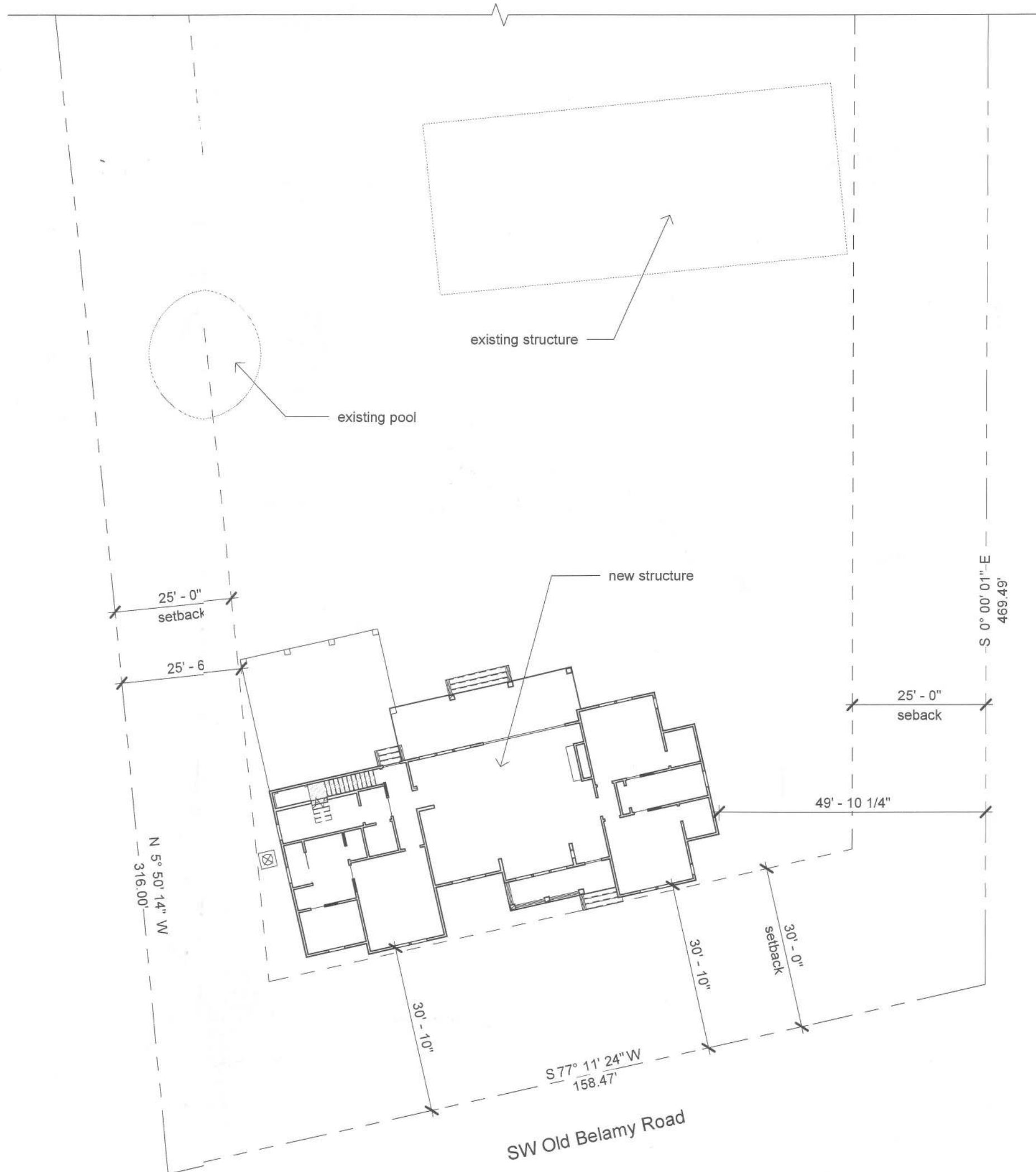




Location Map
N.T.S.



Site Detail
1" = 20'-0"

General Notes:

1. ALL WORK SHALL CONFORM TO THE LATEST FLORIDA BUILDING CODE, THE NFPA LIFE SAFETY CODE, AND ALL OTHER APPLICABLE CODES AND ORDINANCES. OBTAIN ALL REQUIRED PERMITS FOR THE PROPER LEGAL EXECUTION OF THE WORK DESCRIBED IN THESE DRAWINGS AND SPECIFICATIONS.
2. PROVIDE A CONTINUOUS LOAD PATH FROM TRUSSES OR RAFTERS TO FOUNDATION FOR ALL NEW CONSTRUCTION. IF ANY DISCREPANCIES, CALL DESIGNER FOR CLARIFICATION BEFORE PROCEEDING.
3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING ANY WORK. HE/SHE SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND ACTUAL SITE CONDITIONS FOUND DURING OR PRIOR TO DEMOLITION.
4. FOUNDATION DESIGN IS BASED ON 2000 PSF STABLE SOIL CONDITIONS.
5. PROVIDE TESTING ON SOIL COMPACTION PRIOR TO LAYING STEEL OR POURING CONCRETE. COMPACTION SHOULD ACHIEVE 95% MODIFIED PROCTOR DENSITY.
6. PROVIDE ADEQUATE BLOCKING BEHIND ALL WALL MOUNTED FIXTURES
7. PROVIDE ALL ACCESSORIES, HARDWARE AND MISC. ITEMS AS PER DRAWINGS AND SPECIFICATIONS. ALL ITEMS SHALL BE INSTALLED AS PER MANUFACTURERS WRITTEN INSTRUCTIONS AND CUT SHEETS.
8. CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
9. ALL CONCRETE SHALL BE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
10. INSTALL DOORS AND WINDOWS PER MANF. DATA PROVIDED W/ PRODUCT. CENTER UNLESS NOTED
11. REFER TO WIND LOAD ANALYSIS FOR NAIL PATTERN AND SCHEDULE AND HOLD DOWN TABLES
12. ATTIC OVER CONDITIONED SPACE IS UNVENTED. ATTIC INSULATION FOAM-IN-PLACE SPRAY FOAM INSULATION.
13. ATTIC OVER PORCHES IS VENTED. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM.
14. FIREPLACE IS PROPANE FUELED AND UNVENTED
15. ALL FLASHING TO MEET CODES. FOLLOW MANUFACTURER'S DATA SHEET AND SMACNA STANDARDS.
16. STRUCTURAL CONNECTORS LISTED ARE FOR EXAMPLE. OTHER PRODUCTS MAY BE SUBSTITUTED FOR ANY CONNECTORS LISTED PROVIDED THEY MEET THE REQUIRED LOAD CAPACITIES. FOLLOW MANUFACTURER'S INSTALLATION DATA. ANY CONNECTORS EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED.
17. ANCHOR BOLT MINIMUM EMBEDMENT IS 7" UNLESS OTHERWISE NOTED.
18. ELECTRICAL INFORMATION IS DIAGRAMMATIC ONLY.
19. ALL FIXTURES AND EQUIPMENT MUST MEET THE OWNER'S APPROVAL PRIOR TO PURCHASE AND INSTALLATION
20. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. ALL STRUCTURAL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.
21. ALL WOOD AND WOOD CONSTRUCTION SHALL COMPLY WITH THE RELEVANT CODES AND SPECIFICATIONS AND THE 'AMERICAN INSTITUTE OF TIMBER CONSTRUCTION' (STANDARD MANUAL)
22. APPLICATION OF PAINT OR OTHER COATING SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. READY-MIXED PAINT SHALL NOT BE THINNED, EXCEPT AS PERMITTED IN THE APPLICATION INSTRUCTIONS.
23. ALL SURFACES TO BE FINISHED SHALL BE CLEAN AND FREE OF FOREIGN MATERIALS, (DIRT, GREASE, ASPHALT, RUST, ETC.)
24. APPLICATION SHALL BE IN A WORKMANLIKE MANNER PROVIDING A SMOOTH SURFACE. APPLICATION RATE SHALL BE THAT RECOMMENDED BY THE MANUFACTURER. APPLICATION MAY BE BY BRUSH OR ROLLER, OR MAY BE BY SPRAY IF PAINT IS FORMULATED FOR SAME.
25. PROVIDE EXTERIOR AND INTERIOR SURFACE FINISHES AS SCHEDULED, AS APPROPRIATE FOR THEIR LOCATION OR EXPOSURE TO WEATHER, AND AS RECOMMENDED BY THE MANUFACTURER.
26. OTHER FINISHES AS PER CONSTRUCTION DOCUMENTS, FINISH SCHEDULE OR OWNER'S SPECIFICATIONS.
27. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. NOR WILL HE/SHE BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, OR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

Project Identification

Zimmermon Residence

Project Location

2205 SW Old Bellamy Road
Fort White, Florida 32038

Owner

Pamela and Vernon Zimmermon

Designer

Bob Harris - dba Bob Harris Design
2351 SW 56th Avenue
Gainesville, Florida 32608

Project Scope

- New Home

Area Schedule	
Name	Area

Conditioned	2310 SF
Rear Porch	343 SF
Carport	640 SF
Front Porch	108 SF
Unfinished Bonus Room	317 SF
Total	3718 SF

Sheet List	
Sheet Number	Sheet Name

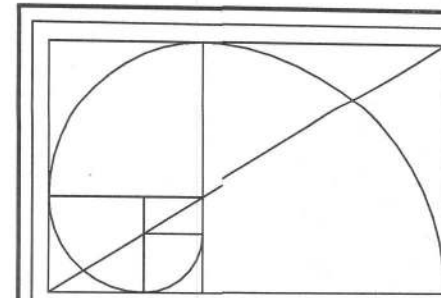
A0	Cover, Location, Notes
A1	Floor Plan
A1.1	Second Floor Plan
A2	Elevations
A2.1	Elevations
A3	Foundation Plan
A4	Roof Plan
A5	Building Sections
A5.1	Details
A6	Electrical Plan First Floor
A6.1	Electrical Plan Second Floor



Sketch Front



Sketch Rear



BOB
HARRIS
DESIGN

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 56th Avenue

CLIENT

Pamela and Vernon
Zimmermon

Zimmermon Residence
Home Renovation
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bob Harris

