

DATE 11/21/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023877

APPLICANT WENDY GRENNELL PHONE 386.288.2428

ADDRESS 3104 SW OLD WIRE ROAD FT. WHITE FL 32038

OWNER DAVID & SHERRY MAIN PHONE 813.885.6813

ADDRESS 258 SW DAYBREAK CT FT. WHITE FL 32038

CONTRACTOR WENDELL CREWS PHONE 352.351.6100

LOCATION OF PROPERTY 47-S TO WILSON SPRINGS RD, TR, 1/2 MILE ON THE R, DAYBREAK CT, FOLLOW LN TO PROPERTY W/ T/T ON IT.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION .00

HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 32-6S-16-04019-005 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 8.13

IH0000629

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor Wendy Grennell

EXISTING 03-0476-N BLK JTH Y

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD

WAIVER. APPROVED BACK AUG. 2003.

Check # or Cash 1036

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic

 date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing

 date/app. by date/app. by date/app. by

Framing Rough-in plumbing above slab and below wood floor

 date/app. by date/app. by date/app. by

Electrical rough-in Heat & Air Duct Peri. beam (Lintel)

 date/app. by date/app. by date/app. by

Permanent power C.O. Final Culvert

 date/app. by date/app. by date/app. by

M/H tie downs, blocking, electricity and plumbing Pool

 date/app. by date/app. by date/app. by

Reconnection Pump pole Utility Pole

 date/app. by date/app. by date/app. by

M/H Pole Travel Trailer Re-roof

 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 74 90.86 WASTE FEE \$ 24 134.75

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 500.61

INSPECTORS OFFICE CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Called Wendy 11/15/05

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 6-23-05)

Zoning Official

BLK 15.11.05

Building Official

OK JTH 11/15/05

AP# 0511-29

Date Received 11-8-05

By CH

Permit #

23877

Flood Zone

Development Permit

N/A

Zoning

A-3

Land Use Plan Map Category

A-3

Comments

FEMA Map#

Elevation

Finished Floor

River

In Floodway

☒ Site Plan with Setbacks Shown
 ☒ EH Signed Site Plan
 ☐ EH Release
 ☐ Well letter
 ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner
 ☒ Letter of Authorization from installer

Blocking Diagram to A from installer

-0A019-005

Property ID # 22-65-16-1 at have a copy of the property deed

New Mobile Home Used Mobile Home Year 2006

Applicant Wendy Greenell Phone # 386-288-2428

Address 3104 SW Old Wine Rd Fort White, FL 32038

Name of Property Owner DAVID & Sherry MAIN Phone # 813-885-6813

911 Address 258 SW DAYBREAK CT, FT. WHITE, FL

 Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy

Name of Owner of Mobile Home DAVID & Sherry MAIN Phone # 813-885-6813

Address 6408 WILLOW WOOD CT, TAMPA, FL 33634

Relationship to Property Owner SAME

Current Number of Dwellings on Property

Lot Size 8.13 A

Total Acreage 8.13

Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)

Is this Mobile Home Replacing an Existing Mobile Home

Driving Directions to the Property SEE ATTACHED EXHIBIT A

475, R Wilson Springs, 1/2 mile on the R on Daybreak Court
follow here to property with Travel Trailer on it.

Wendell Crews

Name of Licensed Dealer/Installer CENTRAL DOZER Phone # 352-351-6100

Installers Address 5711 NE 25th AVE OCALA, FL 34479

License Number IH 0000 629 Installation Decal # 259391

1. The first part of the document is a list of names and dates, which appears to be a record of some kind. The names are written in a cursive script, and the dates are in a more formal, printed style. The list is organized into two columns, with names on the left and dates on the right.

100 x 100 100 x 100 100 x 100 100 x 100

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

— — — — —

Schizothorax

PERMIT NUMBER

Installer

Wendell Crews License # I#0000029

Address of home
being installed

Manufacturer

Nobility Length x width 28x66

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5 ft 4 in.

