Mull		Negligible	0.476"
- Expansion Mull		Negligible	0.476"

* No glass breakage, permanent deformation, or any other condition exists that caused any damage to the unit.

Vistawall Arch. Products
Feb. 2, 2004
Page 3 - Report #25221-R-1R

The above results were secured by using the designated test methods and they indicate compliance with the performance requirements of the above referenced specifications.

DALLAS LABORATORIES, INC.
TESTING LABORATORY


Ken Ness

KN:td

CERTIFICATES OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 31-3S-17-06247-112

Building permit No. 000026235

Use Classification COMM. WAREHOUSE

Fire: 381.92

Permit Holder ISAAC BRATKOVICH

Waste: _____

Owner of Building ISAAC BRATKOVICH

Total: 381.92

PER MARSHA MOORE/TA

Location: 228 SW WATERFORD COURT, LAKE CITY, FL

Date: 02/12/2008

Fanny Dickie

Building Inspector

**POST IN A CONSPICUOUS PLACE
(Business Places Only)**

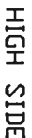


[illegible]

Hunter Lewis
6/14/2007



DETAIL: EAVE STRUT TO COLUMN



DETAIL: EAVE STRUT TO COLUMN



DETAIL: RAKE ANGLE TO EAVE STRUT

DETAIL: RAKE ANGLE TO EAVE STRUT



DETAIL: 2' ENDLAP OF HIGH EAVE
WALL FLASHING

HIGH EAVE TO WALL FLASHING

DETAIL: PURLIN TO RIGID FRAME RAFTER
AT END & FLANGE BRACE PLACEMENT

DETAIL: RAKE ANGLE TO PURLIN
WITH RAKE ANGLE LAP

DETAIL: PURLIN LAP & FLANGE BRACE PLACEMENT

DETAIL: ANTI-ROLL CLIP FIRST PURLIN UP FROM LOW EAVE




100

3

NOTE: PURLIN LAPS MAY VARY IN LENGTH AND MAY NOT NECESSARILY BE THE SAME ON EACH SIDE OF THE FRAME

ONE FLANGE OF ANY 8" DEEP ZEE IS PROVIDED 1/8" LARGER THAN THE OTHER. THIS IS DONE TO ALLOW PROPER NESTING AT LAP. BE SURE TO LAP THE 8" ZEES WITH THE LARGER FLANGED OF ONE OVER THE SMALLER OF THE OTHER.

	
INLAND BUILDINGS	
CULLMAN, ALABAMA	
JOB NO.	SHT.
H1588	5

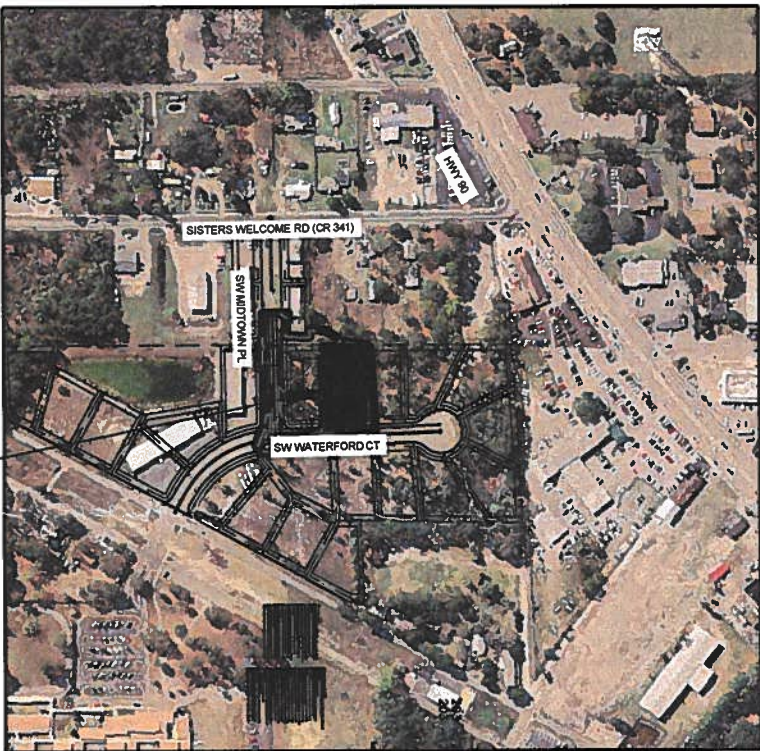
LOT 12 MIDTOWN
COMMERCIAL CENTER
COLUMBIA COUNTY, FL

- SHEET INDEX**
COVER SHEET
GENERAL NOTES
AERIAL
SITE PLAN
GRADING PLAN
UTILITY PLAN
LANDSCAPE PLAN
EROSION CONTROL PLAN
MISC. DETAILS
DRAINAGE MAP

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RANGE 17 EAST

TOWNSHIP 3 SOUTH



PROJECT LOCATION

PLANS PREPARED FOR:

ISAAC CONSTRUCTION
ISAAC BRATKOVICH
125 SW MIDTOWN PLACE, SUITE 101
LAKE CITY, FL 32055
386-719-7143



LEGEND	
EXISTING	PROPOSED
CONCRETE MONUMENT FOUND	CONCRETE MONUMENT SET
IRON PIPE FOUND	IRON PIPE SET
LIGHT STANDARD	LIGHT STANDARD
POWER POLE	POWER POLE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
BACKFLOW PREVENTER	BACKFLOW PREVENTER
CLEANOUT	CLEANOUT
MANHOLE	MANHOLE
GROUND CONTOUR	GROUND CONTOUR
WELL	DITCH BLOCK
MONITORING WELL	FINISH ELEVATION
ELECTRIC BOX	FLOW ARROW
TELEPHONE BOX	HANDICAP PARKING
CABLE T.V. BOX	MITERED END
D.O.T. MARKER FOUND	TREE
CONCRETE	SEWER TAP
SOIL BORING LOCATION	WATER METER
SINGLE POST SIGN	BENCH MARK
BENCH MARK	SILT FENCE
TRAFFIC LIGHT CABINET	RECLAIMED WATER

SYMBOLS & ABBREVIATIONS	
LF	LINEAR FEET
IP	IRON PIPE
MH	MANHOLE
G	GAS
UC	UNDERGROUND CABLE
OC	OVERHEAD CABLE
W	WATER LINE
WM	WATER METER
RCP	REINFORCED CONCRETE PIPE
RCEP	REINFORCED CONCRETE ELIPTICAL PIPE
CMP	CORRUGATED METAL PIPE
CMAF	CORRUGATED METAL ARC PIPE
BCMAF	BITUMINOUS COATED CORRUGATED METAL PIPE
PE	POLYETHYLENE PIPE
EOP	EDGE OF PAVEMENT
F.F.E.	FINISH FLOOR ELEVATION
RW	RECLAIMED WATER
SWMF	STORM WATER MANAGEMENT FACILITIES

COVER SHEET



Bailey Bishop & Lane, Inc.