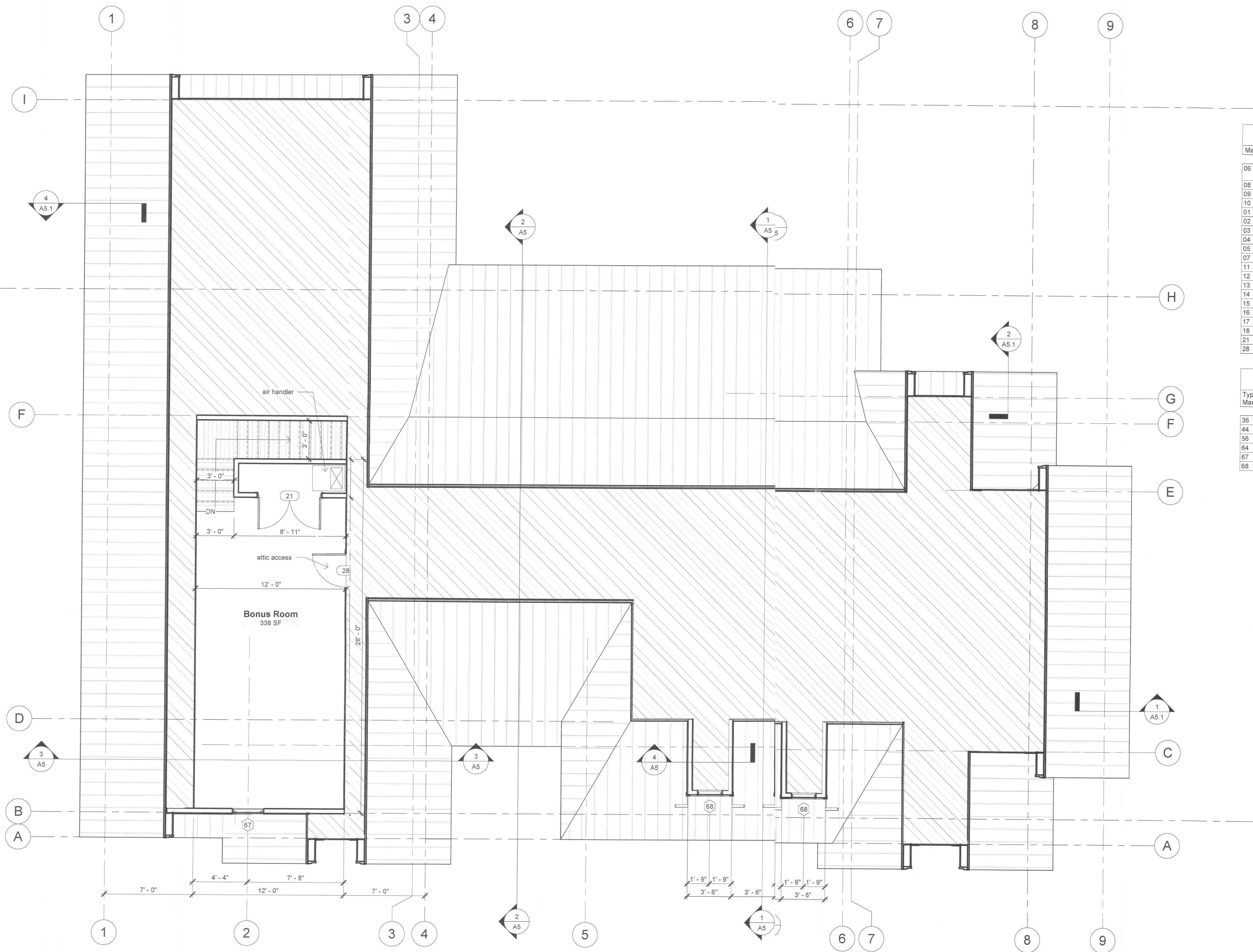
Description:
Cover, Location,
Notes

SHEET

A0

OF

11



Door Schedule					
Mark	Width	Height	Description	Comments	Function
06	15' - 6"	8' - 0"	(2) 48" Panel (2) Track Opposing		Exterior
08	3' - 0"	8' - 0"	3/4 Lite Exterior Door	Front Door	Exterior
09	3' - 0"	8' - 0"	3/4 Lite Exterior Door	Back Door	Exterior
10	5' - 0"	8' - 0"			Exterior
01	2' - 8"	8' - 0"			Interior
02	2' - 8"	8' - 0"			Interior
03	2' - 6"	8' - 0"			Interior
04	3' - 0"	8' - 0"			Interior
05	2' - 8"	8' - 0"			Interior
07	2' - 6"	8' - 0"	Pocket Door		Interior
11	2' - 6"	8' - 0"	Pocket Door		Interior
12	2' - 6"	8' - 0"	Pocket Door		Interior
13	2' - 6"	8' - 0"	Pocket Door		Interior
14	2' - 6"	8' - 0"	Pocket Door		Interior
15	2' - 8"	8' - 0"			Interior
16	2' - 8"	8' - 0"			Interior
17	2' - 6"	8' - 0"	Pocket Door		Interior
18	4' - 0"	8' - 0"	Double Bi Fold Door		Interior
21	5' - 0"	6' - 8"	Pair		Interior
28	2' - 8"	5' - 0"			Interior

Window Schedule				
Type Mark	Width	Height	Description	Comments
36	3' - 0"	6' - 0"	Single Hung	
44	3' - 0"	4' - 6"	Single Hung	
56	3' - 0"	3' - 0"	Casement	
64	2' - 0"	6' - 0"	Single Hung	
67	2' - 6"	4' - 0"	Single Hung	
68	2' - 0"	3' - 0"	Fixed Glass	

Second Floor Plan
1/4" = 1'-0"

Zinnermon Residence
Home Renovation
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bob Harris

Description:

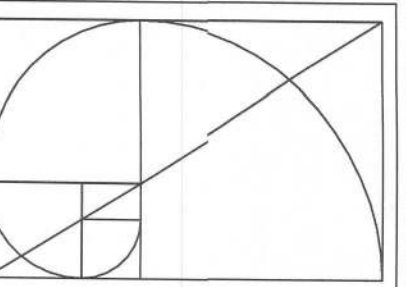
Second Floor Plan

SHEET

A1.1

OF

11



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 5th Avenue

CLIENT

Pamela and Vernon
Zimmerman

**Zimmerman Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bob Harris

Description:

Elevations

SHEET

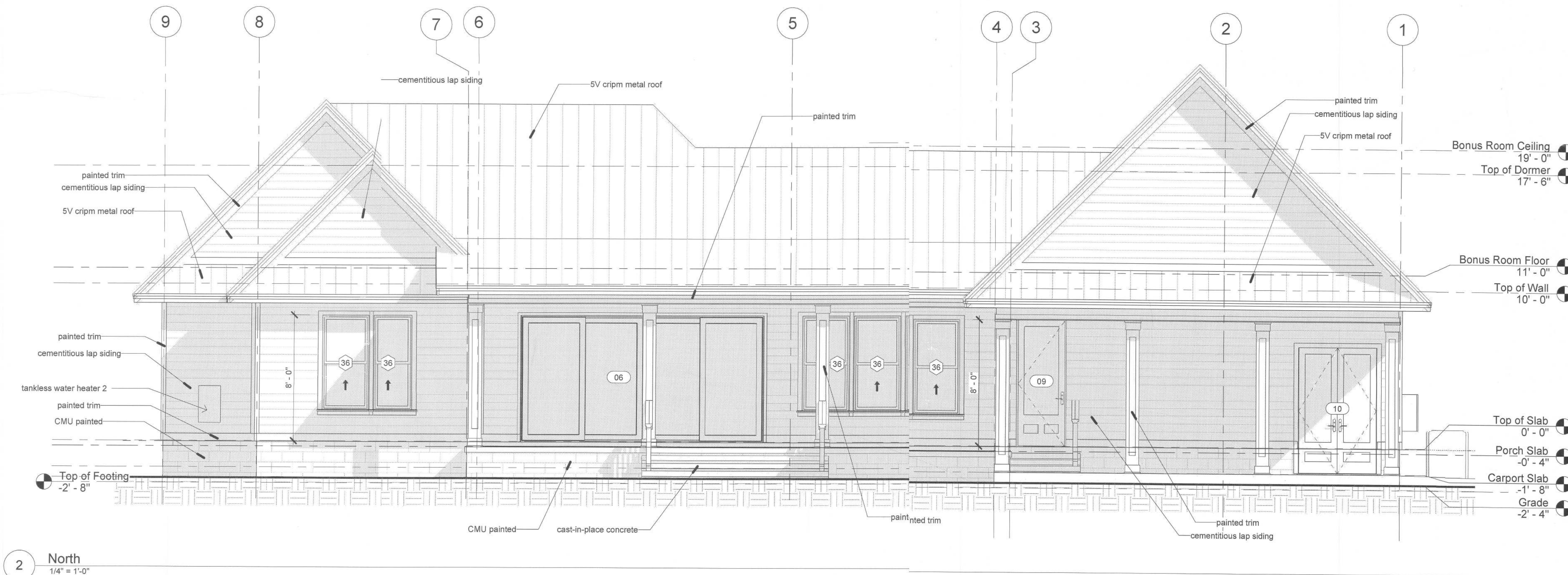
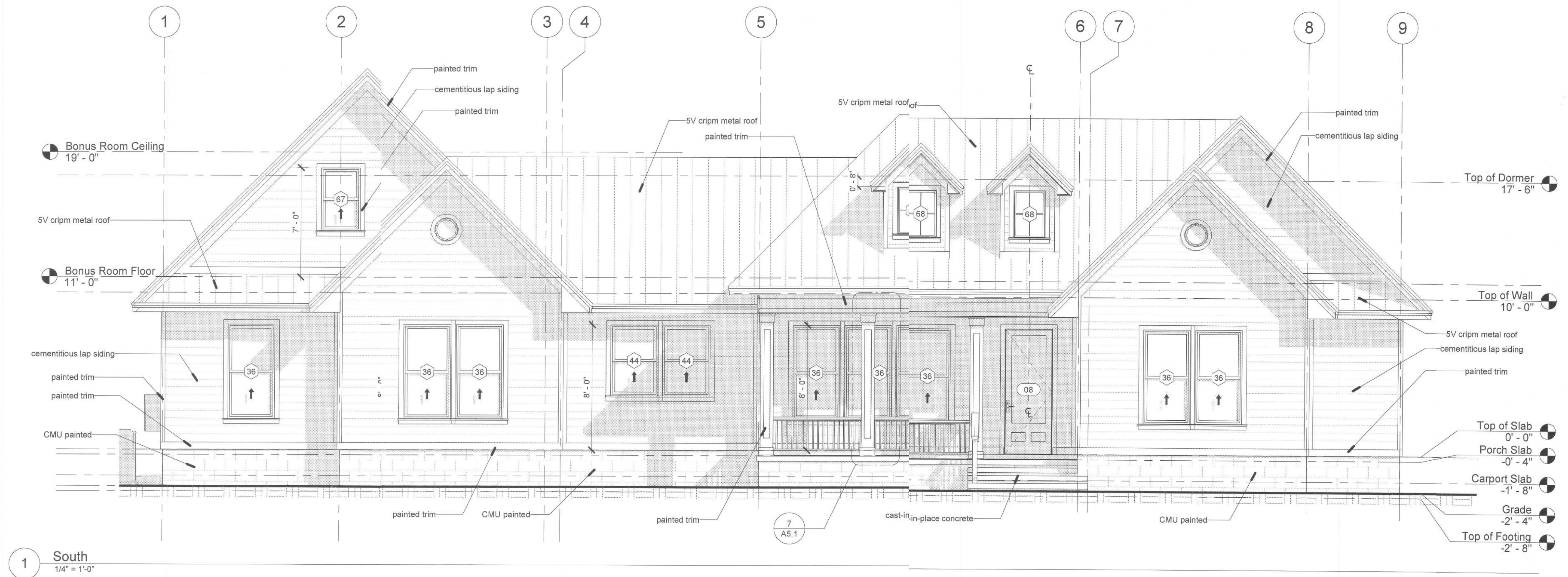
A2

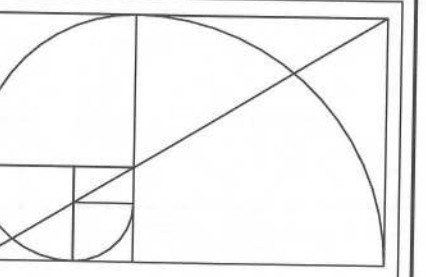
OF

11

100% Construction Documents

100% Construction Documents





**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bhr@bobharrisdesign.com
352-317-5644
2351 SW 5th Avenue

CLIENT
Pamela and Vernon
Zinnermon

**Zinnermon Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date	
Number	Date

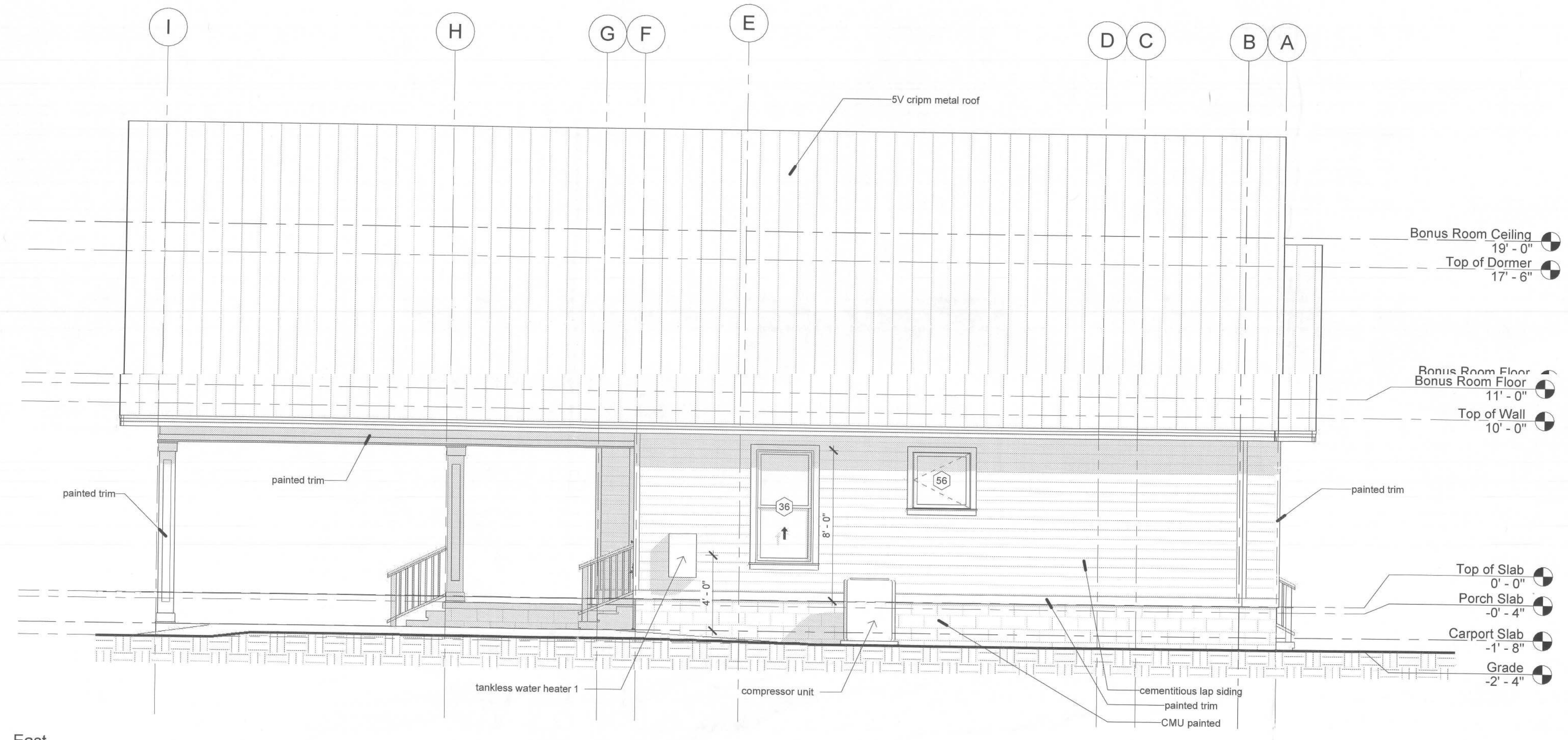
Date: 10/04/21
Drawn: Bob Harris
Description: Elevations

