

DATE 08/28/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027300

APPLICANT NADEAN MCINTOSH PHONE 754-8678
ADDRESS 289 NW CORNITH DR LAKE CITY FL 32055
OWNER MARY SCHMITZ PHONE 386.752.6960
ADDRESS 208 SE LINDALE GLEN LAKE CITY FL 32025
CONTRACTOR MICHAEL DELAHOZ PHONE 754-8678
LOCATION OF PROPERTY E. BAYA TO COUNTRY CLUB,TR 1/2 MILE TO S.D.ON L @ LINDALE
THEN 5TH PLACE ON R.
TYPE DEVELOPMENT SCREEN ENCLOSURE ESTIMATED COST OF CONSTRUCTION 6743.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 03-4S-17-07486-118 SUBDIVISION HAIGHT-ASHBURY
LOT 18 BLOCK PHASE UNIT TOTAL ACRES 4.60

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X08-276 CS WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE

Check # or Cash 3718

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 35.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 35.00
INSPECTORS OFFICE L. J. Hobbs CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

010# 3718

For Office Use Only Application # C808-40 Date Received 8/25/08 By GA Permit # 27300
Zoning Official afw Date 8/28/08 Flood Zone N/A Land Use R/LD Zoning RSF-2
FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner (WR) Date 8/27/08
Comments _____
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
School _____ = TOTAL _____

Septic Permit No. _____ Fax 386-755-1751
Name Authorized Person Signing Permit Robert or Madean M Intosh Phone 386-754-8678
Address 289 NW Corinth Dr Lake City, FL 32055
Owners Name Schmitz, Mary Phone _____
911 Address 208 SE Lindale Glen Lake City, FL 32025
Contractors Name Michael A Delahoz Phone 386-754-8678
Address 927 Hickory St Altamonte Springs, FL 32701
Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address Dokim & Ass. LLC 3300 Henderson Blvd Tampa FL 33684
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 03-48-17-07486-118 Estimated Cost of Construction 6743.00
Subdivision Name Haight Ashbury S/D Lot 18 Block _____ Unit _____ Phase _____
Driving Directions SE Country Club Rd (CR 133) Left on SE Lindale Glen, 5th house on right
Number of Existing Dwellings on Property 1

Construction of Pool Enclosure Total Acreage .460 Lot Size _____
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____
Actual Distance of Structure from Property Lines - Front 87' Side 33' Side 63' Rear 66'
Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

21 revised Dec Dec 8.28.08

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 03-4S-17-07486-118

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 18 Haight Ashbury S/B WD1021-2921
a) Street (job) Address: 208 SE Lindale Glen Lake City FL 32025
2. General description of improvements: Pool Enclosure
3. Owner Information
a) Name and address: Schmitz, Mary 208 SE Lindale Glen Lake City FL 32025
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property: owner
4. Contractor Information
a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City FL
b) Telephone No.: 386-754-8678 Fax No. (Opt.): 32055
5. Surety Information
a) Name and address: N/A
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.): _____
6. Lender
a) Name and address: N/A
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).
Florida Statutes:
a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr
b) Telephone No.: _____ Fax No. (Opt.): Lake City FL 32055
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

Mary L. Schmitz
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Mary L Schmitz
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 16th day of Aug, 2008, by:
_____ as _____ (type of authority, e.g. officer, trustee, attorney
fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification ☒ Type _____

Notary Signature Nadean G.S. McIntosh Notary Stamp or Seal:



Nadean G.S. McIntosh
Commission # DD371494
Expires November 14, 2008
Bonded Troy Fain - Insurance, Inc. 800-345-7019

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



Columbia County Property Appraiser
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 03-4S-17-07486-118 HX - SINGLE FAM (000100)

Name: SCHMITZ MARY L	LandVal	\$18,000.00
Site: LINDALE	BldgVal	\$94,436.00
208 SE LINDALE GLN	ApprVal	\$115,826.00
LAKE CITY, FL 32025	JustVal	\$115,826.00
Sales 11/14/2007 \$138,000.00 / Q	Assd	\$113,630.00
Info 6/30/2004 \$115,000.00 V / U	Exmpt	\$50,000.00
	Taxable	\$63,630.00

0 18 36 54 ft

This information, GIS Map Updated: 8/5/2008, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Columbia County Property Appraiser

DB Last Updated: 8/5/2008

Parcel: 03-4S-17-07486-118 HX

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

<< Prev

Search Result: 2 of 3

Next >>

Owner's Name	SCHMITZ MARY L		
Site Address	LINDALE		
Mailing Address	208 SE LINDALE GLN LAKE CITY, FL 32025		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	3417.00	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.460 ACRES		
Description	LOT 18 HAIGHT-ASHBURY S/D. WD 1021-2921, WD 1136-476		

GIS Aerial**Property & Assessment Values**

Mkt Land Value	cnt: (1)	\$18,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$94,436.00
XFOB Value	cnt: (1)	\$3,390.00
Total Appraised Value		\$115,826.00

Just Value		\$115,826.00
Class Value		\$0.00
Assessed Value		\$113,630.00
Exempt Value	(code: HX)	\$50,000.00
Total Taxable Value		\$63,630.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
11/14/2007	1136/476	WD	I	Q		\$138,000.00
6/30/2004	1021/2921	WD	V	U	02	\$115,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2006	(32)	1428	1968	\$94,436.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2006	\$3,390.00	1130.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.000 LT - (.460AC)	1.00/1.00/1.00/1.00	\$18,000.00	\$18,000.00