P.O. Box 3717
Lake City, FL 32056
Ph. 386-752-5640

1835 Fiddler Court
Tallahassee, FL 32308
Ph. 850-894-1200

P.O. Box 814
Port St Joe, FL 32457
Ph. 850-227-9449

Eng. Lic. 7362

Survey Lic. LB-0006685

REVISIONS:

DESIGNED BY: RF
DRAFTED BY: JRF
CHECKED BY: GB

SIGNATURE & SEAL

DATE: 3-30-07
SHEET NO. 1

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT AND COLUMBIA COUNTY SITE PLAN APPROVAL.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER, ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. TOPOGRAPHIC INFORMATION SHOWN, WAS OBTAINED FROM A TOPOGRAPHIC SURVEY PREPARED BY BAILEY BISHOP & LANE, INC., FLORIDA CERTIFICATE NO. 7362.
5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
6. THE SITE IS LOCATED IN SECTION 31, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.
7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH CHAPTER 40B-4 F.A.C.
9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.
10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THOUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION.
12. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
13. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE OWNER

EROSION AND SEDIMENTATION CONTROL PLAN NOTES

1. THE EROSION AND SEDIMENTATION CONTROL PLAN (SHEET C9) COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO COLUMBIA COUNTY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHOULD MAKE MINOR REVISIONS TO THIS PLAN TO MEET ACTUAL FIELD CONDITIONS.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL AND REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIPRAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN THREE DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS, PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.2 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

GENERAL NOTES
LOT 12 MIDTOWN
COMMERCIAL CENTER



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Ph. 850-227-9449
Eng. Lic. 7362 Survey Lic. LB-0006685

REVISIONS:

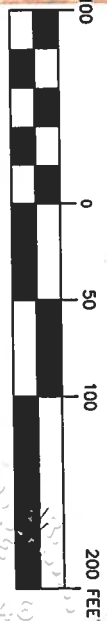
DESIGNED BY:	DRAFTED BY:	CHECKED BY:
RF	RF	GB

JOB NUMBER: L070302\ISA

DATE: 3-30-07
SHEET NO. 2

SIGNATURE: RF
4/3/07

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GRAPHIC SCALE



DATE: 3-30-07	JOB NUMBER: 1070302\SA	REVISIONS:
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AERIAL PHOTO
LOT 12 MIDTOWN
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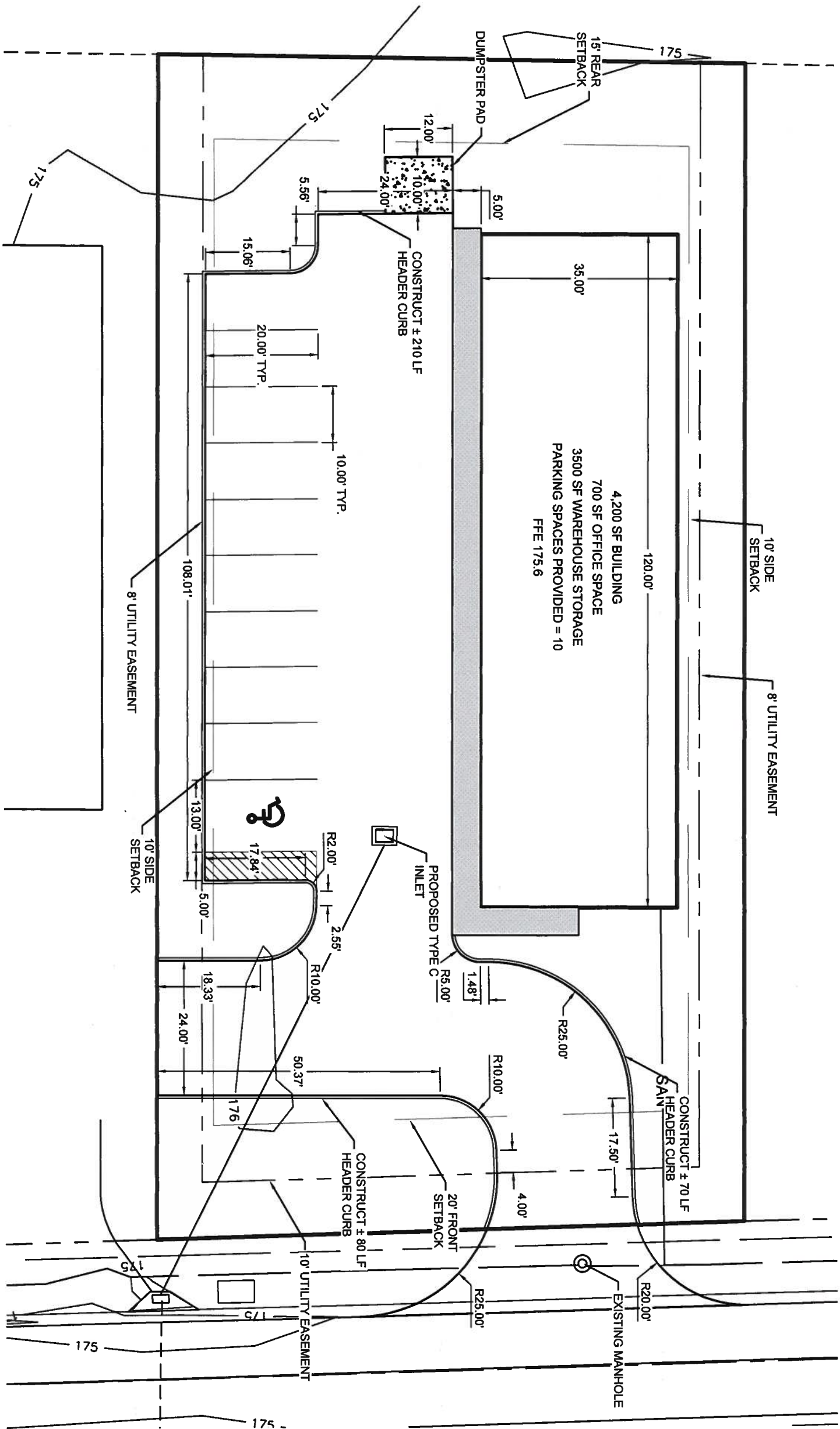
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GRAPHIC SCALE



