

DATE 07/21/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027960

APPLICANT BRIAN CRAWFORD PHONE 755-8887

ADDRESS 295 NW COMMONS LOOP LAKE CITY FL 32056

OWNER CRAWFORD LINTON, LLC PHONE 755-8887

ADDRESS 4539 SW SR 47 LAKE CITY FL 32024

CONTRACTOR BRIAN CRAWFORD PHONE 755-8887

LOCATION OF PROPERTY 47S, TO CR 238, PROPERTY ON RIGHT SIDE

TYPE DEVELOPMENT COMM. DOLLAR STORE ESTIMATED COST OF CONSTRUCTION 615000.00

HEATED FLOOR AREA 9100.00 TOTAL AREA 9100.00 HEIGHT 1 STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH FLOOR SLAB

LAND USE & ZONING CI MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE 5.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 30-4S-17-08901-001 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 1.40

CGC1515491

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor

FDOT 09-369 BK HD N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: MFE @ 105.4, ELEVATION CONFIRMATION LETTER REQUIRED AT SLAB,

NOC ON FILE, NEED FINAL APPROVAL FROM FDOT BEFORE CO ISSUANCE

Check # or Cash 11004174

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic

 date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing

 date/app. by date/app. by date/app. by

Framing Insulation

 date/app. by date/app. by

Rough-in plumbing above slab and below wood floor Electrical rough-in

 date/app. by date/app. by

Heat & Air Duct Peri. beam (Lintel) Pool

 date/app. by date/app. by

Permanent power C.O. Final Culvert

 date/app. by date/app. by

Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing

 date/app. by date/app. by

Reconnection RV Re-roof

 date/app. by date/app. by

BUILDING PERMIT FEE \$ 3075.00 CERTIFICATION FEE \$ 45.50 SURCHARGE FEE \$ 45.50

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ **TOTAL FEE** 3241.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



Columbia County Building Permits Application

Application # 0906-63

Property ID Number <u>30-45-17-08901-000</u> ⁰⁰¹	Septic Permit No. _____
Subdivision Name _____	Lot _____ Block _____ Unit _____ Phase _____
Construction of <u>Dollar General - Comm. Bld.</u>	Cost of Construction <u>\$65,000.</u>
Mobile Home Permit - New or Used (Circle One) _____	Year _____ Length _____ Width _____
Name of the Authorized Person Signing the Permit <u>Brian Crawford</u>	
Phone <u>386 755 8887</u> Fax <u>386 755 1919</u>	
Address <u>295 NW Commons Loop, Ste 115-391 Lake City, FL 32056</u>	
Owners Name <u>Crawford Linton, LLC</u>	Phone <u>386 755 8887</u>
911 Address <u>4539 SW State Road 47 Lake City, FL 32024</u>	
Relationship to Property Owner _____	Is this Home Replacing an Existing Home _____
Contractors Name <u>Brian Crawford</u>	Phone <u>386 755-8887</u>
Company Name <u>Concept Construction</u>	Fax <u>386 755 1919</u>
Address <u>295 NW Commons Loop Suite 115-391 Lake City, FL 32056</u>	
Fee Simple Owner Name & Address <u>N/A</u>	
Bonding Co. Name & Address <u>N/A</u>	
Architect/Engineer Name & Address <u>Brett Crews PO Box 970 Lake City, FL 32056</u>	
Mortgage Lenders Name & Address <u>Columbia Bank Lake City FL</u>	
Driving Directions to the Property <u>SR 47 South to CR 238</u> <u>Property is on Right Side</u>	
Lot Size <u>1.4 Acre</u> Total Acreage <u>1.500</u> ^{1.4 Acre +/-} Building across lot numbers _____	
Actual Distance of Structure from Property Lines - Front/Road <u>90'</u> Left Side <u>38'</u> Right Side <u>85'</u> Rear <u>62'</u>	
Number of Stories <u>1</u> Heated Floor Area <u>9100SF</u> Total Floor Area <u>9100SF</u> Roof Pitch _____	
Circle the correct power company - FL Power & Light <u>Clay Elec.</u> - Suwannee Valley Elec. Progress Energy - Slash Pine Electric	
Do you currently have an: Existing Drive or Private Drive or need a <u>Culvert Permit</u> or Culvert Waiver <u>FLDOT:</u> <input type="checkbox"/> (Currently using) (Blue Road Sign) (Putting in a Culvert) (No Culvert but do not need a Culvert)	

Both Pages Must be Submitted to obtain a Building Permit.

Spoke to office
7/20/09
Page 1 of 2
Revised 12-30-08



TIME LIMITATIONS OF APPLICATIONS: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED:** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.


Contractor's Signature (Permittee)

Contractor's License Number CGC 1515491
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 1 day of July 2009.

Personally known ☒ or Produced Identification _____


State of Florida Notary Signature (For the Contractor)

SEAL:



PO BOX 1787, LAKE CITY, FL 32056-1787
(263 NW Lake City Ave, Lake City, FL 32055)
Phone: (386) 758-1125
Fax: (386) 758-1365
E-mail: ron_croft@columbiacountyfla.com

**COLUMBIA COUNTY
911 ADDRESSING /
GIS DEPARTMENT**

Fax

To: Marsha	From: John
Fax: 1-800-218-7809	Pages: 2 Total including cover page
Phone:	Date: July 1, 2009
Re: Address Assignment	CC:
<input type="checkbox"/> Urgent <input type="checkbox"/> For Review <input type="checkbox"/> Please Comment <input type="checkbox"/> Please Reply <input type="checkbox"/> Please Recycle	

● **Comments:**

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 3/24/2009 DATE ISSUED: 4/16/2009

ENHANCED 9-1-1 ADDRESS:

4549 SW STATE ROAD 47

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

30-4S-17-08901-000

Remarks:

WAS ASSIGNED 4539, CHANGED DUE TO ACCESS LOCATION

Address Issued By: 

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1419



COLUMBIA COUNTY 911 ADDRESSING / GIS DEPARTMENT

P. O. Box 1787, Lake City, FL 32056-1787
Telephone: (386) 758-1125 * Fax: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com



ADDRESS ASSIGNMENT DATA

The Columbia County Board of County Commissioners has passed Ordinance 2001-9, which provides for a uniform numbering system. A copy of this ordinance is available in the Clerk of Court records, located in the courthouse. This new numbering system will increase the efficiency of POLICE, FIRE AND EMERGENCY MEDICAL vehicles responding to calls within Columbia County by immediately identifying the location of the caller.

A Residential or Other Structure(s) on Parcel Number:

30-4S-17-08901-001

Address Assignment(s):

4549 SW STATE ROAD 47, LAKE CITY, FL, 32024

Note: Dollar General Location

Any questions concerning this information should be referred to the Columbia County 911 Addressing / GIS Department at the address or telephone number above.

PO BOX 1787, LAKE CITY, FL 32056-1787
 (263 NW Lake City Ave, Lake City, FL 32055)
 Phone: (386) 758-1125 Fax: (386) 758-1365
 E-mail: ron_croft@columbiacountyfla.com
 Or john_gross@columbiacountyfla.com

**COLUMBIA COUNTY
 911 ADDRESSING /
 GIS DEPARTMENT**

Fax

To: Marsha	From: John
Fax: 800-218-7809	Pages: 3 including cover sheet
Phone:	Date: November 6, 2009
Re: Address Adjustment	CC:
<input type="checkbox"/> Urgent <input type="checkbox"/> For Review <input type="checkbox"/> Please Comment <input type="checkbox"/> Please Reply <input type="checkbox"/> Please Recycle	

• **Comments:**

attn.

*MS. Janice
 758-2160*

CONFIDENTIALITY NOTICE: This Fax message, including any attachments, is for the sole use of the intended recipient(s) and may contain confidential, proprietary, and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy, distribute this Fax message or its attachments. If you believe you have received this Fax message in error, please contact the sender by Fax, E-mail or telephone immediately and destroy all copies of the original message.

E-Mail Warning: Under Florida law, email addresses are public records. If you do not want your email address released in response to a public records request, do not send electronic mail to this entity. Instead, contact this office by phone or in writing.

Fax Cover Sheet

Concept Companies

295 NW Commons Loop, Suite 115-391

Lake City, Florida 32055

Phone: 386-755-8887

Fax: 800-218-7809

To: Ms. Janice From: LISA Marsha Eagle
Fax: 758-2160 Pages Including Cover: (4)
Phone: _____ Date: 12/15/09

Comments: Ms Janice-

Please see attached in
regards to De 47 Co
address.

I called Mr. Gross he
is not in the office -

Lisa

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0369

----- PART II - SITEPLAN -----

Scale: 1 inch = 50 feet.

SEE ATTACHED

Notes: 1.45 of 14.5 ACRES

Site Plan submitted by: [Signature] MASTER CONTRACTOR
Plan Approved ☒ APPROVED Not Approved ☐ Date 7/7/9
By [Signature] Columbia CHD County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

[Signature]



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

09-0369
PERMIT NO. 928025
DATE PAID: 6/30/09
FEE PAID: 30.00
RECEIPT #: 1157381

CONSTRUCTION PERMIT FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☒ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Clinton Dicks Jr.PROPERTY ADDRESS: SW SR 47, Lake City, FL, 32024LOT: NA BLOCK: NA SUBDIVISION: NA[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]PROPERTY ID #: 30-4S-17-08901-000

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1050] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
A ☐ GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES ☐
N ☐ GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K ☐ GALLONS DOSING TANK CAPACITY ☐ GALLONS @ ☐ DOSES PER 24 HRS # PUMPS ☐

D [500] SQUARE FEET PRIMARY DRAINFIELD SYSTEMR ☐ SQUARE FEET SYSTEMA TYPE SYSTEM: ☒ STANDARD ☐ FILLED ☐ MOUND ☐I CONFIGURATION: ☒ TRENCH ☐ BED ☐

N

F LOCATION OF BENCHMARK: NAIL IN OAK TREEI ELEVATION OF PROPOSED SYSTEM SITE [12] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINTE BOTTOM OF DRAINFIELD TO BE [41] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [NA] INCHES EXCAVATION REQUIRED: [NA] INCHESO * Well clearance required before final release.

T

H

E

R

SPECIFICATIONS BY: [Signature]TITLE: MASTER CONTRACTORAPPROVED BY: [Signature]TITLE: ES I

Columbia CHD CHD

DATE ISSUED: 7/1/09EXPIRATION DATE: 1/1/11

DH 4016, 10/97 (Previous Editions May Be Used)

Page 3



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

09-0367
PERMIT NO. 928025
DATE PAID: 6/30/09
FEE PAID: 510.00
RECEIPT #: 1157387

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Clinton Dicks Jr.AGENT: ROCKY FORD, A & B CONSTRUCTIONTELEPHONE: 386-497-2311MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (a) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: na BLOCK: na SUB: na PLATTED: _____PROPERTY ID #: 30-4S-17-08901-000 ZONING: Cm I/M OR EQUIVALENT: NPROPERTY SIZE: 14.5 ACRES WATER SUPPLY: PRIVATE PUBLIC ☒ <=2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: _____ FTPROPERTY ADDRESS: SW SR 47, Lake City, FL, 32024

DIRECTIONS TO PROPERTY: 47 south, Under I-75, To property on left, Across the street from Berea Baptist Church

BUILDING INFORMATION

☒ RESIDENTIAL☒ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Store	0	9100	200 GPD PER BATH 2 BATHS
2				400 GPD
3				

☒ Floor/Equipment Drains ☒ Other (Specify) _____SIGNATURE: Rocky Ford DATE: 6/29/2009

DH 4015, 10/97 (Previous Editions May Be Used)

Page 1 of 4

PERMITTING PLANS ONLY
NOT FOR CONSTRUCTION

CES
Civil Engineering Services, LLC

1000 E. 10th Ave.
Denver, CO 80202

Project No. 02-0000

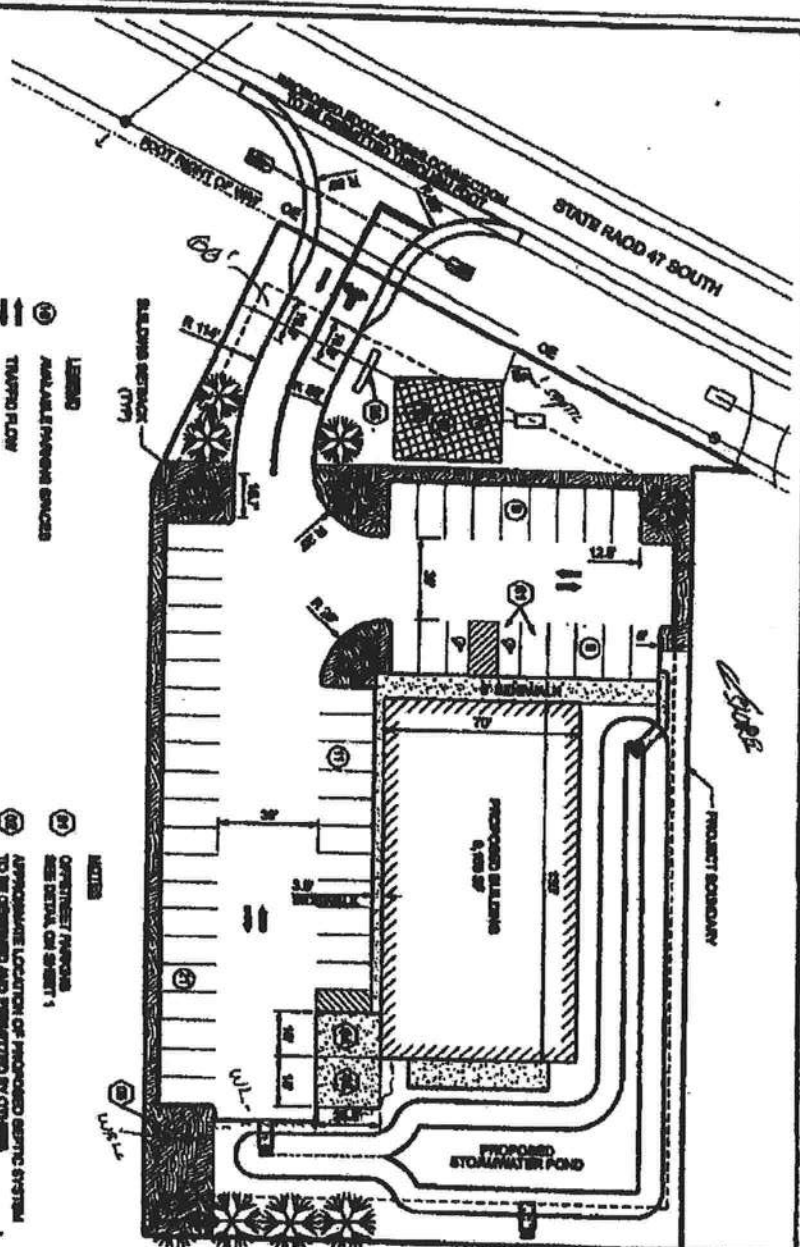
BC DOLLAR GENERAL
5047 SOUTH
SITE PLAN

2008-003
4

- LEGEND**
- ① AVAILABLE PARKING SPACES
 - ② TRAFFIC FLOW
 - ③ AREA TO BE LANDSCAPED WITH GRASS, PLANTS, SHRUBS AND/OR TREES
 - ④ PROPOSED ASPHALT PAVEMENT
 - ⑤ PROPOSED CONCRETE PAVEMENT
 - ⑥ PROPOSED CONCRETE TREE SHALL BE A MINIMUM OF 4' OVERALL HEIGHT IMMEDIATELY AFTER PLANTING

- NOTES**
- ① OPEN/SEE THROUGH SEE DETAIL ON SHEET 1
 - ② APPROXIMATE LOCATION OF PROPOSED SEPTIC SYSTEM TO BE OBSERVED AND PERMITTED BY OTHERS
 - ③ APPROXIMATE LOCATION OF PROPOSED WATER WELL TO BE OBSERVED AND PERMITTED BY OTHERS
 - ④ CONCRETE RETAINMENT WALL
 - ⑤ CONCRETE RETAINMENT WALL
 - ⑥ LIMITED PAVEMENT WITH UNDERGROUND ELECTRICAL

GENERAL PROJECT INFORMATION
FUTURE LAND USE: COMMERCIAL, ZONING: COMMERCIAL, INTERMEDIATE
TOTAL SITE AREA: 1.68 ACRES
DEVELOPMENT DATA
TOTAL SITE AREA: 1.68 ACRES
BUILDING AREA: 4,100 SF
TOTAL FLOOR AREA: 4,100 SF
PROPOSED CONDITIONS
BUILDING AREA: 4,100 SF (7,981 SF NON-ADJACENT)
ADJACENT PARKING AREA: 2,400 SF
CONCRETE PAVEMENT AREA: 2,100 SF
TOTAL ASPHALT PAVEMENT AREA: 2,100 SF (80% SITE AREA)
FIR: 4,100 SF / 100,000 SF
MINIMUM BUILDING SETBACKS PER LOT
FRONT YARD: 25'
SIDE YARD: 10'
REAR YARD: 10'
PARKING DATA
COMMERCIAL: 1 SPACE PER 100 SF OF BUILDING AREA
RESIDENTIAL: 1 SPACE PER 100 SF OF BUILDING AREA
AVAILABLE PARKING: 20 SPACES
ACCESSIBLE PARKING:
2 PER 50 RESIDENTIAL SPACES = 2 SPACES
REQUIREMENT AND TOP-GRADE SURVEY INFORMATION
THE EXISTING AND TOP-GRADE SURVEY INFORMATION SHOWN IN THESE PLANS IS BASED ON A SURVEY BY JAMES D. CLARK AND ASSOCIATES, L.P. (JDC), DATED 10-13-2008
UTILITIES
WATER SERVICE: PROVIDED BY PRIVATE WELL
WASTEWATER SERVICE: PROVIDED BY ON-SITE SEPTIC SYSTEM
ELECTRIC SERVICE: PROVIDED BY CONNECTION TO CLAY ELECTRIC FACILITIES ALONG STREET
CABLES
THE PROPOSED STORAGE/RETENTION SYSTEM IS DESIGNED TO MEET SETBACK RULES AND REGULATIONS AS A DRY RETENTION POND
LANDSCAPING
REQUIREMENT LANDSCAPED AREA:
1% OF PROJECT AREA = 2,100 SF = 10% = 1,270 SF
LANDSCAPED AREA PROVIDED = 4,400 SF
REQUIREMENT TREES:
1 TREE PER 200 SF OF LANDSCAPED AREA
4 OF REQUIREMENT TREES = 2,200 / 500 = 4 TREES
PROPOSED TREES: 11



SAP:pdw
7690.03-09-023
6/29/09

Columbia County Building
DG SK 47

Recording 2700
docstamps 2,705

This Instrument Prepared By
S. AUSTIN PEELE
DARBY, PEELE, BOWDOIN & PAYNE
Attorneys at Law
✓ Post Office Drawer 1707
Lake City, Florida 32056

Inst 200912011482 Date: 7/10/2009 Time: 11:18 AM
Doc Stamp-Deed: 2905.00
✓ DC P DeWitt Cason, Columbia County Page 1 of 3 B 1176 P 2335

TRUSTEES' DEED

THIS TRUSTEES' DEED made this 9th day of July, 2009, by
CLINTON F. DICKS, JR., and GUY N., WILLIAMS, as Co-Trustees under Trust
Agreement dated March 1, 1996, known as D & W Land Trust 1, whose mailing
address is c/o Clinton F. Dicks, Jr., 4458 South U.S. 441 South, Lake City, Florida
32024 (herein "Grantor") to CRAWFORD LINTON, LLC, a Florida limited liability
company, whose mailing address is 295 Northwest Commons Loop, Suite 115-391,
Lake City, Florida 32055 (herein "Grantee"):

WITNESSETH:

That the Grantor, pursuant to the powers and authority granted by the terms and
provisions of the aforesaid Trust Agreement and in consideration of the sum of TEN
AND NO/100 (\$10.00) DOLLARS and other valuable considerations, receipt whereof is
hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases,
conveys and confirms unto the Grantee, all that certain land situate in Columbia
County, Florida, viz:

See Exhibit "A" attached hereto and made a part hereof

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto
belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants to and with said Grantee that the Grantor is
the duly appointed, qualified and acting Trustee under the aforesaid Trust Agreement,
and in all things preliminary to and in and about the sale and conveyance of the
property described herein, the terms, conditions and provisions of the aforesaid Trust
Agreement, and the laws of the State of Florida have been followed and complied with

in all respects, and that the undersigned Grantor has the full power and authority to execute this deed for the uses and purposes herein expressed; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

[Signature]
Witness
S. Steinmann
(Print or Type Name)

Loretta S. Steinmann
Witness
Loretta S. Steinmann
(Print or Type Name)

Clinton F. Dicks Jr.
Clinton F. Dicks, Jr., as Co-Trustee
under Trust Agreement dated March 1,
1996, known as D & W Land Trust 1

Guy N. Williams
Guy N. Williams, as Co-Trustee
under Trust Agreement dated March 1,
1996, known as D & W Land Trust 1

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 9 day of July, 2009, by Clinton F. Dicks, Jr. and Guy N. Williams, as Co-Trustees under Trust Agreement dated March 1, 1996, known as D & W Land Trust 1, and on behalf of said Trust, who are personally known to me, or who produced _____ as identification.

(NOTARIAL
SEAL)



Loretta S. Steinmann
Notary Public, State of Florida
Loretta S. Steinmann
(Print or Type Name)

My Commission Expires:

**EXHIBIT "A" TO TRUSTEES' DEED FROM CLINTON F. DICKS, JR.
AND GUY N. WILLIAMS, as Co-Trustees under Trust Agreement dated
March 1, 1996, known as D & W Land Trust 1**

PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST AND PART OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, ALL IN COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 2 INCH IRON PIPE MARKING THE SE CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE N.00 DEGREES 55'38"E., ALONG THE EAST LINE OF SAID SECTION 25, A DISTANCE OF 572.89 FEET TO A POINT; THENCE N.86 DEGREES 54'49"W., 134.88 FEET TO THE SE CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 898, PAGES 2356-2359 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.01 DEGREES 51'32"W., ALONG THE EAST LINE OF SAID LANDS, 25.09 FEET TO THE NE CORNER OF SAID LANDS; THENCE N.86 DEGREES 54'49"W., ALONG THE NORTH LINE OF SAID LANDS, 299.96 FEET TO A CONCRETE MONUMENT, LB 6685, MARKING THE NW CORNER OF SAID LANDS AND THE EAST RIGHT-OF-WAY LINE OF SW STATE ROAD NO. 47, SAID RIGHT-OF-WAY LINE BEING DEFINED BY A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 5779.65 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02 DEGREES 55'47" (THIS PORTION OF THE ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF N.28 DEGREES 15'49"E. AND A CHORD LENGTH OF 295.51 FEET), AN ARC DISTANCE OF 295.54 FEET TO A CONCRETE MONUMENT SET BY THE FLORIDA DEPARTMENT OF TRANSPORTATION MARKING THE POINT OF TANGENCY OF SAID CURVE; THENCE N.26 DEGREES 47'55"E., STILL ALONG SAID EAST RIGHT-OF-WAY LINE, 499.03 FEET TO A CONCRETE MONUMENT, LS 4708, MARKING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE CONTINUE N.26 DEGREES 47'55"E., STILL ALONG SAID RIGHT-OF-WAY LINE, 189.75 FEET TO A CONCRETE MONUMENT, LS 1519, ON THE WESTERLY LINE OF LANDS DESCRIBED IN ORB 995, PAGE 483 OF SAID OFFICIAL RECORDS; THENCE S.01 DEGREES 54'44"W., ALONG THE MONUMENTED WEST LINE OF SAID LANDS (BEING THE SAME AS THE MONUMENTED WEST LINE OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA), 20.35 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING THE SW CORNER OF SAID LANDS DESCRIBED IN ORB 995, PAGE 483; THENCE S.89 DEGREES 49'34"E., ALONG THE SOUTH LINE OF SAID LANDS, 283.39 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING A SOUTHEASTERLY CORNER OF SAID LANDS; THENCE S.00 DEGREES 35'17"W., 193.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.89 DEGREES 49'34"W., 271.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.65 DEGREES 12'56"W., 104.94 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 1.45 ACRES, MORE OR LESS.



Columbia County Bldg. Permt.
PG SR 47

Florida Department of Transportation

CHARLIE CRIST
GOVERNOR

STEPHANIE C. KOPELOUSOS
SECRETARY

FDOT-Lake City Maintenance
Permits Office
P. O. Box 1415
Lake City, Fl. 32056-1415

Date: 17th July, 2009

Crews Engineering Services, LLC
Mr. Brett A. Crews, PE
PO Box 970
Lake City, Fl. 32056

RE: Approved Notice of Intent to Permit

Proposed: Commercial Joint Use Access Permit
Proposed Permittees: Crawford Linton, LLC/Concept Industries & D & W Land Trust 1
Project Name: Dollar General South & D & W Land Trust 1 Venture
State Access Permit No: 09-A-292-0009
State Roadway Section: 29020
State Highway No: 47 (South)
County: Columbia

Mr. Crews:

Enclosed herein in the requested "Notice of Intent to Permit" Document as previously requested. Since the project plans review phase is in its final stages; the Department is hereby issuing the NOI to allow you to obtain those local governmental permits required to commence the actual building/structures start-up.

This leaves remaining the required item of the Security Instrument, either in the form of a "Letter of Credit" or a "Performance Bond." Per Condition No. 1 of the enclosed NOI, the Department will not be able to final approve and issue the actual requested access permit until this requested item and NOI Condition(s) have been satisfied. You are legally requested to provide the above document within a reasonable time period as set forth in the approved NOI Document found herein. Please be aware that the Engineer of Record is required to submit a prior complete itemized cost estimate; listing each construction item from the Departments "Estimates Cost List." The Engineer of Record is further instructed to utilize the "State Average" Listings when compiling the estimate for submittal. This particular document is a normal and required step in the final stage of the review process.

Page 2 of 2
Cover letter Attachment
NOI to Permit
Permit No. 09-A-292-0009

You and your joint clients are advised to review the Post Project Information that is also printed on Page 2 of 4 of the NOI so that you will be aware of additional local and State permitting authority restrictions.

Once the NOI has been issued and until such time as your joint cliental, known herein as D & W Land Trust 1 & Concept Industries have complied with the final plan and permit conditions set forth in the NOI document, all currently held submitted permitting materials shall be placed into a "Inactive" File for safe keeping. In the event the joint applicants do not provide the requested Security Document and fulfill the final NOI Conditions within the valid one year grace period allowed by the NOI Document; the Department reserves its right under state law to either revise and/or void the current project submittal and its accompanying proposed Access Permit Number assigned to this project.

Please feel free to contact my office in the event either you or your client's have any questions as they pertain to the enclosed informational document or this NOI Cover Letter. Our office is available to you at any time if further assistance is warranted. You may contact me at either 386-961-7180 or by Cell at 386-365-5873.

Sincerely Yours,

A handwritten signature in black ink, reading "Neil E. Miles". The signature is fluid and cursive, with the first name "Neil" and last name "Miles" clearly distinguishable.

Neil E. Miles
Permits Coordinator
FDOT, Lake City Maintenance

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
PROPOSED STATE HIGHWAY ACCESS CONNECTION
NOTICE OF INTENT TO ISSUE PERMIT

850-040-24
SYSTEMS PLANNING
06/06
Page 1 of 4

Important: This Notice does not authorize construction to begin and is not a final permit.

ALSO NOTE: THIS NOTICE OF INTENT IS ONLY VALID FOR 1 YEAR FROM SIGNING DATE IN PART 6.

PART 1: APPLICANT INFORMATION

APPLICATION NUMBER: 2009-A-292-A-0009

Project Name: Brian Crawford (Dollar General) & Clinton F.- Guy N. Williams Project

State Road Name/Number: 47 South

Section Number: 29020

Maintenance Office: Lake City Maintenance N. E. Miles
Permit Staff Representative

Applicant: Crawford Linton, LLC & D & W Land Trust 1

Responsible Officer: Brett A. Crews (Engineer of Record) Crews Engineering Services, LLC

Mailing Address: PO Box 970 Lake City FL 32056
Street City State Zip

Telephone: 386-754-4085

PART 2: NOTICE OF INTENT TO ISSUE PERMIT

YOU ARE HEREBY ADVISED:

The Florida Department of Transportation has completed its review of the subject connection permit Application received 5-01-2009 for consistency with Rule Chapters 14-96 and 14-97, F.A.C., and current Department spacing, location, and design criteria and hereby issues this "Notice of Intent" to:

- ☐ Issue the subject permit consistent with the permit Application.
- ☒ Issue the subject permit consistent with the permit Application and subject to the attached provisions.