Columbia County Property Appraiser

DB Last Updated: 8/5/2008

<< Prev

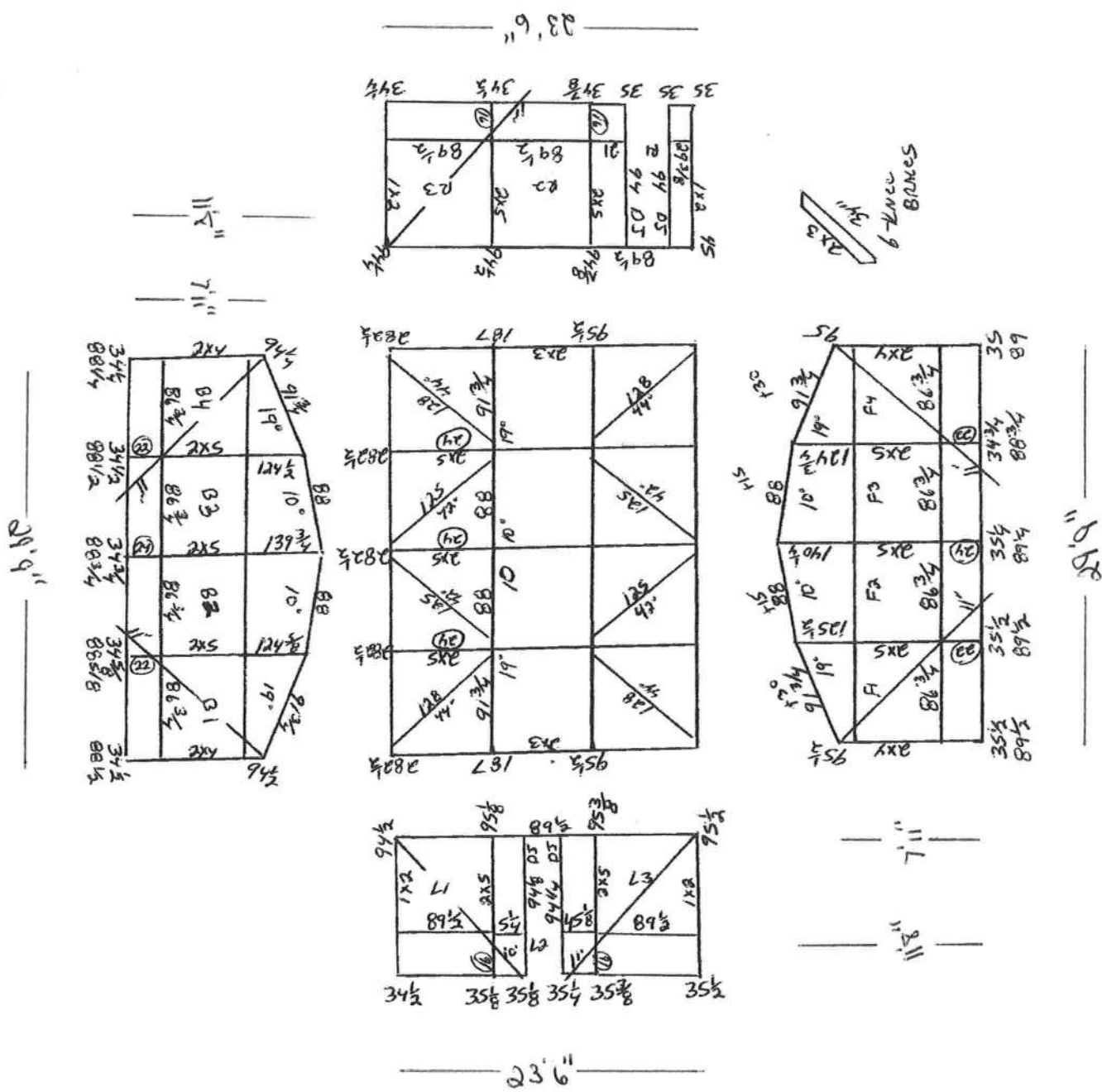
2 of 3

Next >>

FRI LAKE CITY
Schmitz JOB

MAT'L LIST

- 8-2x5 pcs 24'
- 4-2x5 pcs 28'
- 4-2x5 pcs 16'
- 2-2x4 x 24'
- 12-2x3 x 24'
- 2-2x2 x 24'
- 4-2x2 x 30'
- 4-1x2 x 30'
- 6-2x2 x 24'
- 2-D.B.A.M.B
- 2-00005
- 2-2-11 96"
- 1-2-11 90"
- 6-11' cables
- 1-10' cable



DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

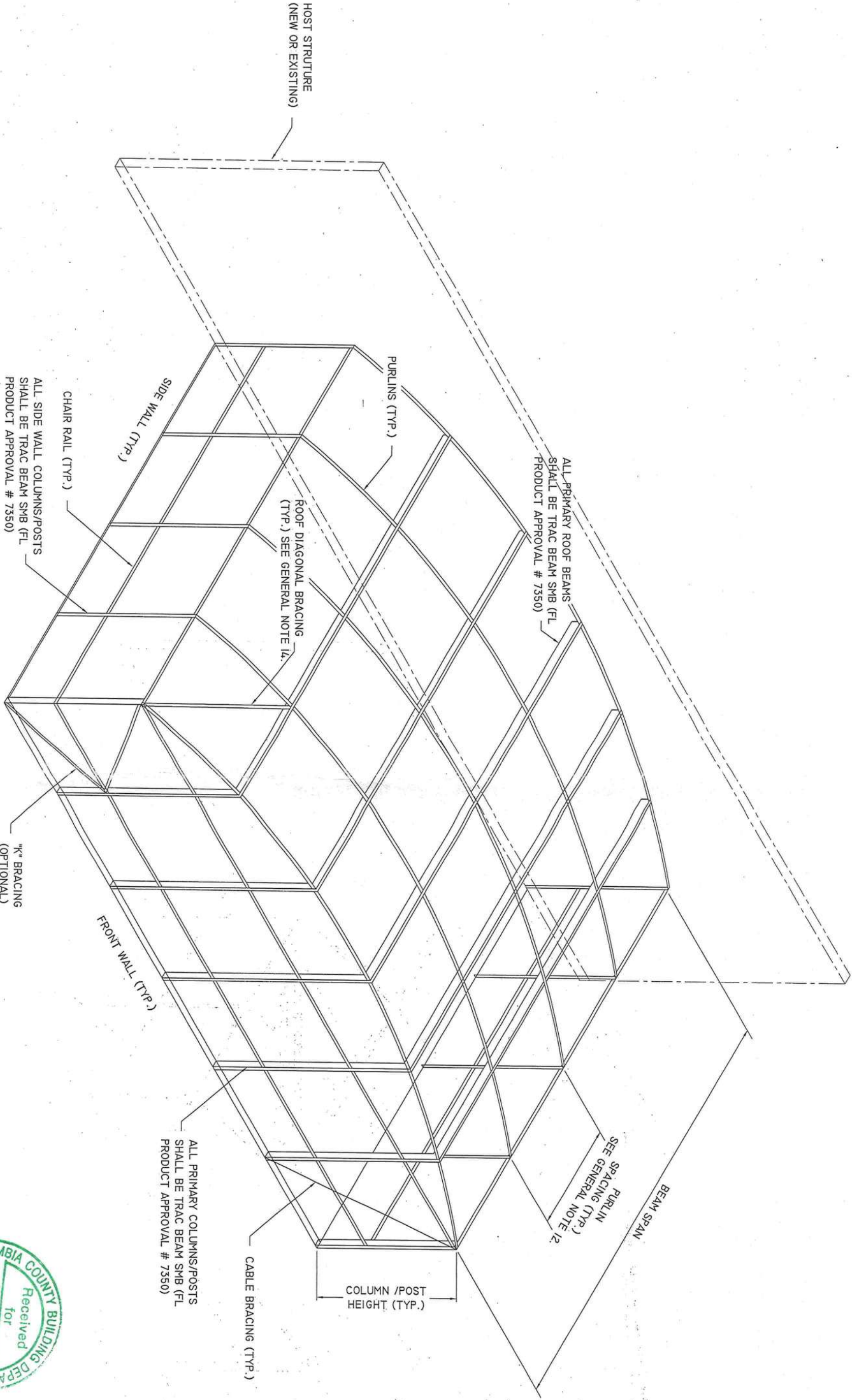
3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
0/05 2006	ISSUED
1/08 2006	ADDED MANSARD SPICE CONNECTION
1/031 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33694



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.