SITE PLAN
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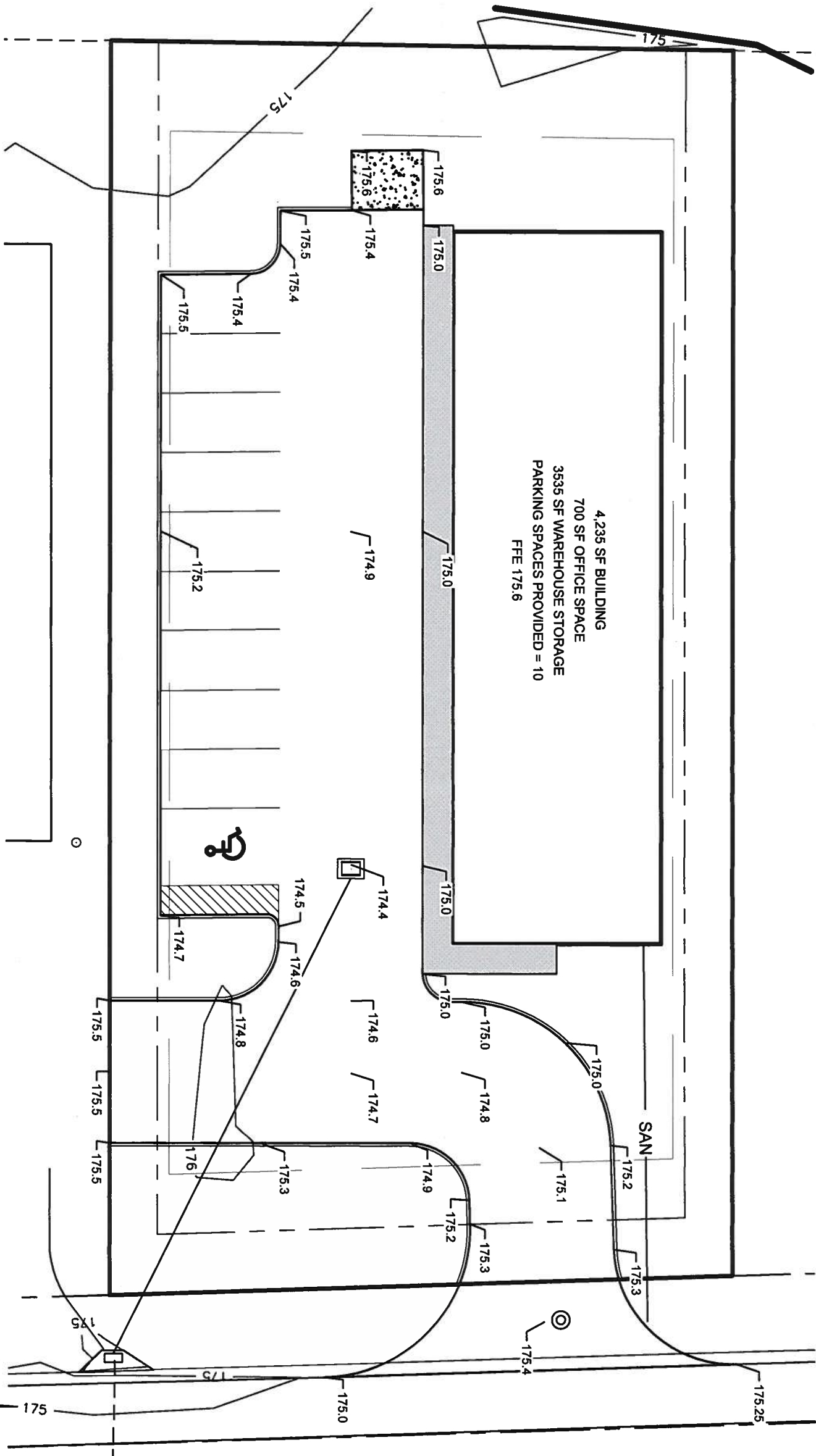
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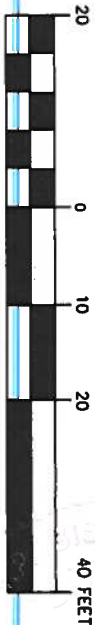
DATE: 3-26-07

SHEET NO. 4

REVISIONS:



GRAPHIC SCALE



GRADING PLAN
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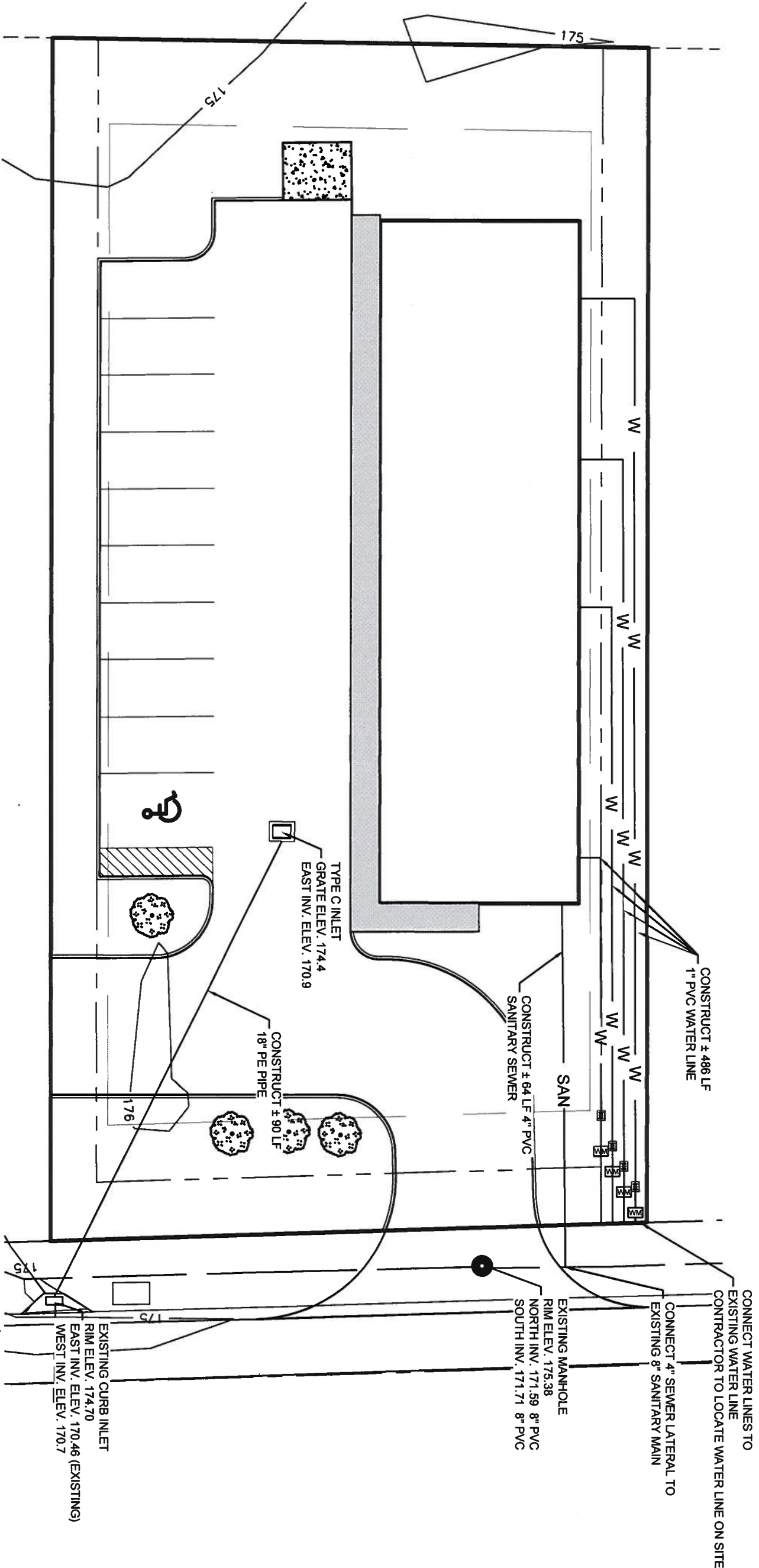
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SHEET NO. 5