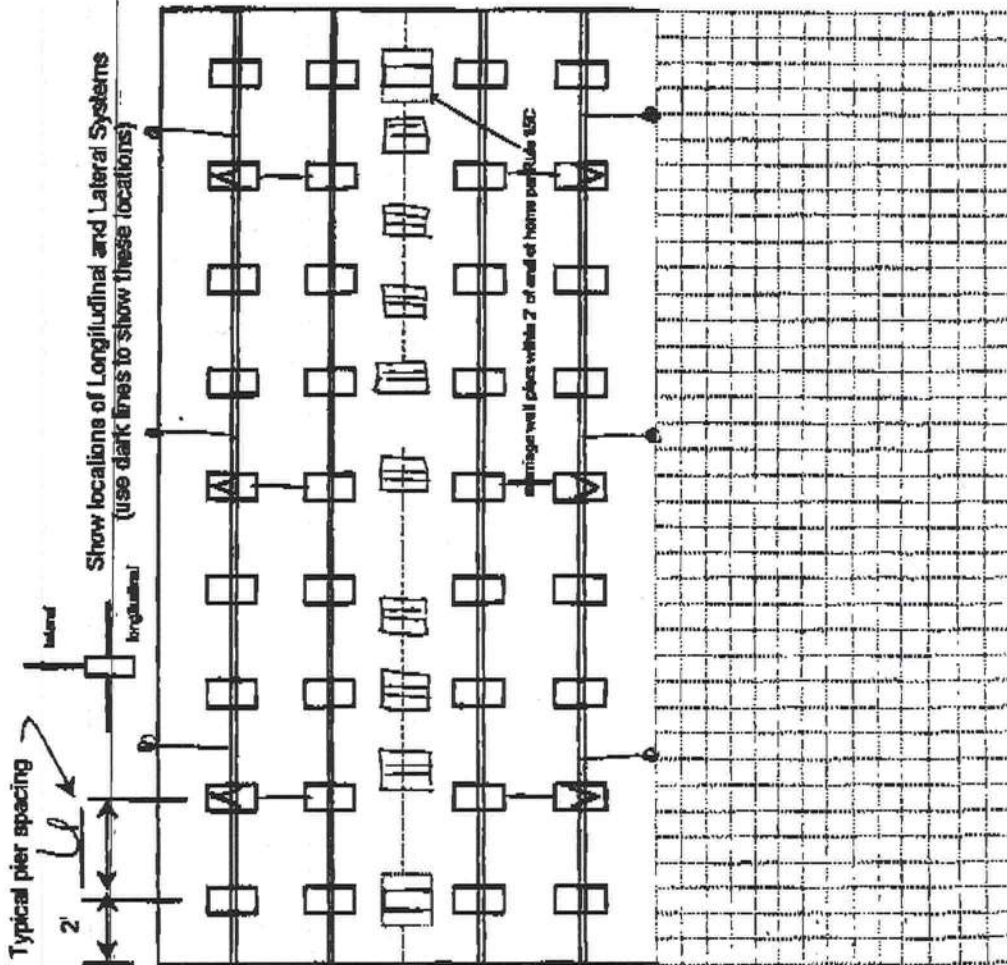
Installer's initials

W

BLDG AND ZONING

3867582160

07/15/2004 11:13



PERMIT INFORMATION

Page 1 of 2

New Home

☒ Used Home

Home installed to the Manufacturer's Installation Manual

☒

Home is installed in accordance with Rule 15-C

☐

Single wide

☐ Wind Zone II

☒ Wind Zone III

Wind Zone III

☐

Double wide

☒ Installation Detail #

259391

Triple/Quad

☐ Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16' x 16" (256)	18' 1/2" x 18' 1/2" (342)	20' x 20" (400)	22' x 22" (484)	24' x 24" (576)	26' x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4'	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7'	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

21x29

Perimeter pier pad size

N/A

Other pier pad sizes (required by the mfg.)

11x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

14'

21x29

13'

21x29

ANCHORS

4 ft

5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Longitudinal

Marriage wall

Shearwall

OTHER TIES

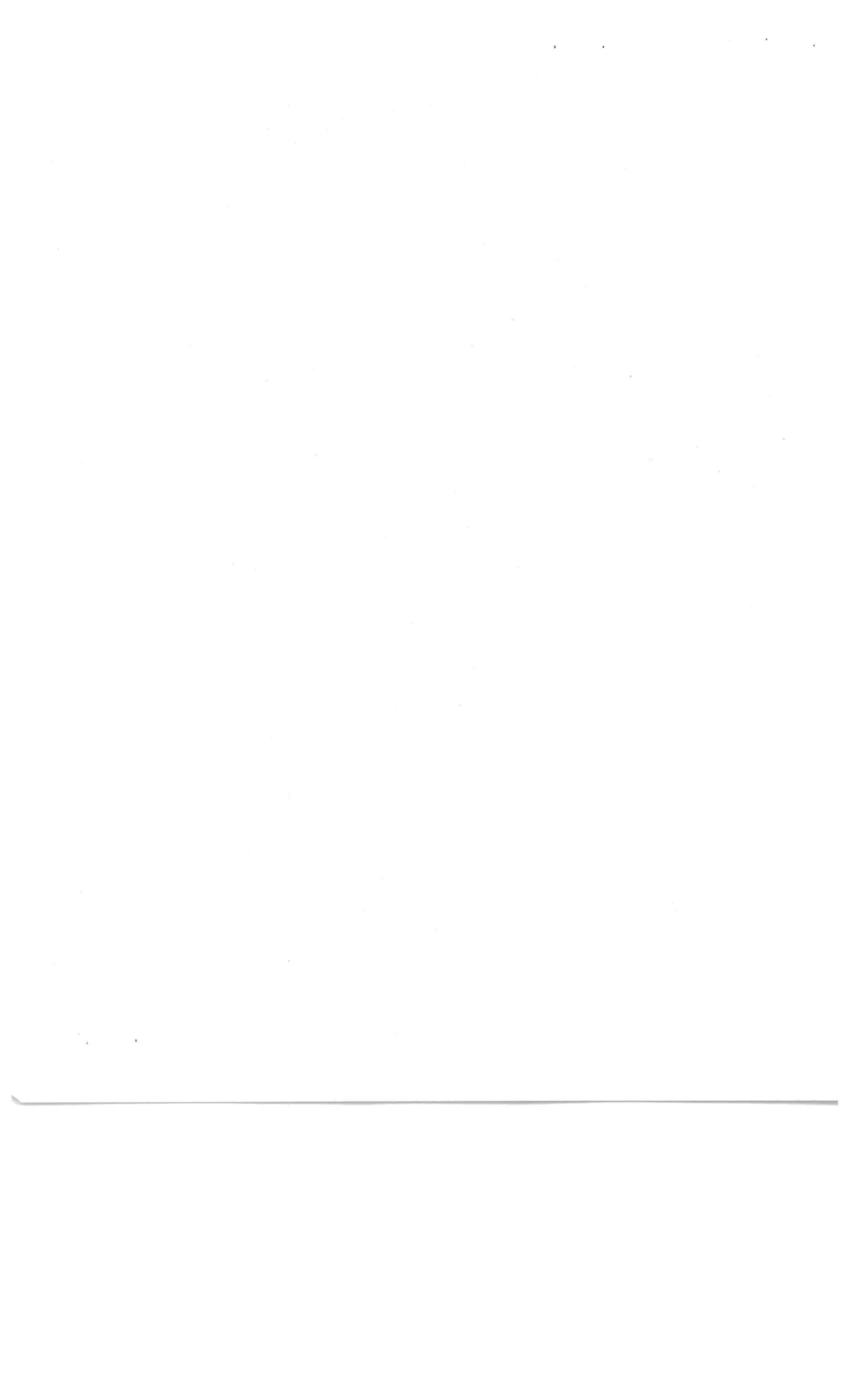
Number

544

OC

factory

4



PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X ☐ X ☒ X ☐

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X ☐ X ☒ X ☐

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centralline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Wardell Crews

Date Tested

11/10/05

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 40

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 39

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 39

Site Preparation

Debris and organic material removed Y
Water drainage: Natural Y Swale Y Pad Y Other Y

Fastening multi-wide units

Floor: Type Fastener: Sag Length: 10" Spacing: 24"
Walls: Type Fastener: 304 Length: 4" Spacing: 18"
Roof: Type Fastener: 304 Length: 10" Spacing: 24"
For used homes a min. 30 gauge, 5" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled maniage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials WL

Type gasket

Shaw

Pg. 13

Installed:

Between Floors Yes Y
Between Walls Yes Y
Bottom of ridgebeam Yes Y

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Y Pg. 13
Siding on units is installed to manufacturer's specifications. Yes Y
Fireplace chimney installed so as not to allow intrusion of rain water. Yes Y