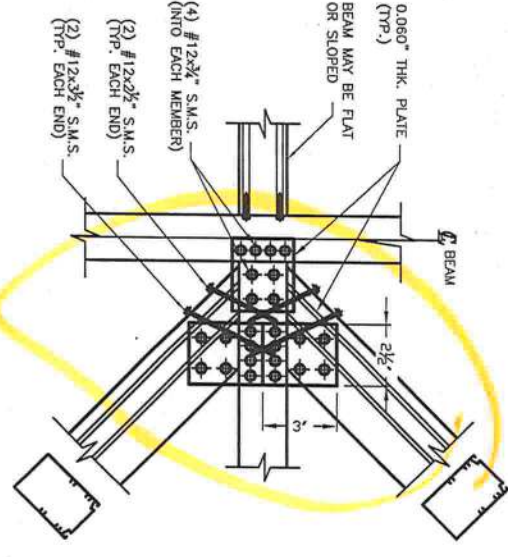


Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPALCE CONNECTION
10/31 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

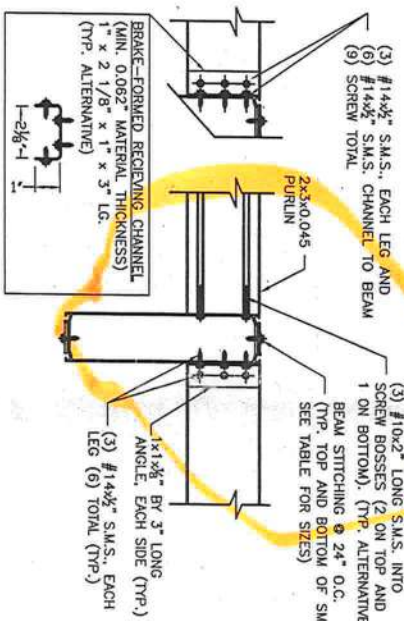
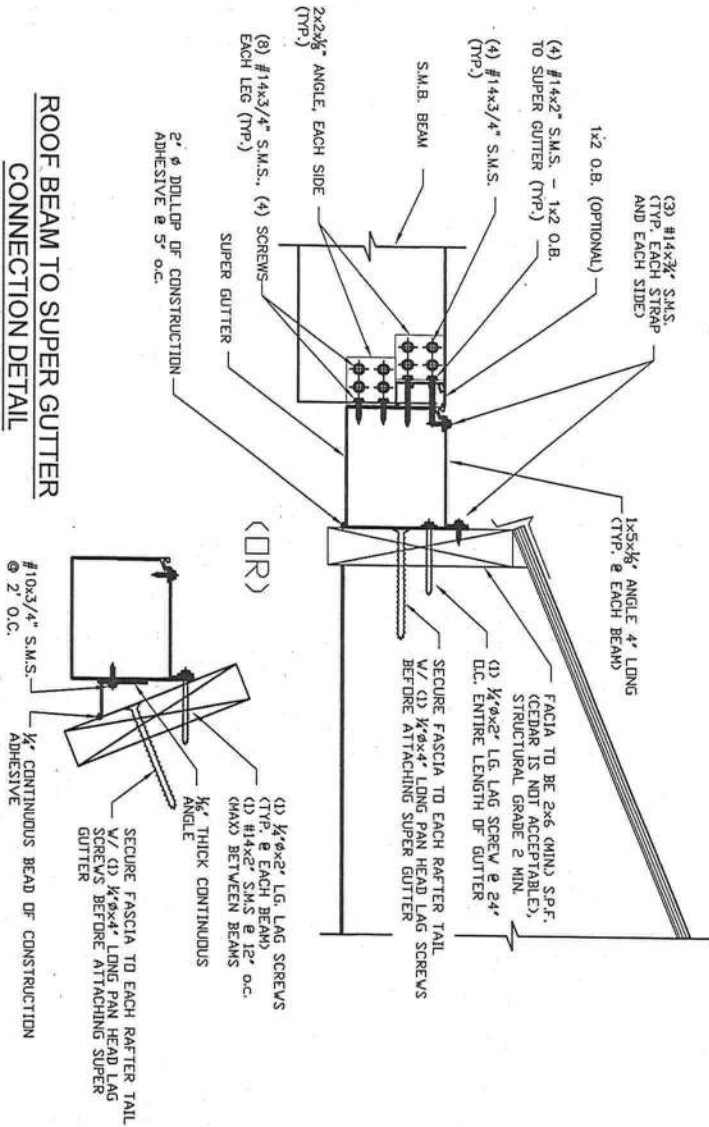
DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEN KIM, P.E.
FL REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



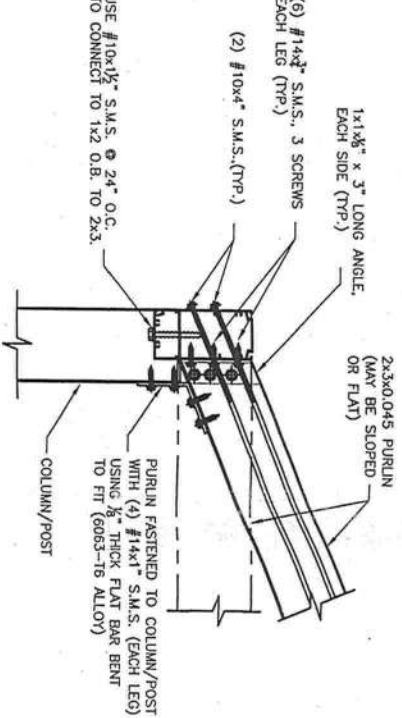
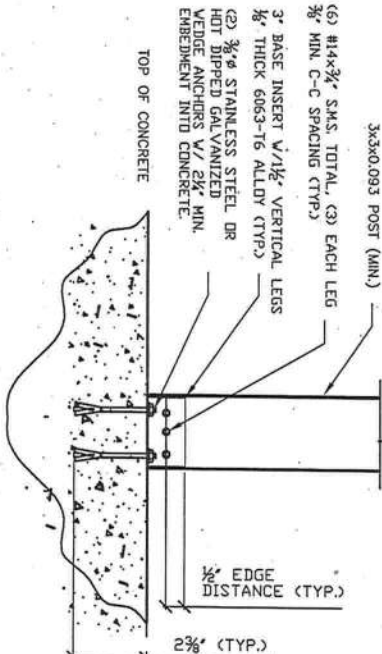
PLAN - TYPICAL ROOF
BRACE TO BEAM CONNECTION

ROOF BEAM TO SUPER GUTTER
CONNECTION DETAIL

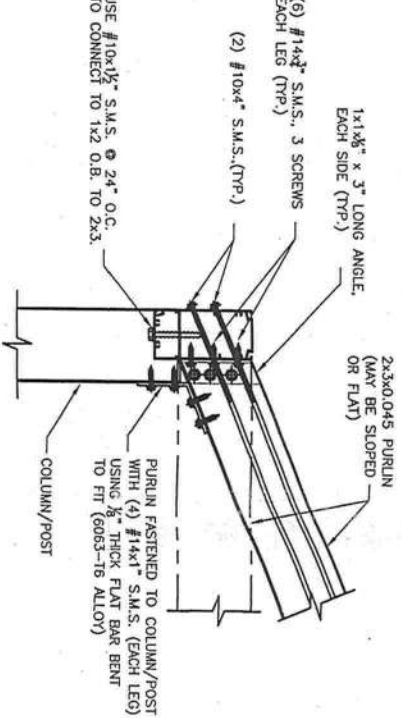


PURLIN TO ROOF BEAM
CONNECTION DETAIL

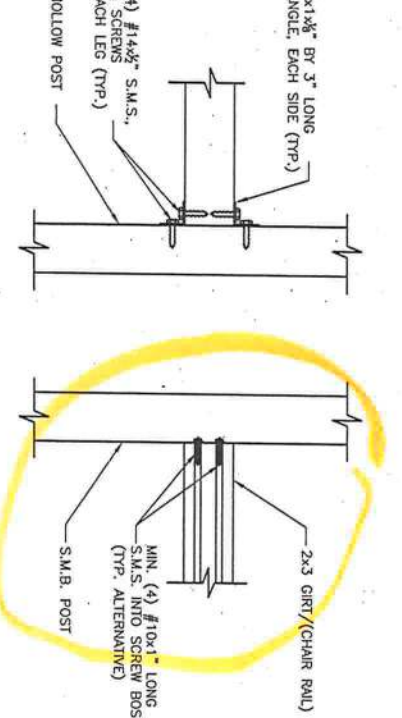
SCREEN ROOF TO PANEL/COMPOSITE
COLUMN TO FOUNDATION
CONNECTION DETAIL



MAIN POST / COLUMN TO ROOF BEAM
CONNECTION DETAIL



SIDE WALL POST / COLUMN TO PURLIN
CONNECTION DETAIL



CHAIR RAIL / GIRT TO POST
CONNECTION DETAIL



General Notes and Specifications:

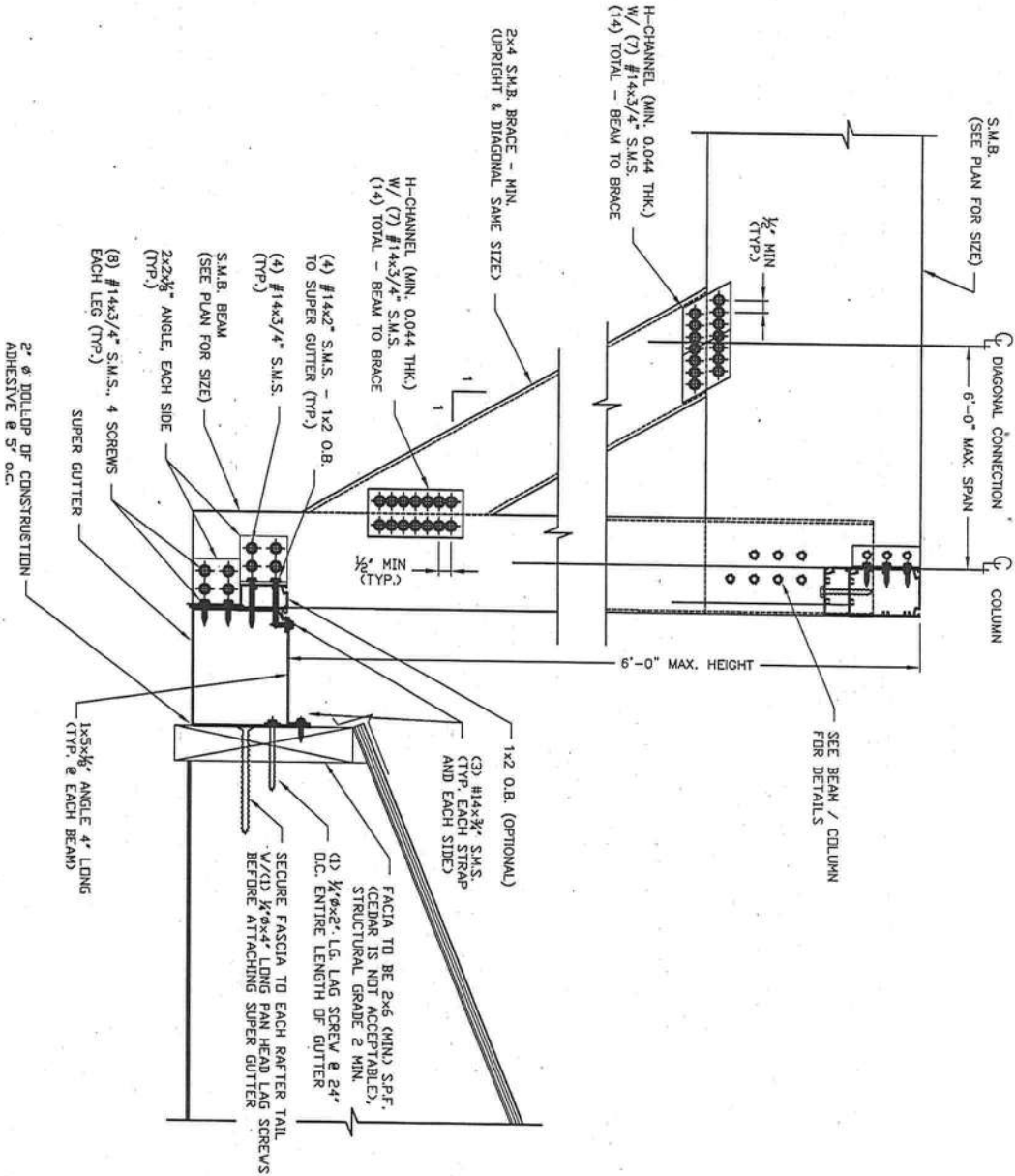
- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of f'c=2500 psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
 - Clean and scabble all connecting edges.
 - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.
- All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.
- The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.
- Screen density shall be a maximum of 20 x 20 mesh.
- Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.
- Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.
- Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEK) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	3/8"	1/2"
#12	0.219	3/8"	3/4"
#14 (1/4")	0.250	1/2"	3/4"
- Structure has been designed to meet the 2004, FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust). I=0.77 for screen enclosures. Exposure B. Design wind pressures are from 2004, FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, GCp, of +/-0.25 for screen roof and 0.7-1.25 for walls.
- All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.
- Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.
- Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.
- Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.
- Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 4.25 P.S.I.
- When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.
- Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.
- Structures that exceed 45 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record. Roof beams that are 2x8 Trac Beam having spans greater than 35 feet shall use 2x7 Trac or 2x8 Trac uprights.
- All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.

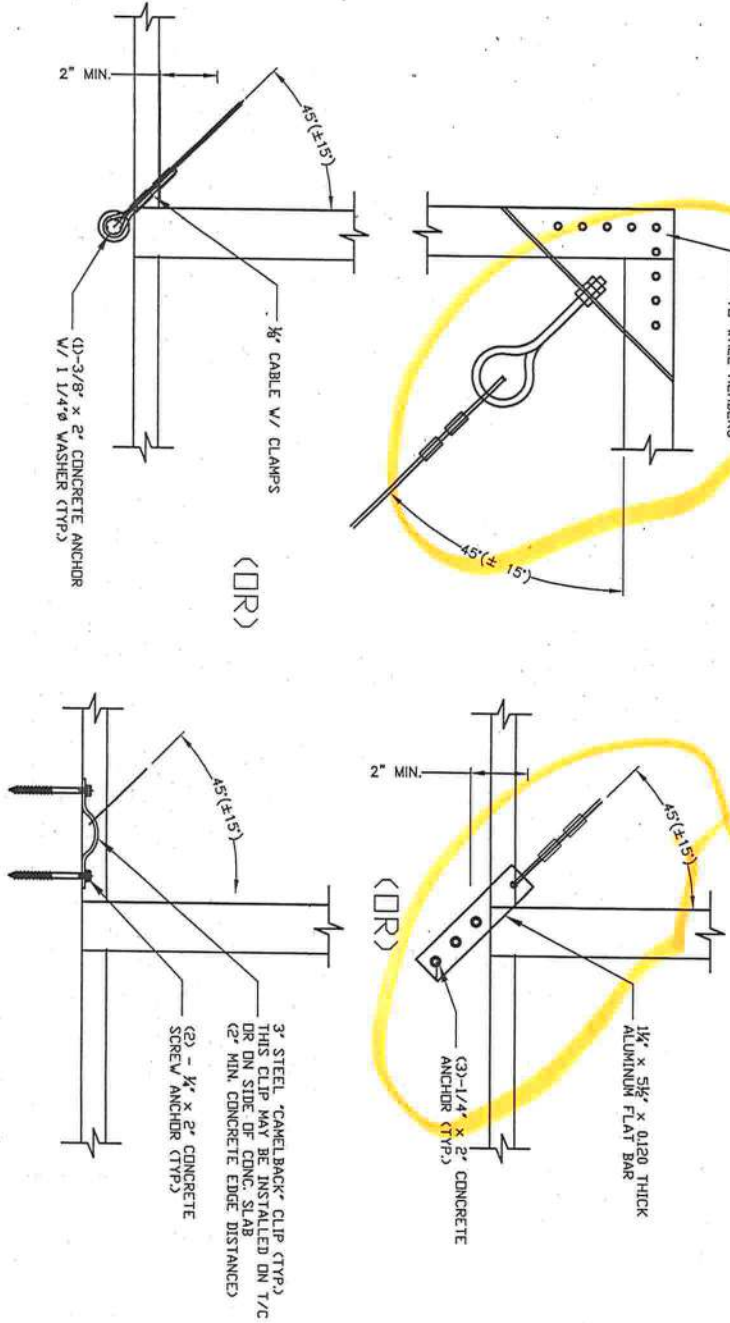
MAXIMUM SPANS FOR CARRIER BEAMS
(SUPPORTING SCREEN ROOF ONLY)