IMPORTANT

This notice of intent to issue a permit does NOT constitute Department permit issuance. The permit will be issued after the permittee shows proof that a valid local government development approval or development order has been given to the sites served by the connection and special provisions of the approval consistent with the permit applications and conditions previously noted.

No connection work on the right of way shall be initiated until the Department permit is actually issued. Any changes to the site(s) plan will require re-evaluation of the connection(s). This notice is valid for one year, from the date of issuance, and can only be extended with approval by the Department for problems outside the control of the applicant pursuant to Rule Chapter 14-96, F.A.C. This Notice of Intent is transferable as specified only in Rule Chapter 14-96, F.A.C.

Continued Next Page

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
PROPOSED STATE HIGHWAY ACCESS CONNECTION
NOTICE OF INTENT TO ISSUE PERMIT

850-040-24
SYSTEMS PLANNING
05/06
Page 2 of 4

PART 3: CONDITIONS

Conditions to be met before Permit will be issued:

Standard:

1. Development approval from the appropriate local government consistent with the Notice of Intent to Permit;
2. Assurance of performance pursuant to Section 334.187, Florida Statutes (if required);
3. Notification of all known right of way users affected by the connection(s);
4. Compliance with drainage requirements in Rule Chapter 14-86, F.A.C.

Other Conditions:

1. All normally required Access & Drainage Reviews, (including but not limited to) those required for final plan approval(s) as may be set forth by the FDOT.
2. Submittal by the applicant(s) and acceptance by the Department (FDOT) of all required legal documents, as may be required under the State Access Management Chapter and Rule, including but not limited to, an approved Construction Itemized Cost List and either a Performance Bond and/or Letter of Credit as the required Security Instrument.
3. While the final and full project reviews have not been completed at this time of issuance of this NOI, the Department and the Applicant(s) have shown a good faith effort to meet the minimum requirements as set forth under the State Access Management Chapter and Rule, therefore, given this fact; the Department is hereby issuing the NOI Document to the Applicant(s) with the understanding that they may use this document to obtain those preliminary local City and or County Permits required to commence the site preparations and also the on-site buildings. The Department does however, request that the governmental permitting office(s) having jurisdiction over same, hold any and all final acceptance of the completed building(s), commonly known as the Building "Certificate of Occupancy" as well as the official release to obtain "Permanent Electrical Power" until such time as both the local and state permitting offices have accepted their respective permitted improvements in full, those improvements being both on and off site as may be the case.
4. The applicants may use this document to seek/obtain the initial required local governmental permits to commence site work in accordance with this and the other above Conditions, Procedures, Steps or Provisions, both General and Special. refer to those restrictions that are set forth in Condition No. 3 above also.
5. The applicant(s) shall complete any and all required State Permitting before the actual Access and/or other State required Permits will/shall be issued.
6. All proposed work, both permitted or non-permitted that takes place upon the State Highway Right-of-Way Properties shall be conducted in accordance with the most current Standards, Conditions and/or Provisions set forth by State Chapter, Rule and/or Law(s). The applicant(s) shall construct and maintain an acceptable (per FDOT Design Standards, 600 Series Indexes) Safety Maintenance of Traffic Plan at all times during the entire project period. All work completed, shall be made to the most current FDOT Design Standards and in accordance with all construction and safety manuals/indexes which would normally be used/utilized.

Continued Next Page

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
PROPOSED STATE HIGHWAY ACCESS CONNECTION
NOTICE OF INTENT TO ISSUE PERMIT

850-040-24
SYSTEMS PLANNING
09/05
Page 3 of 4

PART 4: NOTICE OF DEPARTMENT AUTHORITY

1. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
2. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove, or modify any present or future transportation control feature or devices in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.

PART 5: DEPARTMENT CONTACT

NAME: Neil E. Miles

ADDRESS: PO Box 1415

Lake City, Florida 32056-1415

PHONE: 386-961-7180

PART 6: SIGNATURE OF DEPARTMENT AUTHORITY

SIGNATURE OF DEPARTMENT OFFICIAL: _____

Neil E. Miles

PRINT OR TYPE NAME: Neil E. Miles (with approval by email of the District II, Permits Manager)

PRINT OR TYPE POSITION: Permits Coordinator

DATE: 7/1/2009

PHONE: 386-961-7193

Continued Next Page

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
PROPOSED STATE HIGHWAY ACCESS CONNECTION
NOTICE OF INTENT TO ISSUE PERMIT

850-040-24
SYSTEMS PLANNING
06/06
Page 4 of 4

PART 4: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57(1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding;
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

End

Columbia County Bldg. Dept.
RG. SR47

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 3/24/2009 DATE ISSUED: 4/16/2009

ENHANCED 9-1-1 ADDRESS:

4539 SW STATE ROAD 47
LAKE CITY FL 32024
PROPERTY APPRAISER PARCEL NUMBER:
30-4S-17-08901-000

Remarks:

Address Issued By: 
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1419

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

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DATE REQUESTED: 3/24/2009 DATE ISSUED: 4/16/2009

ENHANCED 9-1-1 ADDRESS:

4539 SW STATE ROAD 47

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

30-4S-17-08901-000

Remarks:

Address Issued By



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1419

**Mark D. Duren and
Associates, Inc.**
Professional Surveyor and Mapper

120 NW Burk Ave Suite 103
Lake City, FL 32025
386-758-9831 Phone
386-758-8010 Fax

July 30, 2009

To whom it may concern,

The elevation of the concrete slab foundation shown on my survey drawing identified by WO# 09-101A and dated July 29, 2009 is 105.32 feet, NGVD 1929 datum. The concrete slab is located on the parcel of land which is the construction site of the "Dollar General" store on South State Road 47, Lake City, Florida.

A handwritten signature in black ink, appearing to read "Mark D. Duren", with a long horizontal flourish extending to the right.

Mark D. Duren, LS 4708



Crews Engineering Services, LLC
PO Box 970
Lake City, FL 32056
(Phone) 386.754.4085
brett@crewsengineeringservices.com

August 6, 2009

**SUBJECT: Finished Floor Elevation, Dollar General SR47 South,
Columbia County**

To whom it may concern,

This is to verify the deviation from the planned finished floor elevation as shown on the construction plans is minimal and does not cause adverse effects to the rest of the site.

As described in a letter from Mark Duren, PSM, the measured elevation taken on top of the concrete slab foundation is 105.32. The planned finish floor elevation was 105.4. This difference of 0.08' does not require any changes to the grading plan and is an acceptable variance.

Please contact me if you have any questions or require additional information.

Sincerely,

Brett A. Crews, P.E. 65592
Project Engineer

CLYATT WELL DRILLING, INC.*(Established in 1971)**Post Office Box 180**Worthington Springs, FL 32697**Phone (386)496-2488 *** FAX (386)496-4640***WELL DESCRIPTION***DESCRIPTION DATE*

6/23/2009

CUSTOMER NAME AND ADDRESS

Concept Construction of North Florida Inc
Attn.: Brian Crawford
2109 West Highway 90
Suite 170
Lake City, Florida 32055

DESCRIPTION OF WORK

Dollar General - State Road 47
Irrigation Well

DESCRIPTION

4" Well
1 HP Submersible Pump
1-1/4" Drop Pipe
14/3 Submersible Pump Wire
81 Gallon Captive Air Pressure Tank
4 X 1-1/4 Well Seal
Pressure Relief Valve
Controls and Fittings

The above description is provided to give a brief description of the water well to be constructed by Clyatt Well Drilling, Inc.

CLYATT WELL DRILLING, INC.*(Established in 1971)**Post Office Box 180**Worthington Springs, FL 32697**Phone (386)496-2488 *** FAX (386)496-4640***WELL DESCRIPTION***DESCRIPTION DATE*

6/23/2009

CUSTOMER NAME AND ADDRESS

Concept Construction of North Florida Inc
Attn.: Brian Crawford
2109 West Highway 90
Suite 170
Lake City, Florida 32055

DESCRIPTION OF WORK

Dollar General - State Road 47
Public Supply Well

DESCRIPTION

4" Well with Casing Grouted to Public Supply Standards
1 HP Submersible Pump
1-1/4" Drop Pipe
14/3 Submersible Pump Wire
81 Gallon Captive Air Pressure Tank
4 X 1-1/4 Well Seal
Pressure Relief Valve
Controls and Fittings

The above description is provided to give a brief description of the water well to be constructed by Clyatt Well Drilling, Inc.



Columbia County Bldg. Appt.
D.G. SR 47

**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:

CRAWFORD LINTON, LLC
295 NW COMMONS LOOP, SUITE 115-391
LAKE CITY, FL 32055

PERMIT NUMBER: ERP09-0076

DATE ISSUED: 07/10/2009

DATE EXPIRES: 07/10/2012

COUNTY: COLUMBIA

TRS: S25/T4S/R16E, S30/T4S/R17E

PROJECT: DOLLAR GENERAL STATE ROAD 47 SOUTH

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

CLIFTON F DICKS JR
D&W LAND TRUST
4458 S US HWY 441
LAKE CITY, FL 32025

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Construction and operation of a surfacewater management system serving 0.85 acres of impervious surface on a total project area of 1.45 acres in a manner consistent with the application package submitted by Crews Engineering Services, LLC, certified on July 9, 2009.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400,

than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for

undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C.,

must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;

- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent

authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 7/16/09
District Staff

 Clerk
 Executive Director



NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

CRAWFORD LINTON, LLC
295 NW COMMONS LOOP, SUITE 115-391
LAKE CITY, FL 32055,

At 4:00 p.m. this 13 day of July, 2009.



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

Permit No.: ERP09-0076

Project: DOLLAR GENERAL STATE ROAD 47 SOUTH

Page 10 of 10

Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP09-0076

Florida Energy Efficiency Code For Building Construction

Florida Department of Community Affairs

EnergyGauge Summit® Fla/Com-2008, Effective: March 1, 2009 -- Form 400A-2008

Method A: Whole Building Performance Method for Commercial Buildings

PROJECT SUMMARY

Short Desc: New Prj	Description: DOLLAR GENERAL - 47 S
Owner: DOLLAR GENERAL	
Address1: -	City: LAKE CITY
Address2: HWY 47 SOUTH	State: FL
	Zip: 0
Type: Retail	Class: New Finished building
Jurisdiction: COLUMBIA COUNTY, COLUMBIA COUNTY, FL (221000)	
Conditioned Area: 9100 SF	Conditioned & UnConditioned Area: 9100 SF
No of Stories: 1	Area entered from Plans 9100 SF
Permit No: 0 27960	Max Tonnage 4.9
	If different, write in: _____

221000

Contractor: Brian Crawford

Compliance Summary

Component	Design	Criteria	Result
Gross Energy Cost (in \$)	13,145.0	13,391.0	PASSED
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			PASSES
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			PASSES
Met all required compliance from Check List?			Yes/No/NA
 IMPORTANT MESSAGE			
Info 5009 -- -- -- An input report of this design building must be submitted along with this Compliance Report			

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By: NICHOLAS GEISLER, ARCI

Building Official: _____

Date: 16 Jun 2009

Date: _____

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: _____

Date: _____

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: NICHOLAS GEISLER, ARCI

Reg No: AR7005

Electrical Designer: _____

Reg No: _____

Lighting Designer: _____

Reg No: _____

Mechanical Designer: _____

Reg No: _____

Plumbing Designer: _____

Reg No: _____

(*) Signature is required where Florida Law requires design to be performed by registered design professionals.

Project: New Prj
 Title: DOLLAR GENERAL - 47 S
 Type: Retail
 (WEA File: FL JACKSONVILLE INTL ARPT.tm3)

Building End Uses

	1) Proposed	2) Baseline
Total	863.50	1,063.20
	\$12,650	\$15,762
ELECTRICITY(MBtu/kWh/\$)	863.50	1,063.20
	252993	311494
	\$12,650	\$15,762
AREA LIGHTS	145.10	285.20
	42524	83565
	\$2,126	\$4,228
MISC EQUIPMT	133.20	133.20
	39027	39027
	\$1,951	\$1,975
PUMPS & MISC	0.10	0.10
	37	39
	\$2	\$2
SPACE COOL	185.70	305.80
	54407	89585
	\$2,720	\$4,533
SPACE HEAT	8.80	11.80
	2566	3448
	\$128	\$174
VENT FANS	390.60	327.10
	114432	95830
	\$5,722	\$4,849

Passing requires Proposed Building cost to be at most 85%
 of Baseline cost. This Proposed Building is at 80.3%

PASSES

Project: New Prj
 Title: DOLLAR GENERAL - 47 S
 Type: Retail
 (WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

System Report Compliance

Pr0Sy1 System 1 Constant Volume Air Cooled No. of Units
 Single Package System < 4
 65000 Btu/hr

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Conditioners Air Cooled Single Pkg < 65000 Btu/h		12.00	12.00	8.00		PASSES
Heating System	Heat Pumps Air Cooled (Heating Mode) Single Pkg < 65000 Btu/h Cooling Capacity		7.40	7.40			PASSES
Air Handling System - Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES
Air Handling System - Return	Air Handler (Return) - Constant Volume		0.80	0.90			PASSES
Air Distribution System	ADS System		8.00	8.00			PASSES

PASSES

Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
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None

Project: New Prj
 Title: DOLLAR GENERAL - 47 S
 Type: Retail
 (WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 1	Electric water heater	> 12 [kW]			200.00	241.34	PASSES

PASSES

Project: New Prj
Title: DOLLAR GENERAL - 47 S
Type: Retail
(WEA File: FL JACKSONVILLE INTL ARPT.tm3)

External Lighting Compliance

Description	Category	Tradable?	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
Ext Light 2	Uncovered Parking Areas -- Parking lots and Drives	Yes	0.15	20,000.0	3,000	2,800
Ext Light 3	Uncovered Parking Areas -- Parking lots and Drives	Yes	0.15	9,500.0	1,425	1,600
Ext Light 5	Building facades (by linear foot)	No	5.00	200.0	1,000	800

Tradable Surfaces: 4400 (W) Allowance for Tradable: 4425 (W)
All External Lighting: 5200 (W)

PASSES

Project: New Prj
Title: DOLLAR GENERAL - 47 S
Type: Retail
(WEA File: FL JACKSONVILLE INTL ARPT.tm3)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	Design CP	Min CP	Compli- ance
Pr0Zo1Sp1	25.001	Sales Area	9,100	11	4	PASSES

PASSES

Project: New Prj

Title: DOLLAR GENERAL - 47 S

Type: Retail

(WEA File: FL JACKSONVILLE INTL ARPT.tm3)

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
Domestic and Service Hot Water Systems	0.75	False	125.00	0.28	0.75	0.50	PASSES

PASSES

Project: New Prj
Title: DOLLAR GENERAL - 47 S
Type: Retail
(WEA File: FL_JACKSONVILLE_INTL_ARPT.tm3)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Report	13-101	Input Report Print-Out from EnergyGauge FlaCom attached	<input type="checkbox"/>
Operations Manual	13-102.1, 13-410, 13-413	Operations manual provided to owner	<input type="checkbox"/>
Windows & Doors	13-406.AB.1.1	Glazed swinging entrance & revolving doors: max. 1.0 cfm/ft ² ; all other products: 0.4 cfm/ft ²	<input type="checkbox"/>
Joints/Cracks	13-406.AB.1.2	To be caulked, gasketed, weather-stripped or otherwise sealed	<input type="checkbox"/>
Dropped Ceiling	13-406.AB.3	Vented: seal & insulated ceiling. Unvented seal & insulate roof & side walls	<input type="checkbox"/>
Cavity System	13-407	HVAC Load sizing has been performed	<input type="checkbox"/>
Reheat	13-407.B	Electric resistance reheat prohibited	<input type="checkbox"/>
HVAC Efficiency	13-407, 13-408	Minimum efficiencies: Cooling Tables 13-407.AB.3.2.1A-D; Heating Tables 13-407.AB.3.2.1B, 13-407.AB.3.2.1D, 13-408.AB.3.2.1E, 13-408.AB.3.2F	<input type="checkbox"/>
HVAC Controls	13-407.AB.2	Zone controls prevent reheat (exceptions); simultaneous heating and cooling in each zone; combined HAC deadband of at least 5°F (exceptions)	<input type="checkbox"/>
Ventilation Controls	13-409.AB.3	Motorized dampers reqd, except gravity dampers OK in: 1) exhaust systems and 2) systems with design outside air intake or exhaust capacity ≤300 cfm	<input type="checkbox"/>
ADS	13-410	Duct sizing and Design have been performed	<input type="checkbox"/>
HVAC Ducts	13-410.AB	Air ducts, fittings, mechanical equipment & plenum chambers shall be mechanically attached, sealed, insulated & installed per Sec. 13-410 Air Distribution Systems	<input type="checkbox"/>
Balancing	13-410.AB.4	HVAC distribution system(s) tested & balanced. Report in construction documents	<input type="checkbox"/>
Piping Insulation	13-411.AB	In accordance with Table 13-411.AB.2	<input type="checkbox"/>
Water Heaters	13-412.AB	Performance requirements in accordance with Table 13-412.AB.3. Heat trap required	<input type="checkbox"/>
Swimming Pools	13-412.AB.2.6	Cover on heated swimming pools: Time switch (exceptions); Readily accessible on/off switch	<input type="checkbox"/>
Hot Water Pipe Insulation	13-411.AB.3	Table 13-411.AB.2 for circulating systems, first 8 feet of outlet pipe from storage tank and between inlet pipe and heat trap	<input type="checkbox"/>
Water Fixtures	13-412.AB.2.5	Shower hot water flow restricted to 2.5 gpm at 80 psi. Public lavatory fixture hot water flow 0.5 gpm max; if self-closing valve 0.25 gallon recirculating, 0.5 gallon non recirculating	<input type="checkbox"/>
Motors	13-414	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting Controls	13-415.AB	Automatic control required for interior lighting in buildings >5,000 s.f.; Space control; Exterior photo sensor; Tandom wiring with 1 or 3 linear fluuorescent lamps>30W	<input type="checkbox"/>

EnergyGauge Summit® v3.20
INPUT DATA REPORT

Project Information

Project Name: New Pri	Orientation: West
Project Title: DOLLAR GENERAL - 47 S	Building Type: Retail
Address: - HWY 47 SOUTH	Building Classification: New Finished building
State: FL	No.of Stories: 1
Zip: 0	GrossArea: 9100 SF
Owner: DOLLAR GENERAL	

Zones

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]
1	Pr0Zo1	Zone 1	CONDITIONED	9100.0	1	9100.0

Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]
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In Zone: Pr0Zo1		Sales Area		130.00	70.00	13.00	1	9100.0	118300.0	<input type="checkbox"/>
1	Pr0Zo1Sp1 Zo0Sp1									

Lighting

No	Type	Category	No. of Luminaires	Watts per Luminaire	Power [W]	Control Type	No. of Ctrl pts
In Zone: Pr0Zo1							
In Space: Pr0Zo1Sp1							
1	Compact Fluorescent	General Lighting	123	64	7872	Manual On/Off	11
							<input type="checkbox"/>

Walls

No	Description	Type	Width H (ft)	Effec [ft]	Multi plier	Area [sf]	Direction	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.s.f.F/Btu]
In Zone: Pr0Zo1											
1	Pr0Zo1Wa1	8"CMU/3/4"ISO BTWN24"oc/5/8	70.00	13.00	1	910.0	West	0.2642	9.696	62.72	3.8
		Gyp									
2	Pr0Zo1Wa2	Metal siding/R11Batt/0.5"	130.00	13.00	1	1690.0	North	0.0957	0.757	16.80	10.5
		Gyp									
3	Pr0Zo1Wa3	Metal siding/R11Batt/0.5"	70.00	13.00	1	910.0	East	0.0957	0.757	16.80	10.5
		Gyp									
4	Pr0Zo1Wa4	Metal siding/R11Batt/0.5"	130.00	13.00	1	1690.0	South	0.0957	0.757	16.80	10.5
		Gyp									
5	Pr0Zo1Wa5	8"CMU/3/4"ISO BTWN24"oc/5/8	4.00	13.00	1	52.0	North	0.2642	9.696	62.72	3.8
		Gyp									
6	Pr0Zo1Wa6	8"CMU/3/4"ISO BTWN24"oc/5/8	4.00	13.00	1	52.0	South	0.2642	9.696	62.72	3.8
		Gyp									

Windows

No	Description	Type	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]
In Zone: Pr0Zo1										
In Wall: Pr0Zo1Wa1										
1	Pr0Zo1Wa1Wi1	User Defined	No	1.2500	0.82	0.76	21.00	10.00	1	210.0 <input type="checkbox"/>

Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. [lb/cf]	Heat Cap. [Btu/sf. F]	R-Value [h.s.f.F/Btu]
In Zone: Pr0Zo1											
In Wall: Pr0Zo1Wa4											
1	Pr0Zo1Wa4Dr1	Solid core flush (1.75")	No	6.00	7.00	1	42.0	0.6061	0.00	0.00	1.65 <input type="checkbox"/>
2	Pr0Zo1Wa4Dr2	Solid core flush (1.75")	No	3.00	7.00	1	21.0	0.6061	0.00	0.00	1.65 <input type="checkbox"/>

Roofs

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.s.f.F/Btu]
In Zone: Pr0Zo1											
1	Pr0Zo1Rf1	Mtl Bldg Roof/R-19 Batt	35.00	130.00	1	4550.0	9.00	0.0492	1.34	9.49	20.3 <input type="checkbox"/>
2	Pr0Zo1Rf2	Mtl Bldg Roof/R-19 Batt	35.00	130.00	1	4550.0	9.00	0.0492	1.34	9.49	20.3 <input type="checkbox"/>

Skylights

No	Description	Type	U [Btu/hr sf F]	SHGC	Vis.Trans	W [ft]	H (Effec) [ft]	Multiplier	Area [Sf]	Total Area [Sf]
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In Zone:	<input type="checkbox"/>
In Roof:	<input type="checkbox"/>

Floors									
No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Heat Cap. Dens. [Btu/sf. F]	R-Value [h.s.f.F/Btu]
In Zone:	Pr0Zo1	Concrete floor, carpet and rubber pad	70.00	130.00	1	9100.0	0.5987	9.33	140.00
1	Pr0Zo1F11								
<input type="checkbox"/>									

Systems					
Pr0Sy1	System 1	Constant Volume Air Cooled Single Package System < 65000 Btu/hr			No. Of Units 4
Component	Category	Capacity	Efficiency	IPLV	
1	Cooling System	58500.00	12.00	8.00	<input type="checkbox"/>
2	Heating System	57000.00	7.40		<input type="checkbox"/>
3	Air Handling System -Supply	2000.00	0.80		<input type="checkbox"/>
4	Air Handling System - Return	2000.00	0.80		<input type="checkbox"/>
5	Air Distribution System		8.00		<input type="checkbox"/>

Plant					
Equipment	Category	Size	Inst.No	Eff.	IPLV
<div></div>					

Water Heaters				
W-Heater Description	CapacityCap. Unit	I/P Rt.	Efficiency	Loss

1	Electric water heater	40 [Gal]	4500 [kW]	[Ef]	200.0000 [Btu/h]	<input type="checkbox"/>
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Ext-Lighting

Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]
1 Ext Light 2	Uncovered Parking Areas -- Parking lots and Drives	7	400	20000.00	Photo Sensor control	2800.00 <input type="checkbox"/>
2 Ext Light 3	Uncovered Parking Areas -- Parking lots and Drives	2	800	9500.00	Photo Sensor control	1600.00 <input type="checkbox"/>
3 Ext Light 5	Building facades (by linear foot)	2	400	200.00	Photo Sensor control	800.00 <input type="checkbox"/>

Piping

No	Type	Operating Temperature [F]	Insulation Conductivity [Btu-in/h.sf.F]	Nomonal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
1	Domestic and Service Hot Water Systems	125.00	0.28	0.75	0.75	No <input type="checkbox"/>

Fenestration Used

Name	Glass Type	No. of Panels	Glass Conductance [Btu/h.sf.F]	SHGC	VLT	
ASHULSgIClrAl IFrm	User Defined	1	1.2500	0.8200	0.7600	<input type="checkbox"/>

Materials Used

Mat No	Acronym	Description	Only R-Value Used	RValue [h.sf.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHea t
187	Matl187	GYP OR PLAS BOARD, 1/2IN	No	0.4533	0.0417	0.0920	50.00	0.2000
151	Matl151	CONC HW, DRD, 140LB, 4IN	No	0.4403	0.3333	0.7570	140.00	0.2000
178	Matl178	CARPET W/RUBBER PAD	Yes	1.2300				
105	Matl105	CONC BLK HW, 8IN, HOLLOW	No	1.1002	0.6667	0.6060	69.00	0.2000
269	Matl269	.75" ISO BTWN24" oc	No	2.2321	0.0625	0.0280	4.19	0.3000
12	Matl12	3 in. Insulation	No	10.0000	0.2500	0.0250	2.00	0.2000
23	Matl23	6 in. Insulation	No	20.0000	0.5000	0.0250	5.70	0.2000
4	Matl4	Steel siding	No	0.0002	0.0050	26.0000	480.00	0.1000
94	Matl94	BUILT-UP ROOFING, 3/8IN	No	0.3366	0.0313	0.0930	70.00	0.3500

Constructs Used

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1004	Concrete floor, carpet and rubber pad	No	No	0.60	9.33	140.00	1.7
Layer		Material	Material	Thickness [ft]	Framing Factor		
1	151	CONC HW, DRD, 140LB, 4IN		0.3333	0.000		
2	178	CARPET W/RUBBER PAD			0.000		

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1014	8"CMU/3/4"ISO BTWN24" oc/5/8 Gyp	No	No	0.26	9.70	62.72	3.8
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	105	CONC BLK HW, 8IN, HOLLOW	0.6667	0.000			
2	269	.75" ISO BTWN24" oc	0.0625	0.000			
3	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1020	Metal siding/R11Batt/0.5"Gyp	No	No	0.10	0.76	16.80	10.5
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	4	Steel siding	0.0050	0.000			
2	12	3 in. Insulation	0.2500	0.000			
3	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1027	Solid core flush (1.75")	No	Yes	0.61			1.7
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	278	Solid core flush (1.75")		0.000			

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1047	Mtl Bldg Roof/R-19 Batt	No	No	0.05	1.34	9.49	20.3
							<input type="checkbox"/>
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	94	BUILT-UP ROOFING, 3/8IN	0.0313	0.000			<input type="checkbox"/>
2	23	6 in. Insulation	0.5000	0.000			<input type="checkbox"/>

OPERATING AGREEMENT

of

CRAWFORD LINTON, LLC

A Florida Limited Liability Company

Effective as of:

March 2, 2009

**OPERATING AGREEMENT
OF
CRAWFORD LINTON, LLC**

Section I. Defined Terms

Section II. Formation and Name; Office; Purpose; Term

- 2.1. Organization
- 2.2. Name of the Company
- 2.3. Term
- 2.4. Principal Office
- 2.5. Registered Agent/Registered Office
- 2.6. Members
- 2.7. Managing Members or Managers

Section III. Capital; Capital Accounts

- 3.1. Initial Capital Contributions
- 3.2. No Other Capital Contributions Required
- 3.3. Loans
- 3.4. Capital Accounts
- 3.5. Additional Capital Contributions

Section IV. Profit, Loss, and Distributions

- 4.1. Distributions of Profits
- 4.2. Allocation of Profit or Loss
- 4.3. Liquidation and Dissolution

Section V. Management: Rights, Powers, and Duties

- 5.1. Management
- 5.2. Personal Services
- 5.3. Liability and Indemnification

Section VI. Transfer of Interests and Withdrawal of Member

- 6.1. Transfers
- 6.2. Transfer to a Successor
- 6.3. Rights of Remaining Member Upon Transfer

Section VII. Dissolution, Liquidation, and Termination of the Company

- 7.1. Events of Dissolution
- 7.2. Procedure for Winding Up and Dissolution
- 7.3. Filing of Articles of Dissolution

Section VIII. Books, Records, Accounting, and Tax Elections

- 8.1. Bank Accounts
- 8.2. Books and Records
- 8.3. Annual Accounting Period

Section IX. General Provisions

- 9.1. Applicable Law
- 9.2. Section Titles
- 9.3. Terms
- 9.4. Separability of Provisions

Section X. Provisions

- 10.1 Initial Membership Interests
- 10.2 Additional Contributions

Section XI. Attachments

This Operating Agreement ("the Agreement") for CRAWFORD LINTON, LLC, is effective the 2nd day of March, 2009, and is made by Brian S. Crawford and Micah Linton, ("Members").

