

Columbia County New Building Permit Application

CK# 295

1215.00

For Office Use Only Application # 1908-96 Date Received 8/26/19 By MG Permit # 38574
 Zoning Official J.C. Date 9-4-19 Flood Zone X Land Use Ag Zoning A3
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner J.C. Date 9-4-19
 Comments Bldg. outside ESA area, Non Habitable Storage Bldg. Hs. permit #38489 F. 30 S. 25'
☒ NOC ☐ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☒ 911 Sheet ☐ Parent Parcel # Rec 25'
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ E W Comp. letter
☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☐ Sub VE Form

Septic Permit No. X19-079 In File Box OR City Water ☐ Fax _____

Applicant (Who will sign/pickup the permit) Ronnie Foxx Phone 386-288-8726

Address 261 SW Highpoint Gln Lake City, FL 32024

Owners Name Ronnie Foxx & Jocelyn Foxx Phone 386-288-8726

911 Address 261 SW Highpoint Gln Lake City, FL 32024

Contractors Name Ronnie Foxx & Jocelyn Foxx Phone 386-288-8726

Address 261 SW Highpoint Gln Lake City, FL 32024

Contractor Email _____ ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Wayne Moore, PE, 631 SE Industrial Cir

Mortgage Lenders Name & Address Lake City, FL 32025

Circle the correct power company ☐ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☒ Duke Energy

Property ID Number 01-55-16-03406-113 Estimated Construction Cost \$ 20,000

Subdivision Name Rose Creek Plantation Lot 13 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road Hwy 47 S turn left on Walter Rd
2nd subdivision on left

Construction of Storage Shed Commercial OR ☒ Residential

Proposed Use/Occupancy Storage Shed Number of Existing Dwellings on Property 0

Is the Building Fire Sprinkled? NO If Yes, blueprints included Yes Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 1900' Side 180' Side 600' Rear 80'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 1500 Sq ft Acreage _____

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Ronnie Foxx

Print Owners Name

Ronnie Foxx

Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number _____

Columbia County

Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this _____ day of _____ 20____.