Miscellaneous

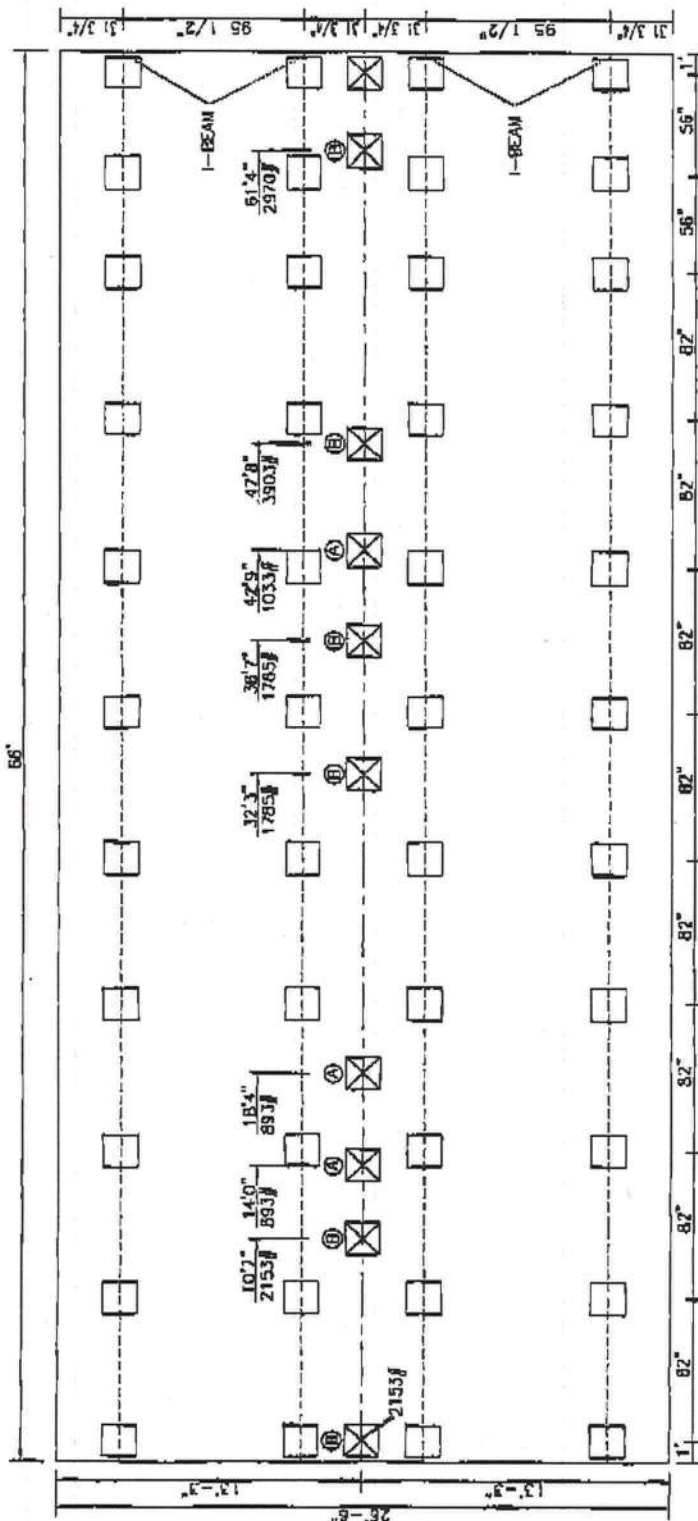
Skirting to be installed. Yes Y No Y
Dryer vent installed outside of skirting. Yes Y No Y
Range downflow vent installed outside of skirting. Yes Y No Y
Drain lines supported at 4 foot intervals. Yes Y No Y
Electrical crossovers protected. Yes Y No Y
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Wardell Crews

Date 11/10/05

Beander



COLUMN SUPPORT PIER PAD SIZE

- ① 16" x 16"
- ② 21" x 29"

- NOTES: (1. COLUMN SUPPORT PIERS MAY BE WITHIN 8" OF OPENINGS GREATER THAN 48".
- (2. ADDITIONAL PIERS ARE REQUIRED AT EACH SIDE OF EXTERIOR DOOR OPENINGS.
- (3. THIS IS A TYPICAL DRAWING FOR THIS MODEL. SPACING MAY BE DIFFERENT IF MAX. SPACING IS NOT EXCEEDED.

- ☒ COLUMN SUPPORT PIERS
- ☐ 21" x 29" BASE PAD

SPACING FOR 1000 PSF SOIL WITH 21" x 29" BASE PAD
MAXIMUM SPACING FOR THE I-BEAM PIERS IS 82"

PRINT NUMBER	
66E40(13)	
REVISIONS	
DATE	BY
1-9-04	PALMER
SCALE	
MOBILITY HOMES, INC.	
DAYTON, OH	



OCT 25 2005 07:37 FR AIG

813 314 9601 TO 5785967

P.83

Recording Fees: \$
Documentary Stamps: +
Total: \$

Prepared By And Return To:

COUNTRY RIVERS TITLE, LTD
1089 SW MAIN BLVD.
LAKE CITY, FL. 32025

File #02Y1-09004BF/BARBARA FRADDOSIO

Property Appraiser Parcel I.D. Number(s):
04019-005

Inst:200202218 Date:12/20/2002 Time:15:00

Doc Stamp-fee: 154.00

DC, P. DeWitt Cason, Columbia County S:970 P:869

WARRANTY DEED

THIS WARRANTY DEED made and executed the 9th day of December, 2002 by HENRY AARON ROBINSON, III Single, hereinafter called the Grantor, to DAVID R. MAIN and SHERIE A. MAIN, his wife, whose post office address is: 6408 WILLOWWOOD COURT, TAMPA, FLORIDA 33634, hereinafter called the Grantee;

(Wherever used herein the terms 'Grantor' and 'Grantee' shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA County, State of Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO
AND BY REFERENCE MADE A PART HEREOF

THE PROPERTY DESCRIBED HEREIN IS NOT THE HOMESTEAD OF THE GRANTOR.

TOGETHER with all the covenants, hereditaments and appurtenances thereto belonging or in anywise appertaining, TO HAVE AND TO HOLD the same in fee simple forever, AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except easements, restrictions and reservations of record, if any, and taxes accruing subsequent to December 31, 2002.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

Barbara A. Fraddosio
Witness:

Barbara A. Fraddosio
Witness:

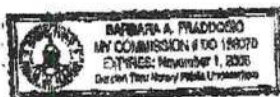
Bonita Hadwin
Witness:

Bonita Hadwin
Witness:

Henry Aaron Robinson III
HENRY AARON ROBINSON, III
Address: 4812 N. 36TH STREET
TAMPA, FLORIDA 33610

STATE OF FLORIDA
COUNTY OF Columbia

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared HENRY AARON ROBINSON, III, who produced the identification described below, and who acknowledged before me that they executed the foregoing instrument.
Witness my hand and official seal in the county and state aforesaid this 9th day of December, 2002.



Barbara A. Fraddosio
Notary Public:
Identification Examined: drivers license

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Handwritten text, possibly a date or a small heading.

Main body of handwritten text, consisting of several lines of cursive script.