BEAM	TRIBUTARY WIDTH			
	10'	15'	20'	25'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'
2X8 TRAC	40.0'	34.3'	29.6'	26.8'

Design wind speed up to 120 mph. Exposure B.



NON-CABLE ROOF TRANSOM (RISER) WALL
CONNECTION DETAIL



CABLE BRACE DETAIL



DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5800
Fax: (813) 874-5859

Rev/Date	Description
9/05 2006	ISSUED
10/01 2006	REVISED DETAILS AS SHOWN
9/7 2007	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/08

DO NOT REMOVE
FROM DRAWING NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

00 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

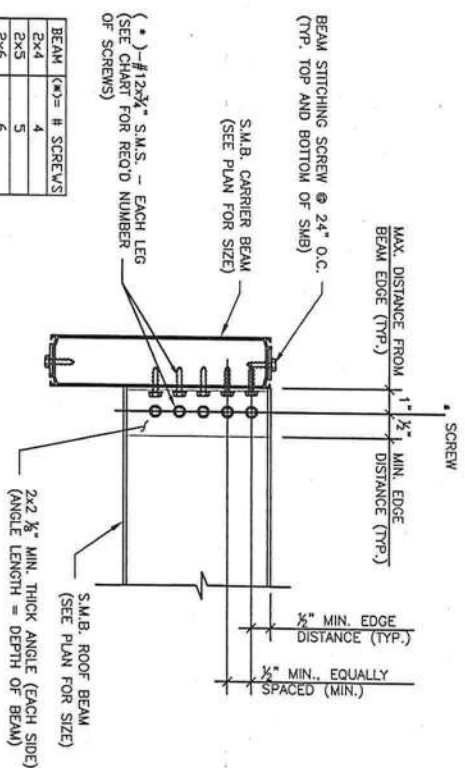
Rev/Date	Description
10/5 2006	ISSUED
10/9 2006	ADDED MANSARD SPICE CONNECTION
10/31 2006	REVISED DETAILS

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

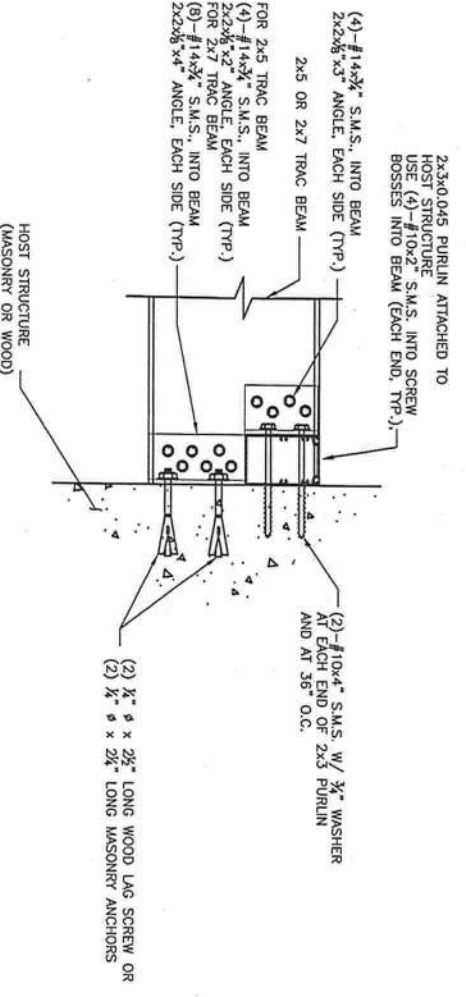
DO KIM & ASSOCIATES, LLC
C/A# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