Personally known ☐ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

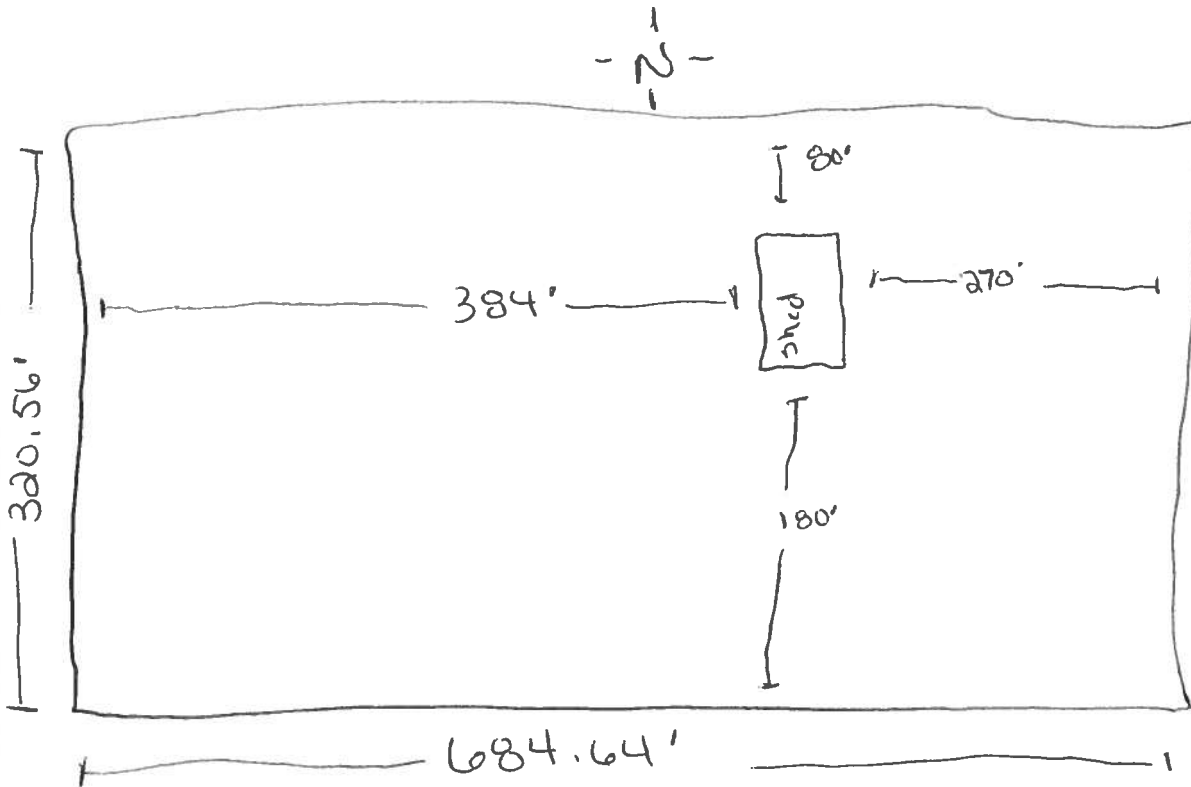
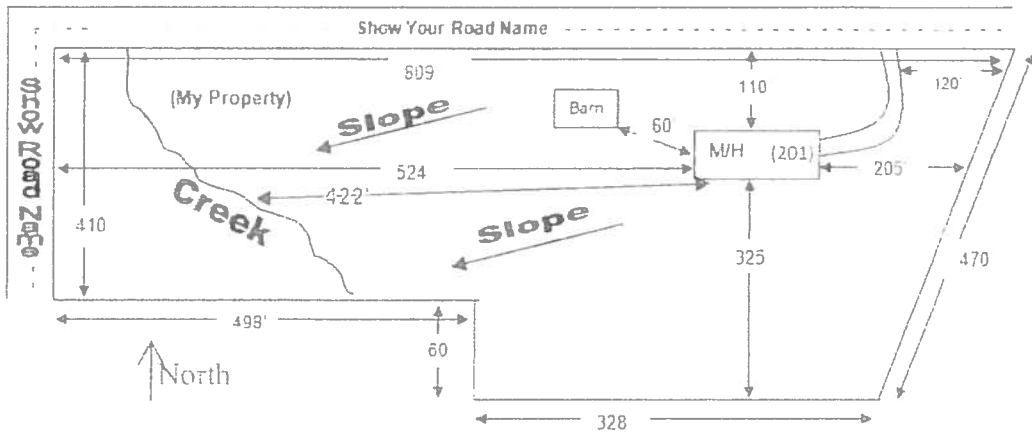
SITE PLAN CHECKLIST

- ☒ 1) Property Dimensions
- ☐ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ☒ 3) Distance from structures to all property lines
- ☐ 4) Location and size of easements
- ☐ 5) Driveway path and distance at the entrance to the nearest property line
- ☐ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ☐ 7) Show slopes and or drainage paths
- ☒ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:
This site plan can be copied and used with the 911 Addressing Dept. application forms.





COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

Florida Statutes Chapter 489.103:

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or <http://www.myfloridalicense.com/> for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

261 SW Alshouse Gln

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Florida Statutes Chapter 489.503:

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

TYPE OF CONSTRUCTION

☐ *Single Family Dwelling* ☐ *Two-Family Residence* ☐ *Farm Outbuilding*

☐ *Addition, Alteration, Modification or other Improvement* ☐ *Electrical*

☒ *Other* Storage Shed

☐ *Contractor substantially completed project, of a* _____

☐ *Commercial, Cost of Construction* _____ *for construction of* _____

I Ronnie Foxx, have been advised of the above disclosure
(Print Property Owners Name)

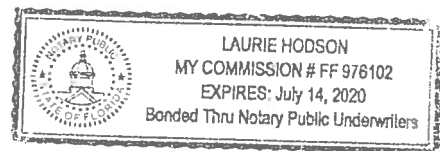
statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature: Ronnie Foxx Date: 8.26.19
(Signature of property owner)

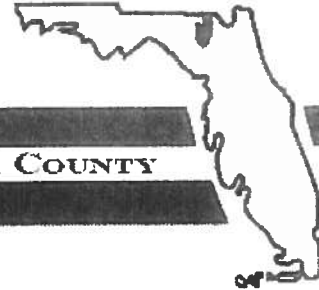
NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification DC