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GRAPHIC SCALE



**UTILITY PLAN
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CENTER**



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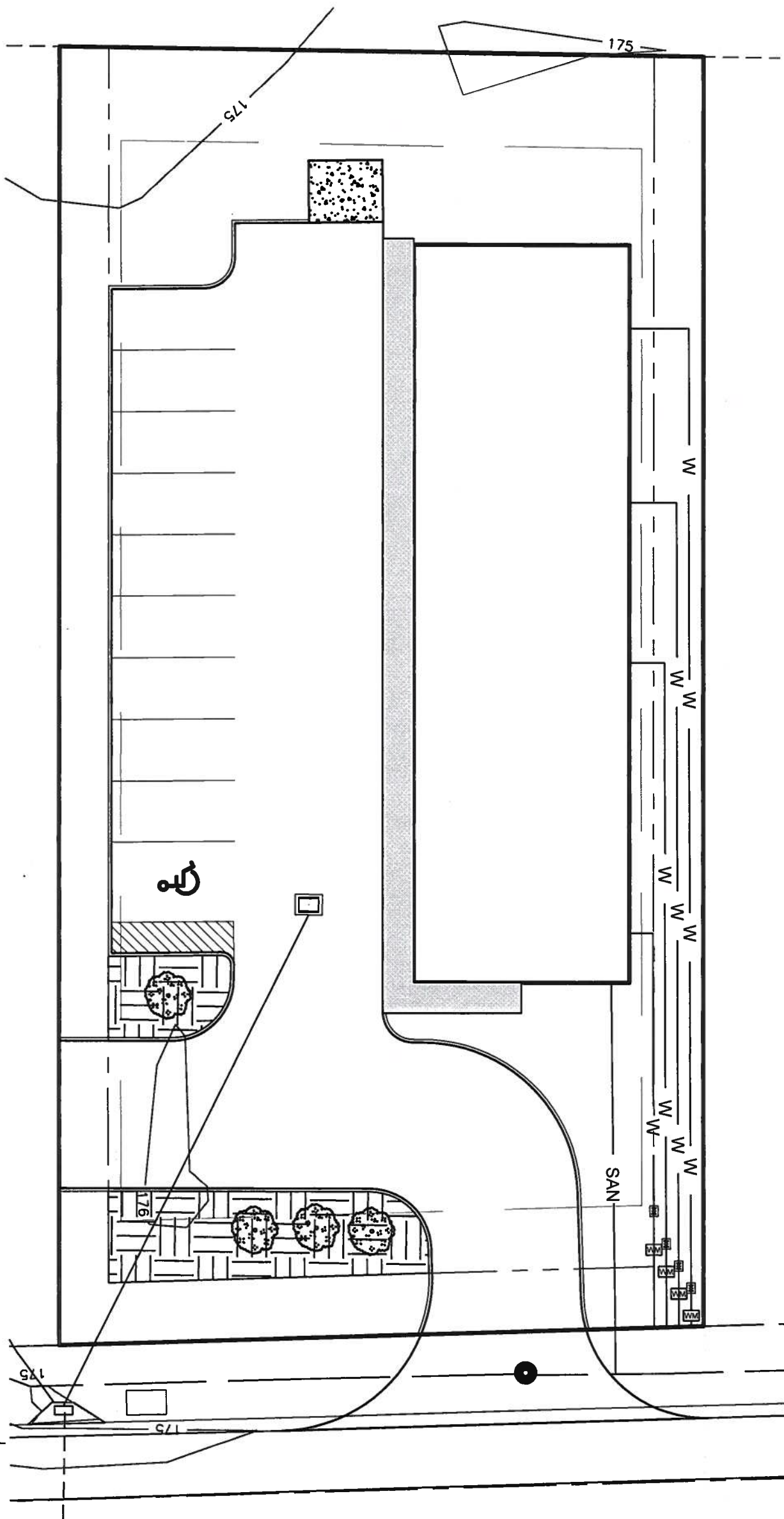
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Survey Lic. LB-0006685

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RF	RF	GB

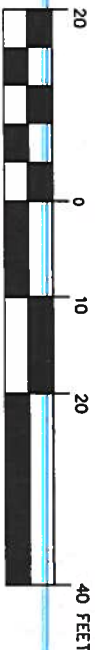
DATE: 3-30-07
SHEET NO. 6



PROPOSED LANDSCAPED AREA

1 TREE FOR EACH 200 SF OF LANDSCAPED AREA REQUIRED.
LANDSCAPED AREA REQUIRED IS 10% OF PARKING AREA.
PARKING AREA = 8,547 SF
LANDSCAPED AREA = 855 SF
REQUIRED TREES = 4.27 = 4
TREES SHALL BE A MINIMUM OF 4 FEET TALL AND PLANTED
NO CLOSER THAN 6 FEET TO ANY PUBLIC STREET OR OTHER
PUBLIC WORKS.

GRAPHIC SCALE



LANDSCAPE MIDTOWN COMM. CENTER



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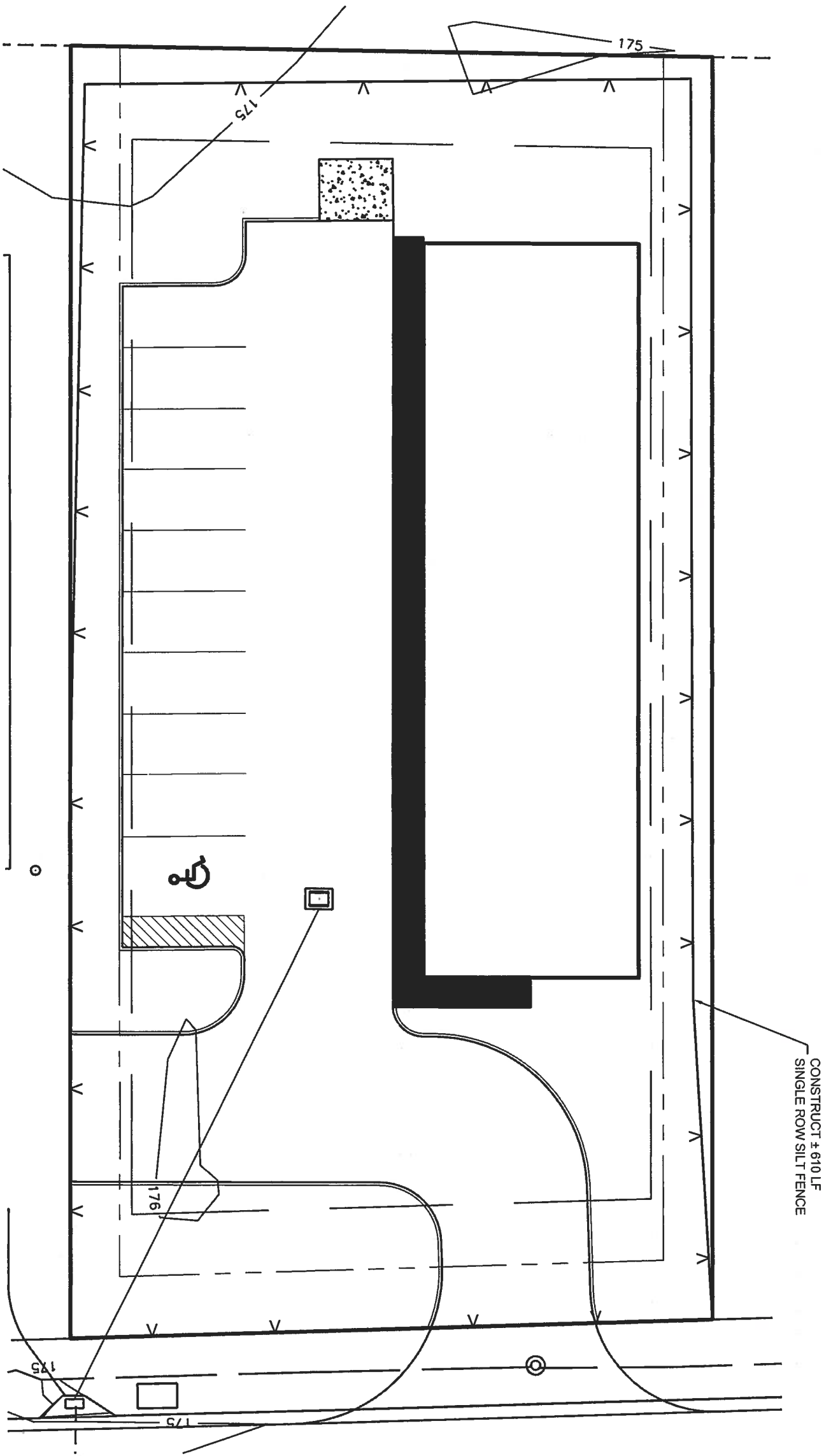
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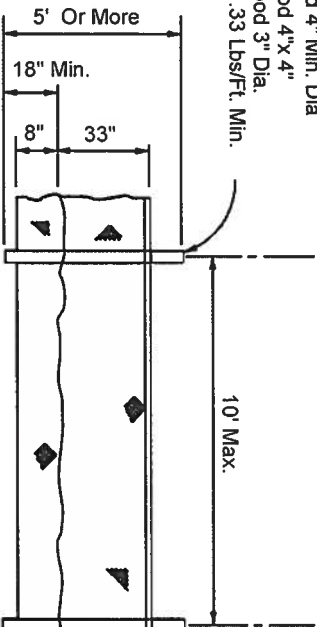
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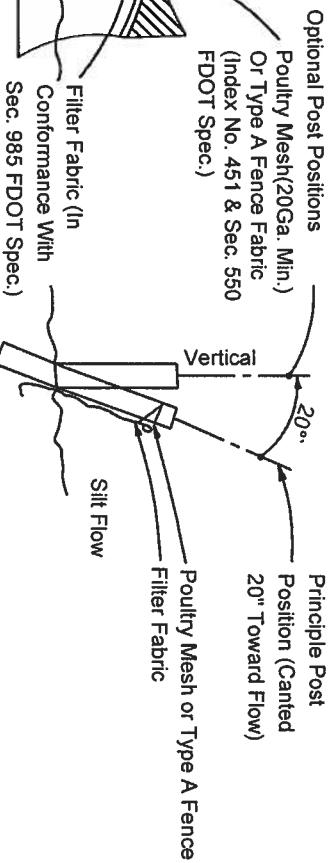
JOB NUMBER: L0703021SA			REVISIONS:	
DESIGNED BY:	DRAFTED BY:	CHECKED BY:		
RF	RF	GB		
DATE: 3-30-07				
SHEET NO. 7				