OCT 25 2005 07:37 FR AIG

813 314 3501 TO 9788987

P.02

02Y1-09004

Inst:2002025218 Date:12/20/2002 Time:15:00
 Doc Stamp-Deed: 154.00
 DC, P. DeWitt Cason, Columbia County B:970 P:870

EXHIBIT "A"

That part of the East 1/2 of the Southeast 1/4 of Section 32, Township 6 South, Range 16 East, Columbia County, Florida, described as follows: commence at the Northeast corner of the Southeast 1/4 of said Section 32, and run thence S 88°54'37" W along the North line of said Southeast 1/4, a distance of 640.35 feet; thence S 01°19'44" E, a distance of 1555.11 feet for a POINT OF BEGINNING; thence continue S 01°19'44" E, a distance of 514.37 feet; thence S 88°54'37" W, a distance of 690.15 feet, to the intersection with the West line of said East 1/2 of Southeast 1/4; thence N 01°01'16" W, along said West line of East 1/2 distance of 514.37 feet; thence N 88°54'37" E, a distance of 687.38 feet to the POINT OF BEGINNING, containing 8.13 acres, more or less. The East 15 feet of said lands being reserved as an easement for ingress and egress, also, said lands being subject to a utility easement for Florida Power Corporation over and across said lands as indicated by the location of existing poles and recorded in Deed Book 25, Page 284, of the public records of Columbia County, Florida.

Together with a 30-foot wide easement for ingress and egress described as follows:

That part of the East 1/2 of the Southeast 1/4 of Section 32, Township 6 South, Range 16 East, Columbia County, Florida described as follows: Commence at the Northeast corner of the Southeast 1/4 of said Section 32, and run thence S 88°54'37" W along the North line of said Southeast 1/4, a distance of 625.35 feet, for a POINT OF BEGINNING; thence continue S 88°54'37" W along said North line of Southeast 1/4, a distance of 30.00 feet; thence S 01°19'44" E, a distance of 2201.22 feet; thence S 88°52'37" W, a distance of 15.00 feet; thence S 01°19'44" E, a distance of 30.04 feet; thence S 01°03'47" E, a distance of 237.00 feet to the intersection with the Northerly maintained right-of-way line of Dorsett road (formerly Wilson's Spring Road); thence N 71°40'15" E along said Northerly maintained right-of-way line, a distance of 31.39 feet to the intersection with the West line of lands described in Official Records Book 283, Page 473, of the Public Records of Columbia County, Florida; thence N 01°03'47" W along the said west line of O.R. Book 283, Page 473, a distance of 227.82 feet to the intersection with the North line of said O.R. Book 283, page 473; thence N 88°52'37" E along said North line, a distance of 15.00 feet; thence N 01°19'44" W, a distance of 2231.21 feet to the POINT OF BEGINNING.

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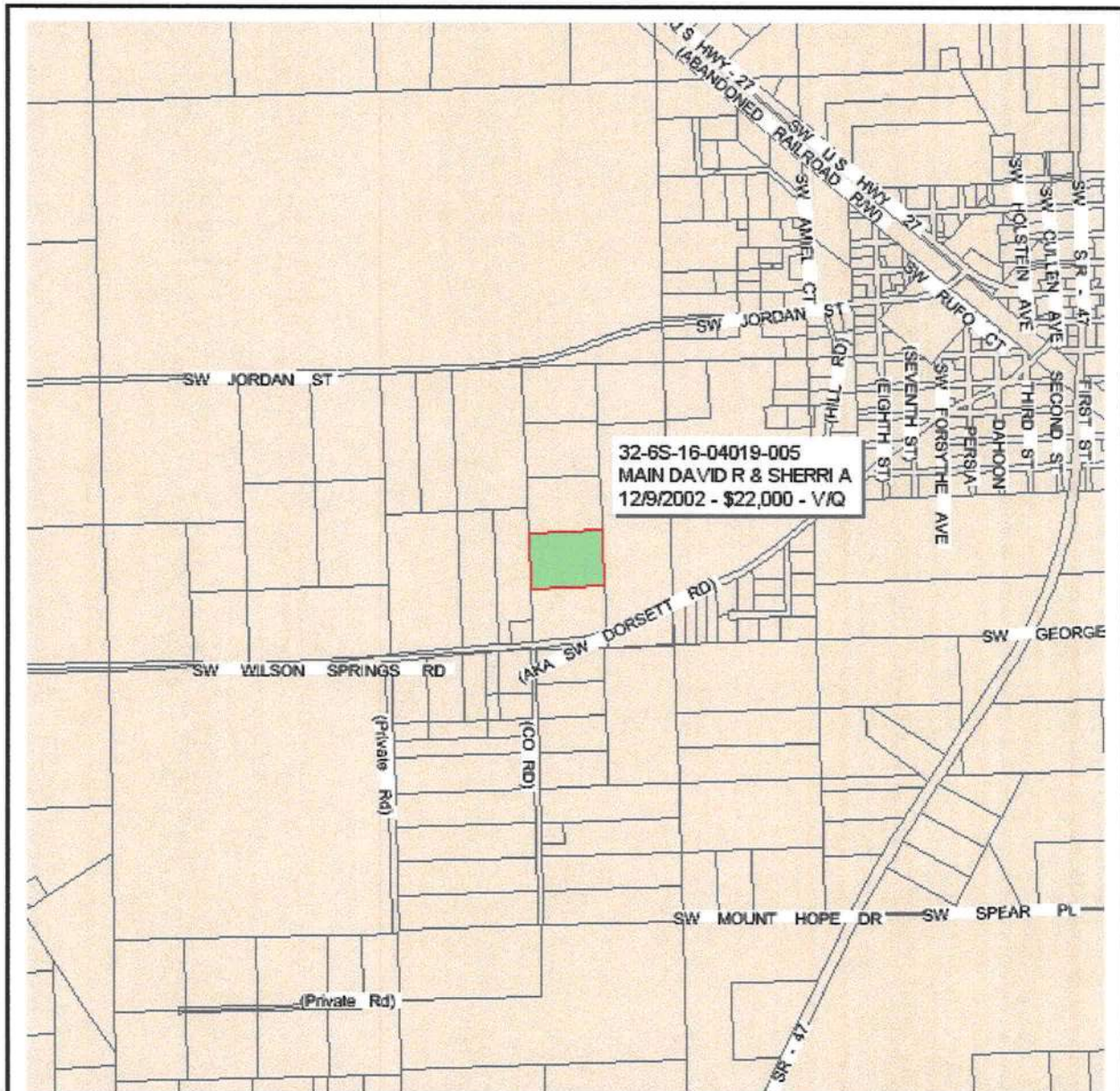
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1156



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 32-6S-16-04019-005 - NO AG ACRE (009900)