SHEET

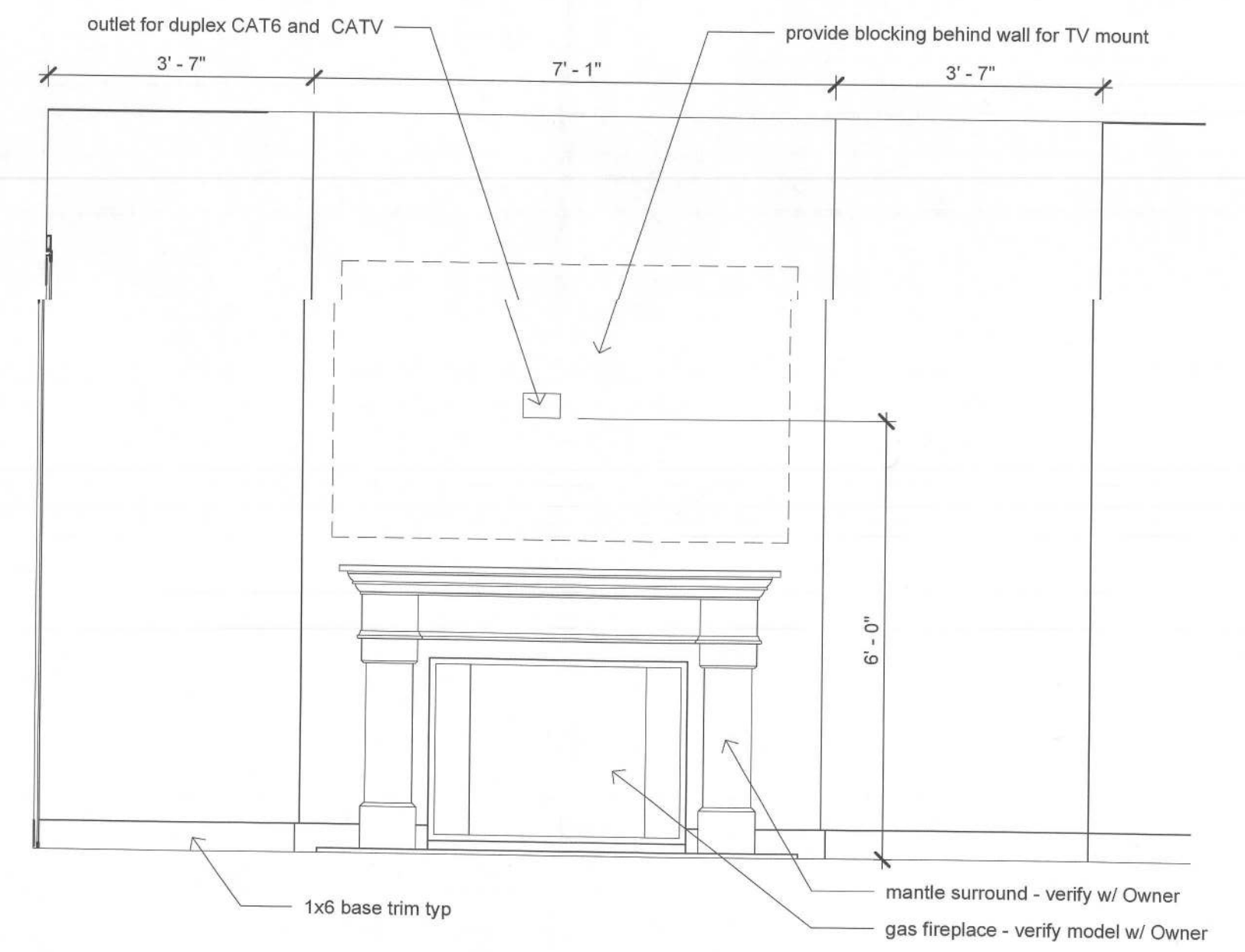
A2.1

OF
11

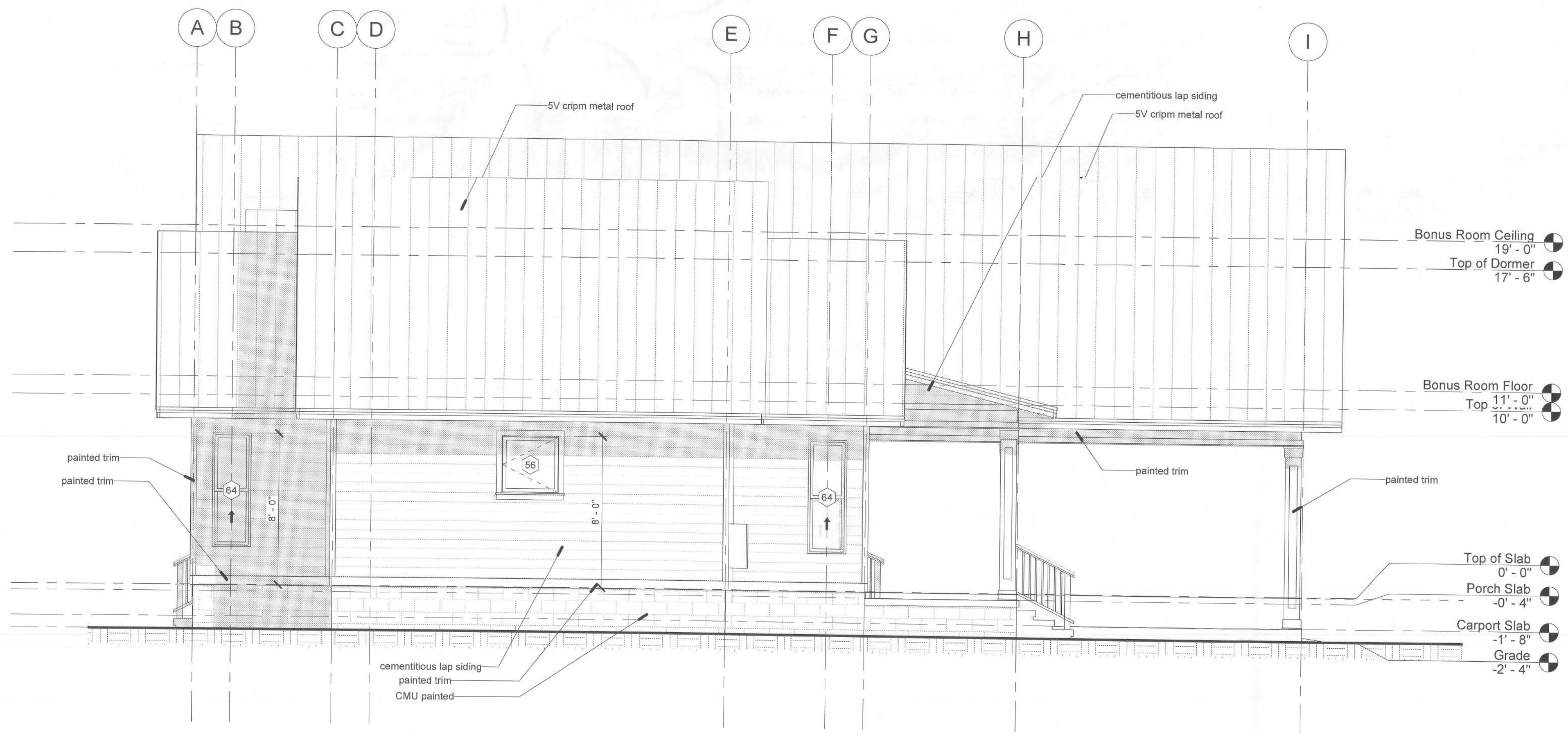
100% Construction Documents



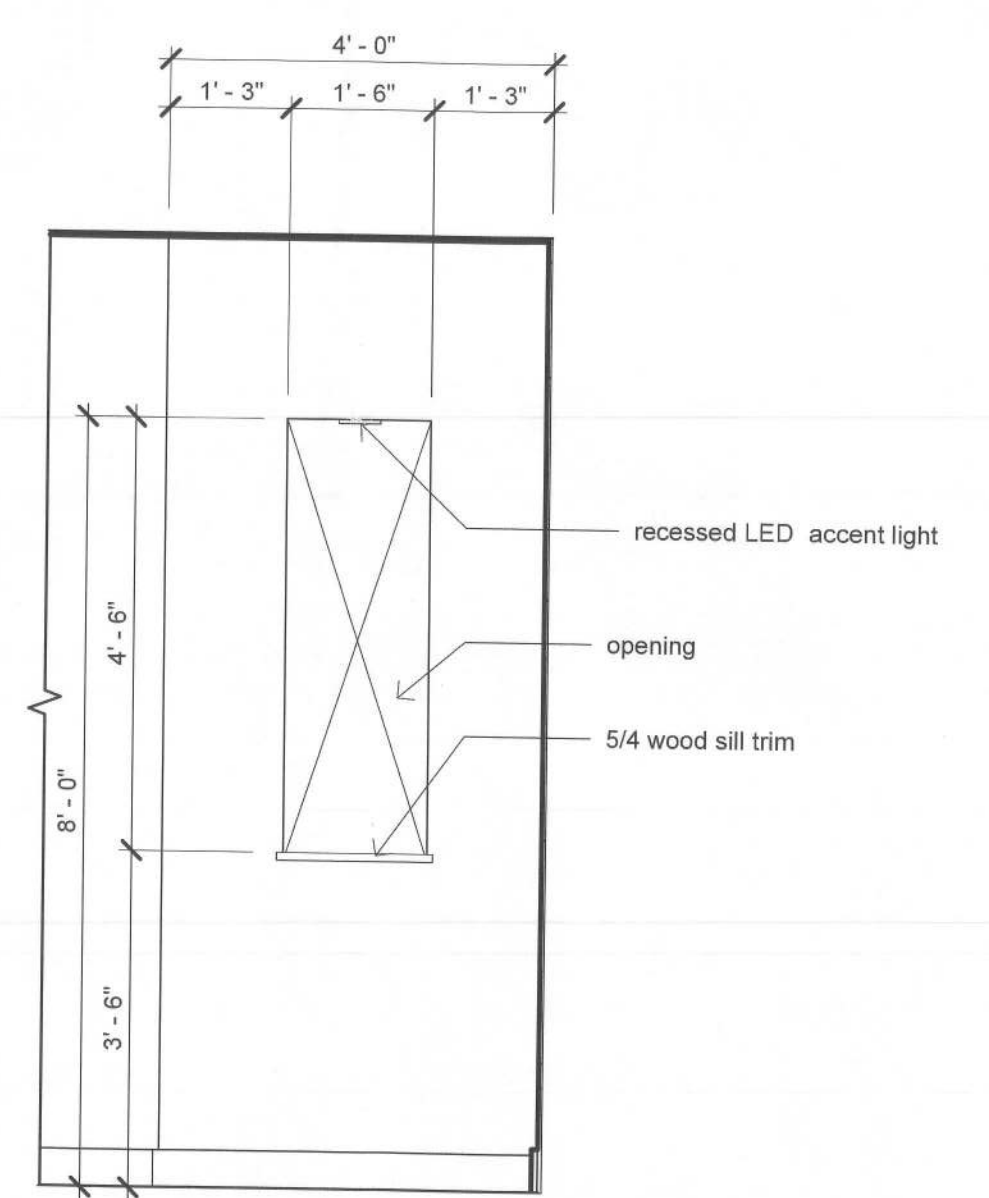
1 East
1/4" = 1'-0"



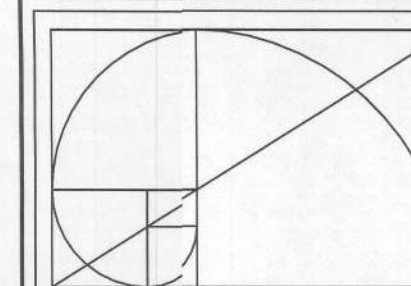
3 Interior Elevation Fireplace Wall
1/2" = 1'-0"



2 West
1/4" = 1'-0"



4 Interior Elevation Foyer Niche
1/2" = 1'-0"



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
352-317-6644
231 SW 5th Avenue

CLIENT

Pamea and Vernon
Zinnermon

**Zinnermon Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bcb Harris

Description:

Foundation Plan

SHEET

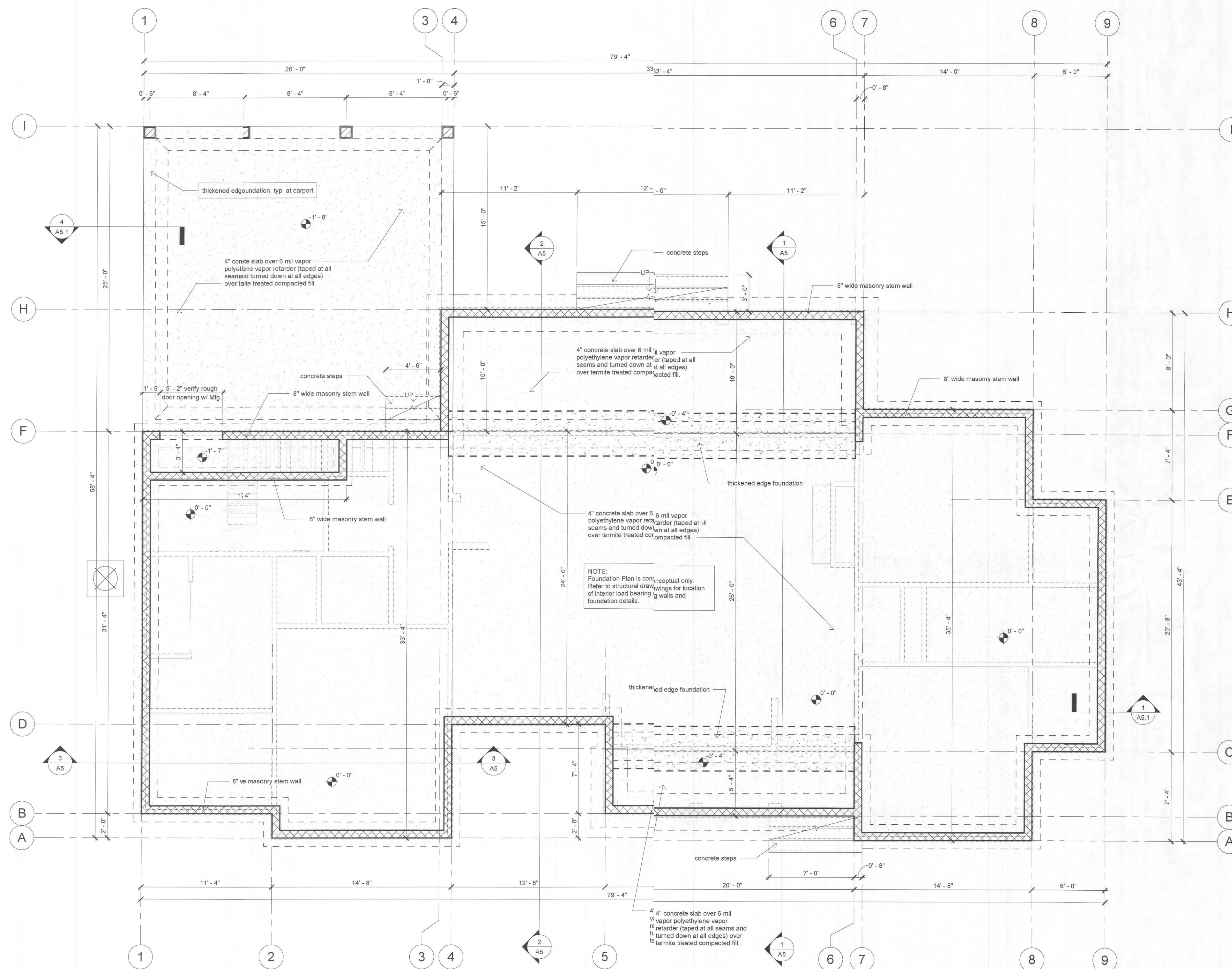
A3

OF

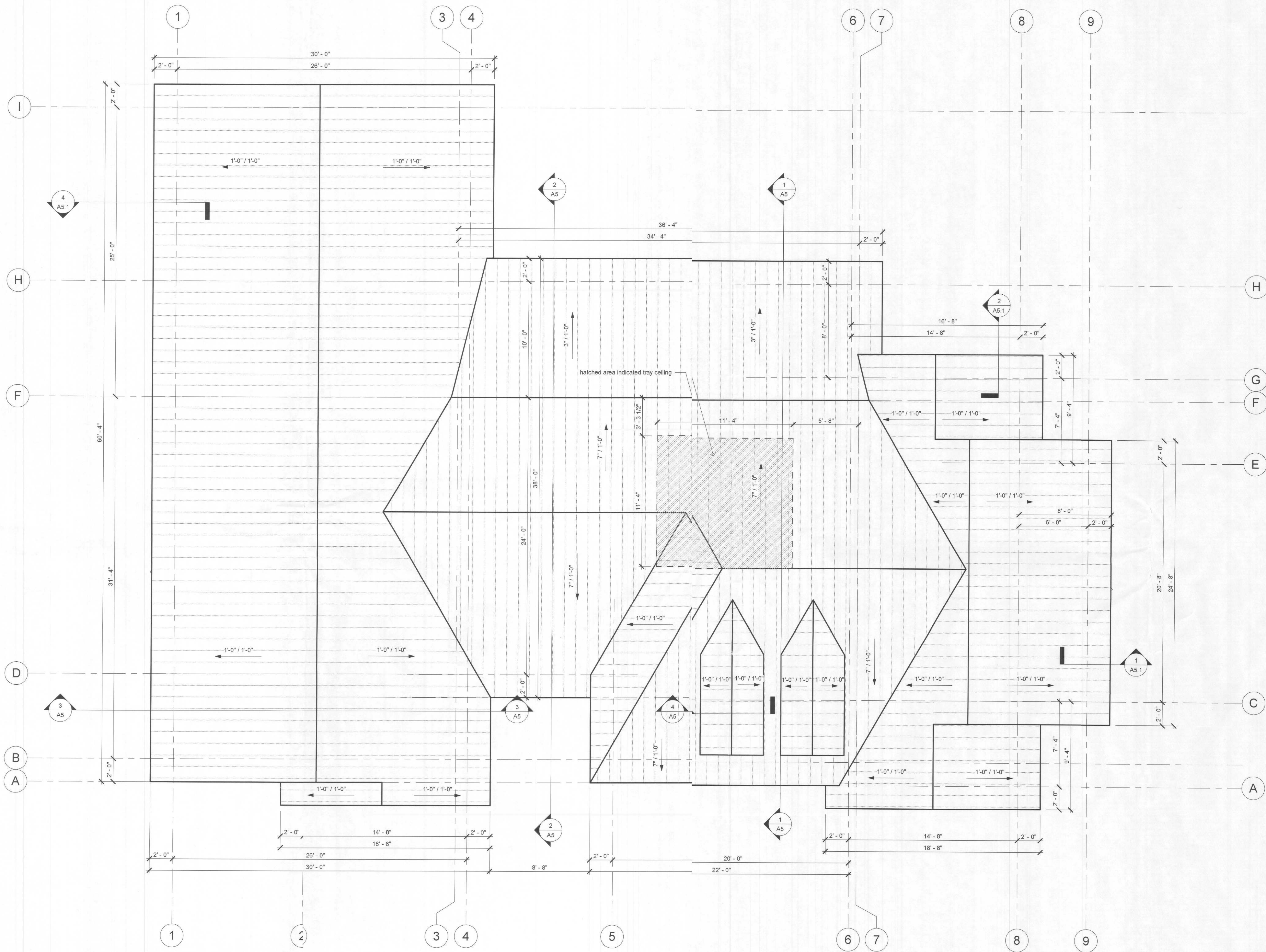
11

100% Construction Documents

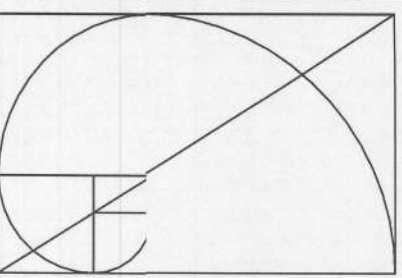
100% Construction Documents



1 Foundation Plan
1/4" = 1'-0"



1 Roof Plan
1/4" = 1'-0"



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
23513W 5th Avenue

CLIENT

Pamela and Vernon
Zimmerman

**Zimmerman Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bob Harris

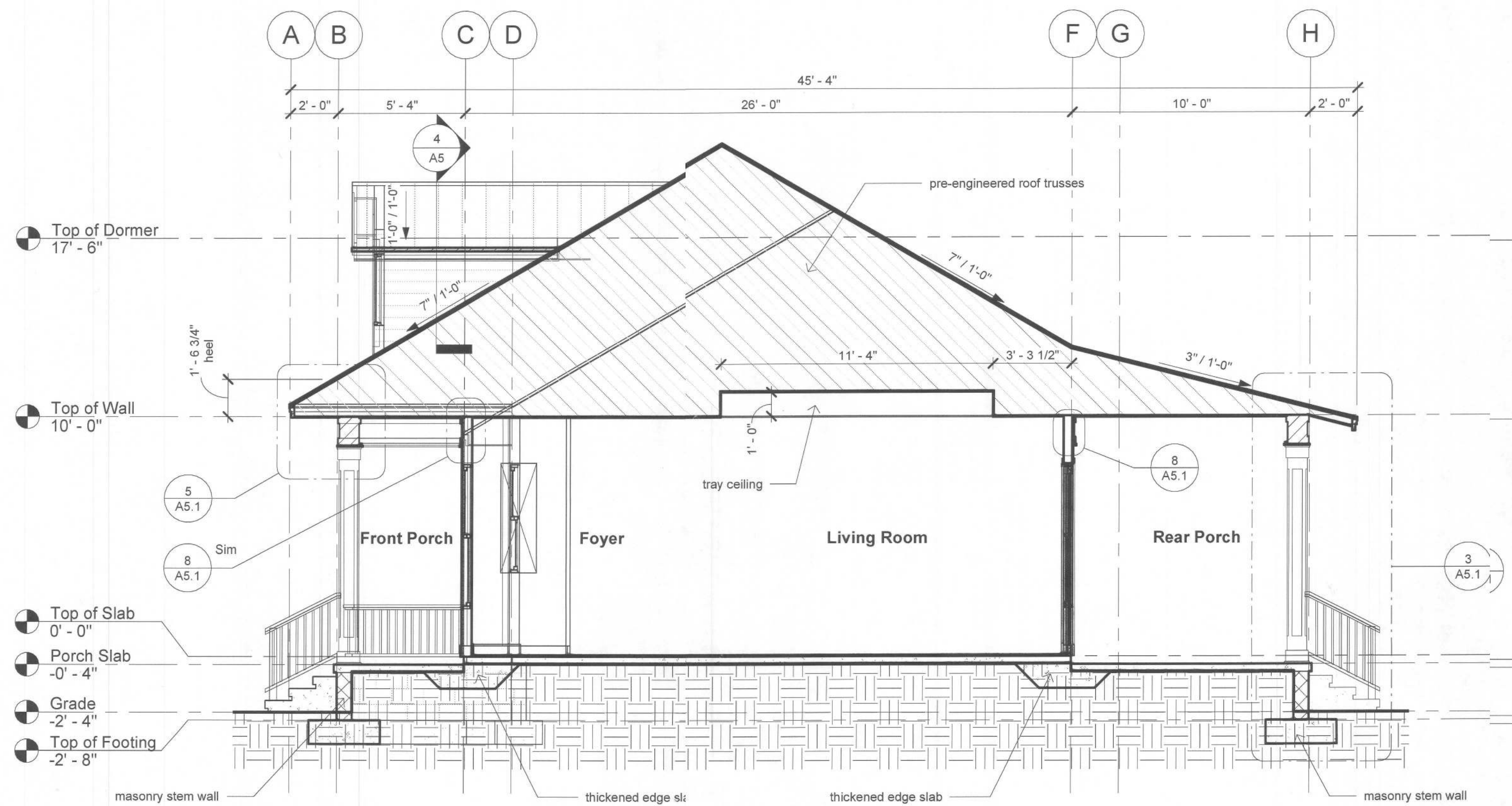
Description:

Roof Plan

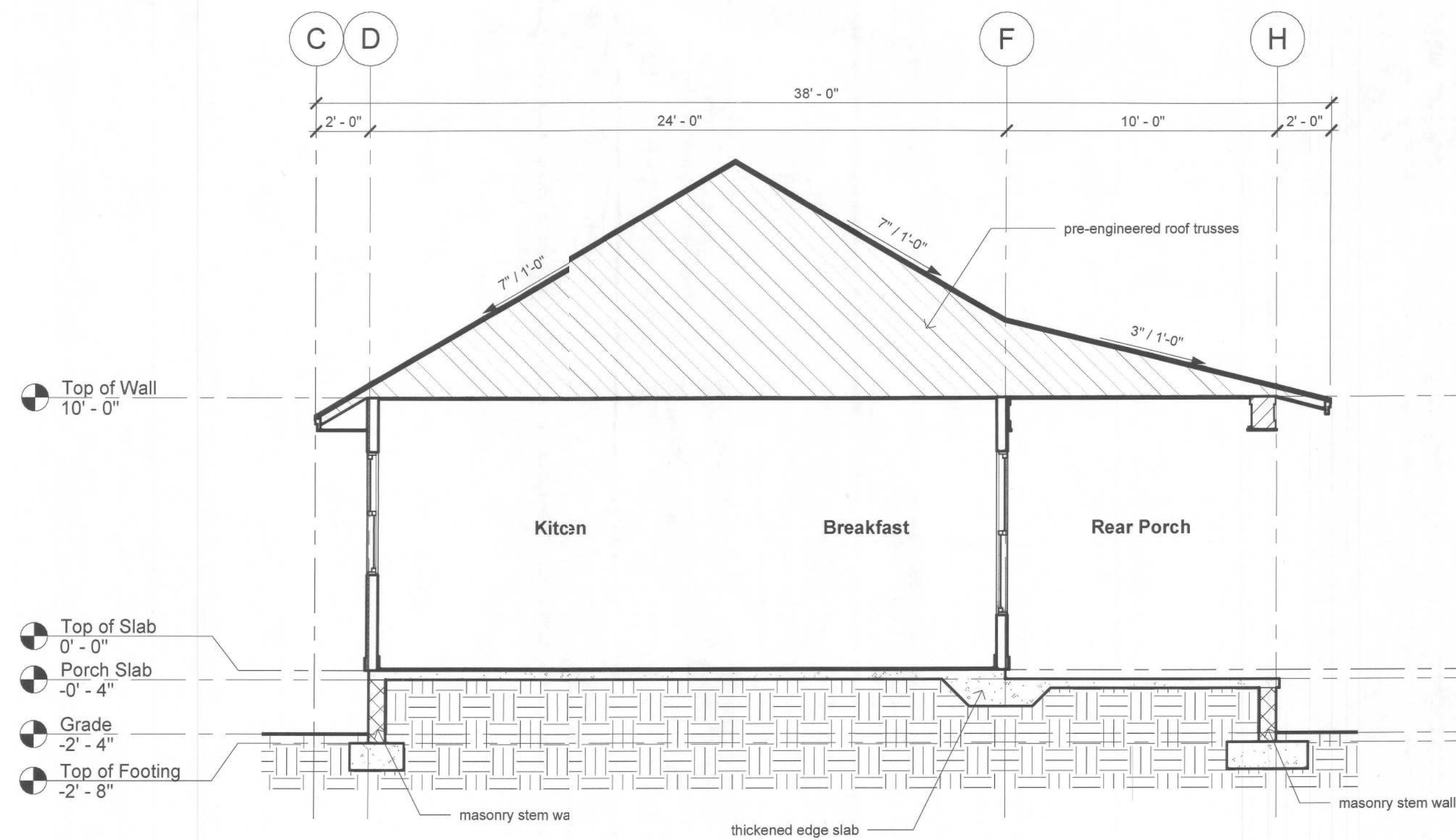
SHEET

A4

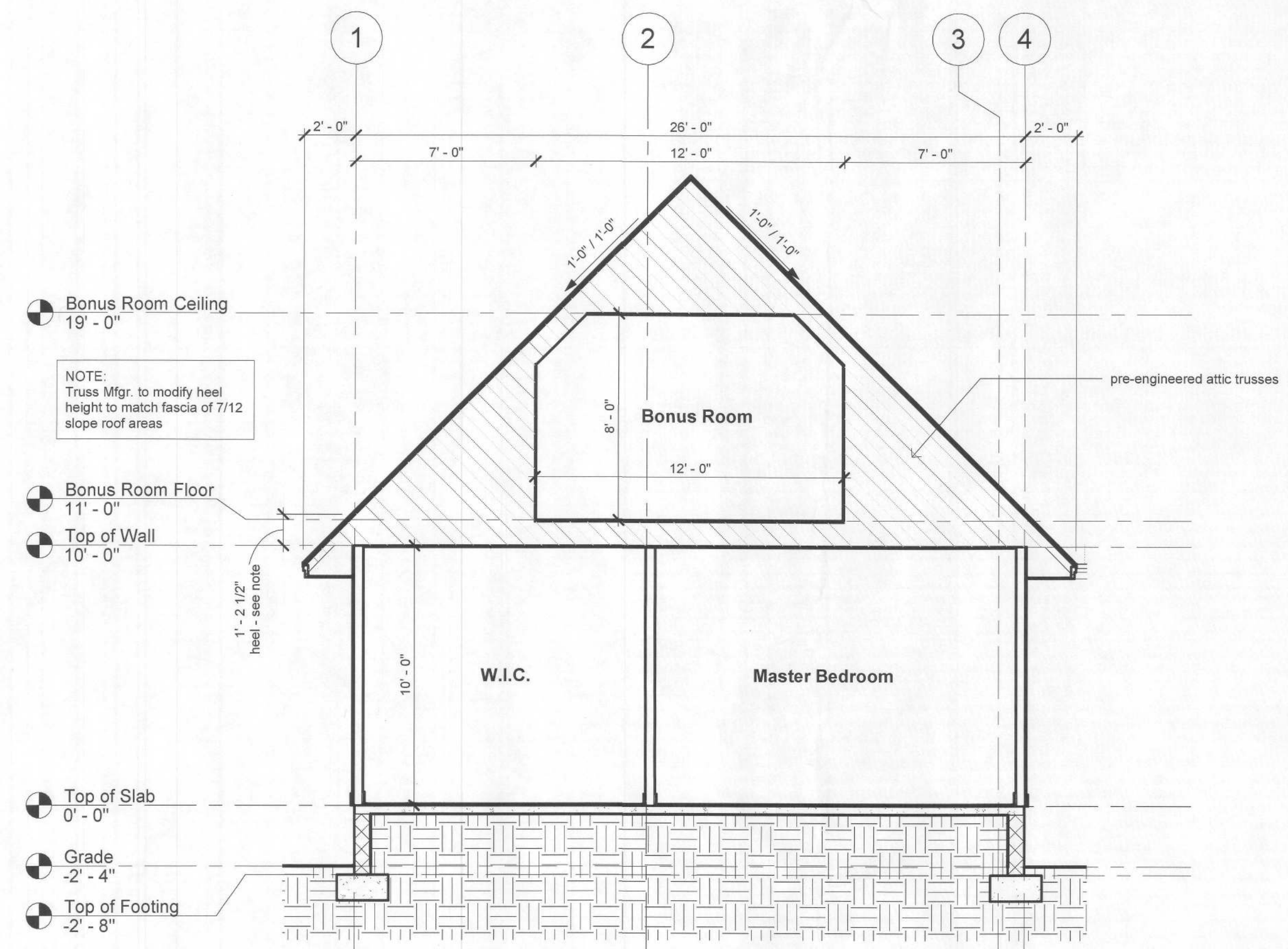
OF
11



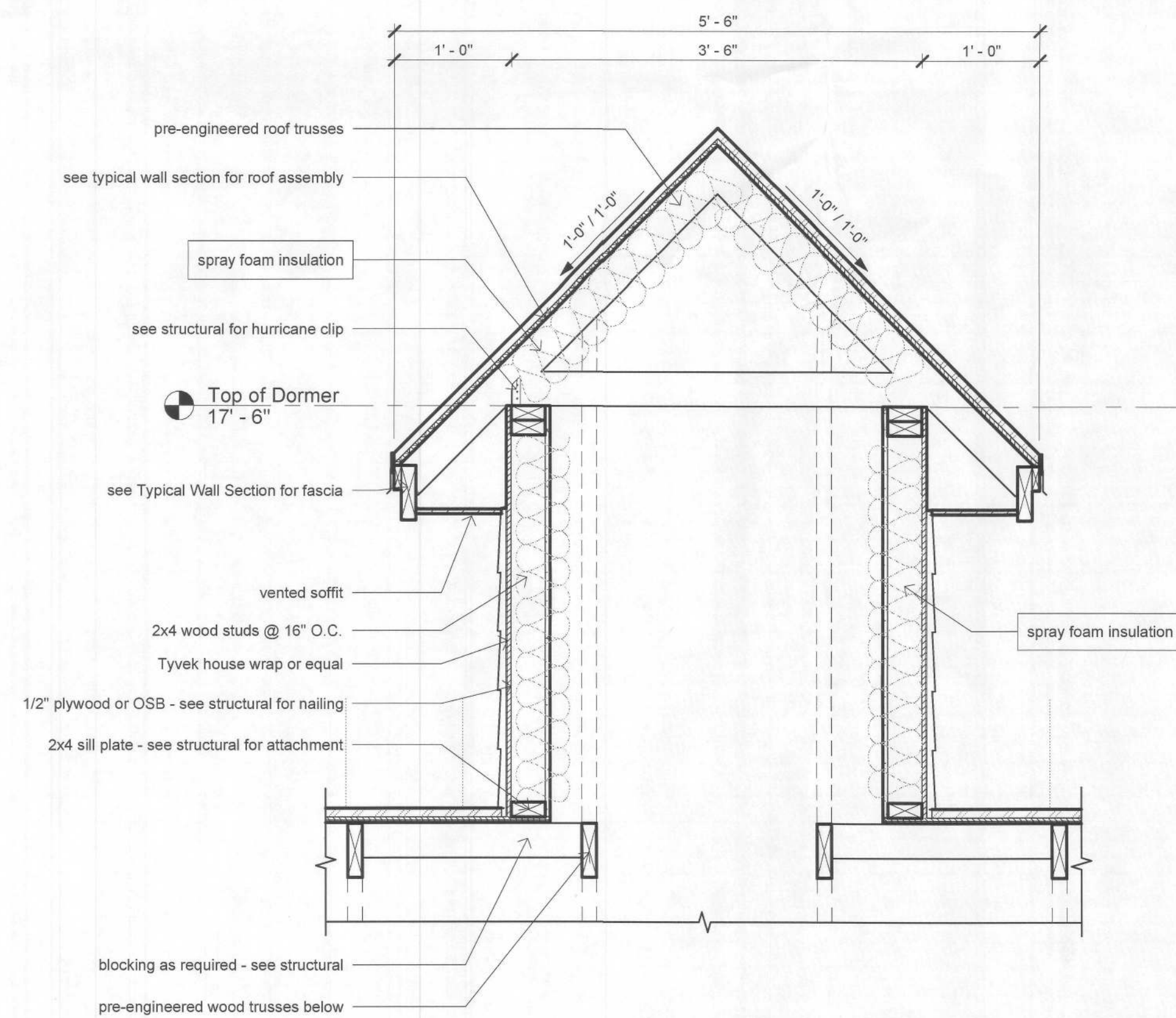
1 Living Room Section
1/4" = 1'-0"



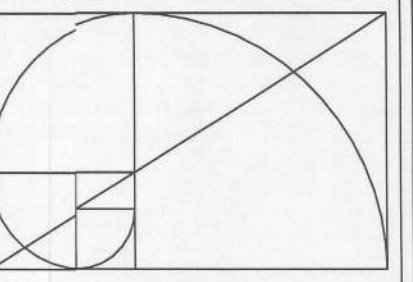
2 Kitchen Section
1/4" = 1'-0"



3 Bonus Room Section
1/4" = 1'-0"



4 Dormer Section
1" = 1'-0"



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
bh@bobharrisdesign.com
352-317-6644
2351 SW 5th Avenue

CLIENT

Panela and Vernon
Zimmerman

**Zimmerman Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

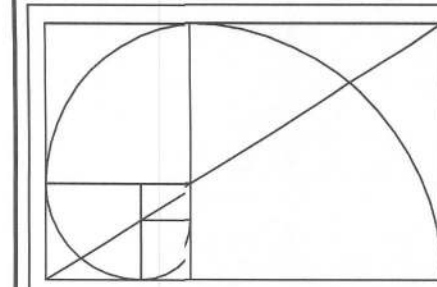
Date
10/04/21

Drawn:
Bob Harris

Description:

Buiding Sections

SHEET
A5
OF
11



**BOB
HARRIS
DESIGN**

bobharrisdesign.com
352-317-6644
235 SW 5th Avenue

CLIENT

Pamela and Vernon
Zimmerman

Zimmerman Residence Home Renovation

2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bob Harris

Description:

Details

SHEET

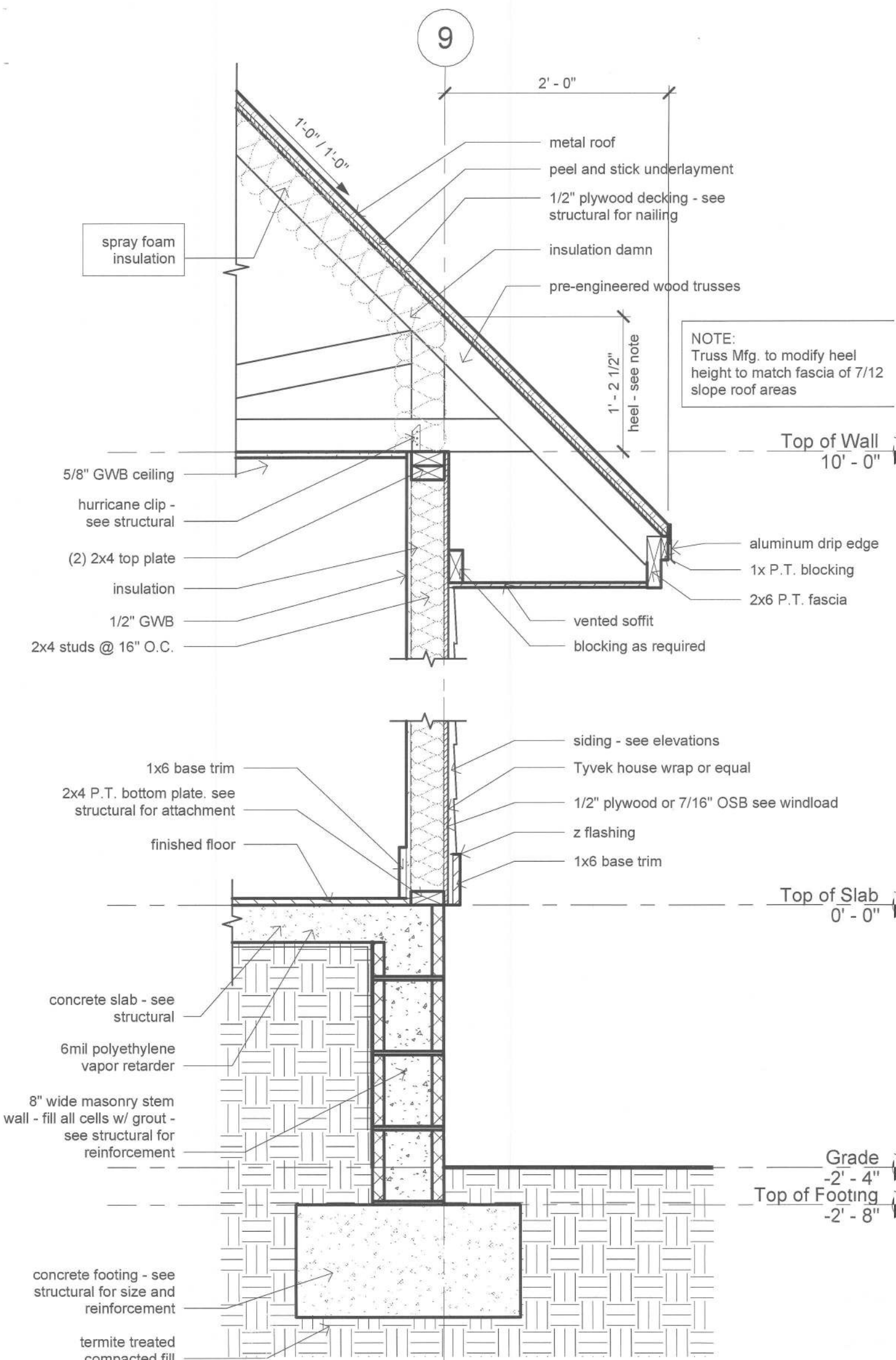
A5.1

OF

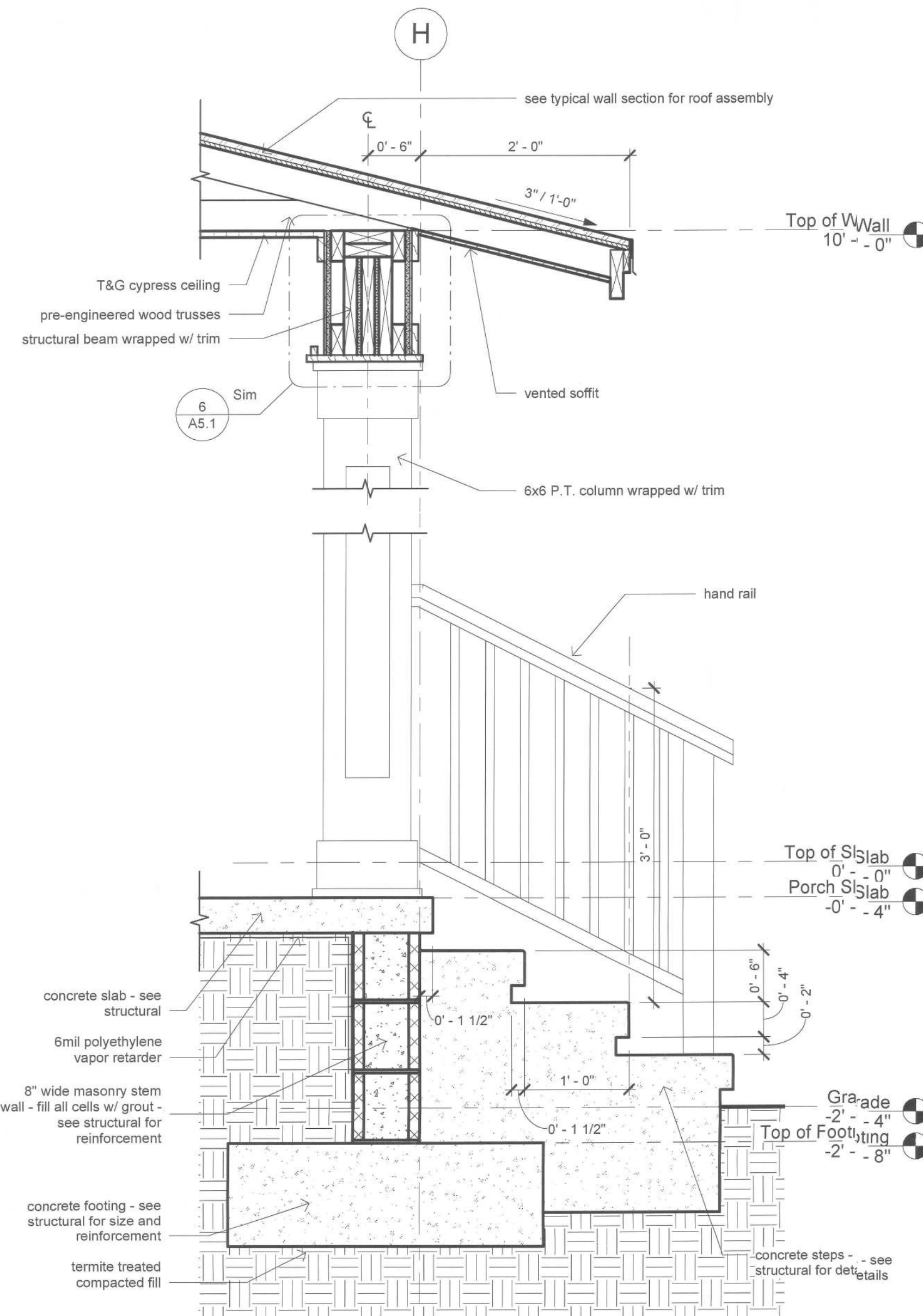
11

100% Construction Documents

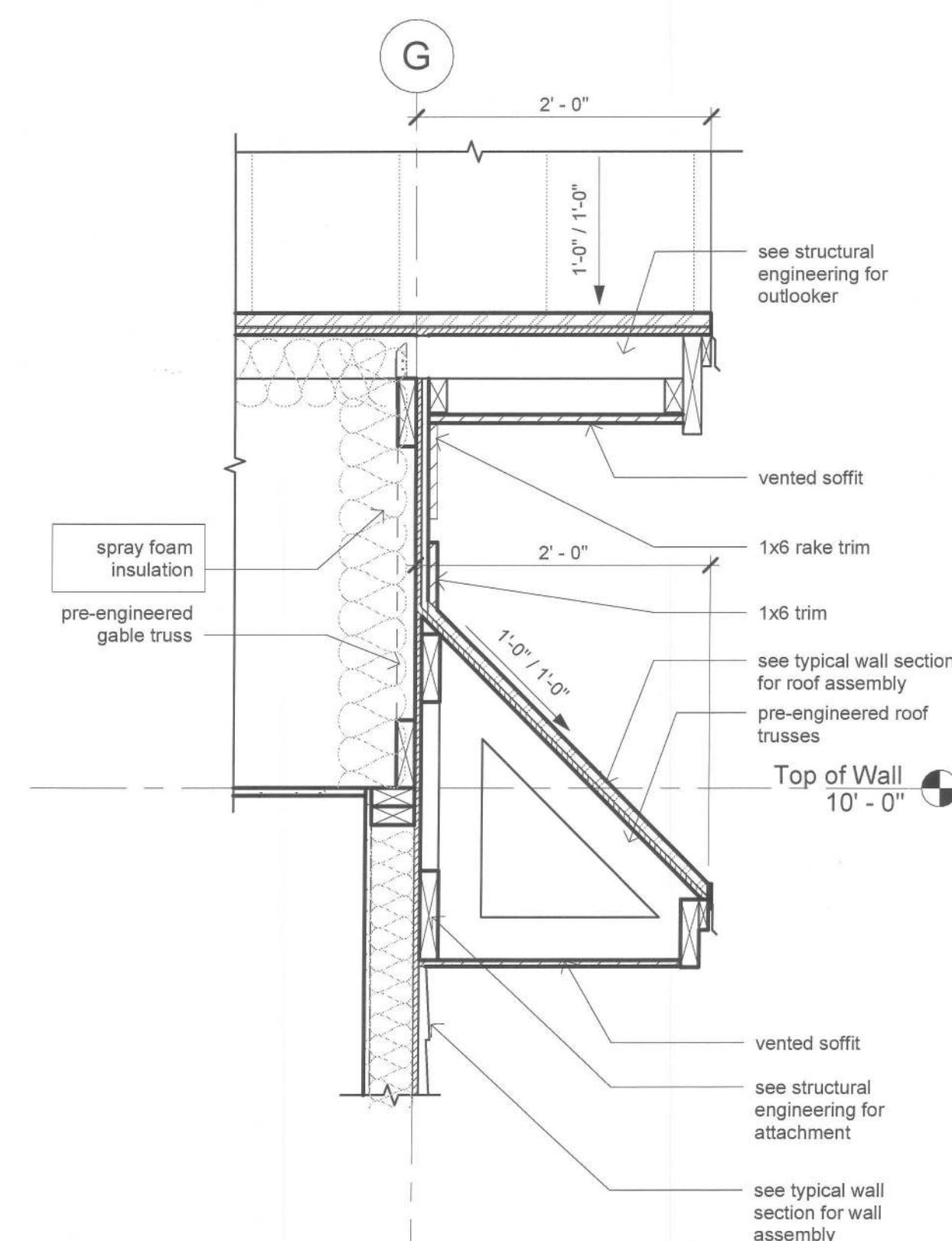
100% Construction Documents



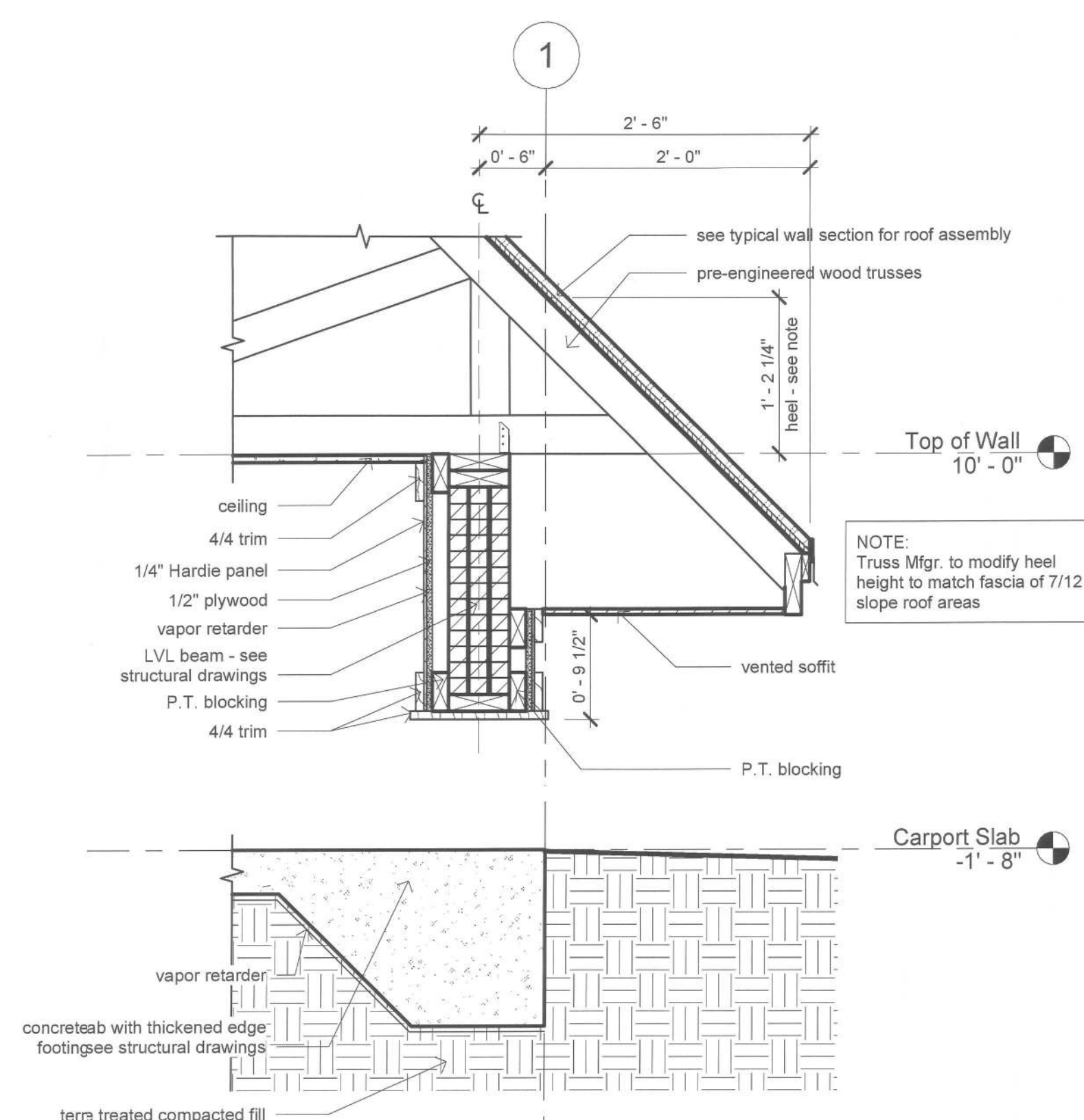
1 Typical Wall Section
1" = 1'-0"