Post Options:
Softwood 4" Min. Dia
Softwood 4"x4"
Hardwood 3" Dia.
Steel 1.33 Lbs/Ft. Min.



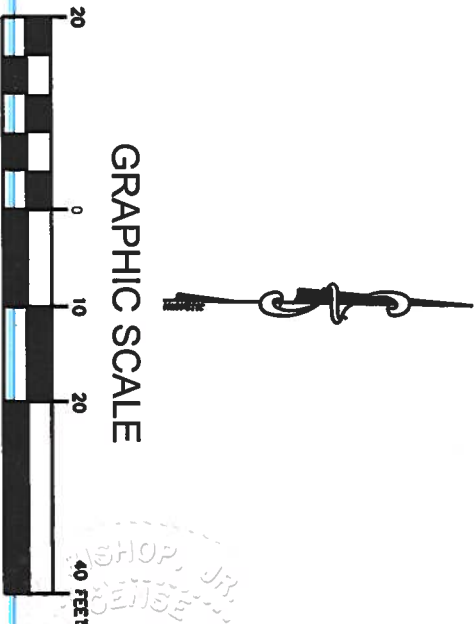
ELEVATION



SECTION

TYPE IV SILT FENCE

NOT TO SCALE



GRAPHIC SCALE

**EROSION CONTROL
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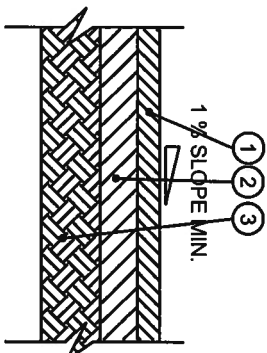
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JOB NUMBER: L070302ISA
DESIGNED BY: RF
DRAFTED BY: RF
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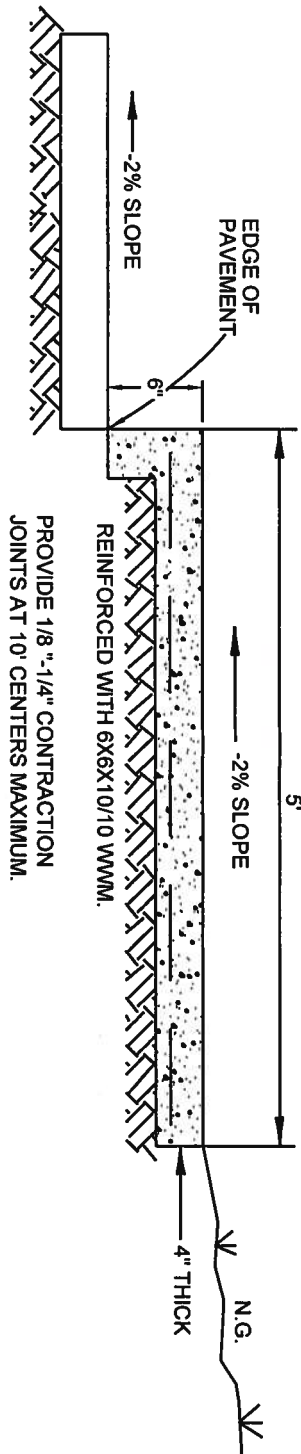
DATE: 3-30-07
SHEET NO. 8

- ① 1'-1/2" ASPHALTIC CONCRETE TYPE S-9.5
② 6" LIMEROCK BASE COMPACTED TO 95% DENSITY LBR - 100
③ 12" STABILIZED SUBGRADE LBR - 40



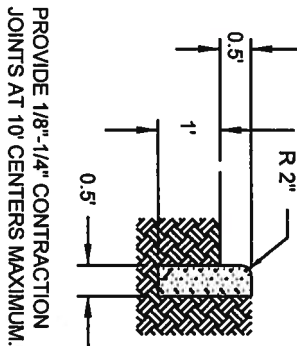
PAVEMENT DETAIL

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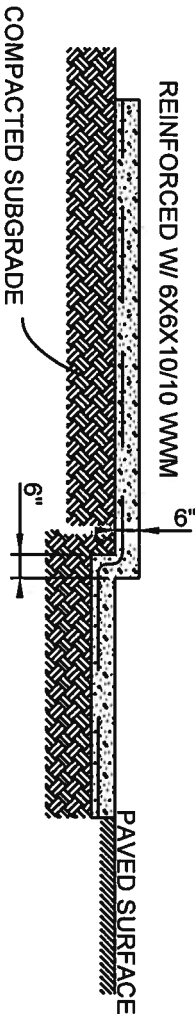
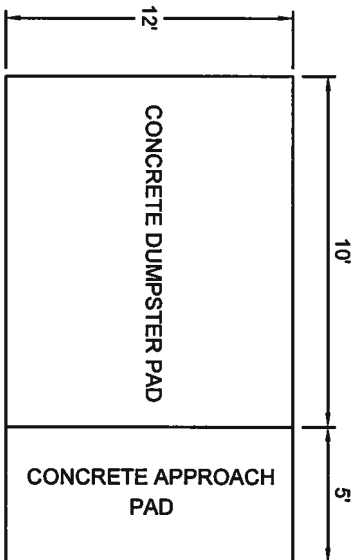
STANDARD SIDEWALK DETAIL