COMM NE COR OF SE1/4, RUN W 640.35 FT, S 1555.11 FT FOR POB, CONT S 514.37 FT, W

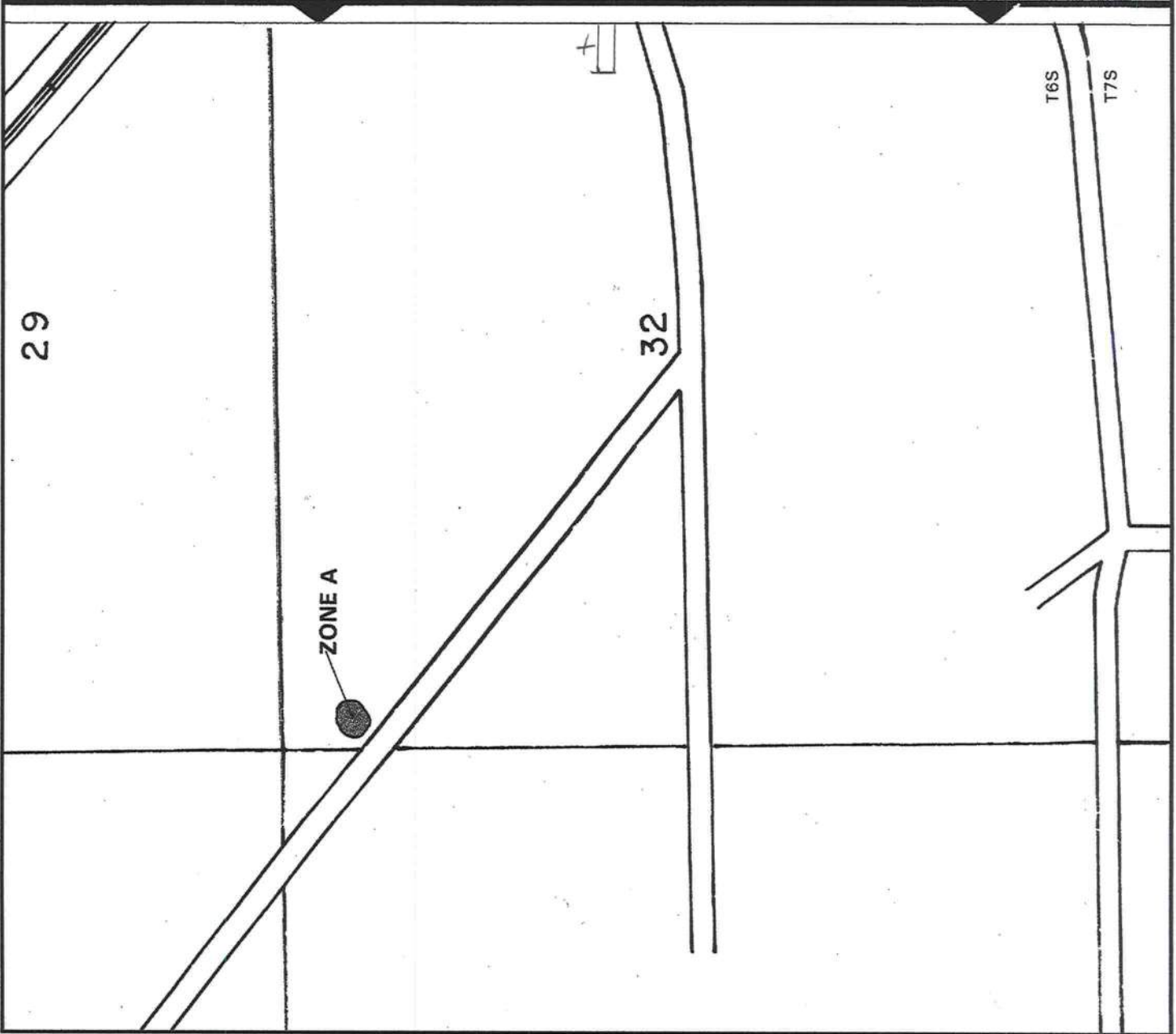
Name: MAIN DAVID R & SHERRI A
 Site:
 Mail: 6408 WILLOWWOOD CT
 TAMPA, FL 33634
 Sales 12/9/2002 \$22,000.00 V / Q
 Info 4/18/2002 \$100.00 V / U

LandVal	\$28,016.00
BldgVal	\$0.00
ApprVal	\$28,016.00
JustVal	\$28,016.00
Assd	\$28,016.00
Exmpt	\$0.00
Taxable	\$28,016.00

0 0.1 0.2 0.3 mi



This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



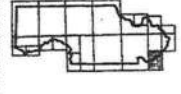
NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 255 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0255 B

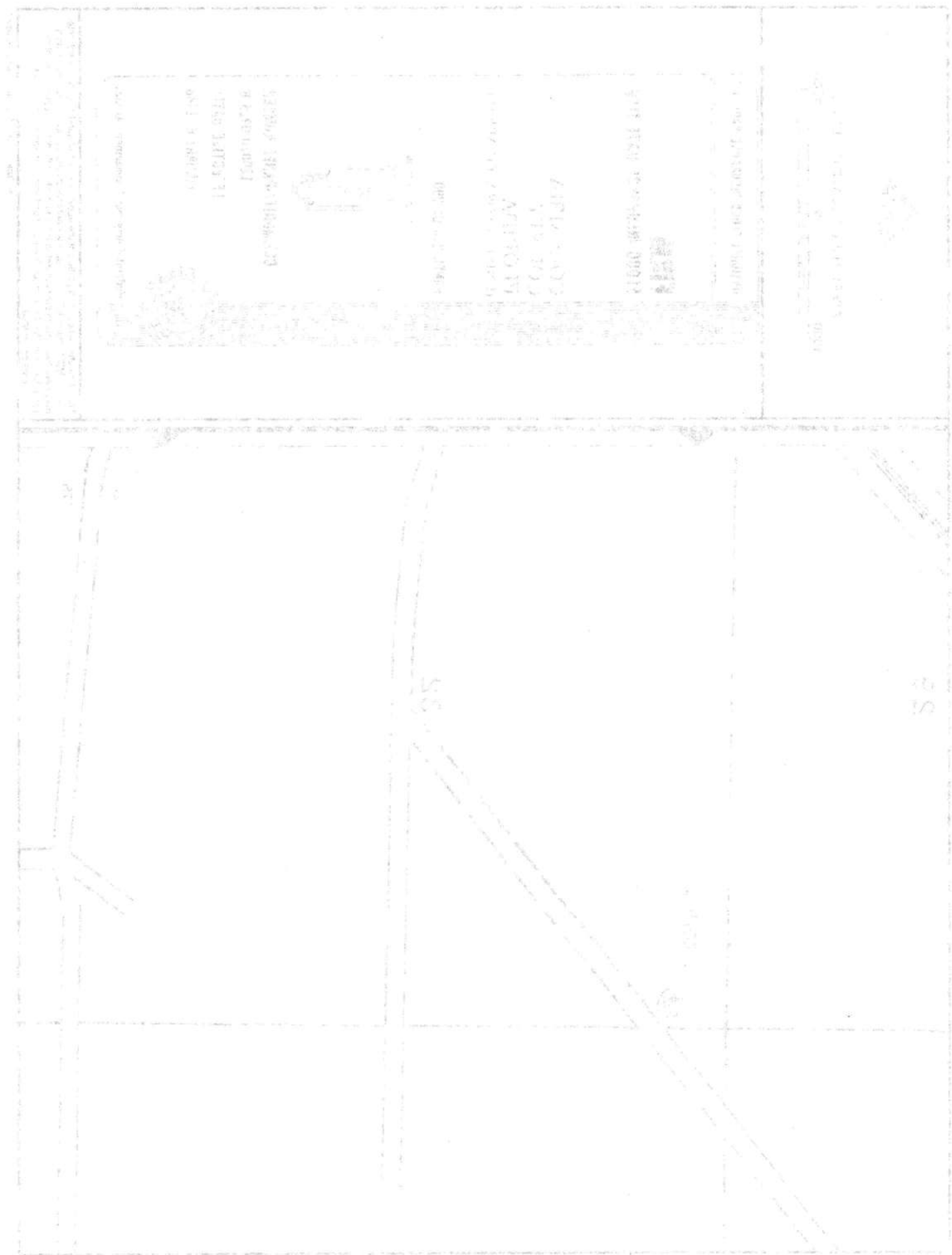
EFFECTIVE DATE:

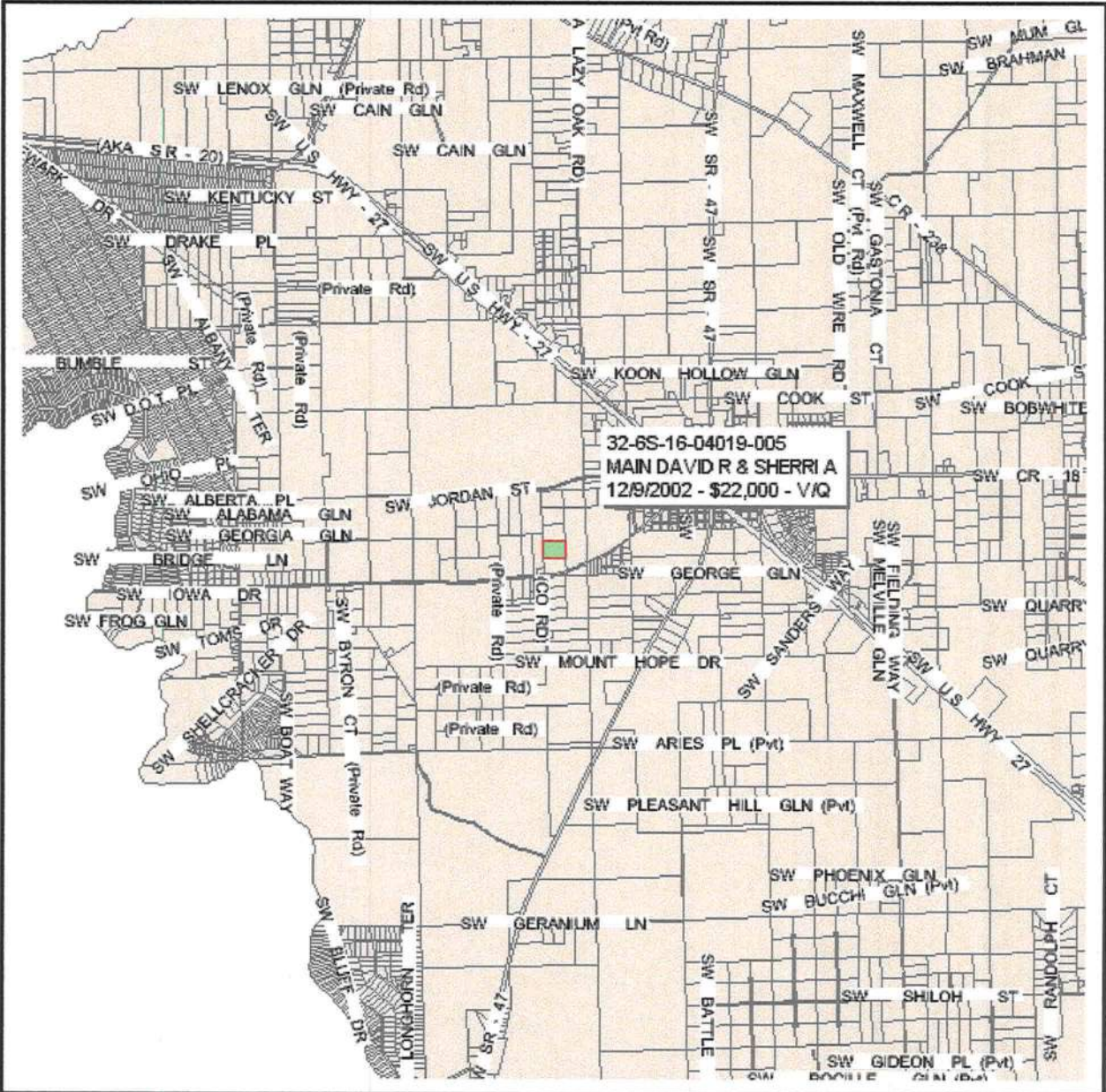
JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifm/fhd.