Drawing No. - 060905

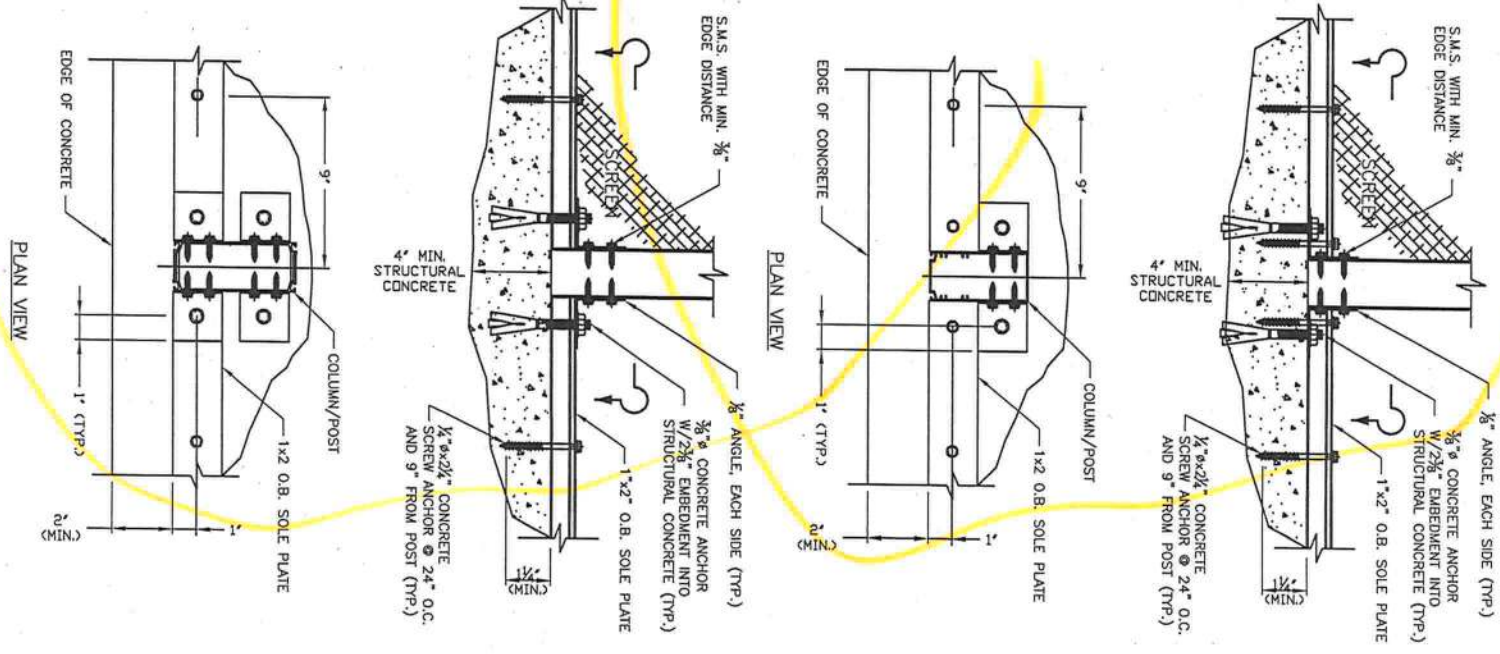


CARRIER BEAM TO BEAM
CONNECTION DETAIL

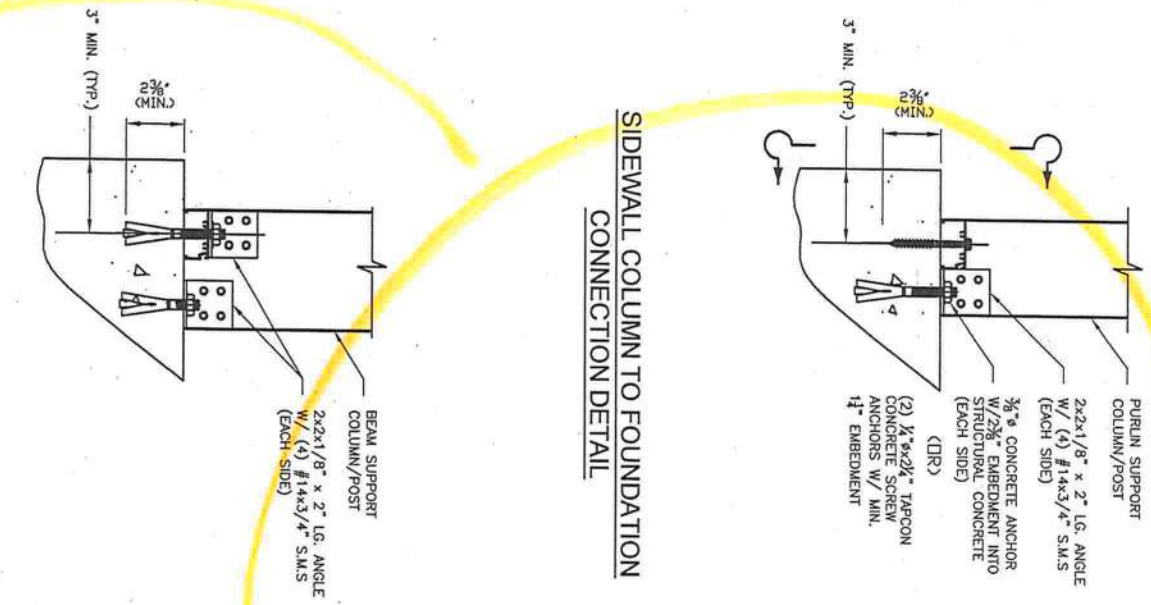
BEAM	(*)= # SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10



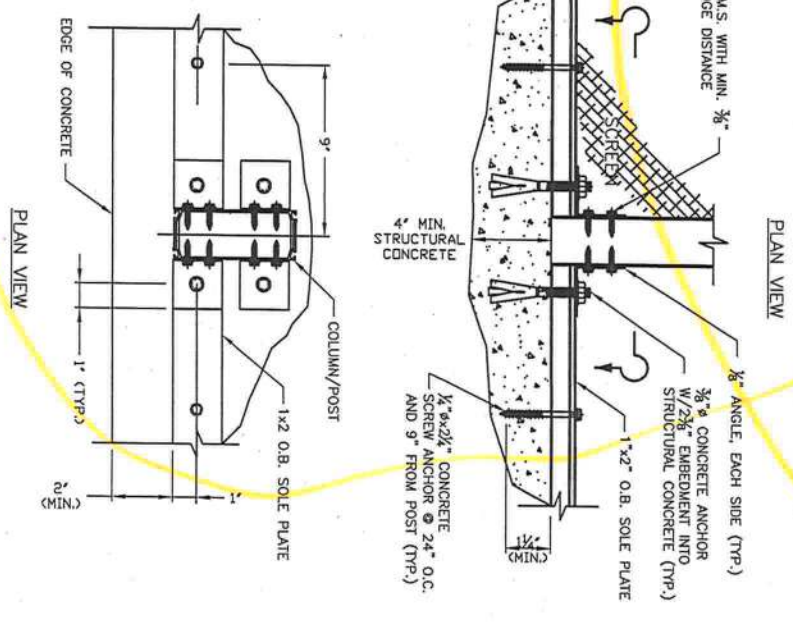
BEAM TO HOST STRUCTURE DETAIL



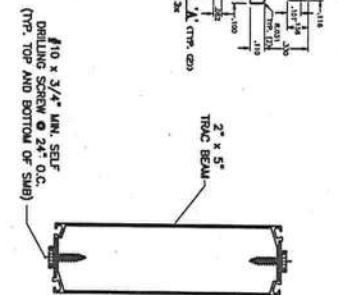
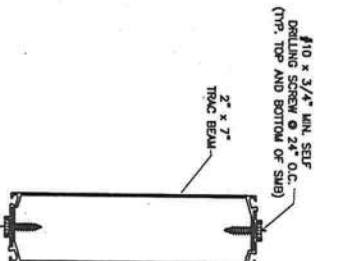
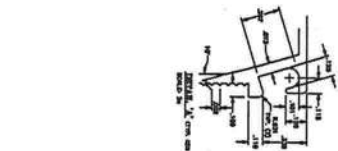
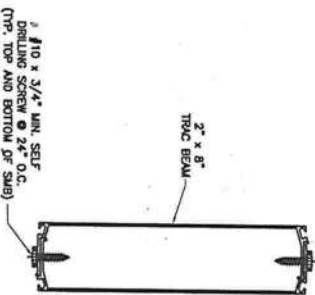
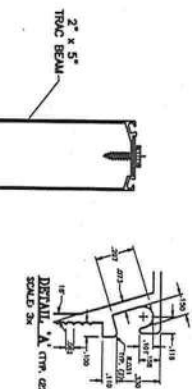
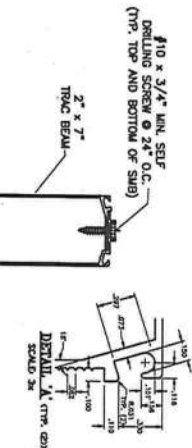
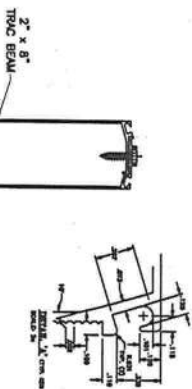
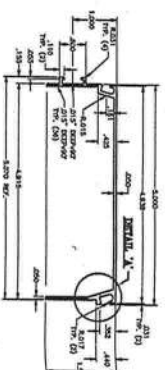
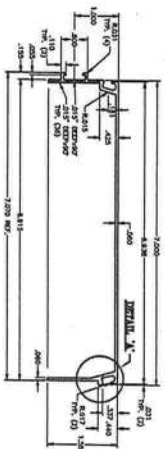
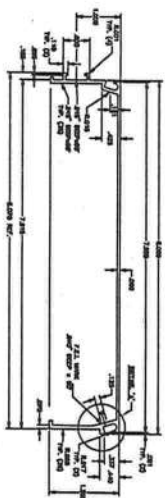
SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL



MAIN COLUMN TO FOUNDATION CONNECTION DETAIL



Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



2" x 8" TRAC SELF-MATING BEAM (SHB)
[patent pending]

2" x 7" TRAC SELF-MATING BEAM (SHB)
[patent pending]

2" x 5" TRAC SELF-MATING BEAM (SHB)
[patent pending]

- Trac Beam Notes:
1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements to be used by design professional.
 2. Drawings are illustrative purposes only.
 3. Tables developed from loads in FL9328 tables which are allowable working loads and may be used without any additional reductions. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduced 7/8" for each five feet increment.
 4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
 5. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
 6. Consult a licensed design professional for use of this product information.
 7. Maximum allowable deflections limits of L/80 in HVMZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' D.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' D.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' D.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' D.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' D.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' D.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' D.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' D.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' D.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (f-t)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.88'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM
& ASSOCIATES, LLC

CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
9/07 2007	2x8 Trac Added

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY: DYK
CHECKED BY: DYK
SCALE: AS SHOWN
DATE: 9/05/06

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

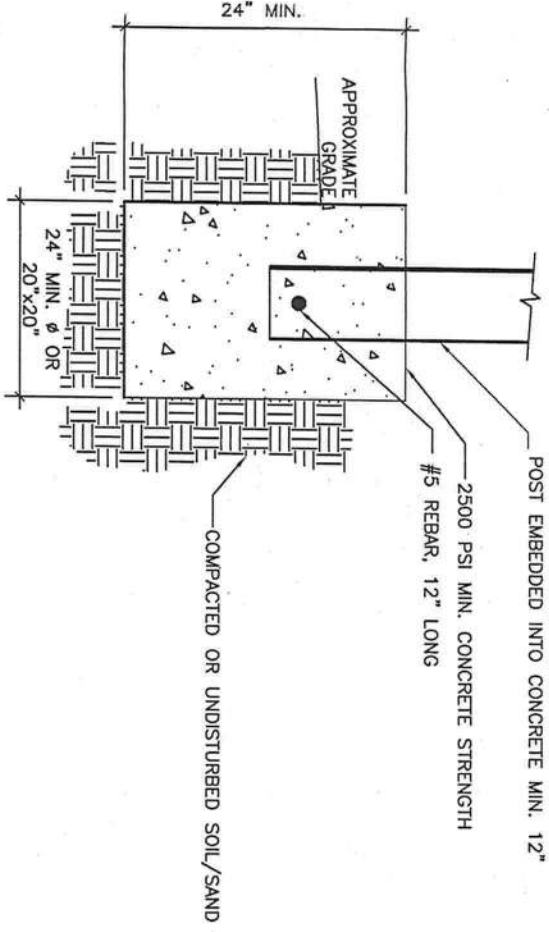
3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
9/05 2006	ISSUED
10/9 2006	ADDED MANSARD SPLICE CONNECTION
2/10/1 2006	REVISED DETAILS

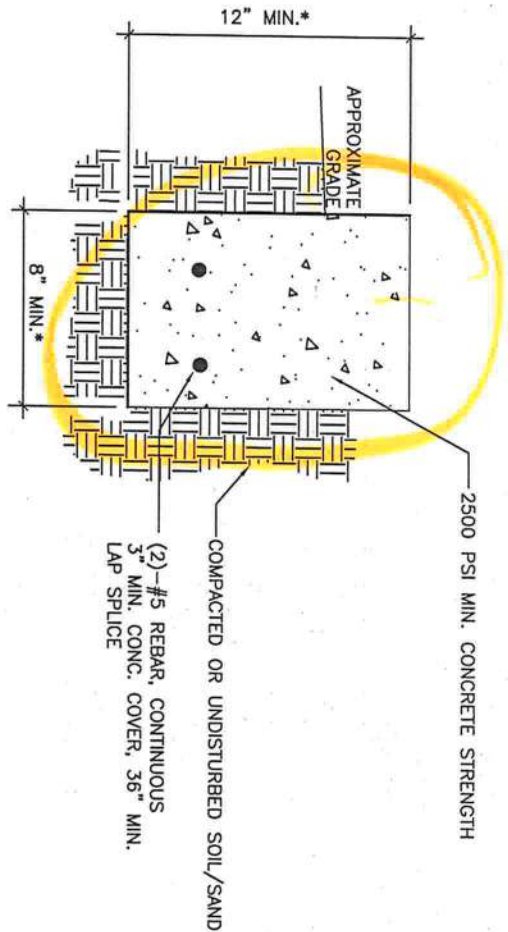
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DVK
CHECKED BY:	DVK
SCALE:	AS SHOWN
DATE:	9/05/06

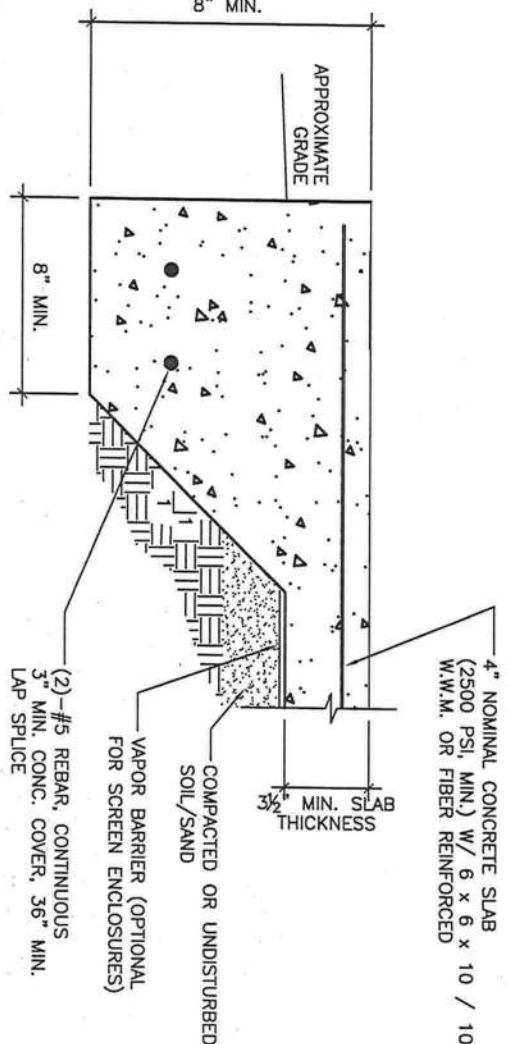
DO KIM & ASSOCIATES, LLC
FLA. REG. NUMBER 49497
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