Explanatory Statement

The Members have organized (or caused to be organized) and are operating a limited liability company in accordance with the terms of, and subject to the conditions set forth in the Articles of Organization and this Agreement as follows:

Section I Defined Terms

The following capitalized terms shall have the meanings specified in this Section I. Other terms are defined in the text of this Agreement; and, throughout this Agreement and those terms shall have the meanings respectively ascribed to them.

"*Act*" means the Florida Limited Liability Company Act, as amended from time to time.

"*Code*" means the Internal Revenue Code of 1986, as amended, or any corresponding provision of any succeeding law.

"*Company*" means the limited liability company organized in accordance with this Operating Agreement.

"*Interest*" means a Person's share of the Profits and Losses of, and the right to receive distributions from, the Company.

"*Interest Holder*" means any Person who holds an Interest, whether as a Member or as an unadmitted assignee of a Member.

"*Involuntary Withdrawal*" means, the occurrence of any of the following events:

- (i) Member makes an assignment for the benefit of creditors;
- (ii) Member files a voluntary petition of bankruptcy;
- (iii) Member is adjudged bankrupt or insolvent or there is entered against John an order for relief in any bankruptcy or insolvency proceeding;

"*Member*" means the Person (or persons) signing this Agreement and any Person who subsequently is admitted as a member of the Company.

"Membership Rights" means all of the rights of a Member in the Company, including a Member's: (i) Interest; (ii) right to inspect the Company's books and records; (iii) right to participate in the management of and vote on matters coming before the Company; and (iv) unless this Agreement or the Articles of Organization provide to the contrary, right to act as an agent of the Company.

"Person" means and includes an individual, corporation, partnership, association, limited liability company, trust, estate, or other entity.

"Positive Capital Account" means a Capital Account with a balance greater than zero.

"Profit" and *"Loss"* means, for each taxable year of the Company (or other period for which Profit or Loss must be computed) the Company's taxable income or loss determined in accordance with the Code.

"Treasury Regulation" means the income tax regulations, including any temporary regulations, from time to time promulgated under the Code.

"Department of State" means the Florida Department of State.

"Successor" means all Persons to whom all or any part of an Interest is transferred either because of (i) the sale or gift by Member of all or any part of his Interest, (ii) an assignment of Member's Interest due to Member's Involuntary Withdrawal, or (iii) because Member dies and the Persons are Member's personal representatives, heirs, or legatees.

"Transfer" means, when used as a noun, any voluntary sale, hypothecation, pledge, assignment, attachment, or other transfer, and, when used as a verb, means voluntarily to sell, hypothecate, pledge, assign, or otherwise transfer.

"Withdrawal" means a Member's disassociation from the Company by any means.

Any terms used herein which are not defined above, or in other sections of the Agreement, shall have the meanings and definitions as provided in the Act.

Section II

Formation and Name; Office; Purpose; Term

2.1. *Organization.* The Members hereby organize a limited liability company pursuant to the Act and the provisions of this Agreement and, for that purpose, have caused Articles of Organization to be prepared, executed, and filed with the Department of State on the effective date of this Agreement.

2.2. *Name of the Company.* The name of the Company shall be "Crawford Linton, LLC." The Company is organized to conduct any lawful business whatsoever that may be permitted by the Articles of Organization or by law.

2.3. *Term.* The term of the Company began upon the acceptance of the Articles of Organization by the Department of State and its duration shall be perpetual, unless its existence is sooner terminated pursuant to Section VII of this Agreement.

2.4. *Principal Office.* The principal office of the Company shall be located at 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055, or at any other place which Members may determine.

2.5. *Registered Agent/Registered Office.* The name and street address of the Company's registered agent and registered office in the State of Florida shall be Brian S. Crawford, 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055.

2.6. *Members.* The names and present mailing addresses of the members are set forth herein and each has the interest in the company set forth opposite their names.

2.7. *Managing Members or Managers.* The Company shall be managed by its Members who are Brian S. Crawford and Micah Linton and either of them may be referred to herein as Managing Member or Manager, or collectively as Managers and Managing Members. The actions of either one of the Managing Members shall be binding upon the Company.

Section III Capital; Capital Accounts

3.1. *Initial Capital Contributions.* Upon the execution of this Agreement, the Members shall contribute to the Company cash in the amounts set forth in Exhibit "A".

3.2. *No Other Capital Contributions Required.* A Member shall not be required to contribute any additional capital to the Company, and except as set forth in the Act, no Member shall have any personal liability for any obligations of the Company.

3.3. *Loans.* Any Member may, at any time, make or cause a loan to be made to the Company in any amount and on those terms upon which the Company and the Member agree.

3.4. *Capital Accounts.* A capital account shall be maintained by the Company for each Member.

3.5 *Additional Capital Contributions.* Any capital contributions made by a Member from and after the initial capital contribution provided for herein shall be repaid to the Member so contributing (without interest) before distribution of any profit by the Company, subject however, to other limitations and provisions contained herein.

Section IV Profit, Loss, and Distributions

4.1. *Distribution of Profits.* Net profits (as defined herein) for each taxable year of the Company shall be distributed to each Member not later than seventy-five (75) days after the end of the taxable year. Distributions shall be made in accordance with the provisions of this Agreement.

4.2. *Allocation of Profit or Loss.* All Profit or loss shall be allocated to each Member in accordance with their respective percentages of capital contributions and all capital contributions shall be repaid to each member before distribution of any profits. After distribution of the initial capital contributions of each Member, profits, if any, of the Company shall be distributed to each Member equally, which are derived from the investment of the initial capital contributions.

4.3. *Liquidation and Dissolution.* If the Company is liquidated, the assets of the Company shall be distributed to each Member or to a Successor or Successors in the same percentages as the initial capital contributions.

Section V Management: Rights, Powers, and Duties

5.1. *Management.* The Company shall be managed solely by the Members.

5.2. *Personal Services.* A Member shall not be required to perform services for the Company solely by virtue of being a Member.

5.3. *Liability and Indemnification.*

5.3.1. The Members shall not be liable, responsible, or accountable, in damages or otherwise, to the Company for any act performed with respect to Company matters, except for fraud.

5.3.2. The Company shall indemnify a Member for any act performed with respect to Company matters, except for fraud.

Section VI
Transfer of Interests and Withdrawal of Member

6.1. *Transfers.*

6.1.1. *Transfers by Member.* A Member may transfer all, or any portion of the interest of the Member or rights in Membership Rights to one or more Successors.

6.1.2. *Limitation on Transfers.* No Member may transfer any portion of the interests or rights and membership rights to any third party without first offering the same in writing to the remaining Member upon the same terms and conditions as that offered to such third party. The remaining Member shall have thirty (30) days within which to accept the offer and close the purchase.

6.2. *Transfer to a Successor.* In the event of any transfer of all or any part of Member's Interest to a Successor, the Successor shall thereupon become a Member and the Company shall be continued.

6.3. *Rights of Remaining Member upon Transfer.* The remaining Member shall have the right to acquire the interest of the Member desiring to transfer such membership rights as otherwise provided herein and no transfer to a successor shall be made without the prior written consent of the other Member.

Section VII
Dissolution, Liquidation, and Termination of the Company

7.1. *Events of Dissolution.* The Company shall be dissolved upon the happening of any of the following events:

7.1.1. if the Members determine to dissolve the Company.

7.1.2. any event which by operation of law requires that the Company be dissolved.

7.2. *Procedure for Winding Up and Dissolution.* If the Company is dissolved, the affairs of the Company shall be wound up. On winding up of the Company, the assets of the Company shall be distributed, first, to creditors of the Company in satisfaction of the liabilities of the Company, and then to the Persons who are the Members of the Company in proportion to their Interests.

7.3. *Filing of Articles of Dissolution.* If the Company is dissolved, Articles of Dissolution shall be promptly filed with The Department of State. If there are no remaining Members, the Articles of Dissolution shall be filed by the last Person to be a Member; if there are no remaining Members, or a Person who last was a Member, the Articles shall be filed by the legal or personal representatives of the Person who last was a Member.

Section VIII
Books, Records, Accounting, and Tax Elections

8.1. *Bank Accounts.* All funds of the Company shall be deposited in a bank account or accounts opened in the Company's name. The Members shall determine the institution or institutions at which the accounts will be opened and maintained, the types of accounts, and the Persons who will have authority with respect to the accounts and the funds therein.

8.2. *Books and Records.* The Members shall cause to be kept complete and accurate books and records of the Company with supporting documentation of the transactions with respect to the conduct of the Company's business. The books and records, if any, shall be maintained in accordance with generally accepted accounting principles and practices, consistently applied.

8.3. *Annual Accounting Period.* The annual accounting period of the Company shall be its taxable year. The Company's taxable year shall be selected by the Members, subject to the requirements and limitations of the Code.

Section IX
General Provisions

9.1. *Applicable Law.* All questions concerning the construction, validity, and interpretation of this Agreement shall be governed by the internal law, not the law of conflicts, of the State of Florida.

9.2. *Section Titles.* The headings herein are inserted as a matter of convenience only, and do not define, limit, or describe the scope of the Agreement or the intent of the provisions hereof.

9.3. *Terms.* Common nouns and pronouns shall be deemed to refer to the masculine, feminine, neuter, singular and plural, as the identity of the Person may in the context require.

9.4. *Separability of Provisions.* Each provision of this Agreement shall be considered separable; and if, for any reason, any provision or provisions herein are determined to be invalid and contrary to any existing or future law, such invalidity shall not impair the operation of or affect those portions of this Regulations which are valid.

Section X
Special Provisions.

10.1 *Initial Membership Interests.* The initial membership interests of the Members who have signed this Agreement shall be equal, provided however, that to the

extent any Member contributes to the capital a greater amount than fifty (50%) percent of the total capital, such Member shall be entitled to receive and be paid the difference in such capital contribution before allocation of profits from the initial investment by the Company in certain real property, as otherwise agreed upon between them.

10.2 *Additional Contributions.* After the initial contribution by the Members, any additional contributions by a Member greater than that of the other Member, shall result in the membership interest owned by such Member being increased proportionately. The Members agreed that, upon such additional contribution being made, they shall at that time agree upon a division of any profits after return of the additional capital to the Member so contributing, however, it is anticipated and acknowledged that one of the Members may contribute more in capital and shall be entitled to an allocation of the profits derived from such additional capital (after the initial capital contribution) to the extent of all thereof, and that only a nominal amount of profit may be allocated to the Member who does not contribute additional capital.

Section XI Attachments

Attached hereto and incorporated by reference is a true copy of the Articles of Organization of the Company. The other attachments referred to herein, if any, are identified by appropriate exhibit reference and are also incorporated herein by reference.

IN WITNESS WHEREOF, the Members have executed this Agreement under seal, as of the date first set forth herein above.

MEMBER:



Brian S. Crawford (SEAL)



Micah Linton (SEAL)


EXHIBIT "A"

INITIAL CAPITAL CONTRIBUTION

Member(s)

Initial Capital Contribution

Brian S. Crawford

\$2,500.00 

Micah Linton

\$2,500.00 

LD9000020766

(Requestor's Name)

(Address)

(Address)

(City/State/Zip/Phone #)

☐ PICK-UP ☐ WAIT ☐ MAIL

(Business Entity Name)

(Document Number)

Certified Copies _____ Certificates of Status _____

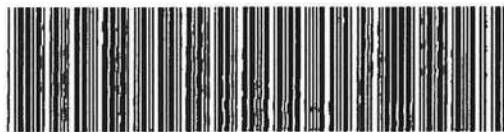
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G. MCLEOD

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EXAMINER



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DIVISION OF CORP. & BUS. REG.
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DARBY, PEELE, BOWDOIN & PAYNE

A PARTNERSHIP INCLUDING PROFESSIONAL ASSOCIATIONS

HERBERT F. DARBY, P.A.
S. AUSTIN PEELE, P.A.
M. BLAIR PAYNE

W. RODERICK BOWDOIN
(1949-2008)

ATTORNEYS AT LAW

285 N.E. HERNANDO AVENUE
POST OFFICE DRAWER 1707
LAKE CITY, FLORIDA 32056
TELEPHONE (386) 752-4120
FACSIMILE (386) 755-4569

February 26, 2009

7690.03-09-035

Secretary of State
Registration Section
Division of Corporations
Post Office Box 6327
Tallahassee, Florida 32314

Gentlemen:

Enclosed are two executed counterparts of Articles of Organization of Crawford Linton, LLC to be filed in your office.

Also enclosed is our trust account check in the amount of \$155.00 to cover the filing fee, designation of registered agent and certified copy. Please certify one of the enclosed counterparts and return it to us at your early convenience.

Thank you.

Very truly yours,


S. Austin Peele
For the Firm

SAP/pdw
Enclosures

cc: Mr. Brian S. Crawford (w/encl.)

ARTICLES OF ORGANIZATION
OF
CRAWFORD LINTON, LLC

The undersigned, being a member of the limited liability company being formed under Chapter 608, Florida Statutes, hereby adopts the following articles of organization:

I.

The name of the limited liability company is:

Crawford Linton, LLC

(hereinafter the "Company").

II.

The Company shall have perpetual existence, unless dissolved by operation of law.

III.

The street address of the principal office of the Company is 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055 and the mailing address is the same.

IV.

The name and street address of the initial registered agent in the State of Florida for the Company is BRIAN S. CRAWFORD, 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055. By signing these articles of organization, the registered agent voluntarily consents to serve as registered agent of the Company and

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DIVISION OF CORPORATIONS
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acknowledges that he is familiar with the obligations and duties of a registered agent as required by law and hereby accepts those duties and responsibilities.


V.

The unanimous consent of all members shall be required to admit additional members, which shall be in accordance with the terms and conditions of the operating agreement of the Company.

VI.

None of the members of the Company are liable for the payment of any debt obligation or other liability of the Company.

IN WITNESS WHEREOF, the undersigned has executed these Articles of Organization this 26th day of February, 2009.

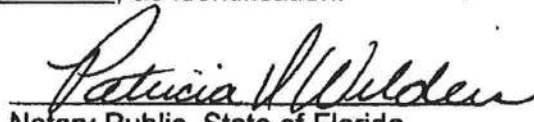
 (SEAL)
BRIAN S. CRAWFORD, as member
and registered agent

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 26th day of February, 2009, by BRIAN S. CRAWFORD, who is personally known to me, or who has produced _____, as identification.

(NOTARIAL SEAL)




Notary Public, State of Florida

PATRICIA D. WILDERS

(Print or Type Name)

My Commission Expires:

FLORIDA DEPARTMENT OF STATE DIVISION OF CORPORATIONS					
Home	Contact Us	E-Filing Services	Document Searches	Forms	Help
Previous on List	Next on List	Return To List		Entity Name Search	
No Events	No Name History			<input type="button" value="Submit"/>	
<u>Detail by Entity Name</u>					
<u>Florida Limited Liability Company</u>					
CRAWFORD LINTON, LLC					
<u>Filing Information</u>					
Document Number L09000020766					
FEI/EIN Number NONE					
Date Filed 03/02/2009					
State FL					
Status ACTIVE					
<u>Principal Address</u>					
295 NORTHWEST COMMONS LOOP STE 115-391 LAKE CITY FL 32055					
<u>Mailing Address</u>					
295 NORTHWEST COMMONS LOOP STE 115-391 LAKE CITY FL 32055					
<u>Registered Agent Name & Address</u>					
CRAWFORD, BRIAN S 295 NORTHWEST COMMONS LOOP STE 115-391 LAKE CITY FL 32055					
<u>Manager/Member Detail</u>					
Name & Address					
NONE					
<u>Annual Reports</u>					
No Annual Reports Filed					
<u>Document Images</u>					
03/02/2009 -- Florida Limited Liability <input type="button" value="View image in PDF format"/>					
Note: This is not official record. See documents if question or conflict.					
Previous on List	Next on List	Return To List		Entity Name Search	
No Events	No Name History			<input type="button" value="Submit"/>	
Home Contact us Document Searches E-Filing Services Forms Help					
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(hereinafter the "Company").

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The name and street address of the initial registered agent in the State of Florida for the Company is BRIAN S. CRAWFORD, 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055. By signing these articles of organization, the registered agent voluntarily consents to serve as registered agent of the Company and

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acknowledges that he is familiar with the obligations and duties of a registered agent as required by law and hereby accepts those duties and responsibilities.


V.

The unanimous consent of all members shall be required to admit additional members, which shall be in accordance with the terms and conditions of the operating agreement of the Company.

VI.

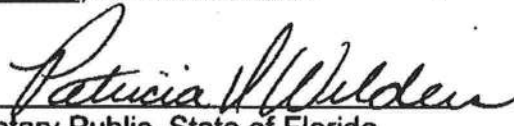
None of the members of the Company are liable for the payment of any debt obligation or other liability of the Company.

IN WITNESS WHEREOF, the undersigned has executed these Articles of Organization this 26th day of February, 2009.

 (SEAL)
BRIAN S. CRAWFORD, as member
and registered agent

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 26th day of February, 2009, by BRIAN S. CRAWFORD, who is personally known to me, or who has produced _____, as identification.


Notary Public, State of Florida

PATRICIA D. WILDERS

(Print or Type Name)

My Commission Expires:

(NOTARIAL SEAL)



LD9000020766

(Requestor's Name)

(Address)

(Address)

(City/State/Zip/Phone #)

☐ PICK-UP

☐ WAIT

☐ MAIL

(Business Entity Name)

(Document Number)

Certified Copies _____ Certificates of Status _____

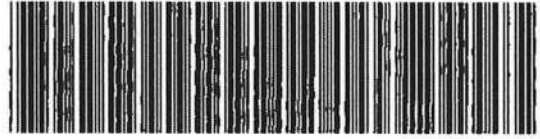
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G. MCLEOD

MAR - 3 2009

EXAMINER



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DARBY, PEELE, BOWDOIN & PAYNE

A PARTNERSHIP INCLUDING PROFESSIONAL ASSOCIATIONS

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Post Office Box 6327
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Gentlemen:

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Also enclosed is our trust account check in the amount of \$155.00 to cover the filing fee, designation of registered agent and certified copy. Please certify one of the enclosed counterparts and return it to us at your early convenience.

Thank you.

Very truly yours,


S. Austin Peele
For the Firm

SAP/pdw
Enclosures

cc: Mr. Brian S. Crawford (w/encl.)

5

2009 JUL 10 AM 11:42

THIS INSTRUMENT PREPARED BY
& RETURN TO: Elaine Gonzalez
Columbia Bank
173 NW Hillsboro Street
Lake City, FL 32055

RETURN TO:
DARBY PEELT BOWDOIN & PAYNE
POST OFFICE BOX 1707
LAKE CITY, FLORIDA 32056


Inst 200912011486 Date: 7/10/2009 Time: 11:18 AM
DOC, P DeWitt Cason, Columbia County Page 1 of 2 B 1176 P 2361


NOTICE OF COMMENCEMENT

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: See Exhibit "A" attached hereto and made a part hereof for full legal description, all in Columbia County Florida along the East Side of Southwest State Road 47, approximately 400 feet South of Southwest Michael Drive Lake City, Florida.
2. General Description of Improvements: Construction of a 9,014 Square Foot Dollar General Retail Store.
3. Owner Information: Crawford Linton, LLC, a Florida Limited Liability Company
295 NW Commons Loop, Suite 115-391
Lake City, FL 32055 Phone: 386-755-8887
- Owner's Interest in Property: Fee Simple
4. Contractor: Concept Construction of North Florida, Inc.
295 NW Commons Loop - Suite 115-391
Lake City, FL 32055 Phone: 386-755-8887
5. Lender: Columbia Bank
173 NW Hillsboro Street
Lake City, FL 32055
6. Additional persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: None
7. Expiration date of Notice of Commencement is one (1) year from the date of recording.

Crawford Linton, LLC a Florida Limited Liability Company

By: 
Brian S. Crawford, Managing Member of
Crawford Linton, LLC

By: 
Micah Linton, Managing Member of
Crawford Linton, LLC

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 9th day of July, 2009 by
Brian S. Crawford and Micah Linton.



(NOC)

NOTARY PUBLIC

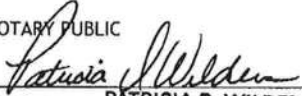

Name: PATRICIA D. WILDERS (SEAL)
State of Florida at Large
Personally Known: ☒
Produced Identification: ☒
Type: Notary Public
My Commission Expires: April 20, 2013

EXHIBIT "A"


DESCRIPTION:

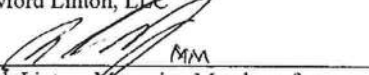
PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST AND PART OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, ALL IN COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 2 INCH IRON PIPE MARKING THE SE CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE N.00 DEGREES 55'38"E., ALONG THE EAST LINE OF SAID SECTION 25, A DISTANCE OF 572.89 FEET TO A POINT; THENCE N.86 DEGREES 54'49"W., 134.88 FEET TO THE SE CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 898, PAGES 2356-2359 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.01 DEGREES 51'32"W., ALONG THE EAST LINE OF SAID LANDS, 25.09 FEET TO THE NE CORNER OF SAID LANDS; THENCE N.86 DEGREES 54'49"W., ALONG THE NORTH LINE OF SAID LANDS, 299.96 FEET TO A CONCRETE MONUMENT, LB 6685, MARKING THE NW CORNER OF SAID LANDS AND THE EAST RIGHT-OF-WAY LINE OF SW STATE ROAD NO. 47, SAID RIGHT-OF-WAY LINE BEING DEFINED BY A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 5779.65 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02 DEGREES 55'47" (THIS PORTION OF THE ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF N.28 DEGREES 15'49"E. AND A CHORD LENGTH OF 295.51 FEET), AN ARC DISTANCE OF 295.54 FEET TO A CONCRETE MONUMENT SET BY THE FLORIDA DEPARTMENT OF TRANSPORTATION MARKING THE POINT OF TANGENCY OF SAID CURVE; THENCE N.26 DEGREES 47'55"E., STILL ALONG SAID EAST RIGHT-OF-WAY LINE, 499.03 FEET TO A CONCRETE MONUMENT, LS 4708, MARKING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE CONTINUE N.26 DEGREES 47'55"E., STILL ALONG SAID RIGHT-OF-WAY LINE, 189.75 FEET TO A CONCRETE MONUMENT, LS 1519, ON THE WESTERLY LINE OF LANDS DESCRIBED IN ORB 995, PAGE 483 OF SAID OFFICIAL RECORDS; THENCE S.01 DEGREES 54'44"W., ALONG THE MONUMENTED WEST LINE OF SAID LANDS (BEING THE SAME AS THE MONUMENTED WEST LINE OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA), 20.35 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING THE SW CORNER OF SAID LANDS DESCRIBED IN ORB 995, PAGE 483; THENCE S.89 DEGREES 49'34"E., ALONG THE SOUTH LINE OF SAID LANDS, 283.39 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING A SOUTHEASTERLY CORNER OF SAID LANDS; THENCE S.00 DEGREES 35'17"W., 193.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.89 DEGREES 49'34"W., 271.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.65 DEGREES 12'56"W., 104.94 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 1.45 ACRES, MORE OR LESS.

TOGETHER WITH all of Owner's right, title and interest under Grant of Easement and Agreement as to Covenants and Restrictions dated July 9, 2009, recorded in Official Records Book 1176, page 2338, public records, Columbia County, Florida.

Crawford Linton, LLC

By: 
Brian S. Crawford, Managing Member of
Crawford Linton, LLC

By:  MM
Micah Linton, Managing Member of
Crawford Linton, LLC

5)

27960
Rec. 27.00
Cert. Copy 5.00

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

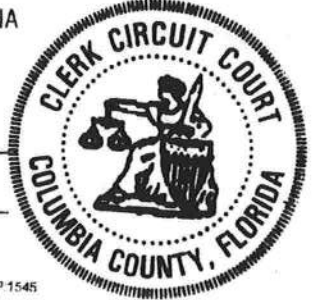
File No. 08-293

STATE OF FLORIDA, COUNTY OF COLUMBIA

I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By Sharon Seagle
Deputy Clerk

Date 2-05-09



Inst. 200912001659 Date 2/3/2009 Time 4:30 PM
P.C. DeWitt Cason, Columbia County Page 1 of 3 B 1166 P 1545

PERMIT NO. _____

TAX FOLIO NO.: R02436-000

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property:

SEE EXHIBIT "A" ATTACHED HERETO
FOR LEGAL DESCRIPTION

2. General description of improvement: Construction of commercial building

3. Owner information:

a. Name and address: CRAWFORD DEVELOPMENT GROUP, LLC, a Florida Limited Liability Company, 295 Commons Loop, Suite 115-391, Lake City, Florida 32055.

b. Interest in property: Fee Simple

c. Name and address of fee simple title holder (if other than Owner):

4. Contractor: CRAWFORD DEVELOPMENT GROUP, LLC, 295 Commons Loop, Suite 115-391, Lake City, Florida 32055.

5. Surety

a. Name and address: None

6. Lender: PROSPERITY BANK, 100 South Park Blvd., Ste 303, St. Augustine, Florida 32086.

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes: None

8. In addition to himself, Owner designates PROSPERITY BANK, 100 South Park Blvd, Ste 303, St. Augustine, Florida 32086, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

"WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT."

VERIFICATION PURSUANT TO SECTION 92.525, FLORIDA STATUTES.

UNDER PENALTIES OF PERJURY, I DECLARE THAT I HAVE READ THE FOREGOING AND THAT THE FACTS STATED IN IT ARE TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CRAWFORD DEVELOPMENT GROUP, LLC

By: 
Brian R. Crawford
Managing Member

The foregoing instrument was acknowledged before me this 30th day of January 2009, by BRIAN R. CRAWFORD, Managing Member of CRAWFORD DEVELOPMENT GROUP, LLC, a Florida Limited Liability Company, on behalf of the company. He is personally known to me and did not take an oath.


Notary Public

My commission expires: 1-16-2010



TOWNSHIP 3 SOUTH - RANGE 16 EAST

SECTION 33: A part of the SW 1/4 of NE 1/4, Section 33, Township 3 South, Range 16 East, Columbia County, Florida, lying North of the right-of-way of U.S. Highway No. 90, being more particularly described as follows: Commence at the NE corner of SW 1/4 of NE 1/4 of said Section 33, and run thence N 88°23'34"W, along the North line of SW 1/4 of NE 1/4 of said Section 33, 185.79 feet to the POINT OF BEGINNING; thence continue N 88°23'34"W, 232.85 feet; thence S 01°36'26"W, 98.59 feet; thence S 26°30'00"W, 98.17 feet to a point on the Northerly right-of-way line of U.S. Highway No. 90; thence S 63°30'00"E, along said Northerly right-of-way line, 204.99 feet; thence N 26°30'00"E, 150.00 feet to a point on a curve of a curve to the left, having a radius of 270.00 feet, an included angle of 24°53'31" and a chord bearing of N 14°03'13"E, 116.38 feet; thence Northeasterly along the arc of said curve, 117.30 feet; thence N 01°36'26"E, 24.21 feet to the POINT OF BEGINNING.

TOGETHER WITH all rights of Crawford Development Group, LLC under and pursuant to Reciprocal Easement Agreement between Daniel Crapps and Giebeig Property Management, Inc. dated October 1, 2005 and recorded in Official Records Book 1061, Page 2309 of the public records of Columbia County, Florida.