Columbia County Property Appraiser
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 32-6S-16-04019-005 - NO AG ACRE (009900)
COMM NE COR OF SE1/4, RUN W 640.35 FT, S 1555.11 FT FOR POB, CONT S 514.37 FT, W

Name: MAIN DAVID R & SHERRI A	LandVal	\$28,016.00
Site:	BldgVal	\$0.00
Mail: 6408 WILLOWWOOD CT	ApprVal	\$28,016.00
TAMPA, FL 33634	JustVal	\$28,016.00
Sales 12/9/2002 \$22,000.00 V / Q	Assd	\$28,016.00
Info 4/18/2002 \$100.00 V / U	Exmpt	\$0.00
	Taxable	\$28,016.00

0 0.4 0.8 1.2 mi

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OCT 25 2005 07:37 FR AIG

913 314 9501 TO 9788987

P.04



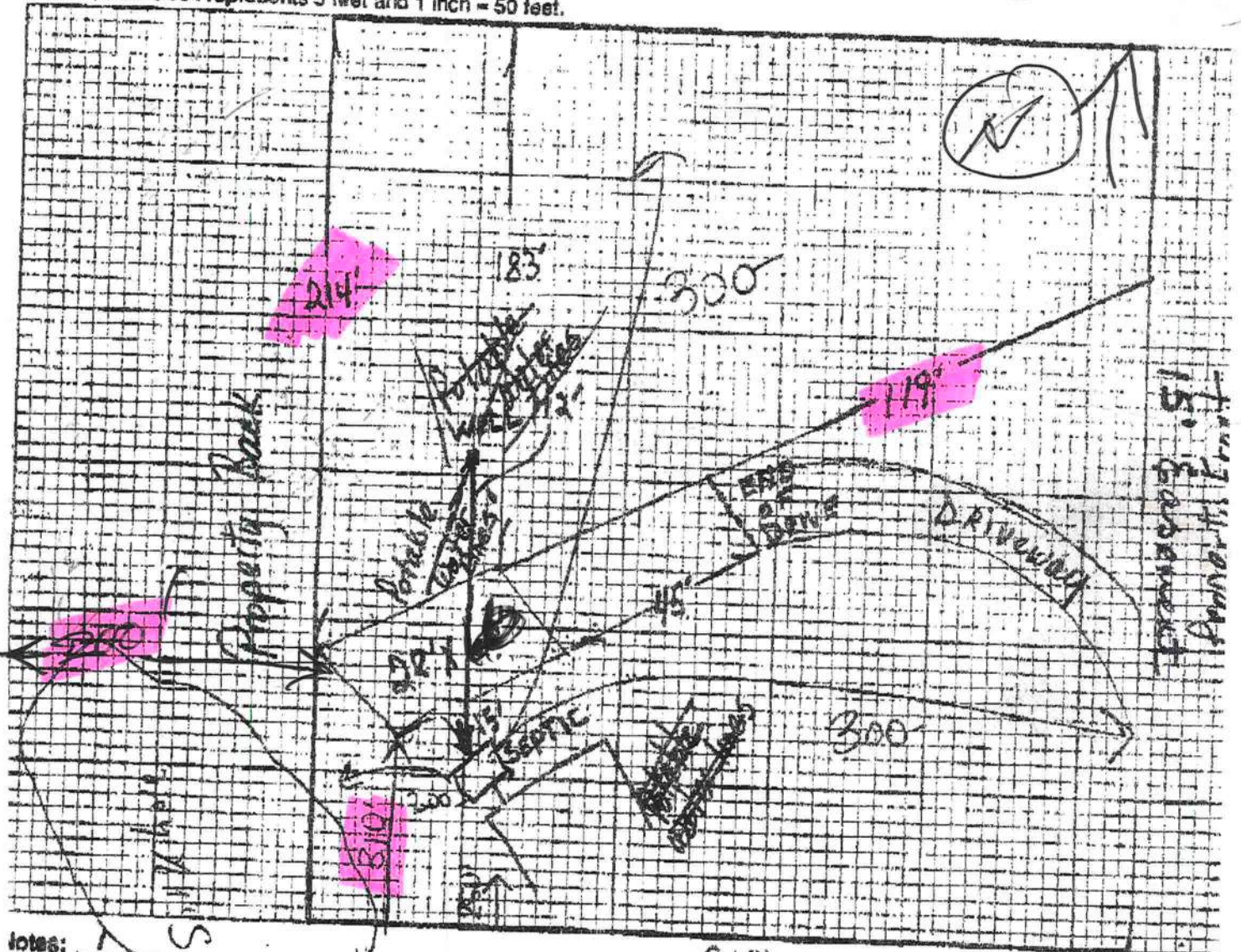
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 03-04-76

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

210
Well to Septic 112'

total 8.13 acres 1 acre shown above

Site Plan submitted by: [Signature]

Plan Approved [Signature] Not Approved
Sallie Maddy / ESI / Columbia

Owner

Date 5-12-03

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

AB0024171 002/000
RONNIE BRANNON, CFC
COLUMBIA COUNTY TAX COLLECTOR

2005 REAL ESTATE 01155860000
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
04019-005		28,016	0	28,016	003

0024171 01 AB 0.301 **AUTO T8 0 0810 33634-123

MAIN DAVID R & SHERRI A
6408 WILLOWWOOD CT
TAMPA FL 33634-4726

SEE INSERT FOR IMPORTANT INFO
AND TELEPHONE NUMBERS
WWW.COLUMBIATAXCOLLECTOR.COM

32-6S-16 9900/9900 8.13 Acres
COMM NE COR OF SE1/4, RUN W
640.35 FT, S 1555.11 FT FOR
POB, CONT S 514.37 FT, W
690.15 FT, N 514.37 FT, E
687.38 FT TO POB.

AD VALOREM TAXES

TAXING AUTHORITY	MILLAGE RATE (DOLLARS PER \$1,000 OF TAXABLE VALUE)	TAXES LEVIED
C001 BOARD OF COUNTY COMMISSIONERS	8.7260	244.47
S002 COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	.7600	21.29
LOCAL	5.1950	145.54
CAPITAL OUTLAY	2.0000	56.03
W SR SUWANNEE RIVER WATER MGT DIST	.4914	13.77
HLSH SHANDS AT LAKE SHORE	1.7500	49.03
IIDA INDUSTRIAL DEVELOPEMENT AUTH	.1380	3.87

TOTAL MILLAGE 19.0604

AD VALOREM TAXES

\$534.00

NON-AD VALOREM ASSESSMENTS

LEVYING AUTHORITY	RATE	AMOUNT
FFIR FIRE ASSESSMENTS		28.09

PAY ONLY ONE AMOUNT IN YELLOW SHADED AREA

NON-AD VALOREM ASSESSMENTS

\$28.09

COMBINED TAXES AND ASSESSMENTS

\$562.09

PAY ONLY
ONE AMOUNT

See reverse side for
important information.