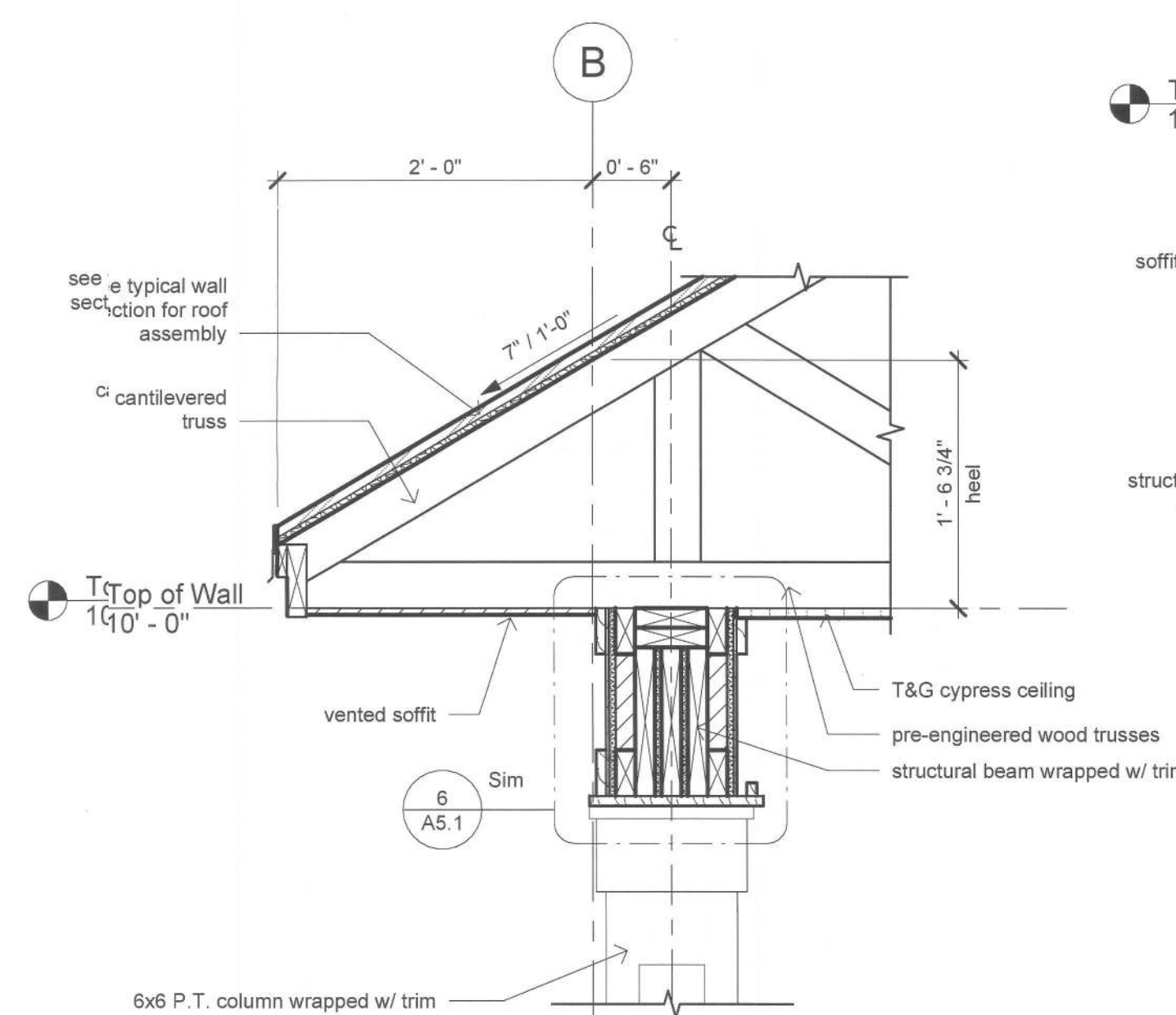
3 Rear Porch Section
1" = 1'-0"



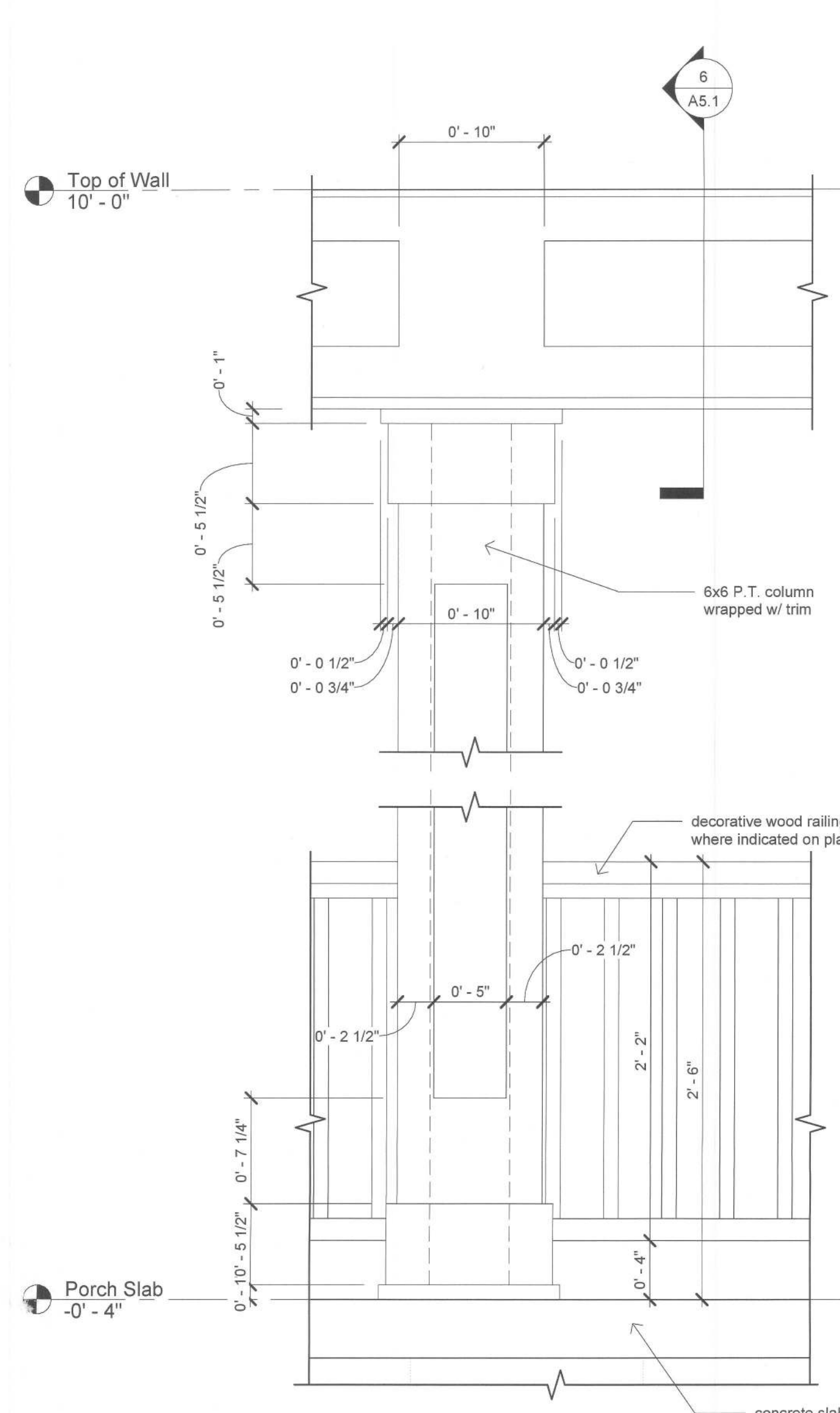
2 Gable End Detail
1" = 1'-0"



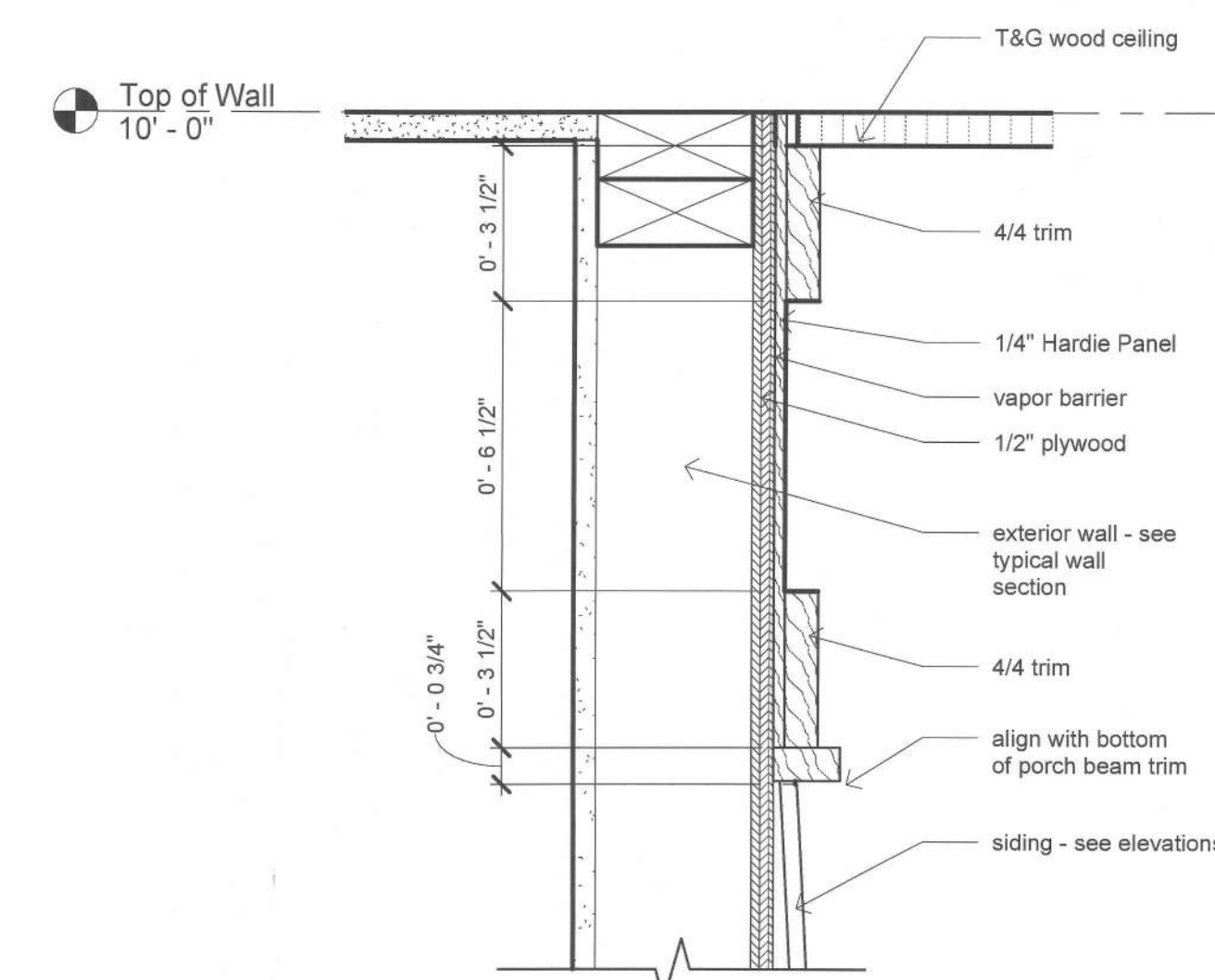
4 Carport Section
1" = 1'-0"