Inst. Number: 200912004927 Book: 1169 Page: 2667 Date: 3/27/2009 Time: 11:19:00 AM Page 1 of 3

27-
10-Cert. Copies
37-

27813

Prepared by and return to:
Carpenter & Roscow, P.A.
5608 NW 43rd Street
Gainesville, Florida 32653
352-373-7788
Permit No. _____
Tax Folio No. **R08130-003**

Inst. 200912004927 Date: 3/27/2009 Time: 11:19 AM
C.P. DeWitt Case: Columbia County Page 1 of 3 B 1169 P 2667

NOTICE OF COMMENCEMENT

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of improvement (legal description of the property, and street address, if available): **SEE EXHIBIT "A" ATTACHED HERETO.**
Street Address: **1283 SW State Road 47, Lake City, Florida**
2. General description of the improvement: **Medical Office Facility**
3. Owner information:
 - a. Name and Address: **FAISAL FAMILY LIMITED PARTNERSHIP**
P.O. Box 3009, Lake City, FL 32056
 - b. Interest in property: **Fee Simple**
 - c. Name and address of fee simple titleholder (if other than Owner): **N/A**
 - d. Phone number (of Owner): ~~(888)~~ **758-5985**
(386)
4. Name /address of Contractor: **CONCEPT CONSTRUCTION OF NORTH FLORIDA, INC., Attn: Brian S. Crawford, 295 NW Commons Loop, Suite 115-391, Lake City, FL 32055**
5. Surety: **n/a**
6. Name and address of Lender: **COMPASS BANK**
2814 S.W. 34th Street
Gainesville, Florida 32608
7. Name and address of persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: **Mohammad A. Faisal, Managing Member of M.A. FAISAL, M.D., L.L.C., as General Partner of FAISAL FAMILY LIMITED PARTNERSHIP, P.O. Box 3009, Lake City, FL, 32056**
8. In addition to the above, Owner designates **ANDY HARDIN, COMPASS BANK, 2814 SW 34th Street, Gainesville, Florida, 32608**, to receive a copy of the lienor's Notice as provided in Section 713.13(1)(b), F.S.
 - a. Phone number: **(352) 367-5076**
9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, §713.13, FLA.STAT., AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner:

FAISAL FAMILY LIMITED PARTNERSHIP
A Florida Limited Partnership, by its
General Partner, M.A. FAISAL, M.D., L.L.C.,
a Florida Limited Liability Company

By:

M.A. Faisal
Mohammad A. Faisal, Managing Member

STATE OF FLORIDA
COUNTY OF COLUMBIA

SWORN TO and subscribed before me this 24th day of March, 2009, by MOHAMMAD A. FAISAL, as Managing Member of M.A. FAISAL, M.D., L.L.C., a Florida limited liability company, as General Partner of FAISAL FAMILY LIMITED PARTNERSHIP, a Florida limited partnership, (X) who is personally known to me, or () who produced a driver's license as identification.

Diane S. Edenfield
Notary Public State of Florida
My commission expires:



Diane S. Edenfield
Commission # DD614461
Expires May 26, 2010
Bonded Troy Fax Insurance, Inc. 800-585-7019

Verification Pursuant to §92.525, Florida Statutes

UNDER PENALTIES OF PERJURY, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

M.A. Faisal
Signature of Natural Person Signing Above

5

2009 JUL 10 AM 11:42

THIS INSTRUMENT PREPARED BY
& RETURN TO: Elaine González
Columbia Bank
173 NW Hillsboro Street
Lake City, FL 32055

RETURN TO:
DARBY PEELT BOWDOIN & PAYNE
POST OFFICE BOX 1707
LAKE CITY, FLORIDA 32056

Inst 200912011486 Date 7/10/2009 Time 11:18 AM
P DeWitt Cason, Columbia County Page 1 of 2 B:1176 P:2361


NOTICE OF COMMENCEMENT

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

1. Description of Property: See Exhibit "A" attached hereto and made a part hereof for full legal description, all in Columbia County Florida along the East Side of Southwest State Road 47, approximately 400 feet South of Southwest Michael Drive Lake City, Florida.
2. General Description of Improvements: Construction of a 9,014 Square Foot Dollar General Retail Store.
3. Owner Information: Crawford Linton, LLC, a Florida Limited Liability Company
295 NW Commons Loop, Suite 115-391
Lake City, FL 32055 Phone: 386-755-8887
- Owner's Interest in Property: Fee Simple
4. Contractor: Concept Construction of North Florida, Inc.
295 NW Commons Loop - Suite 115-391
Lake City, FL 32055 - Phone: 386-755-8887
5. Lender: Columbia Bank
173 NW Hillsboro Street
Lake City, FL 32055
6. Additional persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: None
7. Expiration date of Notice of Commencement is one (1) year from the date of recording.

Crawford Linton, LLC a Florida Limited Liability Company

By: 
Brian S. Crawford, Managing Member of
Crawford Linton, LLC

By: 
Micah Linton, Managing Member of
Crawford Linton, LLC

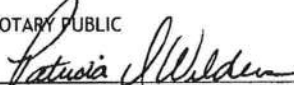
STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 9th day of July, 2009 by
Brian S. Crawford and Micah Linton.



(NOC)

NOTARY PUBLIC


Name: PATRICIA D. WILDERS (SEAL)
State of Florida at Large
Personally Known: ☒
Produced Identification: ☒
Type: ☒

My Commission Expires:


EXHIBIT "A"

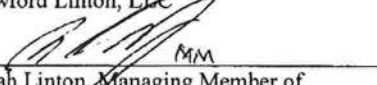
DESCRIPTION:

PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST AND PART OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, ALL IN COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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TOGETHER WITH all of Owner's right, title and interest under Grant of Easement and Agreement as to Covenants and Restrictions dated July 9, 2009, recorded in Official Records Book 1176, page 2338, public records, Columbia County, Florida.

Crawford Linton, LLC

By: 
Brian S. Crawford, Managing Member of
Crawford Linton, LLC

By: 
Micah Linton, Managing Member of
Crawford Linton, LLC



COLUMBIA COUNTY FIRE / RESCUE

P.O. BOX 1529 Lake City, Florida 32056
Office (386) 754-7071 Fax (386) 754-7064

David L. Boozer
Division Chief

05 August 2009

TO: Columbia County Building Department

FROM: David L. Boozer
Division Chief / Fire Marshal

RE: Concept Construction Co.
Dollar General

A plans review was performed of the proposed construction of the Dollar General, to be located off SR 47. This building was classified under Chapter 36, New Mercantile, of the Florida Fire Prevention Code, 2007 Edition. I recommend Approval of this project.

Sincerely,

David L. Boozer



COLUMBIA COUNTY FIRE RESCUE

P.O. BOX 1529 Lake City, Florida 32056
Office (386) 754-7071 Fax (386) 754-7064

Division Chief
David L. Boozer

16 October 2009

TO: Harry Dicks
Columbia County Building and Zoning

FROM: David L. Boozer
Division Chief / Fire Marshal

RE: Permit #27960
Dollar General
4539 SW SR 47, Lake City, Florida 32024

A Final Fire Safety Inspection was performed today of the above listed property. At the time of my inspection this property met the requirement of Chapter 36 of the Florida Fire Prevention Code, 2007 edition. I recommend approval.

Should you require any additional information, please feel free to contact my office.

Sincerely,

David L. Boozer

1 SW

4 27560

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 10-19-2009 **Fax No.** 386-961-
7183 **Attention:** Col Co. Building Zoning
Dept.

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: New Commercial Driveway

PROJECT: Dollar General SR 47

PARCEL ID No: 30-4s-17-08901-000 **Permit No :** 09-A-292-0009 **Sec No :** 29020

MILE POST: C/L 18.097+-

Mr. Kerce

Please accept this as our legal notice of preliminary passing inspection for the (Dollar General SR 47) for a new commercial driveway. The project address is SR 47 S Lake City, Fl.

The new Access has been inspected and (Approved) and, meets FDOT Standard Requirements for a new driveway. Driveway is still under construction with minor roadway improvements and should be completed this week.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. Please call Mr. Jeff Johnson at (386) 961-7118 or (386)397-5058 if there are any questions.

Sincerely,



Jeff Johnson P.E.

Access Permits Manager

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES850-040-18
SYSTEMS PLANNING - 08/06
Page 1 of 3

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 2009-A-292-0009Permit Category: B Access Classification: 4Project: Dollar General Sr 47 (S)Permittee: Clinton F. Dicks Jr. & Guy N. Williams, Trustees / D & W Land Trust 1Section/Mile Post: 29020 / C/L 18.097+-State Road: 47 (S)

Section/Mile Post: _____

State Road: _____

PART 2: PERMITTEE INFORMATION

Permittee Name: Clinton F. Dicks Jr. & Guy N. Williams, Trustees / D & W Land Trust 1Permittee Mailing Address: 4458 S US HWY 441City, State, Zip: Lake City, FL 32055Telephone: (386)755-8887Engineer/Consultant/or Project Manager: Crews Engineering Services, LLC.Engineer responsible for construction inspection: Brett Crews
NAME

P.E. # _____

Mailing Address: P.O. Box 970City, State, Zip: Lake City, FL 32056Telephone: (386)754-4085

Mobile Phone _____

N/A

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2009-A-292-0009Signature: [Signature] Department of TransportationTitle: Permits Coordinator

Department Representative's Printed Name

Nell E. MilesTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☒ YES ☐ NODate of Issuance: OCT 01 2009

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(8).

See following pages for General and Special Provisions

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES850-040-15
SYSTEMS PLANNING
04/06
Page 1 of 3

OFFICE USE ONLY

Application Number: 09-A-292-0009

Received By: Dale L. Cray

Category: B

Date: 5-01-2009

FOOT STAFF (TYPE OR PRINT)

Section/Mile Post: 18.097+- / 29020

State Road: 47 (S)

Section/Mile Post: 18.097+- / 29020

State Road: 47 (S)

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at www.dot.state.fl.us/onestoppermitting for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☐ Lessee ☒ Contract to Purchase

Name: Brian S. Crawford

Responsible Officer or Person:

If the Applicant is a Company or Organization, Name: Crawford Linton, LLC

Address: 295 NW Commons Loop, Suite 115-391

City, State: Lake City, FL

Zip: 32055

Phone: (386) 755-8887

Fax:

Email: brian@conceptconstruction.net

LAND OWNER:(if not applicant)

Name: Clinton F. Dicks, Jr & Guy N. Williams, Trustees

If the Applicant is a Company or Organization, Name: D&W Land Trust 1

Address: 4458 S US HWY441, , FL 32025

City, State: Lake City, FL

Zip: 32025

Phone: 386.397.6300

Fax:

Email:

27960

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES850-040-15
SYSTEMS PLANNING
04/05
Page 1 of 3

OFFICE USE ONLY

Application Number: 09-A-292-0009

Received By: Dale L. Cray

Category: B

Date: 5-01-2009

FDOT STAFF (TYPE OR PRINT)

Section/Mile Post: 18.097+- / 29020

State Road: 47 (S)

Section/Mile Post: 18.097+- / 29020

State Road: 47 (S)

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at www.dot.state.fl.us/onestopp permitting for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☐ Lessee ☒ Contract to Purchase

Name: Brian S. Crawford

Responsible Officer or Person:

If the Applicant is a Company or Organization, Name: Crawford Linton, LLC

Address: 295 NW Commons Loop, Suite 115-391

City, State: Lake City, FL

Zip: 32055

Phone: (386) 755-8887

Fax:

Email: brian@conceptconstruction.net

LAND OWNER:(if not applicant)

Name: Clinton F. Dicks, Jr & Guy N. Williams, Trustees

If the Applicant is a Company or Organization, Name: D&W Land Trust 1

Address: 4458 S US HWY441, , FL 32025

City, State: Lake City, FL

Zip: 32025

Phone: 386.397.6300

Fax:

Email:

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**860-040-18
SYSTEMS PLANNING - 06/06
Page 1 of 3**PART 1: PERMIT INFORMATION**APPLICATION NUMBER: 2009-A-292-0009Permit Category: B Access Classification: 4Project: Dollar General Sr 47 (S)Permittee: Clinton F. Dicks Jr. & Guy N. Williams, Trustees / D & W Land Trust 1Section/Mile Post: 29020 / C/L 18.097+- State Road: 47 (S)

Section/Mile Post: _____ State Road: _____

PART 2: PERMITTEE INFORMATIONPermittee Name: Clinton F. Dicks Jr. & Guy N. Williams, Trustees / D & W Land Trust 1Permittee Mailing Address: 4458 S US HWY 441City, State, Zip: Lake City, FL 32055Telephone: (386)755-8887Engineer/Consultant/or Project Manager: Crews Engineering Services, LLCEngineer responsible for construction inspection: Brett Crews
NAME

P.E. #

Mailing Address: P.O. Box 970City, State, Zip: Lake City, FL 32056Telephone: (386)754-4085 Mobile Phone N/A**PART 3: PERMIT APPROVAL**

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2009-A-292-0009Signature: Title: Permits Coordinator

Department Representative's Printed Name

Neil E. MilesTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☒ YES ☐ NODate of Issuance: OCT 01 2009

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-98.007(6).

See following pages for General and Special Provisions

**EXHIBIT "A" TO TRUSTEES' DEED FROM CLINTON F. DICKS, JR.
AND GUY N. WILLIAMS, as Co-Trustees under Trust Agreement dated
March 1, 1996, known as D & W Land Trust 1**

PART OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST AND PART OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, ALL IN COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 2 INCH IRON PIPE MARKING THE SE CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE N.00 DEGREES 55'38"E., ALONG THE EAST LINE OF SAID SECTION 25, A DISTANCE OF 572.89 FEET TO A POINT; THENCE N.86 DEGREES 54'49"W., 134.88 FEET TO THE SE CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 898, PAGES 2356-2359 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.01 DEGREES 51'32"W., ALONG THE EAST LINE OF SAID LANDS, 25.09 FEET TO THE NE CORNER OF SAID LANDS; THENCE N.86 DEGREES 54'49"W., ALONG THE NORTH LINE OF SAID LANDS, 299.96 FEET TO A CONCRETE MONUMENT, LB 6685, MARKING THE NW CORNER OF SAID LANDS AND THE EAST RIGHT-OF-WAY LINE OF SW STATE ROAD NO. 47, SAID RIGHT-OF-WAY LINE BEING DEFINED BY A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 5779.65 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02 DEGREES 55'47" (THIS PORTION OF THE ARC BEING SUBTENDED BY A CHORD HAVING A BEARING OF N.28 DEGREES 15'49"E. AND A CHORD LENGTH OF 295.51 FEET), AN ARC DISTANCE OF 295.54 FEET TO A CONCRETE MONUMENT SET BY THE FLORIDA DEPARTMENT OF TRANSPORTATION MARKING THE POINT OF TANGENCY OF SAID CURVE; THENCE N.26 DEGREES 47'55"E., STILL ALONG SAID EAST RIGHT-OF-WAY LINE, 499.03 FEET TO A CONCRETE MONUMENT, LS 4708, MARKING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE CONTINUE N.26 DEGREES 47'55"E., STILL ALONG SAID RIGHT-OF-WAY LINE, 189.75 FEET TO A CONCRETE MONUMENT, LS 1519, ON THE WESTERLY LINE OF LANDS DESCRIBED IN ORB 995, PAGE 483 OF SAID OFFICIAL RECORDS; THENCE S.01 DEGREES 54'44"W., ALONG THE MONUMENTED WEST LINE OF SAID LANDS (BEING THE SAME AS THE MONUMENTED WEST LINE OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA), 20.35 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING THE SW CORNER OF SAID LANDS DESCRIBED IN ORB 995, PAGE 483; THENCE S.89 DEGREES 49'34"E., ALONG THE SOUTH LINE OF SAID LANDS, 283.39 FEET TO A CONCRETE MONUMENT, LS 1079, MARKING A SOUTHEASTERLY CORNER OF SAID LANDS; THENCE S.00 DEGREES 35'17"W., 193.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.89 DEGREES 49'34"W., 271.00 FEET TO A CONCRETE MONUMENT, LS 4708; THENCE N.65 DEGREES 12'56"W., 104.94 FEET TO THE POINT OF BEGINNING. DESCRIBED PARCEL CONTAINS 1.45 ACRES, MORE OR LESS.

Inst. Number: 200912011482 Book: 1176 Page: 2336 Date: 7/10/2009 Time: 11:18:00 AM Page 2 of 3

in all respects, and that the undersigned Grantor has the full power and authority to execute this deed for the uses and purposes herein expressed; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

[Signature]
Witness

[Signature]
(Print or Type Name)

Clinton F. Dicks Jr.
Clinton F. Dicks, Jr., as Co-Trustee
under Trust Agreement dated March 1,
1996, known as D & W Land Trust 1

[Signature]
Witness
Loretta S. Steinmann

(Print or Type Name)

Guy N. Williams
Guy N. Williams, as Co-Trustee
under Trust Agreement dated March 1,
1996, known as D & W Land Trust 1

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 9 day of July, 2009, by Clinton F. Dicks, Jr. and Guy N. Williams, as Co-Trustees under Trust Agreement dated March 1, 1996, known as D & W Land Trust 1, and on behalf of said Trust, who are personally known to me, or who produced _____ as identification.

(NOTARIAL
SEAL)



Loretta S. Steinmann
Notary Public, State of Florida
Loretta S. Steinmann

(Print or Type Name)

My Commission Expires:

Inst. Number: 200912011482 Book: 1176 Page: 2335 Date: 7/10/2009 Time: 11:18:00 AM Page 1 of 3

SAP:pdw
7090.03-08-023
6/29/09

Recording 2700
docstamps 0:15

This Instrument Prepared By
S. AUSTIN PEELE
DARBY, PEELE, BOWDOIN & PAYNE
Attorneys at Law
Post Office Drawer 1707
Lake City, Florida 32056

Inst:200912011482 Date:7/10/2009 Time:11:18 AM
Doc Stamp-Dates:2005 00
✓ DC P DeWitt Coker, Columbia County Page 1 of 3 B:1176 P:2335

TRUSTEES' DEED

THIS TRUSTEES' DEED made this 9th day of July, 2009, by CLINTON F. DICKS, JR., and GUY N., WILLIAMS, as Co-Trustees under Trust Agreement dated March 1, 1996, known as D & W Land Trust 1, whose mailing address is c/o Clinton F. Dicks, Jr., 4458 South U.S. 441 South, Lake City, Florida 32024 (herein "Grantor") to CRAWFORD LINTON, LLC, a Florida limited liability company, whose mailing address is 295 Northwest Commons Loop, Suite 115-391, Lake City, Florida 32055 (herein "Grantee");

WITNESSETH:

That the Grantor, pursuant to the powers and authority granted by the terms and provisions of the aforesaid Trust Agreement and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Columbia County, Florida, viz:

See Exhibit "A" attached hereto and made a part hereof

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

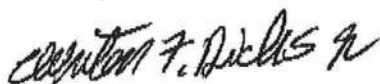
TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants to and with said Grantee that the Grantor is the duly appointed, qualified and acting Trustee under the aforesaid Trust Agreement, and in all things preliminary to and in and about the sale and conveyance of the property described herein, the terms, conditions and provisions of the aforesaid Trust Agreement, and the laws of the State of Florida have been followed and complied with

To Whom It May Concern:

I " OWNER ", Clinton F. Dicks Jr., a trustee of D&W Land Trust 1, owner of Parcel #30-4S-17-08901-000 in Columbia County, Florida, do hereby give authorization to Brett A. Crews of Crews Engineering Services, LLC and Brian Crawford of Crawford Linton, LLC to act as agents on my behalf in matters concerning permitting the construction and development of said property related to the proposed Dollar General site.

Sincerely,



Clinton F. Dicks, Jr.

RECEIVED

MAY 06 2009

DEPT OF TRANSPORTATION
LAKE CITY
MAINTENANCE



Florida Department of Transportation

CHARLIE CRIST
GOVERNOROVERNIGHT ADDRESS
710 NW LAKE JEFFERY
SUITE 101, LAKE CITY, FL.
32055-2621STEPHANIE KOPELOUSOS
INTERIM SECRETARY

STATEMENT OF CONTIGUOUS INTEREST

PROJECT NAME: Dollar General SR47 SouthPERMITTEE OR APPLICANT'S NAME: Brian S. Crawford

PROJECT LOCATION,

(PHYSICAL 911 ADDRESS): SR 47 +/-3700' south of I-75 (SR 93)STATE HIGHWAY: 47 STATE RD. SECTION 29020COUNTY NAME: Columbia STATE MILE POST: 18.097PROPT. OWNER'S NAME (Person or company): Clinton F. Dicks Jr (Trustee) D&W Land Trust 1COUNTY PROPERTY PARCEL NUMBER(S) A portion of 30-4S-17-08901-000OWNER'S MAILING ADDRESS: 4458 S US HWY441, Lake City, FL 32025PERMITTEE'S P.E. COMPANY: Crews Engineering Services, LLCCONTACT P. E. NAME: Brett A. CrewsENGINEER'S ADDRESS: PO Box 970, Lake City, FL 32056PERMITTEE'S LEGAL REPRESENTATIVE: Brian S. Crawford

I hereby certify that the total contiguous property owned or controlled is as shown on the officially submitted project's construction Plan and more fully by legal description and attached hereto as exhibit "A".

SIGNED: [Signature] DATE: 4-30-09NAME/TITLE: Brian S. Crawford / PresidentADDRESS: 295 NW COMMONS LOOP SUITE 115-391LAKE CITY, FL 32055WITNESS: [Signature] Date: 4-30-09

**FAX
MEMORANDUM****MEMORANDUM****FLORIDA DEPARTMENT OF TRANSPORTATION**

To: Mr. John Kerce, Dept. Director
Columbia Co. Building & Zoning Dept.
Fax No: 386-758-2160

From: Dale L. Cray, FDOT Permits Insp.
Date: 12-04-2009 **Fax No.** 386-961-
7183 **Attention:** Col Co. Building Zoning
Dept.

☐ Sign and return. ☐ For your files. ☐ Please call me. ☒ FYI ☐ For Review

REF: Commercial Driveway

PROJECT: Dollar General SR 47 (S)

PARCEL ID No: 30-4S-17-08901-000 **Permit No :** 09-A-292-0009 **Sec No :** 29020

MILE POST: C/L 18.097+-

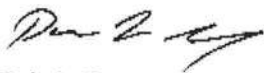
Mr. Kerce

Please accept this as our legal notice of final passing inspection for (Dollar General SR 47 S) for a new commercial driveway and roadway improvements. The project address is Lake City, Fl. SR 47 (S).

The new Access has been inspected and (Approved) and, meets FDOT Standard Requirements for a commercial driveway.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

Sincerely,



Dale L. Cray
Access Permits Inspector

COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 30-4S-17-08901-001

Building permit No. 000027960

Use Classification COMM. DOLLAR STORE

Fire: 1241.16

Permit Holder BRIAN CRAWFORD

Waste:

Owner of Building CRAWFORD LINTON, LLC

Total: 1241.16

Location: 4549 SW SR 47, LAKE CITY, FL 32024

Date: 12/15/2009

Tany Dieke

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)



Columbia County

BUILDING DEPARTMENT

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE, FLORIDA PLUMBING CODE, FLORIDA MECHANICAL
CODE, FLORIDA FUEL AND GAS CODE 2007, NATIONAL ELECTRICAL 2005
ALL REQUIREMENTS ARE SUBJECT TO CHANGE**

COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE
CURRENT FLORIDA BUILDING CODES. ALL PLANS OR DRAWING SHALL
PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND
SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED
IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES,
APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE
PER FBC FIGURE 1609 STATE OF FLORIDA WIND SPEED MAP**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75
ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:		Items to Include- Each Box shall be Circled as Applicable		
1	All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void.	YES	NO	N/A
2	If the design professional is an architect or engineer legally registered under the laws of this state regulating the practice of architecture as provided for in Chapter 481, Florida Statutes, Part I, or engineering as provided for in Chapter 471, Florida Statutes, then he or she shall affix his or her official seal to said drawings, specifications and accompanying data, as required by Florida Statute.	YES	NO	N/A
3	The design professional signature shall be affixed to the plans	YES	NO	N/A
4	Two (2) complete sets of plans with the architecture or engineer signature and the date the affix embossed official seal was placed on the plans	YES	NO	N/A

Building Site Plan Requirements								Items to Include- Each Box shall be Circled as Applicable			
4	Parking, including provision FBC chapter 11 for the required accessible parking site							Yes	No	N/A	
5	Fire access, showing all drive way which will be accessible for emergency vehicles							Yes	No	N/A	
6	Driving/turning radius of parking lots							Yes	No	N/A	
7	Vehicle loading include truck dock loading or rail site loading							Yes	No	N/A	
8	Nearest or number of onsite Fire hydrant/water supply/post indicator valve (PIV)							Yes	No	N/A	
9	Set back of all existing or proposed structures from each structure and property boundaries, Show all separation including assumed property lines							Yes	No	N/A	
10	Location of specific tanks(above or under grown ,water lines and sewer lines and septic tank and drain fields							Yes	No	N/A	
11	All structures exterior views include finished floor elevation							Yes	No	N/A	
12	Total height of structure(s) form established grade							Yes	No	N/A	
Occupancy group use circle all uses:		Group A	Group B	Group E	Group F	Group H	Group I	Group M	Group R	Group S	Group U D
13	Special occupancy requirements.							Yes	No	N/A	
14	Incidental use areas (total square footage for each room of use area)							Yes	No	N/A	
15	Mixed occupancies							Yes	No	N/A	
16	REQUIRED SEPARATION OF OCCUPANCIES IN HOURS FBC TABLE 302.3.2							Yes	No	N/A	
Minimum type of permitted construction by code for occupancy use circle the construction type FBC 602											
17	Type I	Type II	Type III	Type IV	Type V						

Fire-resistant construction requirements shall be shown, include the following components			
18	Fire-resistant separations		Yes No N/A
19	Fire-resistant protection for type of construction		Yes No N/A
20	Protection of openings and penetrations of rated walls		Yes No N/A
21	Protection of openings and penetrations of rated walls		Yes No N/A
22	Fire blocking and draftstopping and calculated fire resistance		Yes No N/A
Fire suppression systems shall be shown include:			
23	Early warning smoke evacuation systems Schematic fire sprinklers Standpipes		Yes No N/A
24	Standpipes		Yes No N/A
25	Pre-engineered systems		Yes No N/A
26	Riser diagram		Yes No N/A
Life safety systems shall be shown include the following requirements:			
27	Occupant load and egress capacities		Yes No N/A
28	Early warning		Yes No N/A
29	Smoke control		Yes No N/A
30	Stair pressurization		Yes No N/A
31	Systems schematic		Yes No N/A
Occupancy load/egress requirements shall be shown include:			
32	Occupancy load		Yes No N/A
33	Gross occupancy load		Yes No N/A
34	Net occupancy load		Yes No N/A
35	Means of egress		Yes No N/A
36	Exit access		Yes No N/A
37	Exit discharge		Yes No N/A
38	Stairs construction/geometry and protection		Yes No N/A
39	Doors		Yes No N/A
40	Emergency lighting and exit signs		Yes No N/A
41	Specific occupancy requirements		Yes No N/A
42	Construction requirements		Yes No N/A
43	Horizontal exits/exit passageways		Yes No N/A

**Items to Include-
Each Box shall
be Circled as
Applicable**

Structural requirements shall be shown include:				
44	Soil conditions/analysis	Yes	No	N/A
45	Termite protection	Yes	No	N/A
46	Design loads	Yes	No	N/A
47	Wind requirements	Yes	No	N/A
48	Building envelope	Yes	No	N/A
49	Structural calculations (if required)	Yes	No	N/A
50	Foundation	Yes	No	N/A
51	Wall systems	Yes	No	N/A
52	Floor systems	Yes	No	N/A
53	Roof systems	Yes	No	N/A
54	Threshold inspection plan	Yes	No	N/A
55	Stair systems	Yes	No	N/A
Materials shall be shown include the following				
56	Wood	Yes	No	N/A
57	Steel	Yes	No	N/A
58	Aluminum	Yes	No	N/A
59	Concrete	Yes	No	N/A
60	Plastic	Yes	No	N/A
61	Glass	Yes	No	N/A
62	Masonry	Yes	No	N/A
63	Gypsum board and plaster	Yes	No	N/A
64	Insulating (mechanical)	Yes	No	N/A
65	Roofing	Yes	No	N/A
66	Insulation	Yes	No	N/A
Accessibility requirements shall be shown include the following				
67	Site requirements	Yes	No	N/A
68	Accessible route	Yes	No	N/A
69	Vertical accessibility	Yes	No	N/A
70	Toilet and bathing facilities	Yes	No	N/A
71	Drinking fountains	Yes	No	N/A
72	Equipment	Yes	No	N/A
73	Special occupancy requirements	Yes	No	N/A
74	Fair housing requirements	Yes	No	N/A
Interior requirements shall include the following				
75	Interior finishes (flame spread/smoke development)	Yes	No	N/A
76	Light and ventilation	Yes	No	N/A
77	Sanitation	Yes	No	N/A
Special systems				
78	Elevators	Yes	No	N/A
79	Escalators	Yes	No	N/A
80	Lifts	Yes	No	N/A
Swimming pools				
81	Barrier requirements	Yes	No	N/A
82	Spas	Yes	No	N/A
83	Wading pools	Yes	No	N/A