NOT TO SCALE



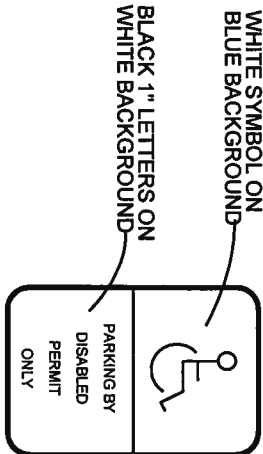
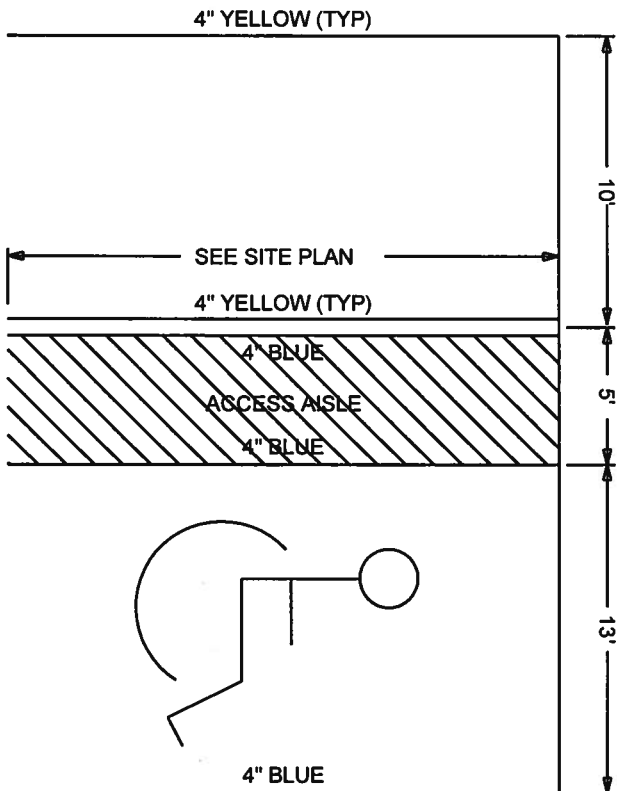
HEADER CURB DETAIL

NOT TO SCALE



DUMPSTER PAD DETAIL

NOT TO SCALE



SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.

5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH AND BLUE IN COLOR

SEE SITE PLAN FOR ADDITIONAL PARKING STALL DIMENSIONS

PARKING STALL DETAIL

NOT TO SCALE

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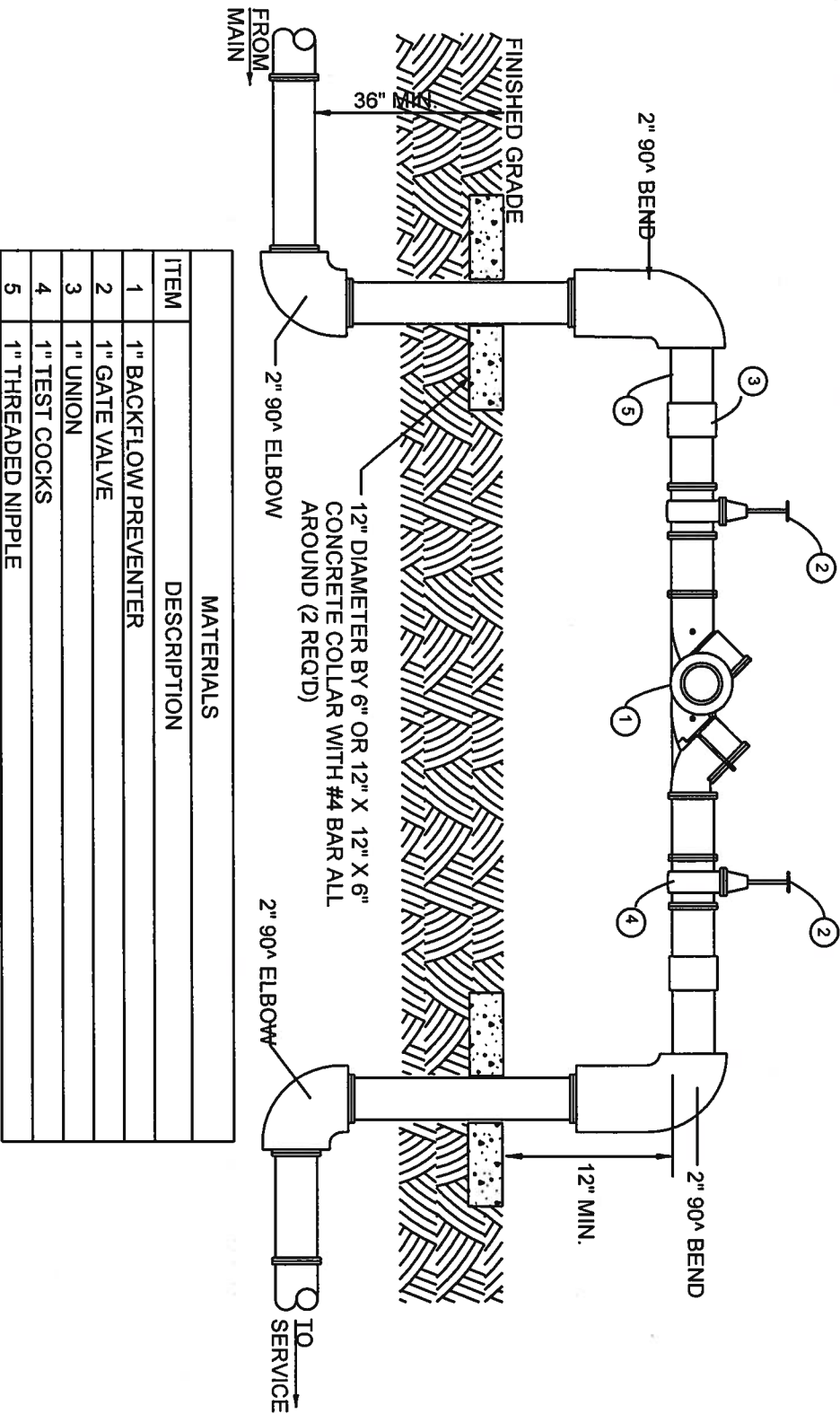
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DATE:	3-30-07
SHEET NO.	9
JOB NUMBER:	L0703021SA
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DRAFTED BY:	RF
CHECKED BY:	PB
SIGNATURE & SEAL	

REVISIONS:



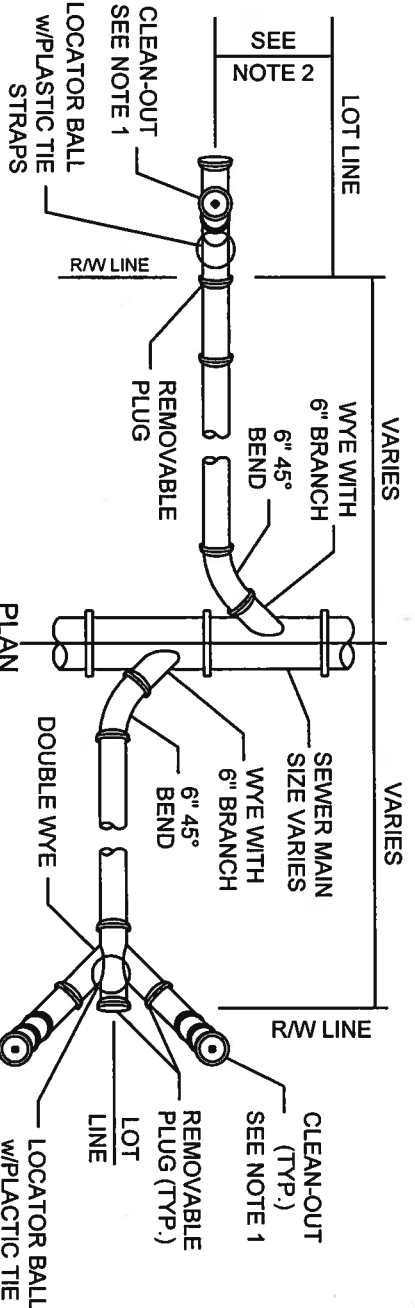
ITEM	MATERIALS
1	1" BACKFLOW PREVENTER
2	1" GATE VALVE
3	1" UNION
4	1" TEST COCKS
5	1" THREADED NIPPLE

REDUCED PRESSURE BACKFLOW PREVENTER

A CONBRACO SERIES 40-000
FREEZE PROTECTION VALVE
SHALL BE INCLUDED

NOTE:

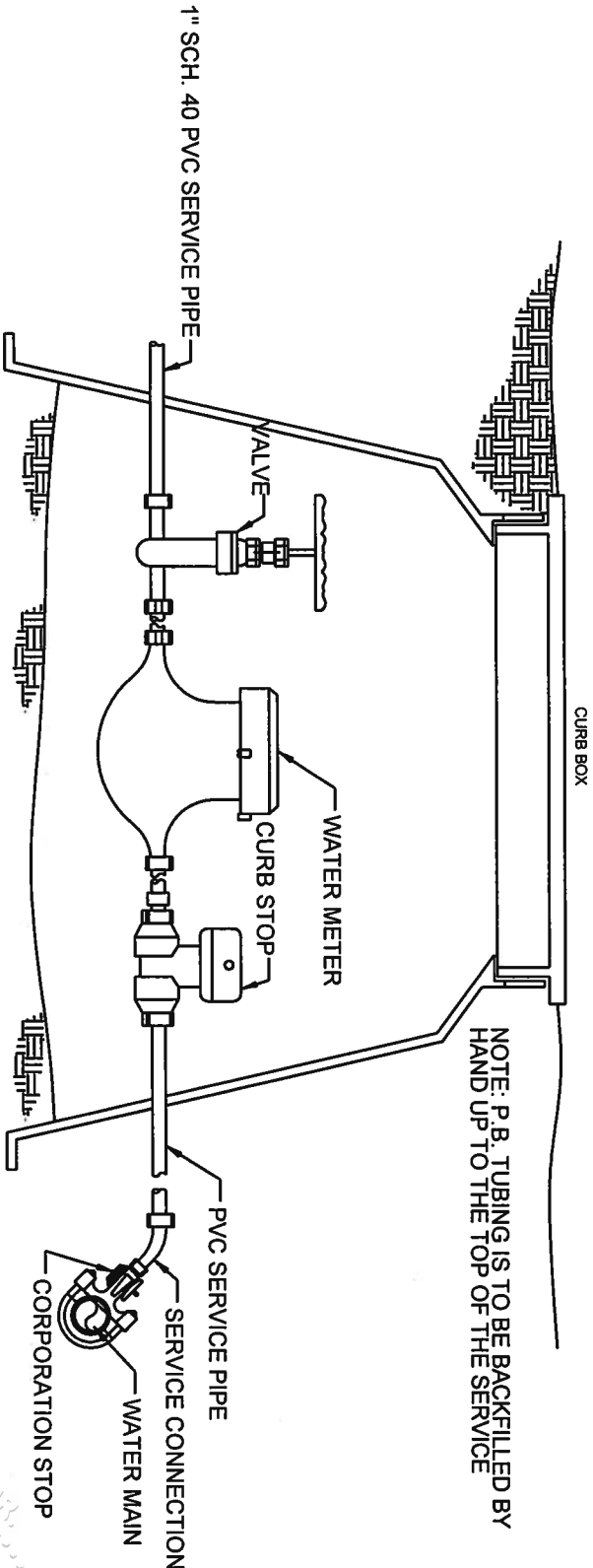
1. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE. UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION. OTHER THAN BACKFLOW DEVICE TESTING.



- NOTES:
1. CLEAN-OUT (SHOWN LIGHTER) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE; 25" MAXIMUM.
 3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS w/PLASTIC TIE STRAPS. LOCATOR BALLS SHALL BE SECURED TO LATERAL w/PLASTIC TIE STRAPS.

SERVICE LATERAL DETAIL

NOT TO SCALE



WATER SERVICE CONNECTION & METER

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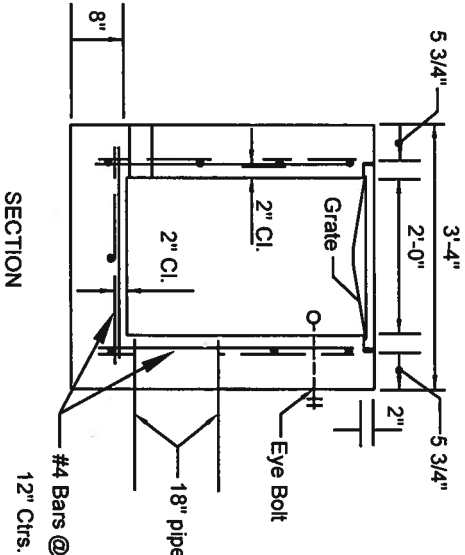
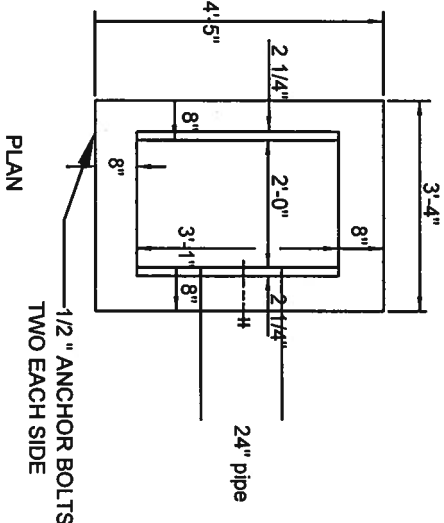
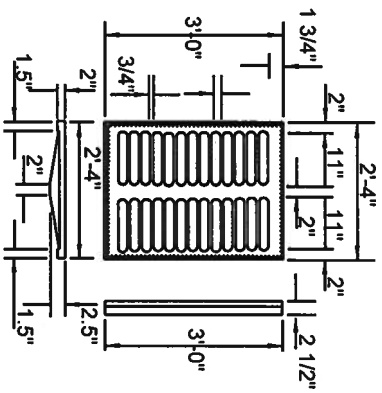
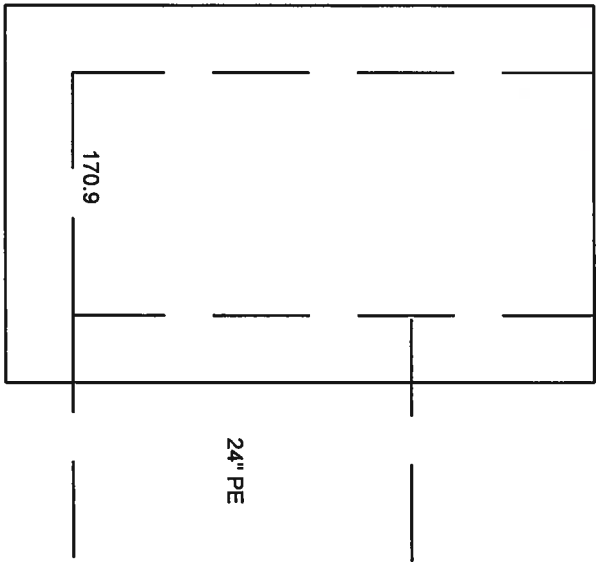
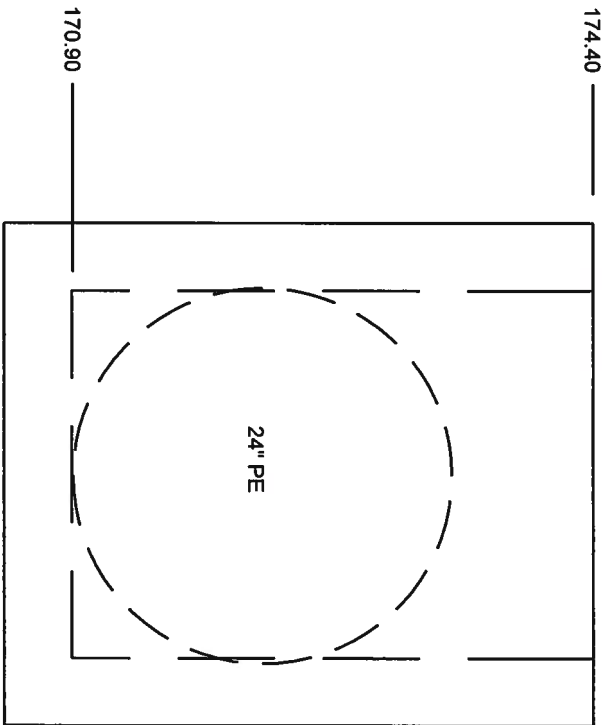
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SIGNATURES