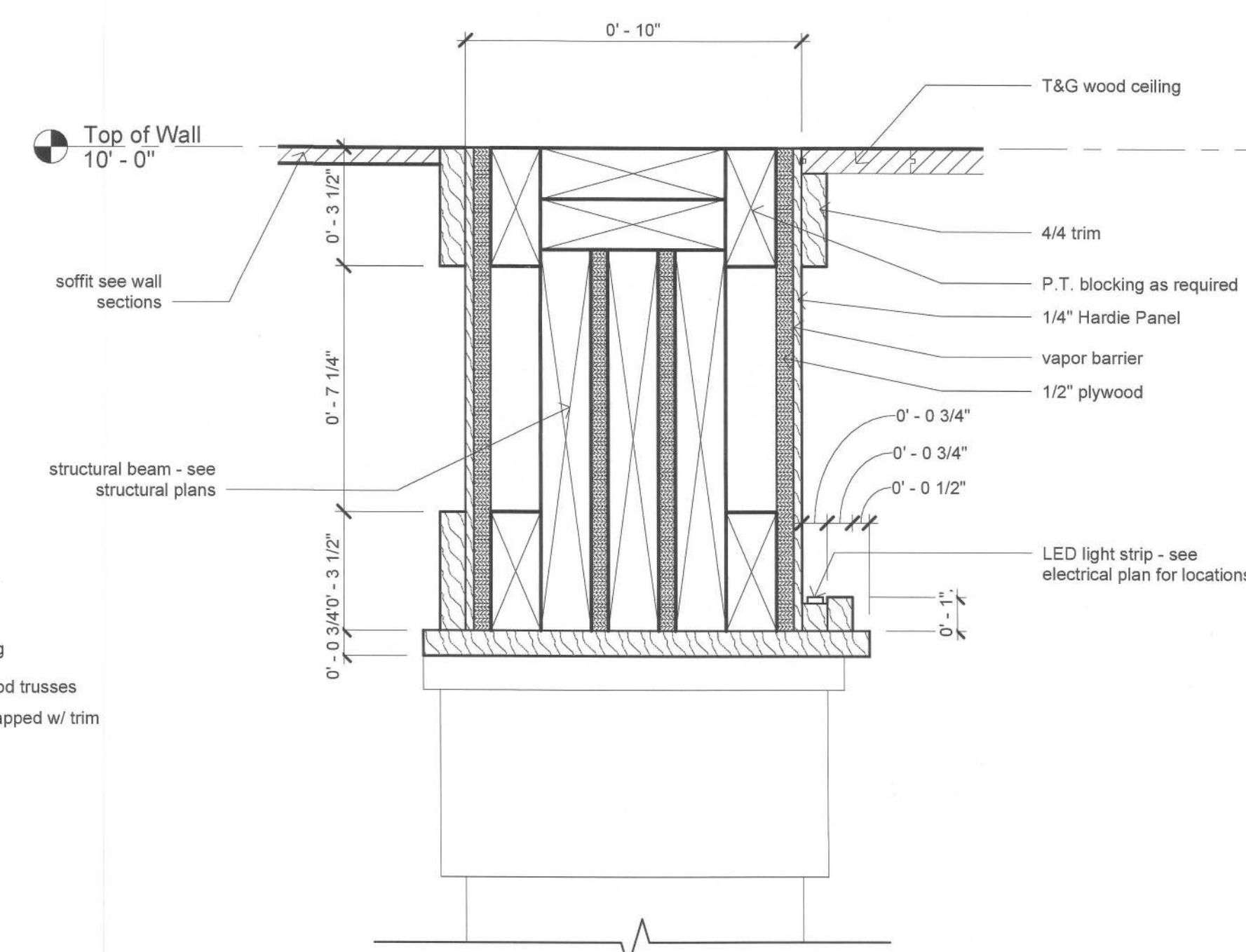
5 Front Porch Eave Detail
1" = 1'-0"



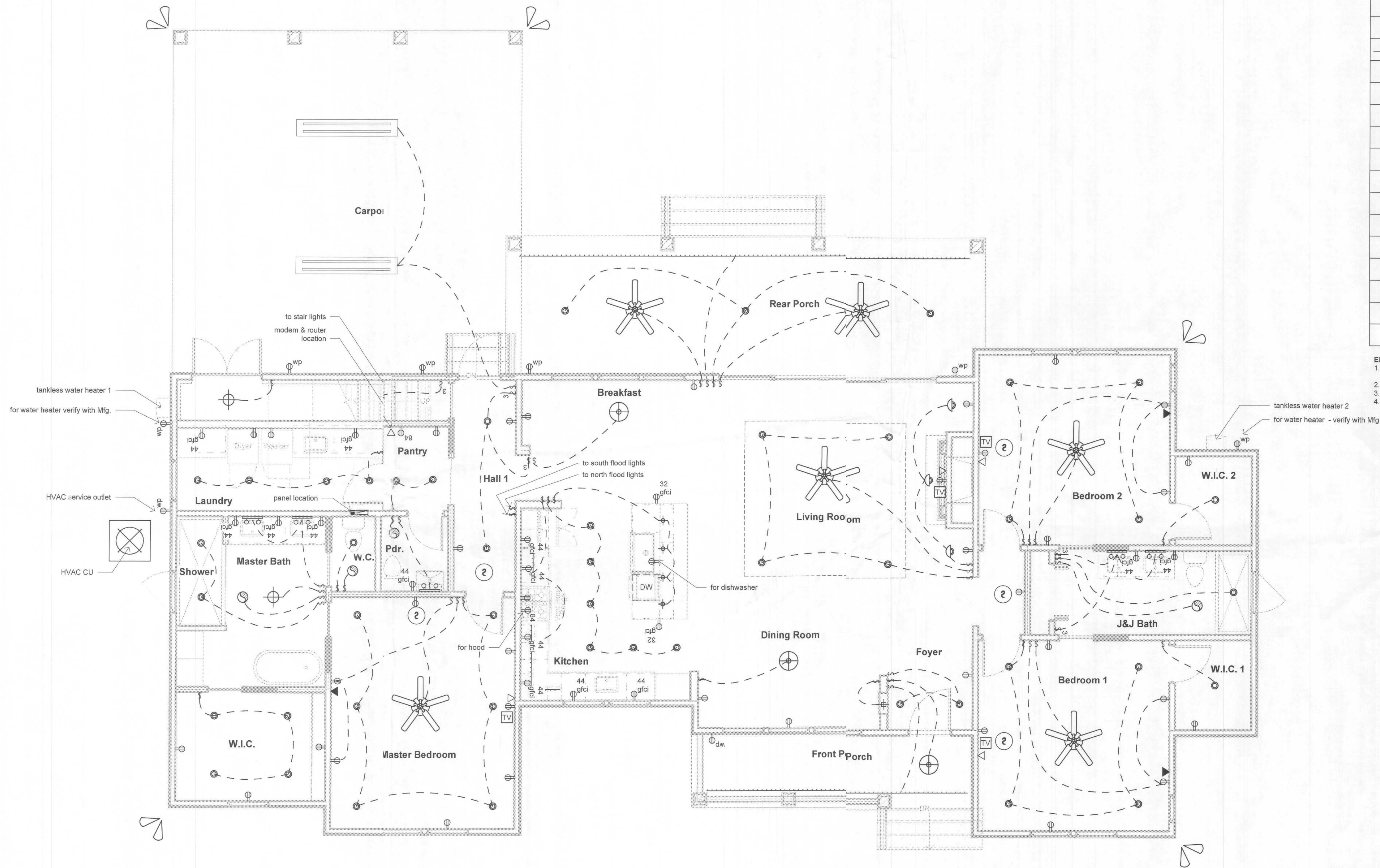
7 Typical Column Detail
1 1/2" = 1'-0"



8 Porch Crown Moulding Detail
3" = 1'-0"



6 Typical Beam Trim Detail
3" = 1'-0"



1 Electrical Plan First Floor
1/4" = 1'-0"

Electrical Legend

	Ceiling Fan
	Recessed Can Light
	Wall Wash Light
	Pendant Light
	Ceiling Mounted Light
	Bathroom Vanity Light
	LED Strip Light - Provide all LED with Dimmable Drivers
	Small LED Accent Light
	8' Recessed Fluorescent Troffer
	Light Switch
	3 Way Light Switch
	Exhaust Fan Switch
	120V Duplex - Number Indicates height above floor
	120V Duplex - Ground Fault Interrupted
	120V Duplex - Ground Fault Interrupted in Water Resistant Enclosure
	CAT6 Data Connection
	Telephone Connection
	RJ6 Television Connection
	Exhaust Fan
	Smoke Detector

Electrical General Notes:

- All receptacle outlets not indicated as gfi (ground fault interrupted) shall be afci (arc fault circuit interrupted)
- All receptacle outlets indicated as WVP are Ground Fault Interrupted. Verify w/ Owner light fixtures to receive dimmers
- Home run all CAT6 data connections to router location. Provide data connection to outside for Cable, Satellite and DSL Internet.
-

Zinnermon Residence Home Renovation

2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date:
10/04/21

Drawn:
Bcb Harris

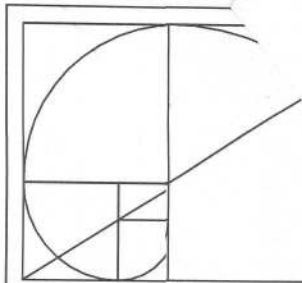
Description:
Electrical Plan First Floor

SHEET

A6

OF

11



**BOB
HARRIS
DESIGN**
bobharrisdesign.com
bh@bobharrisdesign.com
351-317-6644
235 SW 5th Avenue

CLIENT
Pamela and Vernon
Zimmermon

**Zimmermon Residence
Home Renovation**
2205 SW Old Bellamy Road
Fort White, Florida 32038

Revision Date
Number Date

Date: 10/04/21
Drawn: Bob Harris
Description:

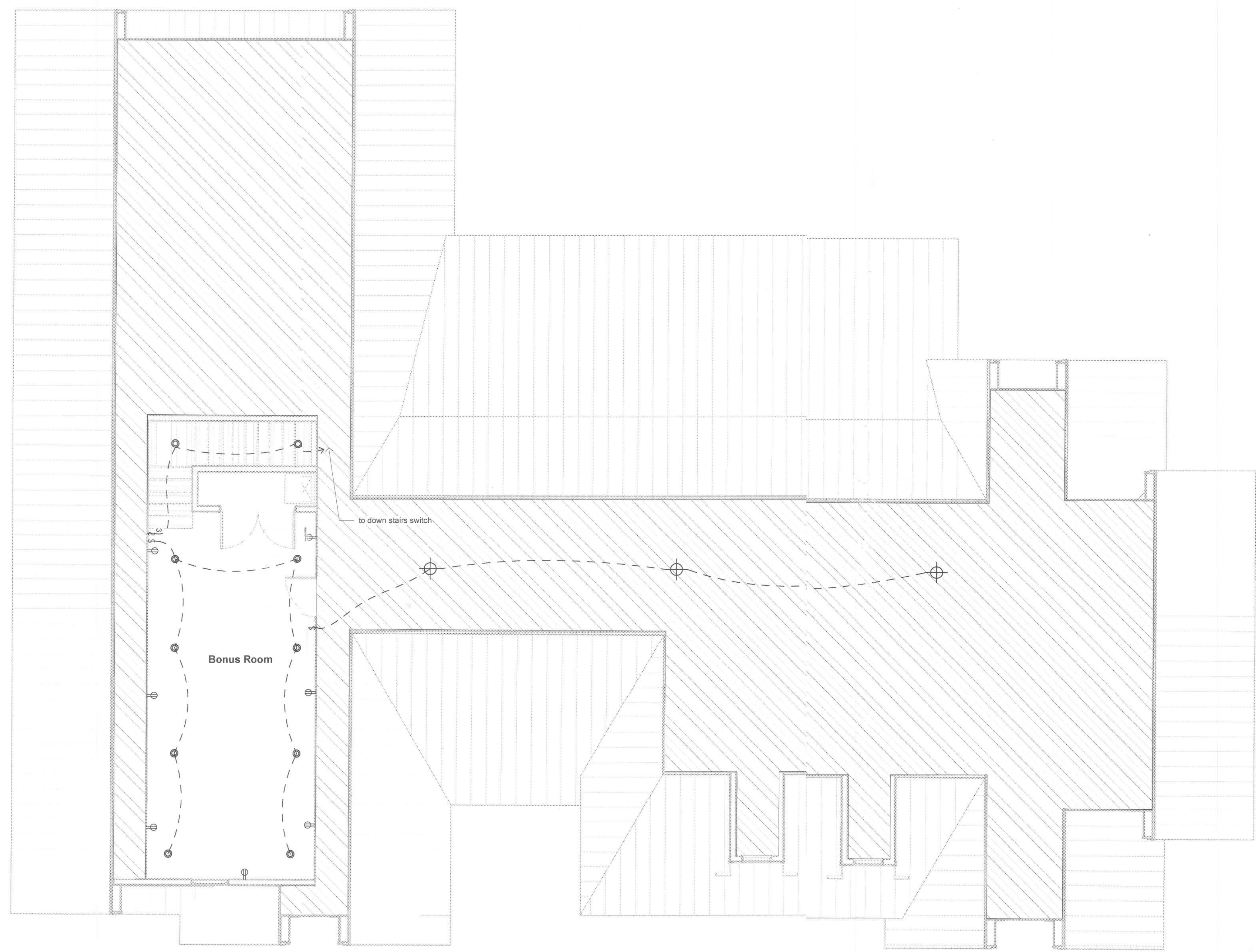
Electrical Plan
Second Floor

HEET
A6.1
OF
11

Electrical Legend

	Ceiling Fan
	Recessed Can Light
	Wall Wash Light
	Pendant Light
	Ceiling Mounted Light
	Bathroom Vanity Light
	LED Strip Light - Provide all LED with Dimmable Drivers
	Small LED Accent Light
	8' Recessed Fluorescent Troffer
	Light Switch
	3 Way Light Switch
	Exhaust Fan Switch
	120V Duplex - Number indicates height above floor
	120V Duplex - Ground Fault Interrupted
	120V Duplex - Ground Fault Interrupted in Water Resistant Enclosure
	CAT6 Data Connection
	Telephone Connection
	RJ6 Television Connection
	Exhaust Fan
	Smoke Detector

Electrical General Notes:
1. All receptacle outlets not indicated as gfi (ground fault interrupted) shall be afci (arc fault circuit interrupted)
2. All receptacle outlets indicated as VWP are Ground Fault Interrupted
3. Verify w/ Owner light fixtures to receive dimmers
4. Home run all CAT6 data connections to router location. Provide data connection to outside for Cable, Satellite and DSL Internet.



1 Electrical Plan Second Floor
1/4" = 1'-0"