Items to Include-Each Box shall be Circled as Applicable

Electrical				
84	Wiring	Yes	No	N/A
85	Services	Yes	No	N/A
86	Feeders and branch circuits	Yes	No	N/A
87	Overcurrent protection	Yes	No	N/A
88	Grounding	Yes	No	N/A
89	Wiring methods and materials	Yes	No	N/A
90	GFCIs	Yes	No	N/A
91	Equipment	Yes	No	N/A
92	Special occupancies	Yes	No	N/A
93	Emergency systems	Yes	No	N/A
94	Communication systems	Yes	No	N/A
95	Low voltage	Yes	No	N/A
96	Load calculations	Yes	No	N/A
Plumbing				
97	Minimum plumbing facilities	Yes	No	N/A
98	Fixture requirements	Yes	No	N/A
99	Water supply piping	Yes	No	N/A
100	Sanitary drainage	Yes	No	N/A
101	Water heaters	Yes	No	N/A
102	Vents	Yes	No	N/A
103	Roof drainage	Yes	No	N/A
104	Back flow prevention	Yes	No	N/A
105	Irrigation	Yes	No	N/A
106	Location of water supply line	Yes	No	N/A
107	Grease traps	Yes	No	N/A
108	Environmental requirements	Yes	No	N/A
109	Plumbing riser	Yes	No	N/A
Mechanical				
110	Energy calculations	Yes	No	N/A
111	Exhaust systems	Yes	No	N/A
112	Clothes dryer exhaust	Yes	No	N/A
113	Kitchen equipment exhaust	Yes	No	N/A
114	Specialty exhaust systems	Yes	No	N/A
Equipment location				
115	Make-up air	Yes	No	N/A
116	Roof-mounted equipment	Yes	No	N/A
117	Duct systems	Yes	No	N/A
118	Ventilation	Yes	No	N/A
119	Laboratory	Yes	No	N/A
120	Combustion air	Yes	No	N/A
121	Chimneys, fireplaces and vents	Yes	No	N/A
122	Appliances	Yes	No	N/A
123	Boilers	Yes	No	N/A
124	Refrigeration	Yes	No	N/A
125	Bathroom ventilation	Yes	No	N/A

Items to Include-Each Box shall be Circled as Applicable

Gas			
126	Gas piping	Yes	No <input checked="" type="radio"/> N/A
127	Venting	Yes	No <input checked="" type="radio"/> N/A
128	Combustion air	Yes	No <input checked="" type="radio"/> N/A
129	Chimneys and vents	Yes	No <input checked="" type="radio"/> N/A
130	Appliances	Yes	No <input checked="" type="radio"/> N/A
131	Type of gas	Yes	No <input checked="" type="radio"/> N/A
132	Fireplaces	Yes	No <input checked="" type="radio"/> N/A
133	LP tank location	Yes	No <input checked="" type="radio"/> N/A
134	Riser diagram/shutoffs	Yes	No <input checked="" type="radio"/> N/A
Notice of Commencement			
135	A recorded (in the Columbia County Clerk Office) notice of commencement is required to be on file with the building department. <i>Before Any Inspections Will Be Done</i>	Yes	No <input checked="" type="radio"/> N/A
Disclosure Statement for Owner Builders			
		Yes	No <input checked="" type="radio"/> N/A

Private Potable Water			
136	Horse power of pump motor	<input checked="" type="radio"/> Yes	No <input checked="" type="radio"/> N/A
137	Capacity of pressure tank	<input checked="" type="radio"/> Yes	No <input checked="" type="radio"/> N/A
138	Cycle stop valve if used	<input checked="" type="radio"/> Yes	No <input checked="" type="radio"/> N/A

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

139	Building Permit Application	A current Building Permit Application form is to be completed and submitted for all construction projects.	<input checked="" type="radio"/> Yes	No <input checked="" type="radio"/> N/A
140	Parcel Number	The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084	<input checked="" type="radio"/> Yes	No <input checked="" type="radio"/> N/A
141	Environmental Health Permit or Sewer Tap Approval	A copy of an approved Environmental Health (386) 758-1058 waste water disposal permit or an approved City of Lake City (386) 752-2031 sewer tap is required before a building permit can be issued. Toilet facilities shall be provided for construction workers	Yes	No <input checked="" type="radio"/> N/A
142	Driveway Connection	If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Use or joint use of driveways will comply with Florida Department of Transportation specifications. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	Yes	No <input checked="" type="radio"/> N/A
143	Suwannee River Water Management District Approval	All commercial projects must have an SRWMD permit issued or an exemption letter, before a building permit will be issued.	Yes	No <input checked="" type="radio"/> N/A

APPLICANT
MADE
TO TURN
IN PRIOR
TO PERMIT

144	Flood Management	Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of section 8.5.2 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) has not been established shall meet the requirements of section 8.5.3 of Columbia County Land Development Regulations. A development permit will also be required. The development permit cost is \$50.00	Yes	No	N/A
145	Flood Management	A CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.	Yes	No	N/A
146	911 Address	If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	Yes	No	N/A

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

Section 105 of the Florida Building Code defines the:

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department.

Columbia County Building Dept.
DG SR 47

REPORT OF GEOTECHNICAL EVALUATION

Dollar General Store
SR 47 (\pm 3,500 feet south of I-75)
Lake City, Columbia County, Florida
CTI Project No. 09-00259-01

- Prepared For -
Concept Construction of North Florida, Inc.
295 NW Common Loop, Suite 115-391
Lake City, Florida 32055

- Prepared by -
Cal-Tech Testing, Inc.
P.O. Box 1625
Lake City, Florida 32056-1625

July 14, 2009



Cal-Tech Testing, Inc.

- Engineering
 - Geotechnical
 - Environmental
- LABORATORIES

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July 14, 2009

Concept Construction of North Florida, Inc.

295 NW Common Loop, Suite 115-391
Lake City, Florida 32055

Attention: Mr. Brian Crawford

Subject: Report of Geotechnical Evaluation
Dollar General Store
SR 47 (\pm 3,500 feet south of I-75), Columbia County, Florida
CTI Project No. 09-00259-01

Dear Mr. Crawford:

Cal-Tech Testing, Inc. (CTI) has completed the geotechnical evaluation for the proposed Dollar General Store. The following report presents the results of our field exploration and testing, an evaluation of the subsurface conditions with respect to available project characteristics, and recommendations to aid in the design and construction of the proposed building.

We have enjoyed assisting you on this project and look forward to serving as your geotechnical and construction materials testing consultant for the remainder of this and future projects. Should you have any questions concerning this report, please contact our office at 386-755-3633.

Sincerely,
CAL-TECH TESTING, INC.

David B. Brown
Executive Vice President

Nabil O. Hmeidi, P.E.
Senior Geotechnical Engineer
Licensed, Florida No. 57842

Distribution: File (1 copy)
Addressee (3 bound copies)

TABLE OF CONTENTS

1.0 SCOPE & PROJECT INFORMATION.....	1
2.0 FIELD EXPLORATION.....	1
3.0 SITE AND SUBSURFACE CONDITIONS	2
3.1 SITE CONDITIONS	2
3.2 GENERAL AREA GEOLOGY	2
3.3 USDA/NRCS SOIL SURVEY	3
3.4 SUBSURFACE CONDITIONS.....	3
3.5 GROUNDWATER.....	4
4.0 RECOMMENDATIONS FOR FOUNDATION DESIGN & SITE PREPARATION.....	4
4.1 GENERAL.....	4
4.2 FOUNDATION SUPPORT	4
4.3 SETTLEMENT ANALYSES	5
4.4 UPLIFT RESISTANCE	5
4.5 LATERAL RESISTANCE.....	5
4.6 LATERAL EARTH PRESSURES.....	6
4.7 DRAINAGE CONSIDERATIONS	6
4.8 FLOOR SLAB	6
4.9 EXPOSED SUBGRADE	6
4.10 STRUCTURAL FILL/BACKFILL	7
5.0 PAVEMENT DESIGN CONSIDERATION AND SUBGRADE PREPARATION.....	7
5.1 PAVEMENT AREAS.....	7
5.1.1 Standard Duty Pavement	8
5.1.2 Heavy Duty/Dumpster Areas.....	8
5.2 PAVEMENT SUBGRADE	8
5.3 BASE COURSE.....	9
5.4 GENERAL PAVEMENT REQUIREMENTS.....	9
6.0 REPORT LIMITATIONS	10

ATTACHMENTS

<i>Exhibit 1</i>	<i>Vicinity Map</i>
<i>Exhibit 2</i>	<i>Field Exploration Plan (1 page)</i>
<i>Exhibit 3</i>	<i>Record of Boring Logs (4 pages)</i>
<i>Exhibit 4</i>	<i>Unified Soil Classification System Chart (1 page)</i>
<i>Exhibit 5</i>	<i>Key To Test Data (1 page)</i>

1.0 SCOPE & PROJECT INFORMATION

The purpose of this exploration was to develop information concerning the site and subsurface conditions in order to evaluate site preparation requirements and foundation support recommendations for the proposed building. The services rendered by CTI during the course of this exploration can be summarized as follows:

Reviewed available in-house data such as results of similar exploration and published data including the U.S.G.S. Quadrangle map, and the Geologic Map of Florida for this area.

Planned and performed four (4) SPT borings each extending 15 feet below the existing ground surface.

Reviewed, analyzed, and gathered data in order to evaluate the subsurface conditions with respect to the proposed construction.

Prepared this report, which includes the results of our field exploration as well as our recommendations with respect to foundation design, foundation related site work, general site development, and quality control.

We understand the proposed Dollar General Store will be an approximately 9,100 square feet, single-story, pre-engineered, metal building. We anticipate floor loads will be about 150 pounds per square foot. Design loading information for the building is not available at this time; however, we anticipate that column loads will be no greater than 50 kips and wall loads no greater than 3 kips per lineal foot. Design grade elevations were also not provided at this time. However, we anticipate less than 3 feet of earthwork fill will be required to achieve the desired grades.

2.0 FIELD EXPLORATION

The subsurface conditions at the subject site were explored by drilling a total of four (4) SPT borings each extending 15 feet below the existing ground surface. These borings were performed at the approximate locations shown on the attached Field Exploration Plans.

Sampling and penetration procedures of the SPT borings were accomplished in general accordance with ASTM D-1586, "*Penetration Test and Split-Barrel Sampling of Soils*", using a power rotary drill rig (BK-51 with manual hammer). The standard penetration tests were performed by driving a standard 1-3/8" I.D. and 2" O.D. split spoon sampler with a 140 pound hammer falling 30 inches. The number of hammer blows required to drive the sampler a total of 18 inches, in 6 inch increments, were recorded. The penetration resistance or "N" value is the summation of the last two 6 inch increments and is illustrated on the attached boring logs adjacent to their corresponding sample depths. The penetration resistance is used as an index to derive soil parameters from various empirical correlations.

The attached boring logs graphically illustrates penetration resistances, groundwater levels, and soil descriptions. It should be noted the stratification lines and depth designations indicated on the boring records represent approximate boundaries between soil types. In some instances, the transition between these soil types may be gradual.

3.0 SITE AND SUBSURFACE CONDITIONS

3.1 Site Conditions

The subject property is located on the east side of SW SR 47 South in Lake City, Columbia County, Florida. We have been furnished with undated Permitting Plans prepared by Crews Engineering Services, Inc. of Lake City, Florida. At the time of our arrival, the majority of the building and parking areas were clear of trees and topsoil. Approximately 2 feet of new fill appears to have been placed within the building pad area.

3.2 General Area Geology

Published information regarding the geology in this area of Columbia County indicates the site is situated within the Undifferentiated Quaternary Sediments (**Qu**) of the Pleistocene and Holocene epochs. Typically, the Undifferentiated Quaternary sediments consist of siliciclastics, organics and freshwater carbonates. The siliciclastics are light gray, tan, brown to dark, unconsolidated to poorly consolidated, clean to clayey, silty, fossiliferous, variably organic-bearing sands to blue green to olive green, poorly to moderately consolidated, sandy, silty, clays. Freshwater carbonates "*marls*" are buff colored to tan, unconsolidated to poorly consolidated, fossiliferous (mollusks) carbonate muds containing organics.

Limestone in this area consists of carbonate rock and its weathered residuum. Surface soil mantle is typically characterized by sands, sandy clays, or clays. In this area of Columbia County, Florida, the limestone is marked by solution features (sinkholes) associated with karst terrains. Areas underlain by karst terrains are prone to sinkhole activities. These sinkholes are primarily caused by an advanced state of internal soil erosion or raveling action, which under certain circumstances can lead to ground subsidences. This internal soil erosion is a very slow process by which soil particles usually migrate under the influence of a hydraulic gradient to underlying karsted and/or fractured limestone formation. There are several indicators generally associated with an advanced state of long term internal soil erosion such as noticeable surface depressions and very loose to soft soil zones just above the rock formation (see the Subsurface Conditions for details).

The USGS Map Series No. 110, Sinkhole Type, Development, and Distribution in Florida dated 1985 identifies the site near the contact of Areas I and III. Area I consists of ground with bare or thinly covered limestone. Gradually developed solution sinkholes are few, broad and shallow. Area III consists of ground with 30 to 200 feet of cover to limestone. This area mainly consists of cohesive clayey sediments of low permeability. Cover-collapse sinkholes of varying size abruptly develop and are numerous. A brief review of the Sinkhole Database issued by the Florida Geological Survey indicates a number of "reported" sinkhole occurrences within the vicinity of the subject site with the closest being approximately 3,000 feet east-northeast of the subject site¹.

Based on our site observations and the results of the test borings, it is our opinion the proposed construction will have no greater risk of damage due to sinkhole activity than the development of structures in other areas within the immediate vicinity of the subject site.

3.3 USDA/NRCS Soil Survey

Cursory review of the Columbia County, Florida USDA Soil Survey indicates the majority of soils within the limits of the proposed retention pond to consist of the **Bonneau fine sand** (Soil Map Unit No. 13); mainly, the surface layer of this map unit is grayish brown fine sand about 7 inches thick. The subsurface soil consists of about 8 inches of yellowish brown fine sand and about 12 inches of brownish yellow with very pale brown splotches. The subsoil extends to a depth of 80 inches or more consisting of about 9 inches of yellowish brown fine sandy loam, about 22 inches of very pale brown, yellowish red, and grayish brown sandy clay loam; and about 16 inches of very pale brown, yellowish red and grayish brown sandy clay loam with pockets of fine sandy loam to gray and pink sandy clay loam. The soil survey indicates the apparent² high water table in areas underlain by this map unit is at a depth of about 4½ feet below the ground surface. These soils have a hydrologic group A³ designation.

3.4 Subsurface Conditions

In general, the soil profile as disclosed by SPT borings B-1 through B-4 initially consisted of about 1 to 2 feet of light gray silty fine sand (FILL). This layer is underlain by about 3 to 3½ feet of tan to yellowish tan, silty fine sand (SP-SM); about 5½ to 7 feet of grayish brown and reddish brown to light gray and tan, mottled, clayey fine sand (SC). These strata are underlain by about 3 to 5 feet of greenish gray clay (CH) or about 4 to 5½ feet of brown and gray, mottled, sandy clay (CL). The granular soils vary from very loose to very dense in relative density with standard penetration resistance or "N" values ranging from 3 to 52 Blow Per Foot (BPF). The clayey soils vary from stiff to very stiff in consistency with "N" values ranging from 19 to 30 BPF.

¹ Refer to the Florida Geological Survey Sinkhole Database, Reference No. 29-015, occurrence date June 9, 1974.

² Thick zone of free water in the soil indicated by the level at which water stands in an uncased borehole after adequate time is allowed for adjustment in the surrounding soils.

³ Typically, soils assigned to Hydrologic Group "A" have a high infiltration rate when thoroughly wet, and have a high water transmission. These consist mainly of deep, well- to excessively-drained sands or gravelly sands.

3.5 Groundwater

At the time of completion of drilling, the groundwater was not encountered in any of the SPT borings. We note that due to the relatively short time frame of the field exploration, the groundwater may not have had sufficient time to stabilize. For a true groundwater level reading, piezometers may be required. In any event, fluctuation in groundwater levels should be expected due to seasonal climatic changes, construction activity, rainfall variations, surface water runoff, and other site-specific factors.

4.0 RECOMMENDATIONS FOR FOUNDATION DESIGN & SITE PREPARATION

The recommendations presented in this report are based upon available project information, anticipated loading conditions, and data obtained during our field program. If the structural information is incorrect or the location of the structure changes, please contact this office so our recommendations may be reviewed and/or revised. Discovery of any site or subsurface condition during construction, which deviates from the data collected during this exploration, should be reported to us for evaluation.

4.1 General

Based on our evaluation of the encountered subsoils, anticipated loading conditions and our past experience with similar projects, it is our professional opinion the subject site can be made suitable for the support of the proposed facility.

4.2 Foundation Support

Initially, the test borings disclosed relatively loose soils to a depth of about 3 feet of the existing ground surface. With the exception of topsoil, the majority of the soils encountered within this loose zone are considered suitable for reuse as structural fill, however, they are not considered acceptable for the support of the proposed building in their current conditions. To improve the density of the supporting soils, the upper 3 feet of the existing site soils within the building and pavement areas (including 5 feet outside the perimeter of the building) should be recompacted as indicated herein.

Provided the foundation and site soils are prepared in accordance with the guidelines presented in this report, it is our opinion the proposed structure may be supported on a conventional shallow foundation system. The shallow foundation may be designed for an allowable bearing pressure of 2,000 pounds per square foot (psf) or less supported on **recompacted** soils or newly placed structural fill. In using net pressures, the weight of the footing and backfill over the footing need not be considered. Hence, only loads applied at or above final grade need to be used for dimensioning footings. However, wall bearing footings should be designed with a minimum width of 18 inches, while the individual column footings should have minimum dimensions of 2 feet by 2 feet.

4.3 Settlement Analyses

Actual magnitude of settlement that will occur beneath foundations will depend upon variations within the subsurface soil profile, actual structural loading conditions, embedment depth of the footings, actual thickness of compacted fill or cut, and the quality of the earthwork operations. Assuming the foundation related site work and foundation design is completed in accordance with the enclosed recommendations, we estimate the total settlement of the structure will be on the order of 1 inch or less. Differential settlements (between adjacent columns or along the length of a continuous wall footing) should be approximately one-half of the total settlement. This settlement is primarily the result of elastic compression of the upper looser sands, and should occur almost immediately following the application of the structural dead load during construction.

4.4 Uplift Resistance

Under wind loading conditions, the foundations will likely be subjected to considerable uplift forces. In order to resist these uplift forces, it may be necessary to increase the footing size (thus increasing the dead weight) or lower the footing to mobilize additional soil weight above the footing. Uplift resistance from the soil may be evaluated as the weight of the soil directly above the footing, plus the shearing resistance along the vertical face of the soil prism. Alternately, the available soil uplift resistance may be calculated as the weight of the soil prism defined by the diagonal line drawn from the top of the footing to the ground surface at an angle of 30 degrees with the vertical. We recommend that an estimated total unit weight of 100 pcf (compacted to 95% of the modified Proctor maximum dry density) be used for well-compacted, suitable fill. Should the bottom of any structure be below the stabilized seasonal-high groundwater level, these structures must be properly designed to resist the resulting uplift forces due to hydrostatic pressures.

4.5 Lateral Resistance

Lateral loads created by wind loads may be resisted by the passive pressure of the soil acting against the side of the individual footings and/or the friction developed between the base of the foundation system and the underlying soils. For compacted backfill and/or in-situ material, the passive pressure may be taken as an equivalent to the pressure exerted by a fluid weighing 300 pcf for above the ground-water table and 113 pcf below water level. A coefficient of friction equal to 0.4 may be used for calculating the frictional resistance at the base of the shallow footings. The resistance values discussed herein are based on the assumption that the foundations can withstand horizontal movements on the order of 1/4 inch. Lateral resistance determined in accordance with the recommendations provided herein should be considered the total available resistance. Consequently, the design should include a minimum factor of safety of 1.5.

4.6 Lateral Earth Pressures

In general, retaining walls are subject to "at-rest" or "active" pressures. Retaining walls that are restrained at the top will be subject to "at-rest" pressures due to their restricted movement. These "at-rest" pressures may be calculated as the equivalent pressure exerted by a fluid density of 50 pcf. Where walls are not restrained at the top and thus allowed sufficient movement to mobilize "active" pressures, an equivalent fluid density of 33 pcf should be used in the design. These values may be used only for walls above the groundwater table. Therefore, the presence of any groundwater due to surface water intrusion should be handled with the use of a drainage layer behind the walls with a collection pipe discharging accumulated water away from the walls. If this is not practical, then the hydrostatic pressure due to water should be included in the design of the walls.

4.7 Drainage Considerations

Adequate drainage should be provided at the site in order to minimize increase in moisture content of the foundation soils. Excessive moisture can significantly reduce the soil's bearing capacity and contribute to foundation settlement. For the protection of the foundation soils, we recommend that the ground water surface be sloped away from all proposed structures.

4.8 Floor Slab

All exposed subgrade soil should be recompact and proofrolled with a fully-loaded, tandem-axle dump-truck or similar pneumatic-tired equipment. Provided the recompaction and proofrolling operations do not indicate significant deflection or pumping of the existing subgrade, the floor slab may be designed as a slab-on-grade. All floor slabs should be supported on at least 4 inches of relatively clean granular material, such as sand, sand and gravel, or crushed stone. This is to help distribute concentrated loads and equalize moisture beneath the slab. This granular material should have 100 percent passing the 1½ -inch sieve and a maximum of 10 percent passing the No. 200 sieve.

Based upon the soil conditions encountered at the subject site, the anticipated fill placement, and the recommended site preparation operations presented in this report, a modulus of vertical subgrade reaction (k) for the slab bearing soils of 150 pounds per square inch per inch of vertical deflection (pci) for the recommended structural fill compaction criteria.

4.9 Exposed Subgrade

All exposed soils in the building and pavement areas should be compacted with overlapping passes of a relatively heavy weight vibratory drum roller having a total operating static weight (weight of fuel and water included) of at least 10 tons and a drum diameter of 5 feet. All exposed surfaces should be compacted to a minimum of 95 percent of the modified Proctor maximum dry density (ASTM D-1557) to a depth of at least 12 inches below the compacted surface.

4.10 Structural Fill/Backfill

Site preparations should include the removal of the existing topsoil and any other deleterious material that fall within the building area. Then, structural fill should be placed in thin loose lifts not to exceed 12 inches in thickness and compacted with a heavy roller as described above. For walk-behind equipment, a maximum loose lift thickness of 6 inches is recommended. Each lift should be thoroughly compacted with the vibratory roller to provide densities equivalent to at least 95 percent of the modified Proctor maximum dry density (ASTM D-1557). Structural fill should consist of an inorganic, non-plastic, granular soil containing less than 10 percent material passing the No. 200 mesh sieve (relatively clean sand with a Unified Soil Classification of SP or SP-SM).

In general, and with the exception of the topsoil, the borings indicated the presence of very loose sandy soils within the upper 3 feet of the existing ground surface. These soils are considered suitable for use as structural fill under the proposed building and pavement areas, however, they are not considered acceptable for the support of the foundation and roadbed in their present condition and will require recompaction. It is therefore recommended that the upper 3 feet (as a minimum) of the existing soils be recompacted to a minimum of 95 percent of the modified Proctor maximum dry density (**ASTM D-1557**). This may require the overexcavation and recompaction of the upper 2 feet of the existing site soils.

5.0 PAVEMENT DESIGN CONSIDERATION AND SUBGRADE PREPARATION

5.1 Pavement Areas

Pavement subgrade should consist of a minimum of 36 inches of well-compacted suitable fill. This will require the overexcavation and recompaction of the upper 24 inches of the existing site soils. We recommend that after finished subgrade is achieved and prior to the placement of grade raise fill, the entire parking and drive area be thoroughly proofrolled by a qualified engineer to delineate areas of unsuitable subgrade, if any.

The following pavement design is based upon the estimated traffic patterns, the anticipated traffic volume and quality control per the current Florida Department of Transportation (**FDOT**) *Standard Specifications for Road and Bridge Construction*; and the American Association of State Highway and Transportation Officials (**AASHTO**) criteria. The following pavement sections were designed based on an 85.0 percent level of reliability and 0.0 percent growth rate. Effect of frost heave or soil swelling was considered negligible for the Lake City, Columbia County, Florida area.

5.1.1 Standard Duty Pavement

Traffic Volume:	1,000 passenger vehicles per day (gross weight of 4,000 pounds each), 2 tractor trailer trucks (H-20) per week, and 2 trash trucks per week (gross weight of 50,000 pounds each)
Design Life:	20 years (365 working days per year), terminal serviceability = 2.0
Subgrade:	Minimum 12 inches of stabilized subgrade
Flexible Pavement:	1½ inches of Type S-III Asphaltic Concrete over 6.0 inches of limerock base material (LBR=100) → Structural Number = 2.7
Rigid Pavement:	5.0 inches of Concrete Pavement over 6.0 inches of limerock base material (LBR=100)

5.1.2 Heavy Duty/Dumpster Areas

Traffic Volume:	Standard duty loading plus 5 tractor trailer trucks (H-20) per day
Design Life:	20 years (365 working days per year), terminal serviceability = 2.5
Subgrade:	Minimum 12 inches of stabilized subgrade
Flexible Pavement:	2.0 inches of Type S-III Asphaltic Concrete over 8.0 inches of limerock base material (LBR=100) → Structural Number = 3.3
Rigid Pavement:	6.0 inches of Concrete Pavement over 6.0 inches of limerock base material (LBR=100)

5.2 Pavement Subgrade

It is recommended that pavement subgrade be compacted to a minimum depth of 12 inches to at least 98 percent of the modified Proctor maximum dry density (ASTM D-1557). Any fill utilized to elevate the pavement areas to final subgrade level should consist of relatively clean fine sands (inorganic, non-expansive/non-plastic sands containing less than 10 percent, by weight, of fines). Pavement subgrade should be uniformly compacted to a minimum density of 95 percent of the soil's modified Proctor maximum dry density (ASTM D1557).

Laboratory testes should be performed on all off-site structural fill to be used to elevate proposed pavement areas to confirm these soils meet the minimum requirements and can achieve the desired LBR values. Where subgrade stabilization is necessary, we recommend stabilization be used, as specified by the current Florida Department of Transportation (FDOT) "Standard Specifications for Road and Bridge Construction", Section 160.

5.3 Base Course

A limerock, graded aggregate, or crushed concrete base material may be used for this project. Typically in the Columbia County, Florida area it has been our experience that limerock base is the most economical base material. When used, the limerock base should meet the requirements of Section 911 in the current FDOT "*Standard Specifications for Road and Bridge Construction*". Limerock base or graded aggregate base or crushed concrete material, if selected, should be compacted to 98 percent of its maximum dry density as determined by the modified Proctor Test (ASTM D-1557). The selected base should have a minimum LBR value of 100 when compacted to 98 percent of the modified Proctor maximum dry density.

5.4 General Pavement Requirements

Concrete pavement should have the minimum thicknesses listed above. The pavement should include temperature reinforcement consisting of 6X6 W.W.F. made of 8 gauge grade 40 steel. The mesh should be placed at a depth of two (2) inches below the surface of the slab. A maximum joint spacing of 10 feet and 20 feet is recommended in the standard duty and heavy duty sections, respectively. The concrete pavement should have a minimum 28 day compressive strength of 3,500 psi, with a modulus of rupture of 600 psi.

In transition areas where concrete meets asphalt pavement should be thickened to avoid "impact" rutting resulting from sudden transfer of loads from ridged to the flexible sections. This may be accomplished by thickening the flexible pavement section to twice the thickness of the ridged section. The thickened section should be 12 inches wide (minimum) and extend along the perimeter of any ridged/flexible pavement interface (for example along the front of the concrete pad for the dumpster).