IF PAID BY
PLEASE PAY

Nov 30
539.61

Dec 31
545.23

Jan 31
550.85

Feb 28
556.47

Mar 31
562.09

IF PAID
BY

RONNIE BRANNON, CFC
COLUMBIA COUNTY TAX COLLECTOR

2005 REAL ESTATE 01155860000
NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

ACCOUNT NUMBER	ESCROW CD	ASSESSED VALUE	EXEMPTIONS	TAXABLE VALUE	MILLAGE CODE
R04019-005		28,016	0	28,016	003

AB0024171 R
MAIN DAVID R & SHERRI A
6408 WILLOWWOOD CT
TAMPA FL 33634-4726

32-6S-16 9900/9900 8.13 Acres
COMM NE COR OF SE1/4, RUN W
640.35 FT, S 1555.11 FT FOR
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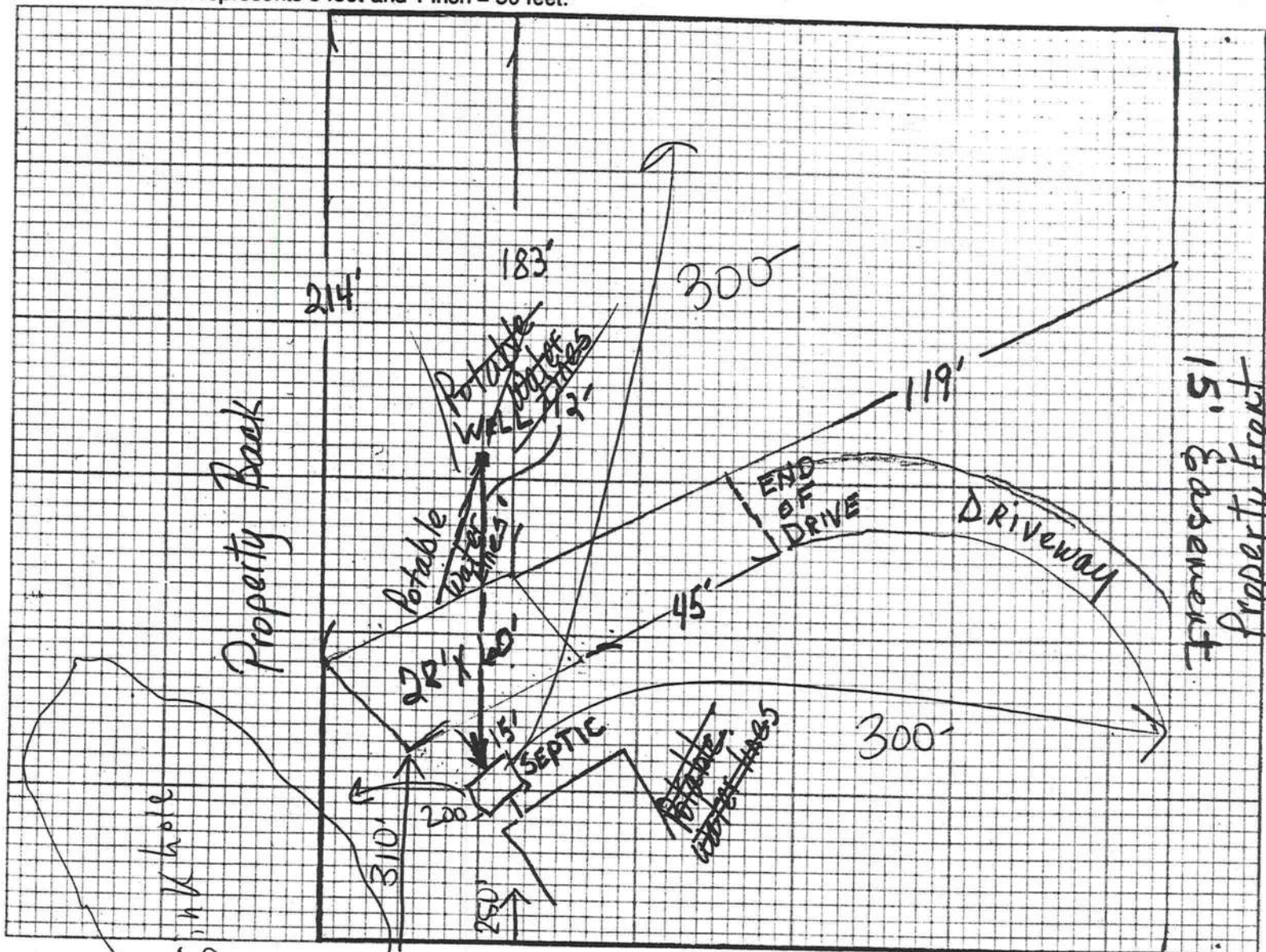


DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 03-04767

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1 Sink hole
Well to septic 112'

Total 8.13 acres 1 acre shown above

Site Plan submitted by: [Signature] Signature

Plan Approved [Signature] Not Approved

By Sallee Maddy ESI / Columbia

owner

Title

Date 5-12-03

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

Central Dozer Service, Inc.

5711 NE 25th Ave.

Ocala, FL 34479

352-351-6100 off.

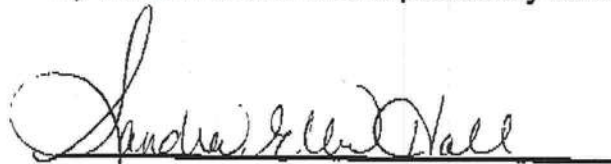
352-351-6103 fax

I, Wendell Crews, license # IH0000629 do hereby grant permission for Neil Neuman to sign and obtain permits in my behalf for customer David & Sherrie Main located in Columbia County, for the purpose of setting up a manufactured home.



Wendell Crews

Signed this 10 day of November 2005
by Wendell Crews who is personally known.


Notary Public

Central Dozer Service, Inc.

5711 NE 25th Ave.

Ocala, FL 34479

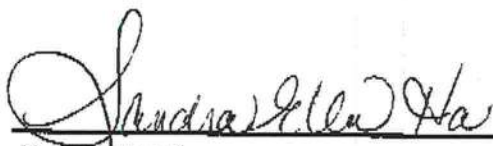
352-351-6100 off.

352-351-6103 fax

I, Wendell Crews, license # IH0000629 do hereby grant permission for
Wendy Grennell to sign and obtain permits in my behalf for
customer David Sherria Main located in Columbia County,
for the purpose of setting up a manufactured home.

Wendell Crews

Signed this 10 day of November 2005
by Wendell Crews who is personally known.


Notary Public

NOTES

RECEIPT

DATE 8/1/03

NO. 0028

RECEIVED FROM David Main

ADDRESS 6408 Willowood Court
1ampa, FL 33634

\$ 25.00

FOR culvert waiver

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	<u>25 00</u>
AMT. PAID		CHECK	
BALANCE DUE		MONEY ORDER	

Cash received

BY

[Signature]

©1998 REDIFORM® 8L808

Date

11/8/05

AUTHORIZATION LETTER

I David R. Shaw, HOMEOWNER do hereby authorize Neil R. Neumann, dba A- Allstate Permitting Services, to set as my AGENT in the county of COLUMBIA, departments of Health & Building for the purpose of applying, processing & paying for the required fees & permits for my new home.

Signed & authorized by

David R. Shaw

Sworn to & subscribed this notary

11/8/05

My commis