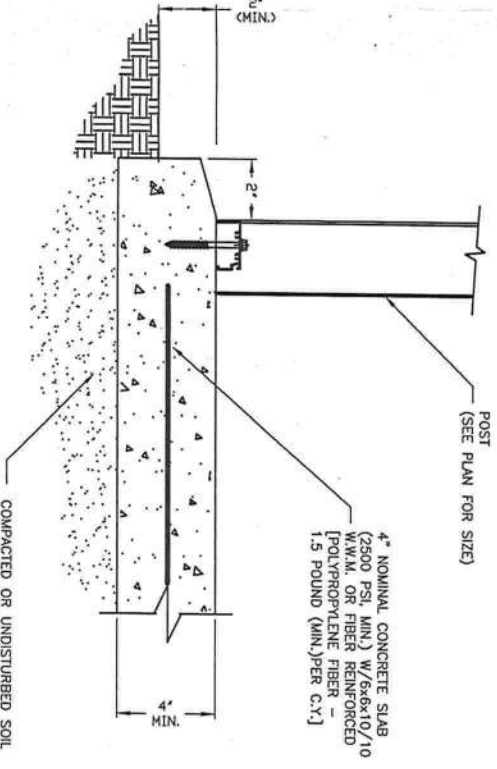
STANDARD TYP. ISOLATED FOOTER



STANDARD TYP. CONTINUOUS PERIMETER FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



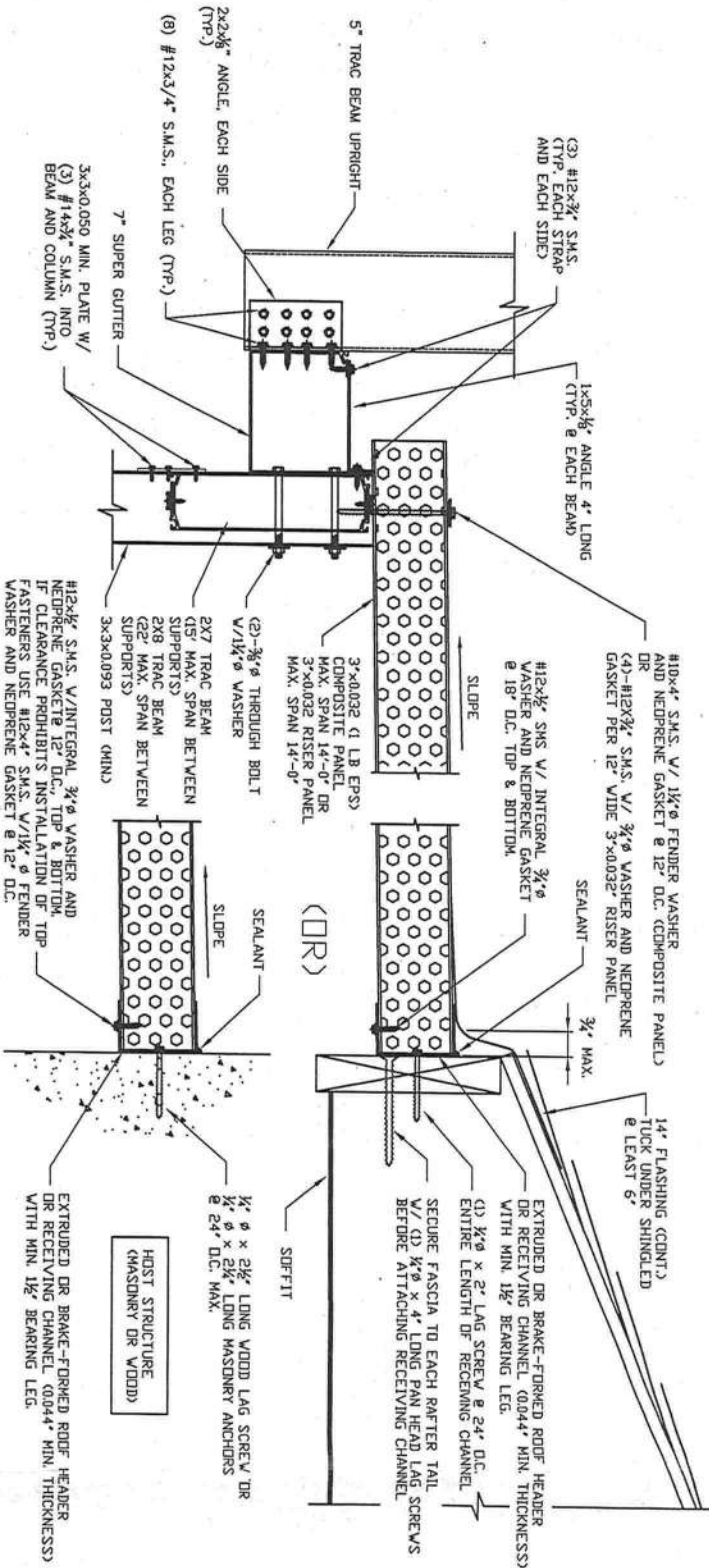
POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')

Rev/Date	Description
9/05/2006	ISSUED
1/10/2006	ADDED MANSARD SPLICE CONNECTION
2/10/2006	REVISED DETAILS

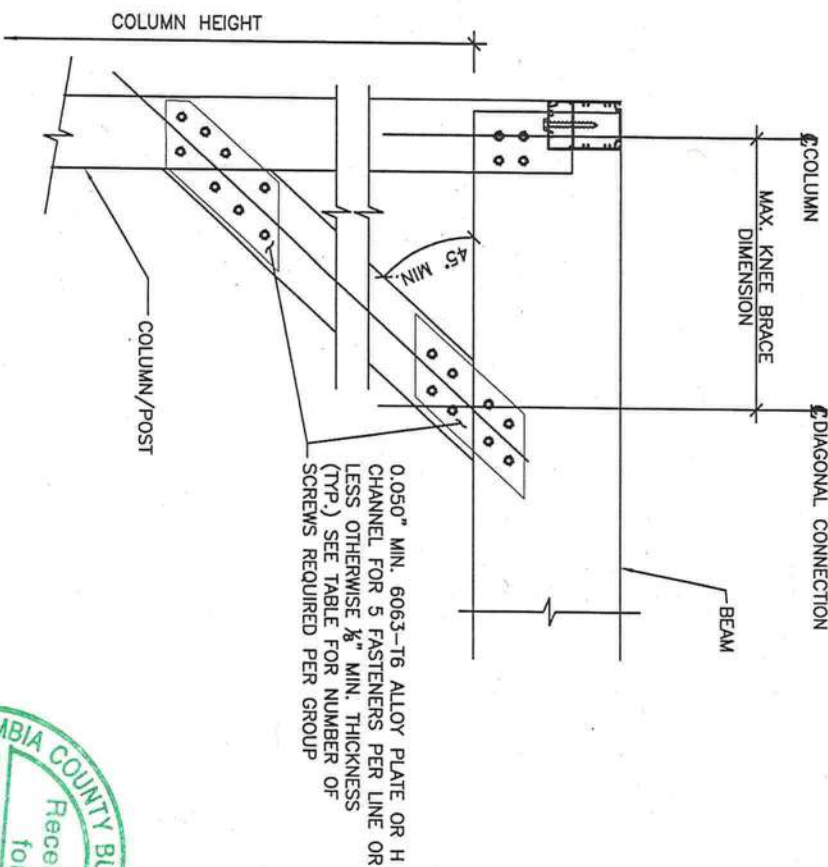
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAX. LENGTH	#10x1/2\" S.M.S.
2"x2"x0.044" HOLLOW	36 INCHES	3
2"x3"x0.045" HOLLOW	44 INCHES	4
2"x4"x0.050 HOLLOW	50 INCHES	5
2"x4"x0.046x0.100 SMB	62 INCHES	6