Generally, it is desirable to maintain the ground-water level at 24 inches below the bottom of the pavement base. Pavement grading design should maintain this minimum separation whenever possible. If this separation cannot be achieved, then a permanent ground-water control system (underdrains) may be required. Water resulting from rainfall, sprinkler or irrigation system should be prevented from entering the pavement sections and deteriorating the subgrade. Therefore, pavement design should consider provisions for preventing water (surface or irrigation) from entering the pavement which can be accomplished by sealing the interface between the asphalt edge and the concrete curb.

6.0 REPORT LIMITATIONS

This report has been prepared for the exclusive use of the **Concept Construction of North Florida, Inc. of Lake City, Florida**, for the specific application to the project discussed herein. Our conclusions and recommendations have been rendered using generally accepted standards of geotechnical engineering practice in the State of Florida. No other warranty is expressed or implied. **CTI** is not responsible for the interpretations, conclusions, opinions, or recommendations of others based on the data contained herein. We note that the assessment of environmental conditions for the presence of pollutants on this site was beyond the scope of this exploration. Field observations, monitoring, and quality assurance testing during earthwork and foundation installation are an extension of the geotechnical design. We recommend that the owner retain these services and that **CTI** be allowed to continue our involvement in the project through these phases of construction.

ATTACHMENTS

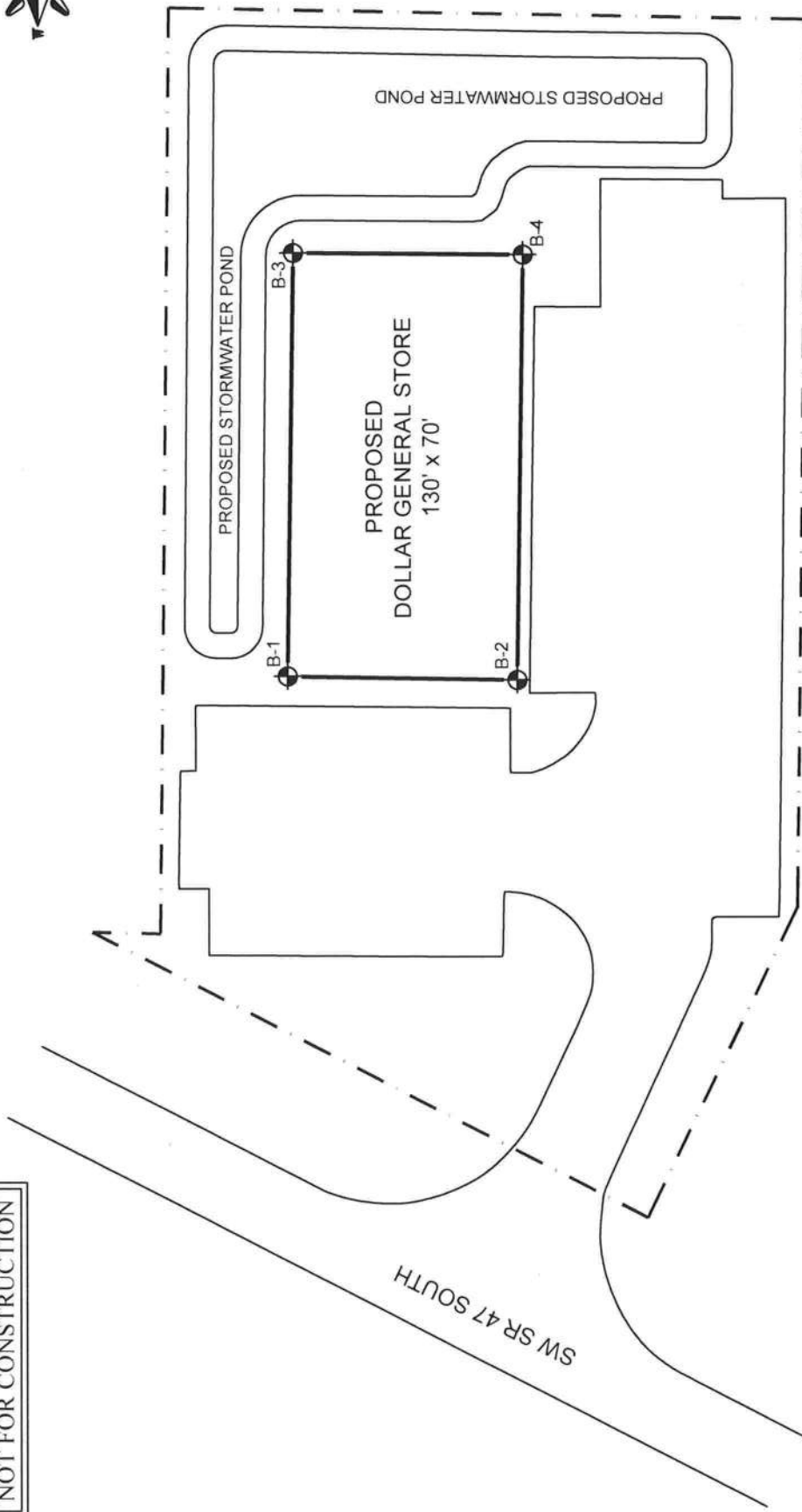


CAL-TECH TESTING, INC.
P.O. Box 1625
Lake City, Florida 32056-1625
Phone: (386) 755-3633
Fax: (386) 752-5456

VICINITY MAP
Dollar General Store – Geotechnical Evaluation
SR 47 (\pm 3,500 feet south of I-75), Columbia County, Florida
Cal-Tech Testing Project No. 09-00259-01

Figure 1

FOR ILLUSTRATION ONLY
NOT TO SCALE
NOT FOR CONSTRUCTION



STANDARD PENETRATION TEST BORINGS BY CAL-TECH TESTING, INC. PERFORMED ON JULY 14, 2009

DOLLAR GENERAL STORE
SR 47 (± 3,500 FEET SOUTH OF I-75)
LAKE CITY, COLUMBIA COUNTY, FLORIDA

CAL-TECH TESTING, INC.
P.O. Box 1625
Lake City, Florida 32056-1625
Phone: (386) 755-3633
Fax: (386) 752-5456

FIELD EXPLORATION PLAN

Project No. 09-00259-01

DATE:
07/14/2009

FIGURE: 2

APPROVED:

SCALE: N.T.S.



CAL-TECH TESTING, INC.
3309 SW SR 247
Lake City, Florida 32024
Telephone: (386) 755-3633
Fax: (386) 752-5456

BORING NUMBER B-1

PAGE 1 OF 1

CLIENT Concept Construction of North Florida, LLC

PROJECT NAME Dollar General Store - Geotechnical Evaluation

PROJECT NUMBER 09-00259-01

PROJECT LOCATION SR 47 (+/- 3,500' south of I-75), Columbia County, FL

DATE STARTED 07/14/09

COMPLETED 07/14/09

GROUND ELEVATION _____

HOLE SIZE _____

DRILLING CONTRACTOR Cal-Tech Testing, Inc.

GROUND WATER LEVELS:

DRILLING METHOD Continuous Flight Auger/Split Spoon

AT TIME OF DRILLING ---

LOGGED BY N.H.

CHECKED BY _____

AT END OF DRILLING --- Not Encountered

NOTES BK-51 (manual hammer)

AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0								20	40	60	80
		Light gray, silty fine sand (SP-SM), FILL									
		LOOSE to MEDIUM DENSE, tan to yellowish tan, silty fine sand (SP-SM)	SPT 1		3-3-3 (6)						
			SPT 2		3-5-6 (11)						
5		MEDIUM DENSE, grayish tan and reddish brown, mottled, clayey fine sand (SC)	SPT 3		4-5-5 (10)						
			SPT 4		5-6-9 (15)						
			SPT 5		10-15-17 (32)						
10		VERY STIFF, brown and gray, mottled, sandy clay (CL)	SPT 6		9-14-17 (31)						
			SPT 7		6-9-12 (21)						
15											

Bottom of borehole at 15.0 feet.



CAL-TECH TESTING, INC.
3309 SW SR 247
Lake City, Florida 32024
Telephone: (386) 755-3633
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BORING NUMBER B-2

PAGE 1 OF 1

CLIENT Concept Construction of North Florida, LLC

PROJECT NAME Dollar General Store - Geotechnical Evaluation

PROJECT NUMBER 09-00259-01

PROJECT LOCATION SR 47 (+/- 3,500' south of I-75), Columbia County, FL

DATE STARTED 07/14/09

COMPLETED 07/14/09

GROUND ELEVATION _____

HOLE SIZE _____

DRILLING CONTRACTOR Cal-Tech Testing, Inc.

GROUND WATER LEVELS:

DRILLING METHOD Continuous Flight Auger/Split Spoon

AT TIME OF DRILLING ---

LOGGED BY N.H.

CHECKED BY _____

AT END OF DRILLING --- Not Encountered

NOTES BK-51 (manual hammer)

AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
0		Light gray, silty fine sand (SP-SM), FILL									
		LOOSE to MEDIUM DENSE, tan to yellowish tan, silty fine sand (SP-SM)	SPT 1		3-3-4 (7)						
			SPT 2		4-6-9 (15)						
5		MEDIUM DENSE to VERY DENSE, light gray and tan, clayey fine sand (SC)	SPT 3		9-12-15 (27)						
			SPT 4		10-15-17 (32)						
			SPT 5		15-20-25 (45)						
			SPT 6		17-23-29 (52)						
10		STIFF, greenish gray, clay (CH)									
			SPT 7		5-10-12 (22)						
15											

Bottom of borehole at 15.0 feet.



CAL-TECH TESTING, INC.
3309 SW SR 247
Lake City, Florida 32024
Telephone: (386) 755-3633
Fax: (386) 752-5456

BORING NUMBER B-3

PAGE 1 OF 1

CLIENT Concept Construction of North Florida, LLC

PROJECT NAME Dollar General Store - Geotechnical Evaluation

PROJECT NUMBER 09-00259-01

PROJECT LOCATION SR 47 (+/- 3,500' south of I-75), Columbia County, FL

DATE STARTED 07/14/09 COMPLETED 07/14/09

GROUND ELEVATION _____ HOLE SIZE _____

DRILLING CONTRACTOR Cal-Tech Testing, Inc.

GROUND WATER LEVELS:

DRILLING METHOD Continuous Flight Auger/Split Spoon

AT TIME OF DRILLING ---

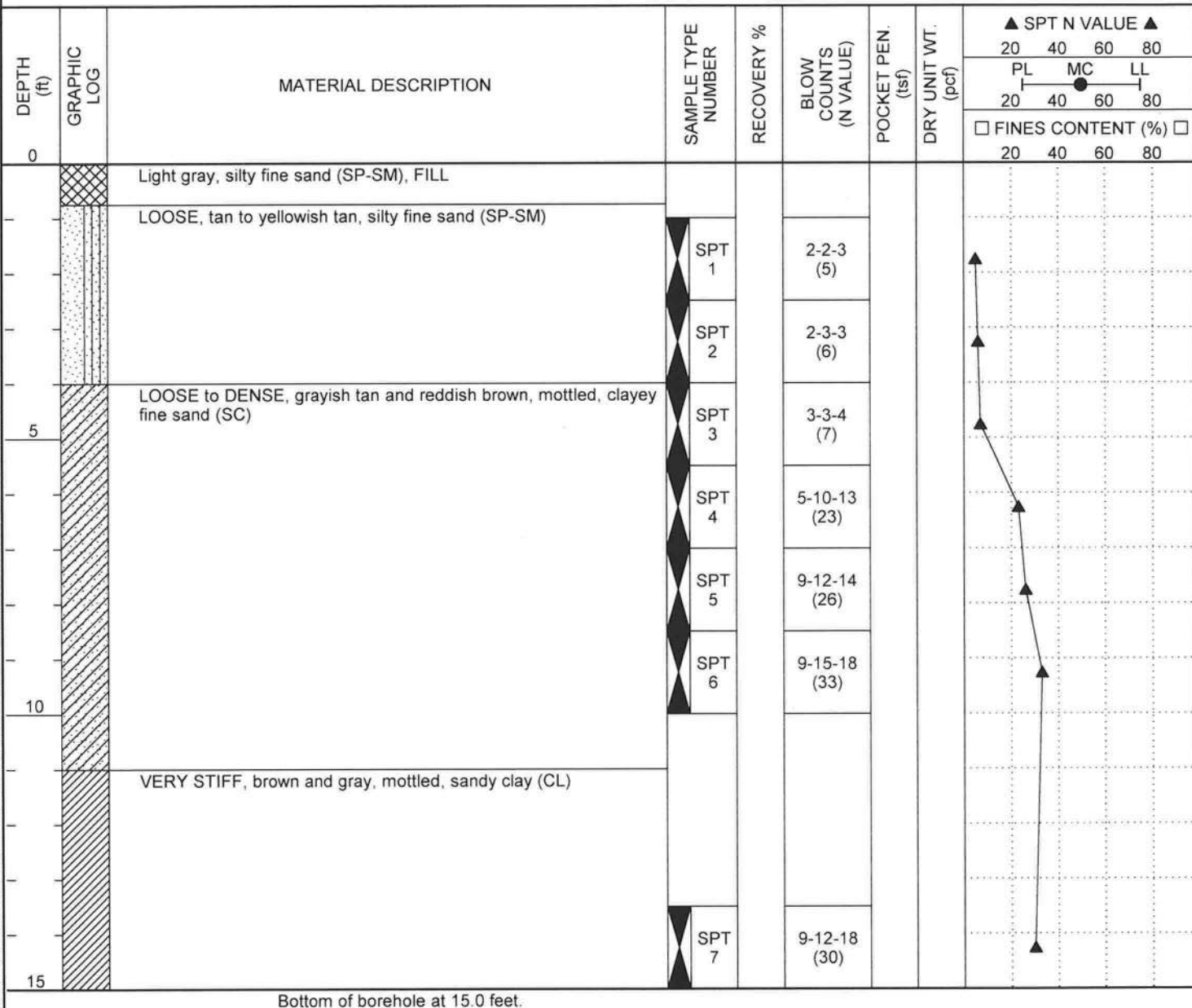
LOGGED BY N.H.

CHECKED BY _____

AT END OF DRILLING --- Not Encountered

NOTES BK-51 (manual hammer)

AFTER DRILLING ---





CAL-TECH TESTING, INC.
3309 SW SR 247
Lake City, Florida 32024
Telephone: (386) 755-3633
Fax: (386) 752-5456

BORING NUMBER B-4

PAGE 1 OF 1

CLIENT Concept Construction of North Florida, LLC

PROJECT NAME Dollar General Store - Geotechnical Evaluation

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COMPLETED 07/14/09

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HOLE SIZE _____

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GROUND WATER LEVELS:

DRILLING METHOD Continuous Flight Auger/Split Spoon

AT TIME OF DRILLING ---

LOGGED BY N.H.

CHECKED BY _____

AT END OF DRILLING --- Not Encountered

NOTES BK-51 (manual hammer)

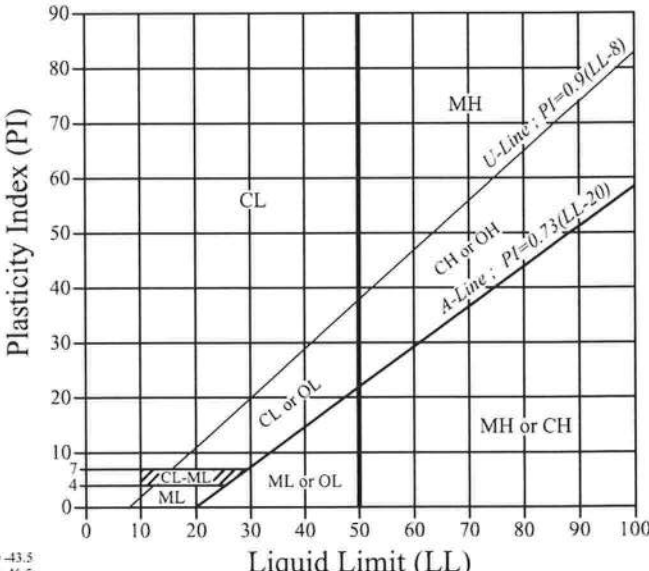
AFTER DRILLING ---

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY %	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	▲ SPT N VALUE ▲			
								20	40	60	80
								PL	MC	LL	
0								20	40	60	80
								□ FINES CONTENT (%) □			
								20	40	60	80
		Light gray, silty fine sand (SP-SM), FILL									
			SPT 1		2-1-4 (5)						
		LOOSE to MEDIUM DENSE, tan to yellowish tan, silty fine sand (SP-SM)	SPT 2		5-6-6 (12)						
5			SPT 3		4-4-4 (8)						
		MEDIUM DENSE to DENSE, grayish tan and reddish brown, mottled, clayey fine sand (SC)	SPT 4		4-5-7 (12)						
			SPT 5		11-15-19 (34)						
			SPT 6		10-16-18 (34)						
10											
		VERY STIFF, greenish gray, clay (CH)									
			SPT 7		7-8-11 (19)						
15											

Bottom of borehole at 15.0 feet.

UNIFIED SOIL CLASSIFICATION SYSTEM

ASTM DESIGNATION D-2487

MAJOR DIVISIONS			GROUP SYMBOL	TYPICAL NAMES	LABORATORY CLASSIFICATION CRITERIA		
COARSE GRAINED SOILS (More than half of the material is larger than No. 200 sieve)	Gravels (more than half of the coarse fraction is larger than No. 4 sieve)	Clean gravels	GW	Well-graded gravels, gravel-sand mixtures, little or no fines.	Determine percentage of sand and gravel from grain size curve Depending on percentage of fines (fraction smaller than No. 200 Sieve size), coarse grained soils are classified as follows: Less than 5% GW, GP, SW, SP More than 12% ... GM, GC, SM, SC 5 to 12% Borderline cases requiring dual symbols	$C_u = \frac{D_{60}}{D_{10}} > 4 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$	
			GP	Poorly graded gravels, gravel-sand mixture, little or no fines.		Not meeting all gradation requirements of GW	
		Gravel with fines	GM	Silty gravels, gravel-sand-silt mixtures.		Atterberg Limits below A-Line or PI less than 4	Above A-Line with PI between 4 and 7 are borderline cases requiring the use of dual symbols.
			GC	Clayey gravels, gravel-sand-clay mixtures.		Atterberg Limits above A-Line or PI greater than 7	
	Sands (more than half of the coarse fraction is smaller than No. 4 sieve)	Clean sands	SW	Well-graded sands, gravelly sands, little or no fines.		$C_u = \frac{D_{60}}{D_{10}} > 6 \quad ; \quad 1 < C_c = \frac{(D_{30})^2}{D_{10} \times D_{60}} < 3$	Not meeting all gradation requirements of SW
			SP	Poorly graded sands, gravelly sands, little or no fines.		Atterberg Limits below A-Line or PI less than 4 Limits plotting in hatched zone with PI between 4 and 7 are borderline cases requiring the use of dual symbols.	
		Sands with fine	SM	Silty sands, sand-silt mixtures.			Atterberg Limits above A-Line or PI greater than 7
			SC	Clayey sands, sand-clay mixtures.			
	FINE GRAINED SOILS (More than half of the material is finer than No. 200 sieve)	Silts and Clays (LL less than 50)	ML	Inorganic silts, very fine sands, rock flour, silty or clayey fine sands, or clayey silts with slight plasticity.		PLASTICITY CHART 1. Plot intersection of PI as determined by the Atterberg Limits tests. 2. Points plotted above the A-Line indicate clay soils. 3. Points plotted below the A-Line indicate silt. 	
			CL	Inorganic clays of low to medium plasticity, gravelly clays, sandy clays, silty clays, lean clay.			
OL			Organic silts and organic silty clays of low plasticity.				
Silts and Clays (LL greater than 50)		MH	Inorganic silts, micaceous or diatomaceous fine sandy or silty soils, elastic silts.				
		CH	Inorganic clays of high plasticity, fat clay.				
		OH	Organic clays of medium to high plasticity, organic silts.				
Highly Organic Soils		Pt	Peat and other highly organic soils.				
CAL-TECH TESTING, INC. P.O. Box 1625 Lake City, Florida 32056-1625 Phone: 386-755-3633 Fax: 386-752-5456				5% Max. Passing the U.S. No. 200 Sieve SP 5% - 12% Passing the U.S. No. 200 Sieve SP-SM 12% - 50% Passing the U.S. No. 200 Sieve SM/SC			

KEY TO TEST DATA

STANDARD PENETRATION TEST:

Soil sampling and penetration testing is performed in accordance with ASTM D-1586. The standard penetration resistance ("*N*") is the number of blows of a 140-pound hammer falling 30 inches to drive a 2-inch O.D., 1.4-inch I.D. split spoon sampler one foot.

ROCK CORE DRILLING:

Rock sampling and core drilling is performed in accordance with ASTM D-2113. The rock quality designation percentage (RQD) is determined by summing only pieces of core that are at least 4 inches long, and dividing by the "run" length.

Relation of RQD and In-situ Rock Quality	
RQD (%)	Rock Quality
90 -100	Excellent
75 - 90	Good
50 -75	Fair
25 - 50	Poor
0 - 25	Very Poor

RELATIVE DENSITY (SANDS):

Very loose - less than 4 blows/ft.

Loose - 5 to 10 blows/ft.

Medium - 11 to 30 blows/ft.

Dense - 31 to 50 blows/ft.

Very dense - over 50 blows/ft.

CONSISTENCY (SILTS & CLAYS):

Very soft - less than 2 blows/ft.

Soft - 3 to 4 blows/ft.

Medium stiff - 5 to 8 blows/ft.

Stiff - 9 to 15 blows/ft.

Very stiff - 16 to 30 blows/ft.

Hard - 31 to 50 blows/ft.

Very hard - over 50 blows/ft.

HARDNESS (ROCKS):

Soft - Rock core crumbles when handled.

Medium - Can break core with hands.

Moderately hard - Thin edges of rock core can be broken with fingers.

Hard - Thin edges of core can not be broken with fingers.

Very hard - Can not be scratched with knife.

GROUNDWATER:

Water levels shown on boring logs are taken immediately upon completion of boring, and are intended for general information. The apparent level may have been altered by the drilling process. Groundwater levels, if desired, can be monitored over a long time interval.

CAL-TECH TESTING, INC.

P.O. Box 1625

Lake City, Florida 32056-1625

Phone: 386-755-3633 Fax: 386-752-5456

5% Max. Passing the U.S. No. 200 Sieve SP

5% - 12% Passing the U.S. No. 200 Sieve SP-SM

12% - 50% Passing the U.S. No. 200 Sieve SM/SC

Columbia County Building Permit Application

3075.00

For Office Use Only Application # 0906-63 Date Received 6/30 By TLJ Permit # 27960

Zoning Official BLK Date 2007.09 Flood Zone X Land Use Commercial Zoning CI

FEMA Map # 1/A Elevation 11ft MFE 105.4ft River 11ft Plans Examiner HD Date 7-17-07

Comments Explain on Elevation Letter Request at Slab Inspect SDF 09-1

☒ UNOC ☒ EH ☒ Speed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL 8 Expend

NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft)	=	70.0
Length (ft)	=	130.0
Eave Height (ft)	=	13.2/ 13.2
Roof Slope (rise/12)	=	1.0/ 1.0
Dead Load (psf)	=	2.0
Collateral Load (psf)	=	5.0
Roof Live Load (psf)	=	20.0
Frame Live Load (psf)	=	12.0
Wind Speed (mph)	=	110.0
Wind Code	=	FBC 04
Exposure	=	B
Closed/Open	=	C
Importance Wind	=	1.00
Importance Seismic	=	1.00
Seismic Zone	=	B
Seismic Coeff (Fa*Sa)	=	0.22

Id Description

- 1 DL+CL+LL
- 2 DL+1.30WL1
- 3 DL+1.30WR1
- 4 DL+1.30WL1+1.30WS
- 5 DL+1.30WP+1.30LnWnd1
- 6 DL+1.30WR1+1.30WS

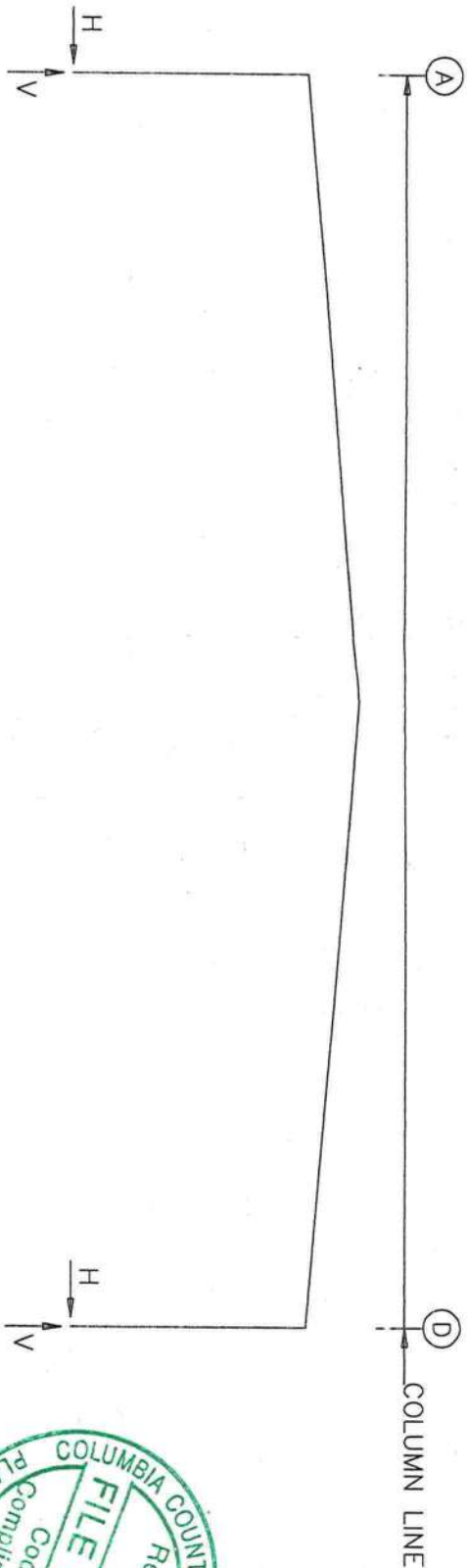
ANCHOR BOLT SUMMARY

Qnt	Loc	Dia (in)	Proj (in)
24	EW	5/8"	3.00
32	RF	1"	3.00

BRACING REACTIONS, PANEL SHEAR

± Reactions (k)				Panel Shear (lb/ft)	
Loc	Line	Col	Wind	Seismic	
L_EW	1	Bracing	Not Used		0
F_SW	D				86
R_EW	6				29
B_SW	A				86

FRAME LINES: 2 3 4 5



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Col Line		Load Id		Hmax H		Column Reactions (k)		V Vmax		Load Id		Hmin H		V Vmin		Anc. Bolt No D(in)		Base Plate (in)		Wid Len		Thk		Grout (in)	
2 *	A	1	1	14.9	18.7	2	-12.5	-14.2	4	1.000	10.00	12.00	0.500	0.0											
2 *	D	3	1	12.5	-14.2	1	-14.9	18.7	4	1.000	10.00	12.00	0.500	0.0											
2 *	D	1	1	-14.9	18.8	3	12.5	-14.2																	

RIGID FRAME: BASIC COLUMN REACTIONS (k)