4/3/07

SHEET NO.

10



Approx. Weight 235 Lbs.

Recommended Maximum Pipe Size:

- 2'-0" Wall-18" Pipe
- 3'-1" Wall-24" Pipe

1. THE WIDTH OF THE FRONT PANEL SHALL BE THE SAME AS THE OUTSIDE DIMENSION ACROSS THE FRONT OF THE STRUCTURE.
2. THE FRONT PANEL, SIDE PANELS, AND FLAT BARS ARE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION.
3. THE LOCATION OF THE REINFORCING STEEL IN THESE STRUCTURES MUST CONFORM TO THE APPLICABLE STANDARDS TO AVOID CONFLICT WITH THE EXPANSION ANCHORS USED TO ATTACH THE SKIMMER.

TYPE C INLET DETAIL

MISC. DETAILS
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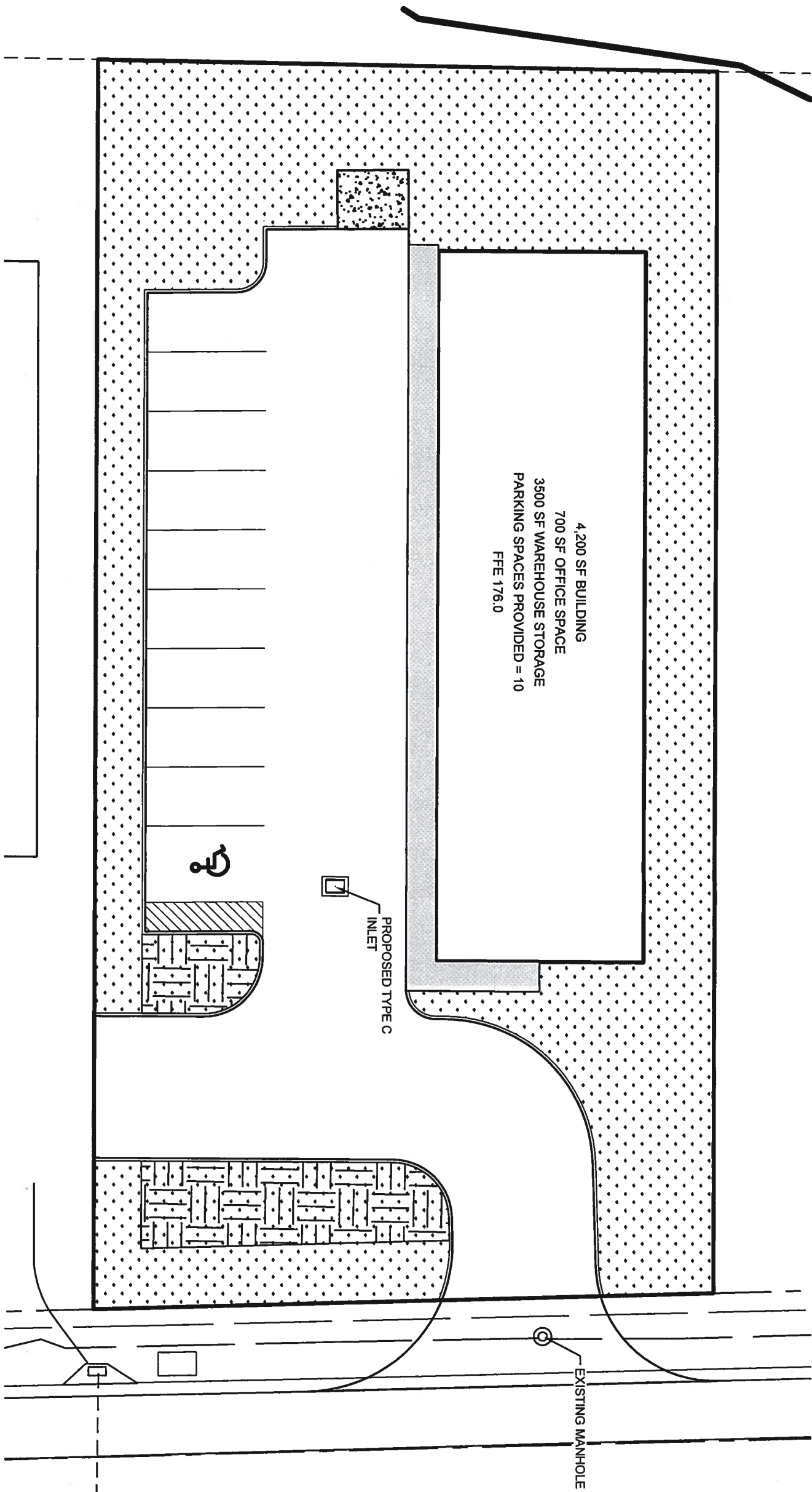
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SHEET NO. 11				



PROPERTY AREA = 21,817 SF
PROPOSED IMPERVIOUS AREA = 13,074 SF
% IMPERVIOUS = 59.93%
PERMITTED IMPERVIOUS = 60%

LANDSCAPED AREA



GRAPHIC SCALE



DRAINAGE LOT 12 MIDTOWN COMMERCIAL CENTER



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SHEET NO. 12		