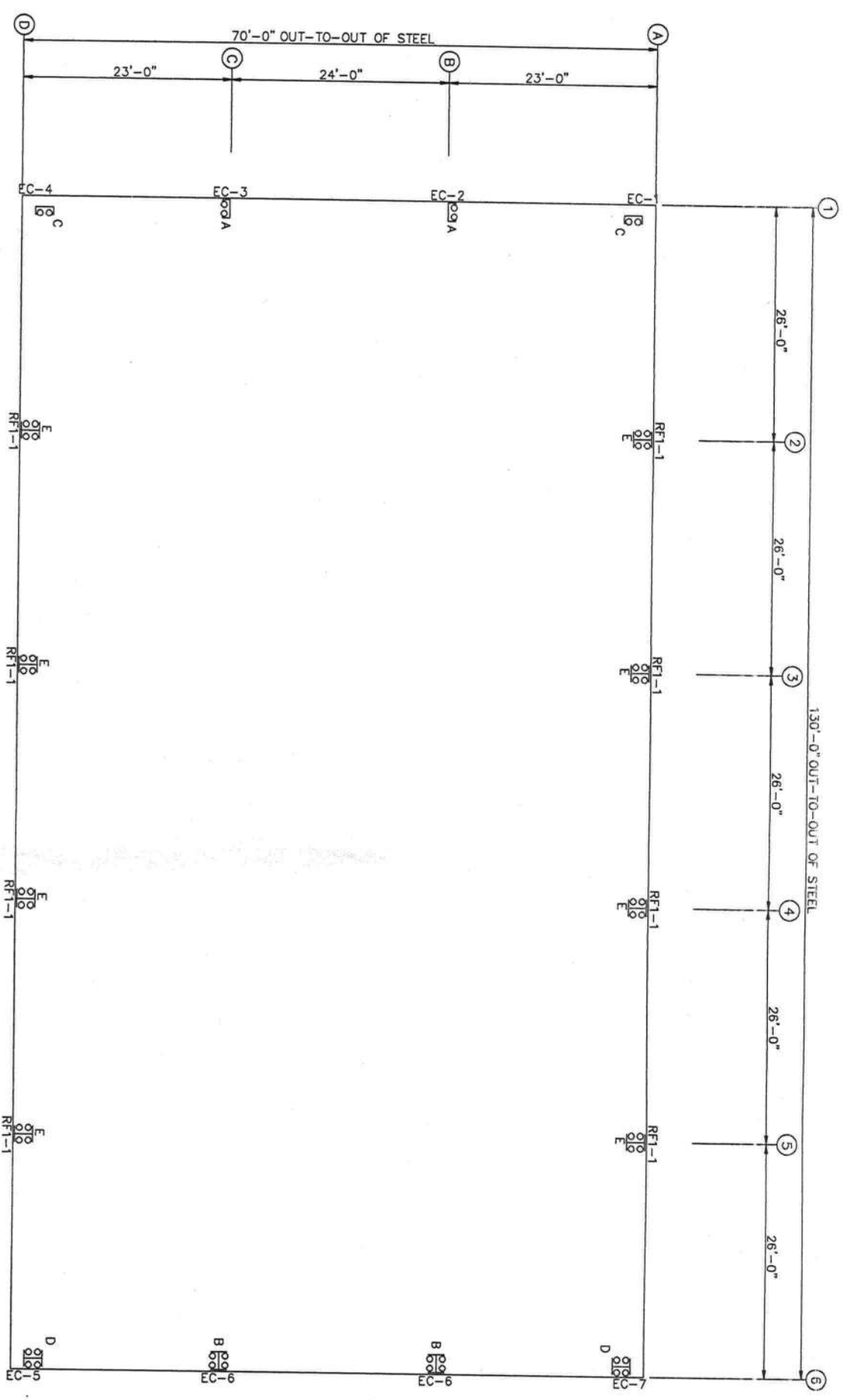
Frame Column Line		Dead Horiz Vert		Collateral Horiz Vert		Live Horiz Vert		Wind_L1 Horiz Vert		Wind_R1 Horiz Vert		Wind_L2 Horiz Vert	
2 *	A	2.18	3.24	3.75	4.57	8.97	10.94	-11.26	-13.42	-7.07	-10.06	-7.47	-7.40
2 *	D	-2.18	3.23	-3.75	4.56	-8.97	10.90	7.07	-10.06	11.26	-13.42	3.22	-4.00
2 *	A	-3.22	-4.00	-7.67	-13.20	-8.12	-10.62	-0.36	-0.12	0.36	0.12		
2 *	D	7.47	-7.40	8.12	-10.62	7.67	-13.20	-0.36	0.12	0.36	-0.12		

ENDWALL COLUMN REACTIONS(k)

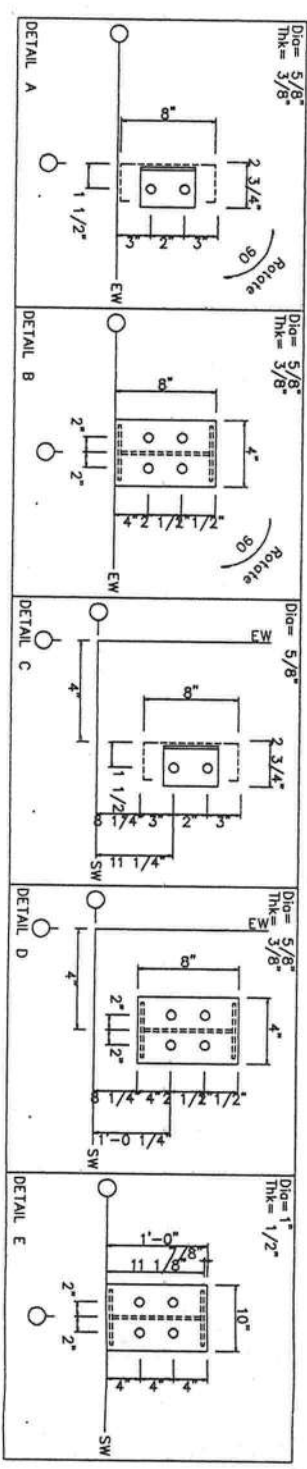
MAXIMUM VERTICAL DL+CL+LL = 8.4
MAXIMUM VERTICAL DL+WL = -5.4
MAXIMUM HORIZONTAL DL+WL = 2.8

SCALE: 3/32" = 1'-0"

6/1/2009
P. Santora



SCALE: 1/16" = 1'-0"



MEMBER TABLE			
ROOF PLAN			
QUAN	MARK	PART	LENGTH
6	P-1	10X25Z14	28'-1 1/2"
42	P-2	10X25Z14	30'-3 1/2"
12	P-3	10X25Z14	28'-1 1/2"
6	P-4	10X25Z14	28'-1 1/2"
1	P-5	10X25Z12	28'-1 1/2"
2	P-6	10X25Z12	28'-1 1/2"
1	P-7	10E14LOW	25'-11 1/2"
6	E-1	10E14LOW	25'-11 1/2"
1	E-2	10E14LOW	25'-11 1/2"
1	E-3	10E14LOW	25'-11 1/2"
1	E-4	10E14LOW	25'-11 1/2"
1	E-5	10E14LOW	25'-11 1/2"
4	CB-1	0.31_CBL	35'-7"
4	CB-2	0.25_CBL	28'-4"

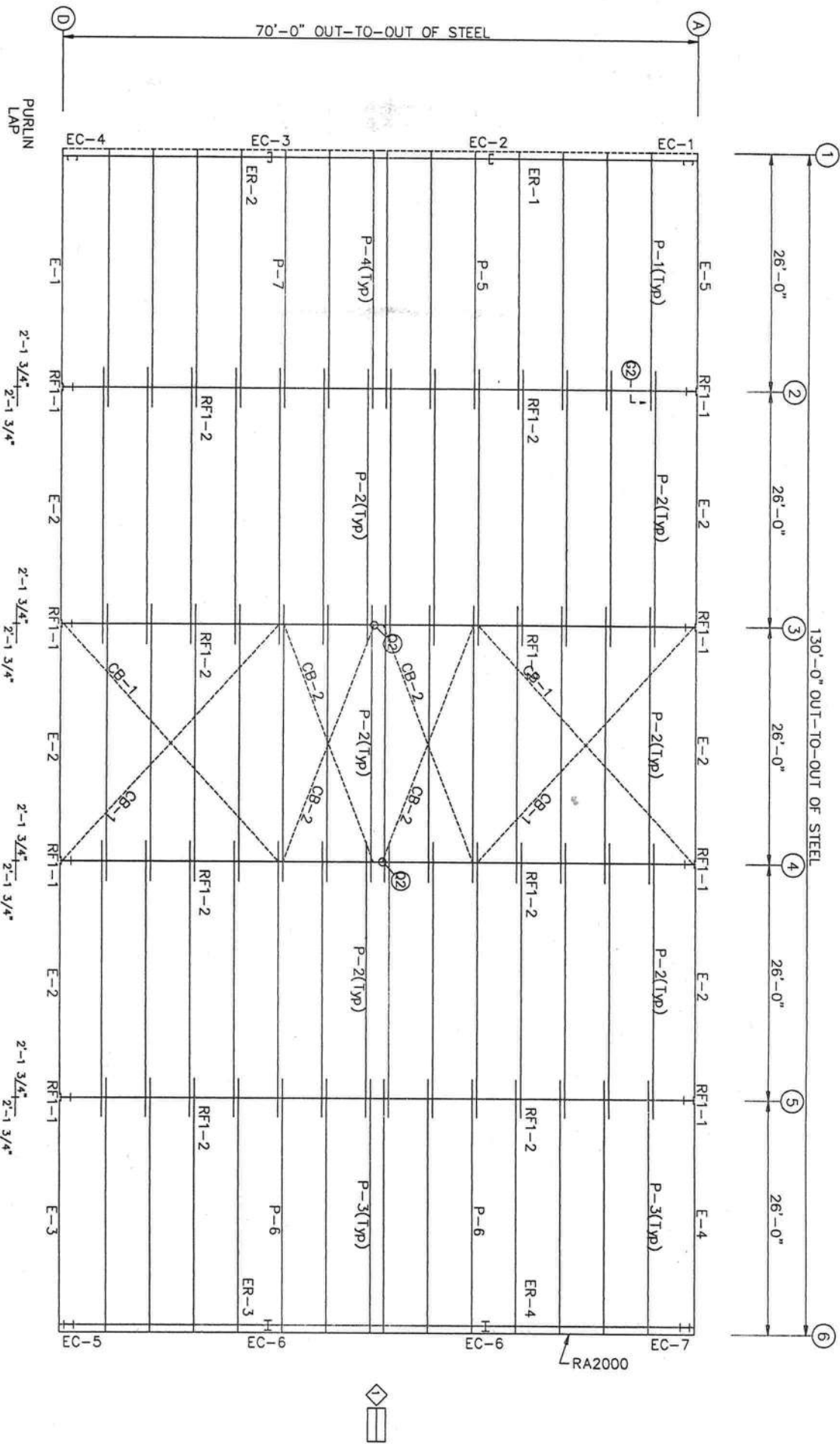
TRIM TABLE			
ROOF PLAN			
QID	QUAN	PART	LENGTH
1	44	SSRC	3'-0"

19'-11 3/4" (65)	15'-8 1/2" (65)	15'-8 1/2" (65)	19'-11 3/4" (65)
---------------------	--------------------	--------------------	---------------------

ROOF
SHEETING
PANELS: 24 Ga. UD -
Galvalume Plus

ROOF FRAMING PLAN

SCALE: 1/16" = 1'-0"



Phase 2 Set
7-7-09

DOLLAR GENERAL STATE ROAD 47 SOUTH

APPROVED DUPLICATE PLANS
SUWANNEE RIVER WATER
MANAGEMENT DISTRICT
REVIEWER INITIALS: LM

CES

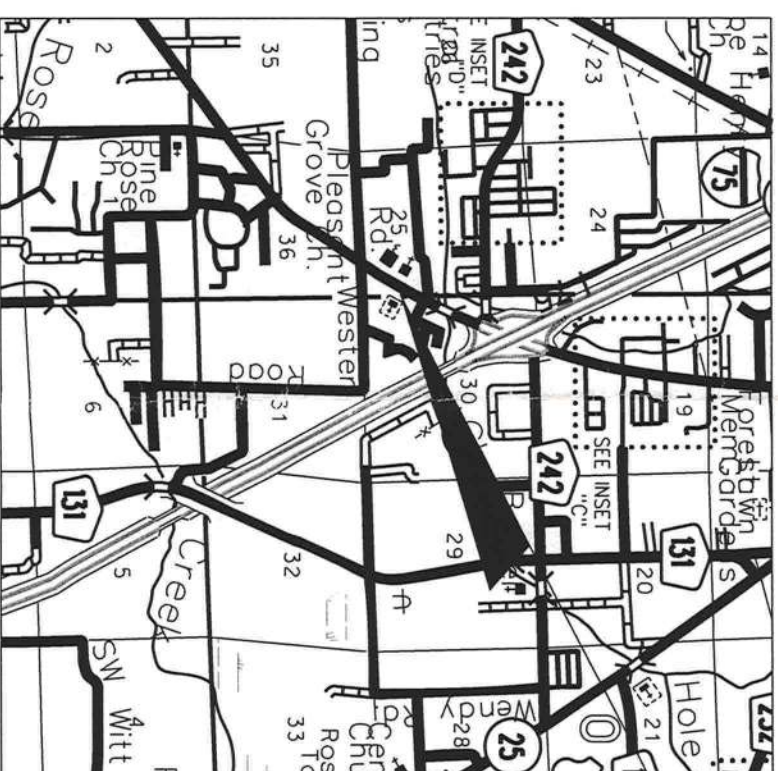
Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085
www.crewsengineering.com

CERTIFICATE OF AUTHORIZATION: NO. 28022

BRETT A. CREWS, P.E. 65592

SITE PLAN FOR:
BRIAN CRAWFORD
CRAWFORD LINTON, LLC
295 NW COMMONS LOOP SUITE 115-391
LAKE CITY, FL 32055



PROJECT LOCATION

INDEX OF SHEETS

- 1 GENERAL NOTES
- 2-3 MISCELLANEOUS NOTES AND DETAILS
- 4 EXISTING CONDITIONS
- 5 SITE PLAN
- 6 PAVING AND DRAINAGE PLAN
- 7 STORMWATER POND
- 7 MISCELLANEOUS FDOT DESIGN STANDARDS

LOCATION MAP

SECTION 25, TOWNSHIP 4 SOUTH, RANGE 16 EAST
SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST
COLUMBIA COUNTY, FLORIDA

RECEIVED
SRWMD

JUL 10 2009

South
7-9-09

CES PROJECT ID:
2009-003
Duplicate

PARENT PARCEL ID: 30-4S-17-08901-000

ORIGINAL TO FILE _____
COPIES TO _____

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY & PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
3. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
4. THE STORM WATER MANAGEMENT SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH SRWMD RULES AND REGULATIONS (CH. 40B-4 F.A.C.).
5. THE PROPOSED STORM WATER BASIN SHALL BE CONSTRUCTED INITIALLY TO SERVE AS A SEDIMENT TRAP DURING CONSTRUCTION.
6. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
7. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
8. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS.
9. SITE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT LIMITS.
10. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CURRENT FDOT DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
11. ALL STORM SEWER PIPES SHALL HAVE A MINIMUM COVER OF 6". LIMEROCK BACKFILL SHALL BE USED IF PIPE UNDER PAVEMENT HAS LESS THAN 12" COVER.
12. ALL SWALES, DEPRESSION AREAS AND RETENTION PONDS SHALL BE INSPECTED MONTHLY FOR SINKHOLE OCCURENCE. SHOULD A SINKHOLE OCCUR, THE AREA SHOULD BE REPAIRED AS SOON AS POSSIBLE. IF A SOLUTION PIPE SINKHOLE FORMS WITHIN THE STORM WATER SYSTEM, THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH A LOW PERMEABILITY MATERIAL. A 2-FOOT CAP THAT EXTENDS 2 FEET BEYOND THE PERIMETER OF THE SINKHOLE SHALL BE CONSTRUCTED WITH CLAYEY SOILS. THE CLAYEY SOIL SHOULD HAVE AT LEAST 20% PASSING THE NUMBER 200 SIEVE, COMPACTED TO 95% OF STANDARD PROCTOR, AND COMPACTED IN A WET CONDITION WITH MOISTURE 2%-4% ABOVE OPTIMUM. THE CLAY SOIL CAP SHALL BE RE-GRADED TO PREVENT PONDING AND RE-VEGETATED.
13. ALL NEW TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE CURRENT FDOT DESIGN STANDARDS.
14. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH CURRENT FDOT DESIGN STANDARDS. THE CONTRACTOR SHALL SUBMIT A MAINTENANCE OF TRAFFIC PLAN TO THE COUNTY ENGINEER FOR APPROVAL PRIOR TO BEGINNING WORK WITHIN COUNTY RIGHT OF WAY.

GENERAL NOTES CONT.

15. CONTRACTOR SHALL CONTACT COLUMBIA COUNTY BUILDING AND ZONING DEPARTMENT TO PERFORM THE FOLLOWING SITE INSPECTIONS:
A) EROSION AND SEDIMENT CONTROL - PRIOR TO BEGINNING CONSTRUCTION
B) SITE COMPLIANCE - ONCE BUILDING FOUNDATION IS POURED AND IMPROVEMENTS ARE STAKED OUT
C) FINAL SITE COMPLIANCE - ONCE ALL IMPROVEMENTS ARE FINALIZED
 16. CONTRACTOR SHALL CONTACT SRWMD AND ENGINEER OF RECORD 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- EROSION CONTROL NOTES
1. CONTRACTORS SHALL ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN AND USE (AS A MINIMUM) THE MEASURES DESCRIBED ON THE EROSION CONTROL NOTES AND DETAILS SHEET.
 2. ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL ADHERE TO EROSION AND SEDIMENT CONTROL REGULATIONS AS SET BY SRWMD AND OTHER GOVERNING AUTHORITIES.
 4. SEDIMENT AND EROSION CONTROL PLAN AND STORM WATER MANAGEMENT FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
 5. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL MEASURES AS REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHOULD USE BMPs IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL TO IMPLEMENT A PLAN THAT WILL WORK AND MEET ACTUAL FIELD CONDITIONS.
 6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
 7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED IMMEDIATELY AND RIP RAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
 8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
 9. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO WITHIN ONE FOOT OF TOP OF SILT FENCE.
 10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
 11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS.
 12. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY TO PREVENT EROSION.
 13. ALL SLOPES GREATER THAN 4H:1V SHALL BE STABILIZED WITH SOD. STAPLE SOD SHALL BE USED ON SLOPES GREATER THAN 2H:1V.
 14. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK-GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.

EROSION CONTROL NOTES CONT.

15. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN THREE (3) DAYS.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS AND EXCESS DIRT REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE STOCKPILE AREAS, SILT FENCE, CONSTRUCTION ENTRANCE, AND ALL DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCHES OR GREATER. CORRECTIVE ACTIONS SHALL BE TAKEN IMMEDIATELY.
19. CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS DURING PROPOSED CONSTRUCTION.

REVISIONS			
DATE	BY	DESCRIPTION	

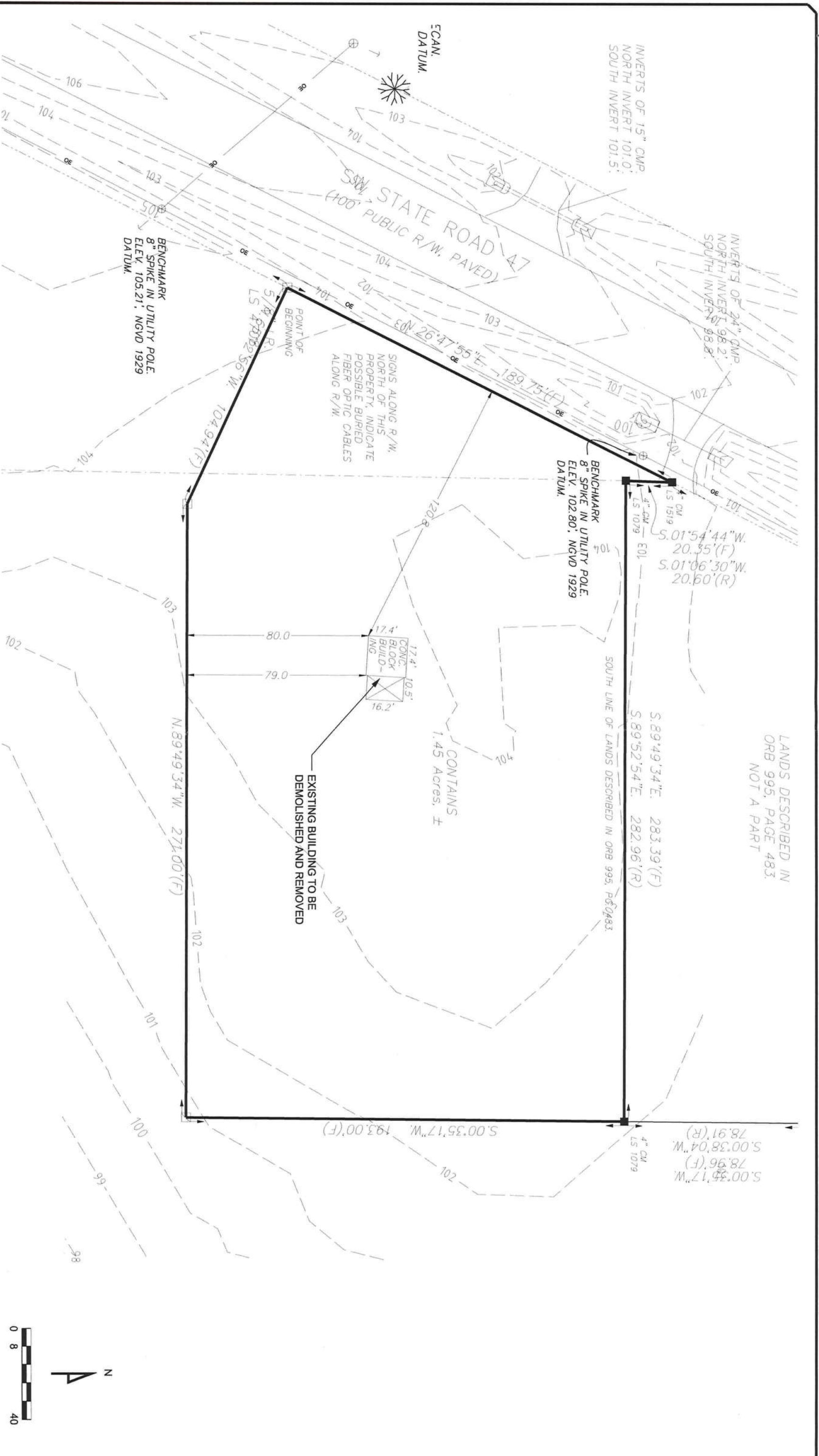
<div><div><div>CES</div><div>Crews Engineering Services, LLC</div></div><div>CERTIFICATE OF AUTHORIZATION NO. 28022 P.O. BOX 970 LAKE CITY, FL 32056 PHONE: 386.754.4085</div></div>		<div> Brett A. Crews, P.E. 65592</div>	<div>BC</div> <div>APPROVED BY:</div>	<div>DOLLAR GENERAL SR47 SOUTH</div> <div>GENERAL NOTES</div>	<div>CES PROJECT NO.: 2009-003</div> <div>SHEET: 1</div>
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-
- PLAN**
- ENERGY DISSIPATION PAD
- 6" HEADER CURB
- VARIES
- SLOPE TO POND BOTTOM
- SECTION A-A**
- 5 #5 REBAR THROUGHOUT
- PROVIDE 1/8"-1/4" CONTRACTION JOINTS 10' CENTERS MAXIMUM.
- 2500 PSI CONCRETE W/ FIBER MESH
- #5 SADDLE ON 4' CENTERS
- 6" VARIES 6"
- SOD STRIP (TYP)



<div>CES</div> <div>Crews Engineering Services, LLC</div>	<div>CERTIFICATE OF AUTHORIZATION</div> <div>NO. 28022</div> <div>P.O. BOX 970</div> <div>LAKE CITY, FL 32056</div> <div>PHONE: 386.754.4085</div>		<div>Brett A. Crews, P.E. 65592</div>	DRAWN BY:	<div>DOLLAR GENERAL</div> <div>SR47 SOUTH</div>	CES PROJECT NO.:
				BC		2009-003
				APPROVED BY:		
				BC		
				MISCELLANEOUS NOTES AND DETAILS	SHEET:	
					2	



LANDS DESCRIBED IN
ORB 995, PAGE 483.
NOT A PART

REVISIONS			
DATE	BY	DESCRIPTION	



CERTIFICATE OF AUTHORIZATION
NO. 28022
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Brett A. Crews
2-9-09
Brett A. Crews, P.E. 65592

DRAWN BY: BC	DOLLAR GENERAL SR47 SOUTH	CES PROJECT NO.: 2009-003
APPROVED BY: BC		EXISTING CONDITIONS
		SHEET: 4

GENERAL PROJECT INFORMATION

FUTURE LAND USE: COMMERCIAL
ZONING: COMMERCIAL INTENSIVE

DEVELOPMENT DATA

TOTAL SITE AREA = 63,162 SF = 1.45 ACRES

EXISTING CONDITIONS

BUILDING AREA = 473 SF

PROPOSED CONDITIONS

BUILDING AREA = 9,100 SF (7,161 SF NON-STORAGE)

ASPHALT PARKING AREA = 25,559 SF

CONCRETE PAVEMENT AREA = 2,111 SF

TOTAL IMPERVIOUS AREA = 36,770 SF (58.2% SITE AREA)

FAR = 9,100 SF / 63,162 = 0.14

MINIMUM BUILDING/YARD SETBACKS PER LDR

FRONT YARD = 20'

REAR YARD = 15'

SIDE YARD = 5'

PARKING CALCULATIONS

COMMERCIAL SERVICE ESTABLISHMENT:

1 SPACE PER 150 SF OF NON-STORAGE AREA

REQUIRED PARKING = 7,160 SF / 150 = 47 SPACES

AVAILABLE PARKING = 51 SPACES

ACCESSIBLE PARKING :

2 PER 50 REQUIRED SPACES = 2 SPACES

BOUNDARY AND TOPOGRAPHICAL SURVEY

THE BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION

SHOWN IN THESE PLANS IS BASED ON A SURVEY BY MARK .D. DUREN

AND ASSOCIATES, LS 4708, DATED 02-13-2009

ELEVATIONS BASED ON NGVD 1929 DATUM

UTILITIES

WATER SERVICE: TO BE PROVIDED BY PRIVATE WELL

WASTEWATER SERVICE: TO BE PROVIDED BY ON-SITE SEPTIC SYSTEM

ELECTRIC SERVICE: PROVIDED BY CONNECTION TO CLAY ELECTRIC

FACILITIES ALONG SR47

DRAINAGE

THE PROPOSED STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO

MEET SRWMD RULES AND REGULATIONS AS A DRY RETENTION POND

LANDSCAPING

REQUIRED LANDSCAPED AREA:

10% OF PARKING AREA = 25,559 SF * 10% = 2,556 SF

LANDSCAPE AREA PROVIDED = 4,700 SF

REQUIRED TREES

1 TREE PER 200 SF OF REQUIRED LANDSCAPED AREA

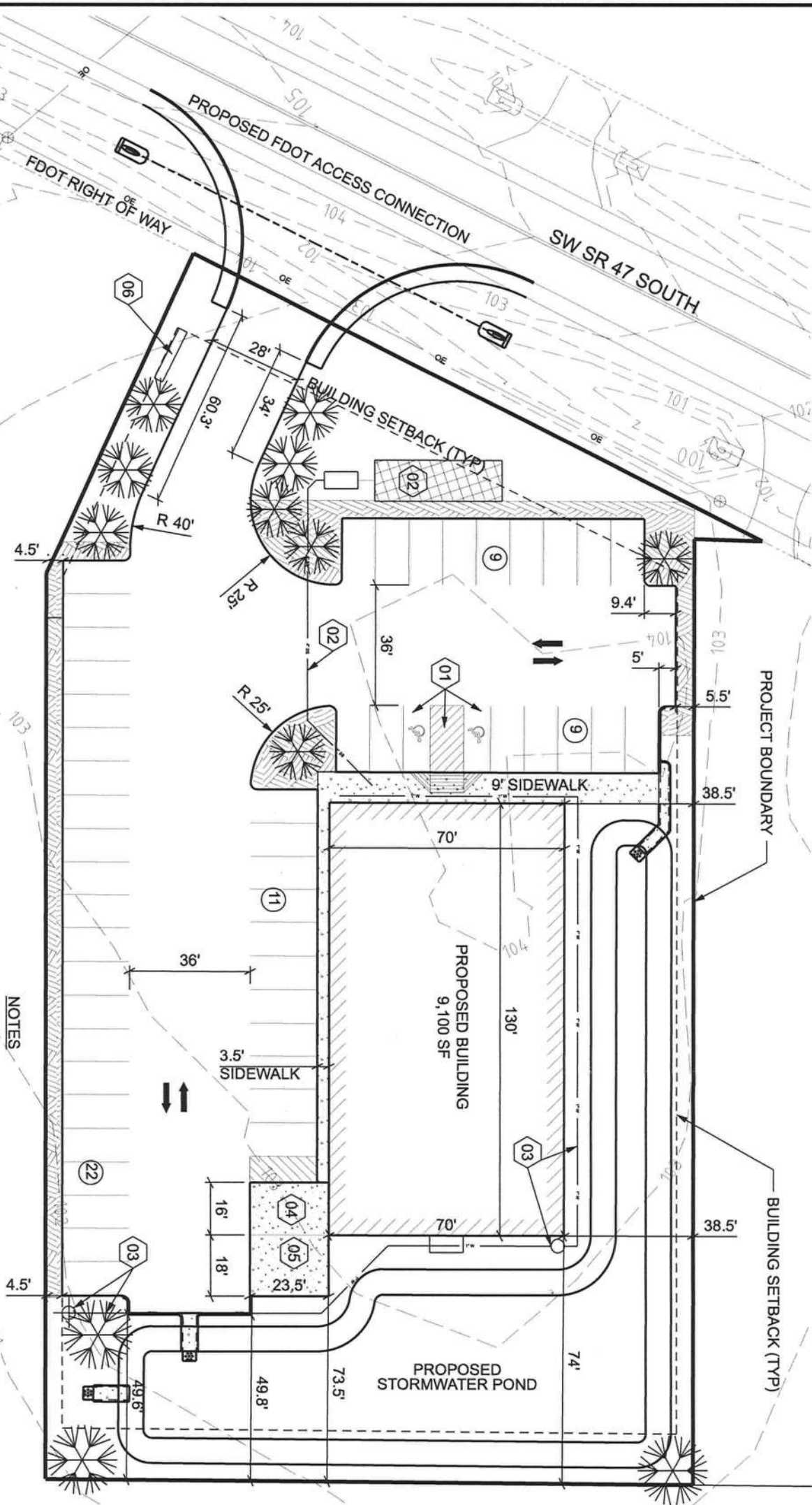
OF REQUIRED TREES = 2,665 / 200 = 13 TREES

PROVIDED TREES: 13

PROVIDED TREES: 13



N
A



LEGEND

AVAILABLE PARKING SPACES

TRAFFIC FLOW

AREA TO BE LANDSCAPED WITH GRASS,
PLANTS, SHRUBS AND/OR TREES

PROPOSED CONCRETE PAVEMENT

PROPOSED CONOPY TREE
SHALL BE A MINIMUM OF 4' OVERALL HEIGHT
IMMEDIATELY AFTER PLANTING

NOTES

01 OFFSTREET PARKING
SEE DETAILS ON SHEET 3

02 APPROXIMATE LOCATION OF PROPOSED WASTEWATER SYSTEM
TO BE DESIGNED AND PERMITTED BY OTHERS
SEE ARCHITECTURAL PLANS FOR CONTINUATION

03 APPROXIMATE LOCATION OF PROPOSED DRINKING WATER SYSTEM
TO BE DESIGNED AND PERMITTED BY OTHERS
SEE ARCHITECTURAL PLANS FOR CONTINUATION

04 CONCRETE DELIVERY PAD
RAMP DOWN TO PAVEMENT
SEE DETAIL ON SHEET 3

05 CONCRETE DUMPSTER PAD

06 LIGHTED PYLON SIGN WITH
UNDERGROUND ELECTRICAL

DATE	BY	DESCRIPTION

REVISIONS	DATE	BY	DESCRIPTION

CES

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Crews Engineering Services, LLC

Brett A. Crews
2.9.09

Brett A. Crews, P.E. 65592

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BC

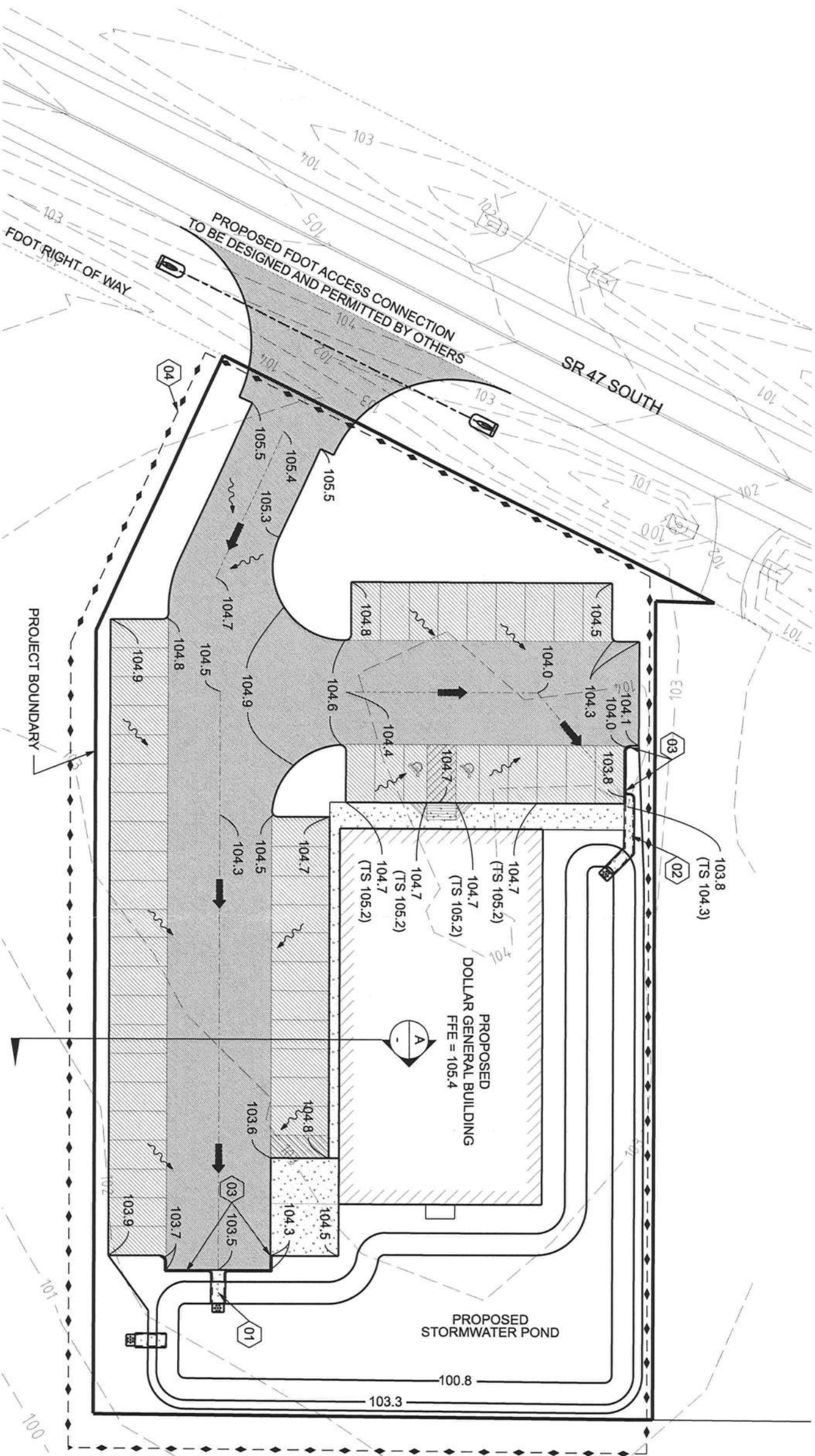
**DOLLAR GENERAL
SR47 SOUTH**

SITE PLAN

CES PROJECT NO.:
2009-003

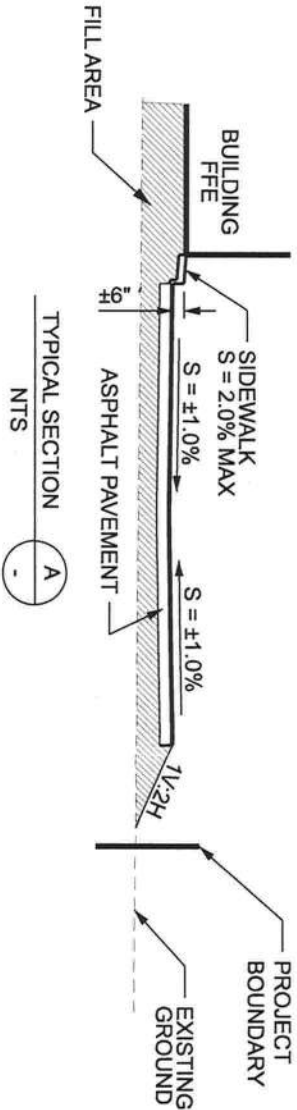
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5

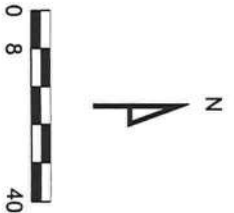


DENOTES STANDARD DUTY PAVEMENT WITH YELLOW STRIPING SEE DETAIL ON SHEET 2

DENOTES HEAVY DUTY PAVEMENT SEE DETAIL ON SHEET 2

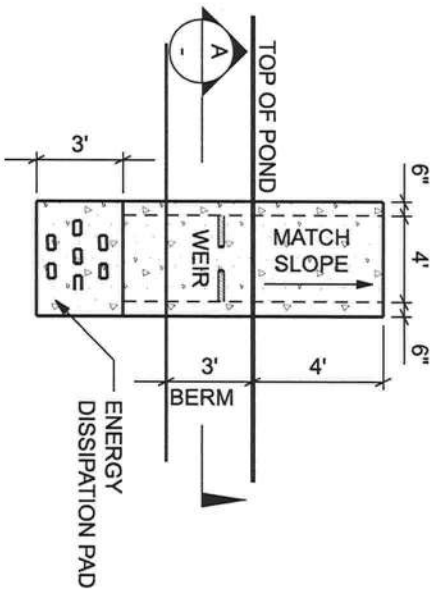
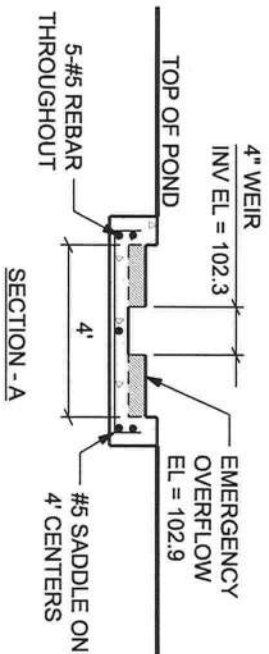


- NOTES
- 01 4' WIDE CONCRETE FLUME, SEE DETAIL
 - 02 3' WIDE CONCRETE FLUME, SEE DETAIL
 - 03 BEGIN / END HEADER CURB, ±62 LF (TOTAL) SEE DETAIL
 - 04 SILT FENCE, ±1000 LF INSTALL AROUND PERIMETER OF CONSTRUCTION SITE FDOT INDEX NO. 102



REVISIONS		DESCRIPTION	
DATE	BY	DATE	BY

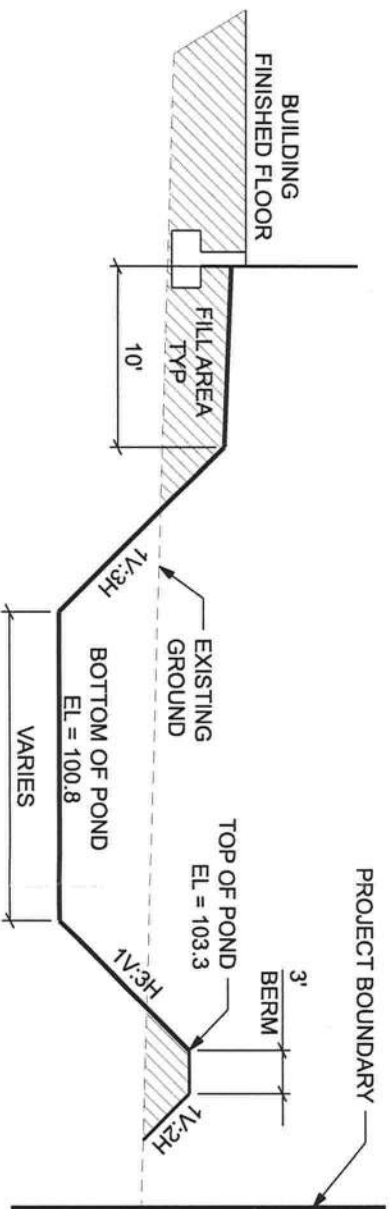
CES		CERTIFICATE OF AUTHORIZATION	
CREWS ENGINEERING SERVICES, LLC		P.O. BOX 970 LAKE CITY, FL 32056 PHONE: 386.754.4085	
Brett A. Crews, P.E. 65592		APPROVED BY: BC	
DRAWN BY: BC		DOLLAR GENERAL SR47 SOUTH	
PAVING AND DRAINAGE PLAN		SHEET: 6	
		CES PROJECT NO.: 2009-003	



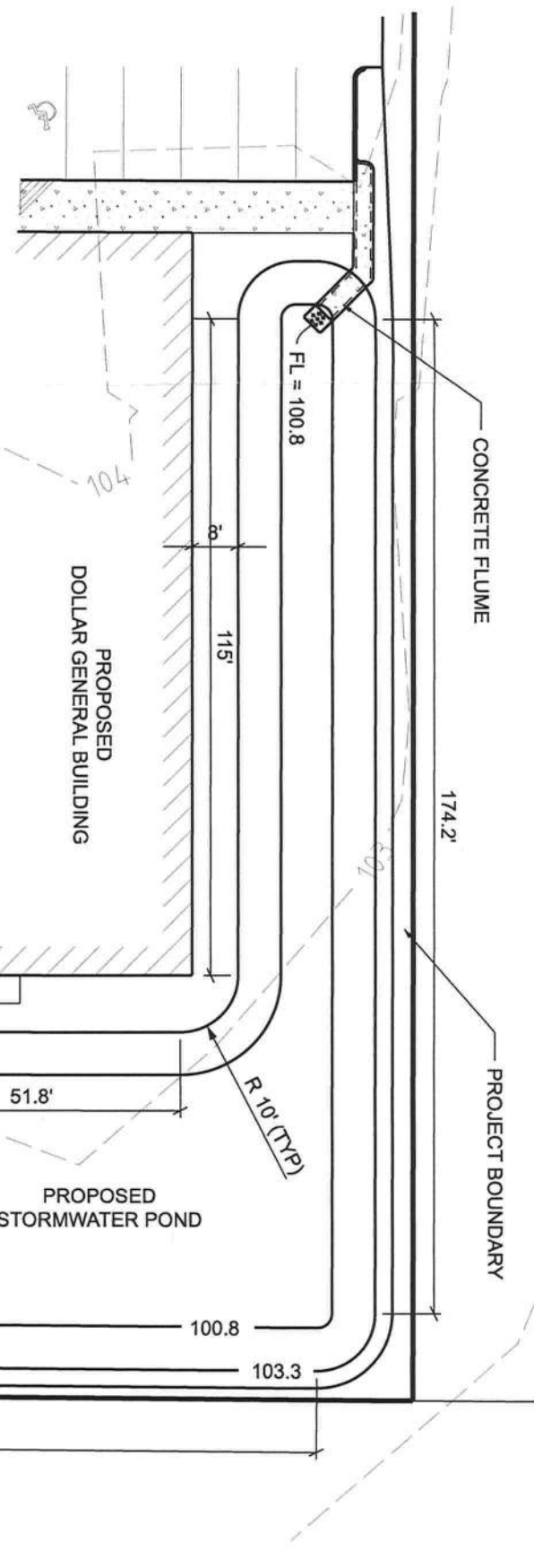
PLAN

PROVIDE 1/8"-1/4" CONTRACTION
JOINTS 10' CENTERS MAXIMUM.
2500 PSI CONCRETE
W/ FIBER MESH

OUTFALL FLUME DETAIL
B
NTS



CROSS SECTION
A
NTS



REVISIONS			
DATE	BY	DESCRIPTION	

CES

Crews Engineering Services, LLC

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DOLLAR GENERAL

SR47 SOUTH

STORMWATER POND

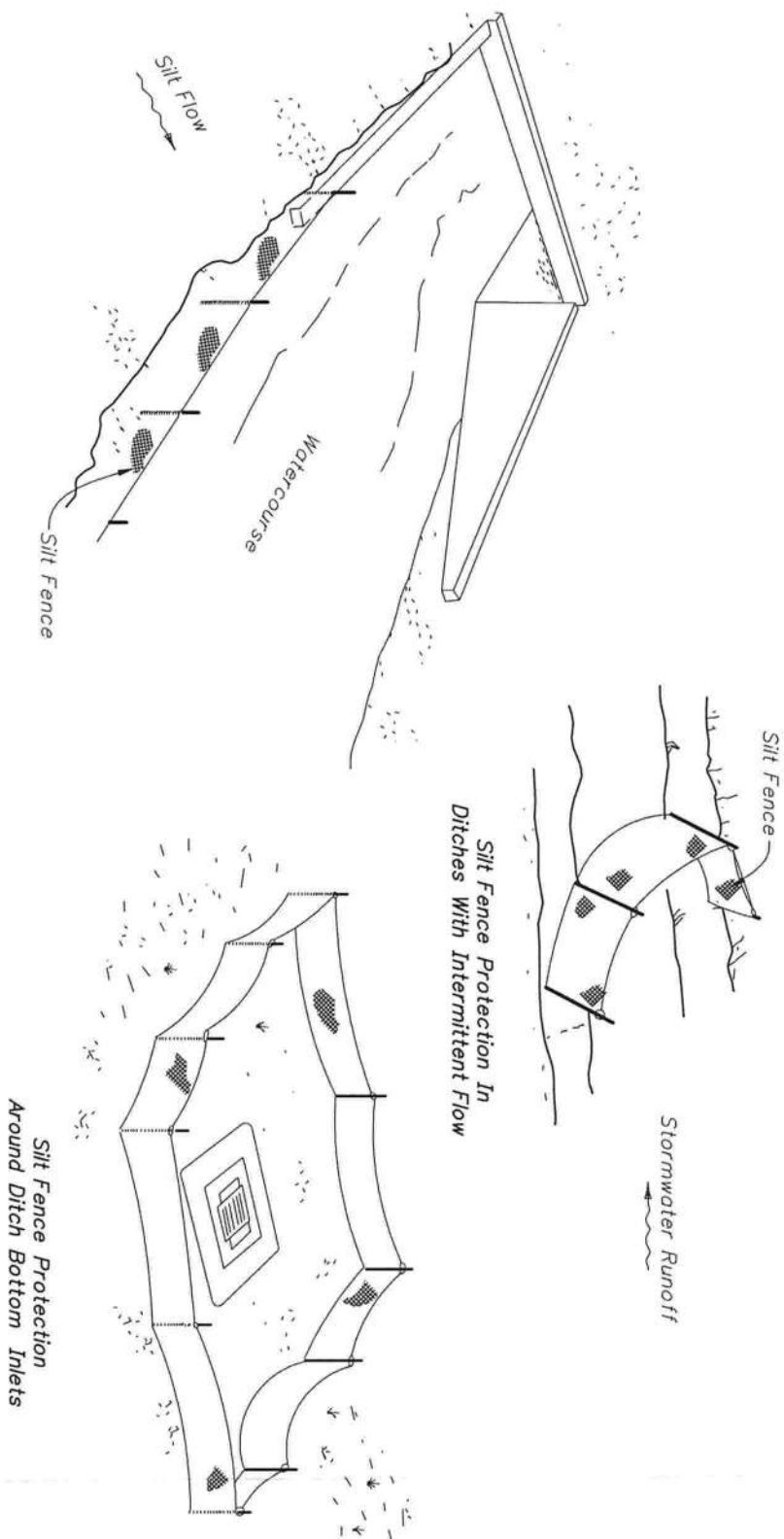
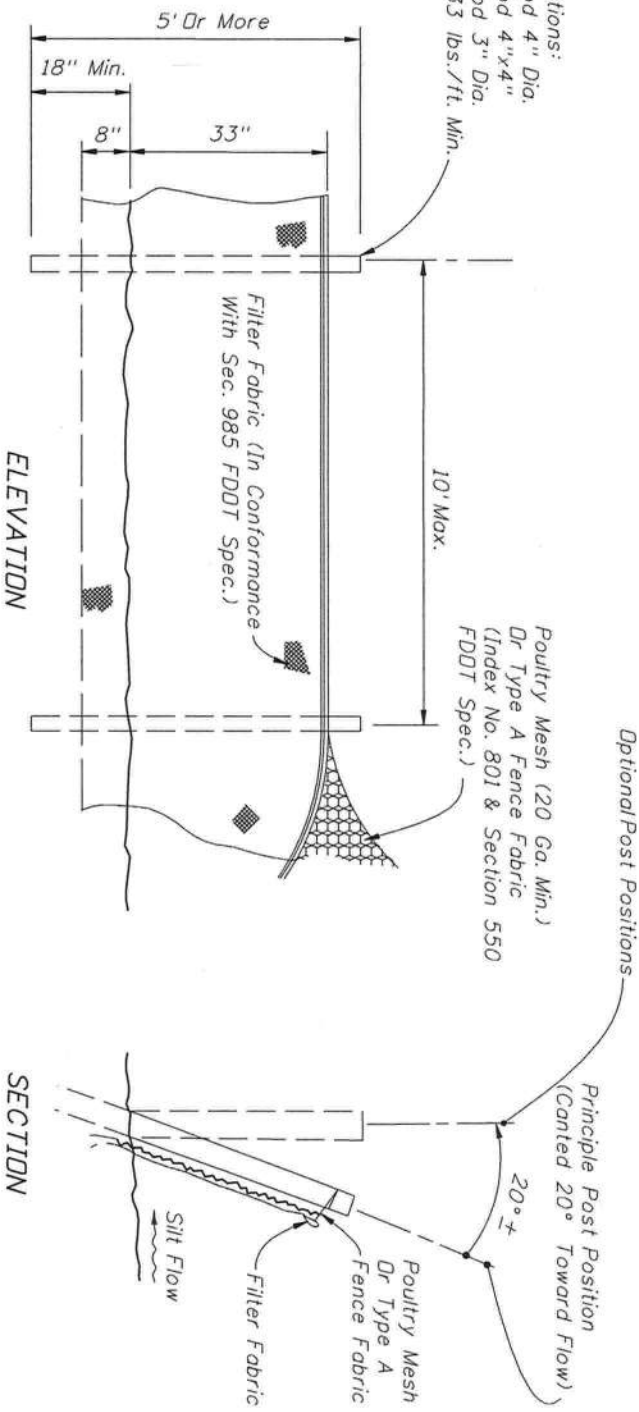
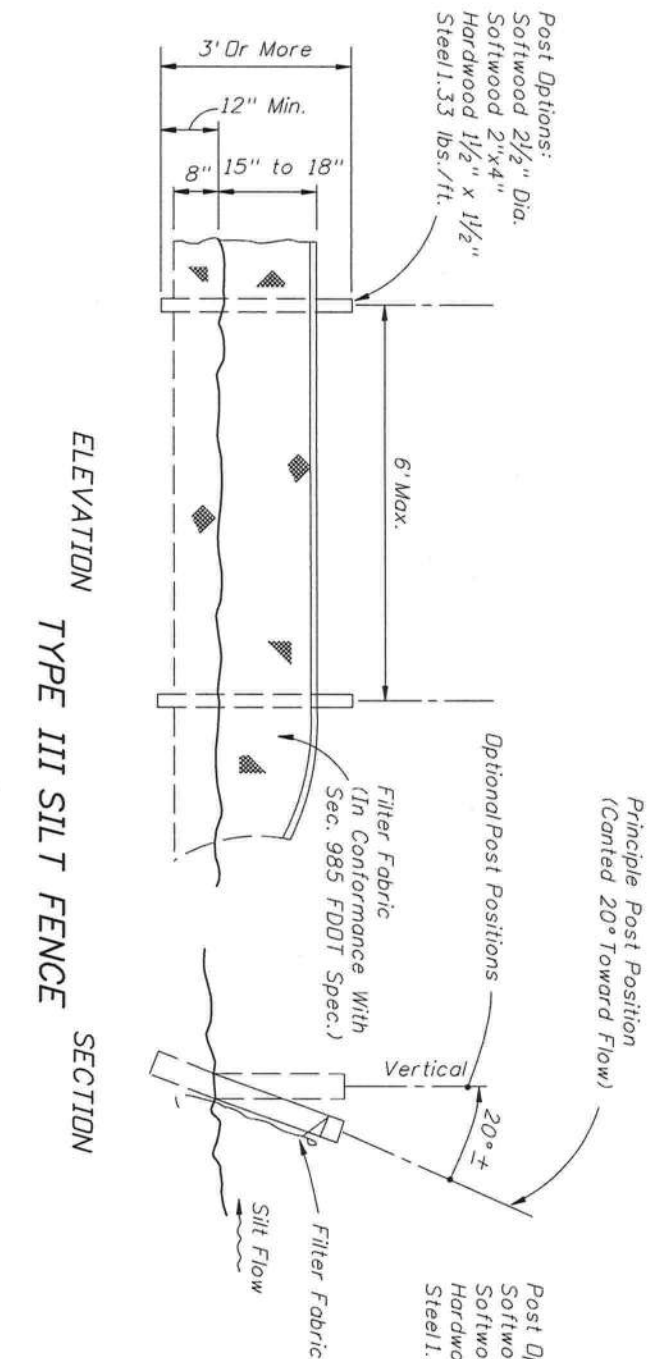
CES PROJECT NO.:

2009-003

SHEET:

7

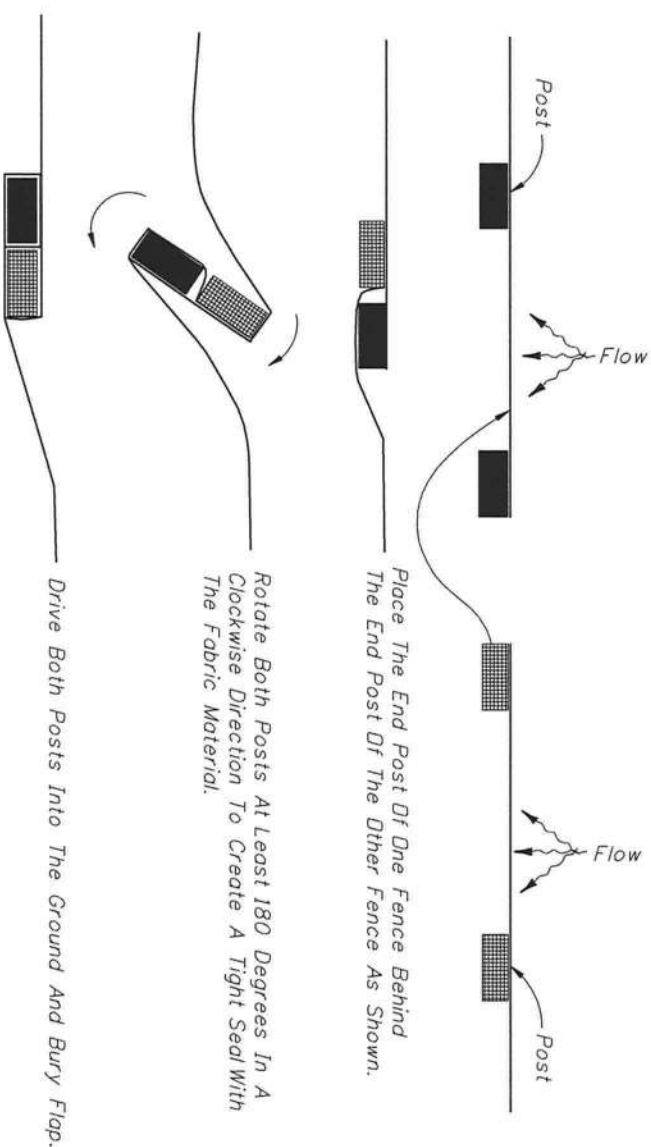
Brett A. Crews, P.E. 65592



SILT FENCE APPLICATIONS

NOTES FOR SILT FENCES

1. Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt fence shall be in accordance with Chart 1, Sheet 1.
2. Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
3. Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
4. Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
5. Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (LF).



2008 FDOT Design Standards

TEMPORARY EROSION AND SEDIMENT CONTROL

Last
Revision
07/01/05

Sheet No.
3 of 3

Index No.
102