Notary Signature [Signature] Date 8.26.19 (Seal)



District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: 7/11/2019 12:57:55 PM
Address: 261 SW HIGHPOINT Gln
City: LAKE CITY
State: FL
Zip Code 32024

Parcel ID 03406-113

REMARKS: Address for proposed structure on parcel.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

Legend

2018Aerials



Parcels



Roads

Roads

others



Dirt



Interstate



Main

Other

Paved



Private

2018 Flood Zones



0.2 PCT ANNUAL CHANCE



A



AE



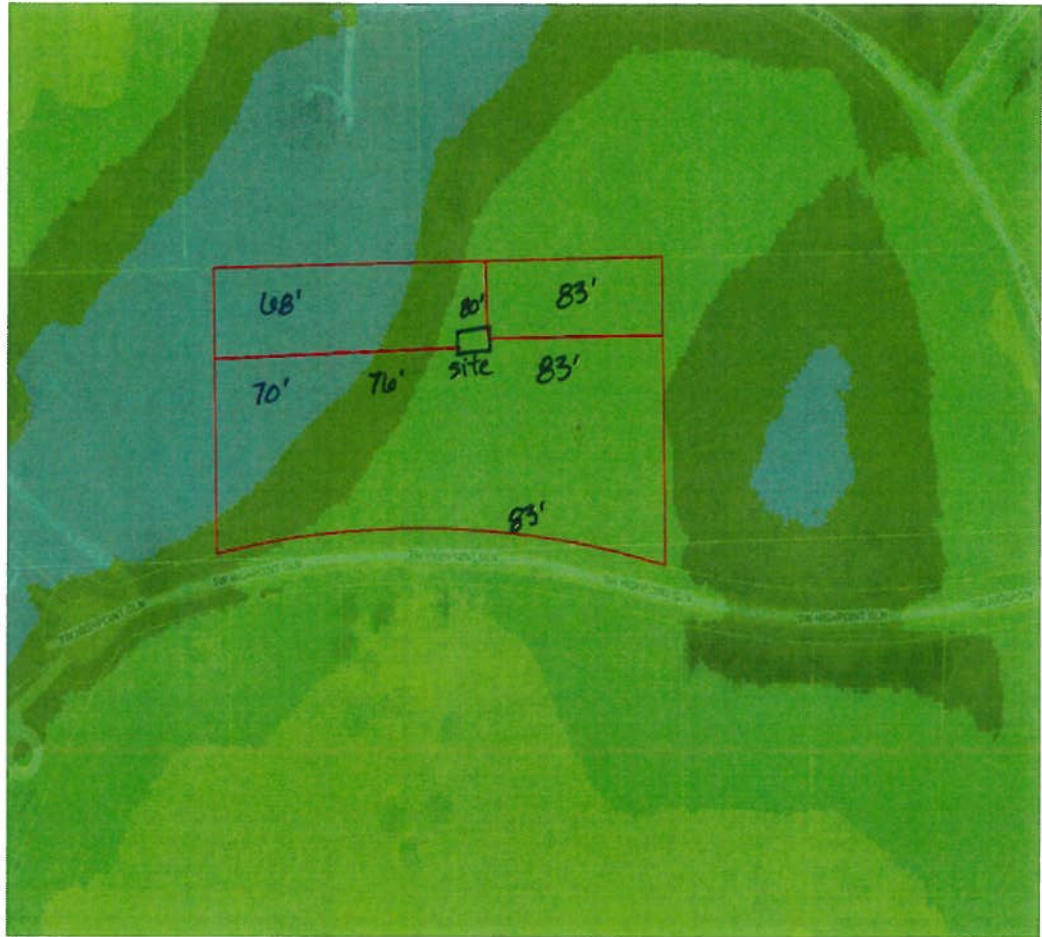
AH

LidarElevations



Columbia County, FLA - Building & Zoning Property Map

Printed: Tue Sep 03 2019 11:05:22 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 01-5S-16-03406-113

Owner: HANDY MICHAEL J & MAXINE E

Subdivision: ROSE CREEK PLANTATION PHASE 2

Lot:

Acres: 5.003727

Deed Acres: 5 Ac

District: District 5 Tim Murphy

Future Land Uses: Agriculture - 3, Environmentally Sensitive Areas -1

Flood Zones:

Official Zoning Atlas: A-3

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << 01-5S-16-03406-113 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

Owner	FOXX RONNIE L & JOCELYN 493 SW DEXTER CIR APT 202 LAKE CITY, FL 32025		
Site	261 HIGHPOINT GLN, LAKE CITY		
Description*	LOT 13 ROSE CREEK PLANTATION PHASE 2. 917-1548, WD 1382 -1729		
Area	5 AC	S/T/R	01-5S-16E
Use Code**	VACANT (000000)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$45,320	Mkt Land (1)	\$45,320
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$45,320	Just	\$45,320
Class	\$0	Class	\$0
Appraised	\$45,320	Appraised	\$45,320
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$45,320	Assessed	\$45,320
Exempt	\$0	Exempt	\$0
Total	county:\$45,320	Total	county:\$45,320
Taxable	city:\$45,320	Taxable	city:\$45,320
	other:\$45,320		other:\$45,320
	school:\$45,320		school:\$45,320

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/15/2019	\$55,000	1382/1729	WD	V	Q	01
1/5/2001	\$49,900	917/1548	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
NONE						

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000000	VAC RES (MKT)	5.000 AC	1.00/1.00 1.00/1.00	\$9,064	\$45,320

1908.96

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

01.5S.16.03406.113

Clerk's Office Stamp

Inst: 201912019914 Date: 08/26/2019 Time: 1:45PM
 Page 1 of 1 B: 1392 P: 226, P. DeWitt Cason, Clerk of Court Colum
 County, By: BD
 Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): LOT 13 ROSE CREEK PLANTATION, PHASE 2
 - a) Street (job) Address: 261 SW HIGHPOINT GLN LAKE CITY, FL 32024
2. General description of improvements: METAL STORAGE BUILDING
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
 - a) Name and address: RONNIE FOXX 493 SW DEXTER CR, APT 202 LAKE CITY, FL 32025
 - b) Name and address of fee simple titleholder (if other than owner):
 - c) Interest in property:
4. Contractor Information
 - a) Name and address: RONNIE & JOCELYN FOXX 261 SW HIGH POINT GLN, LAKE CITY, FL 32024
 - b) Telephone No.: 386.288.8726
5. Surety Information (if applicable, a copy of the payment bond is attached):
 - a) Name and address:
 - b) Amount of Bonds:
 - c) Telephone No.:
6. Lender
 - a) Name and address:
 - b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
 - a) Name and address:
 - b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
 - a) Name: OF
 - b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
 COUNTY OF COLUMBIA

10.

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

RONNIE FOXX

Printed Name and Signatory's Title/Office

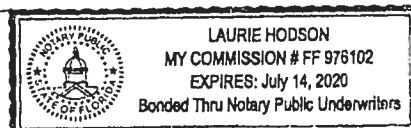
The foregoing instrument was acknowledged before me, a Florida Notary, this 26TH day of AUGUST, 20 19, by:

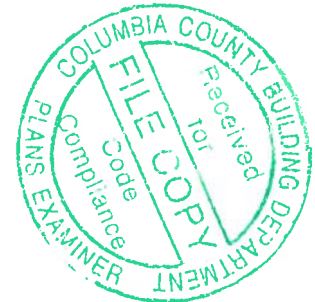
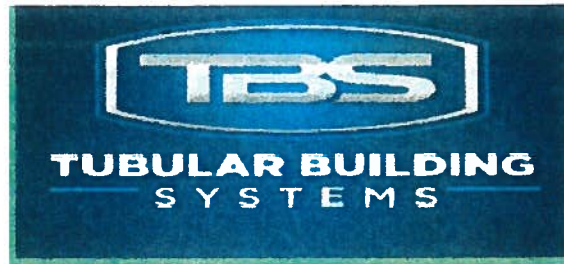
RONNIE FOXX as OWNER for RONNIE & JOCELYN FOXX
 (Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification ☒ Type DL

Notary Signature

Notary Stamp or Seal:





STRUCTURAL DESIGN
ENCLOSED BUILDING
EXPOSURE B

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME AND BOW FRAME**

18 December 2017

Revision 4

M&A Project No. 16022S/17300S

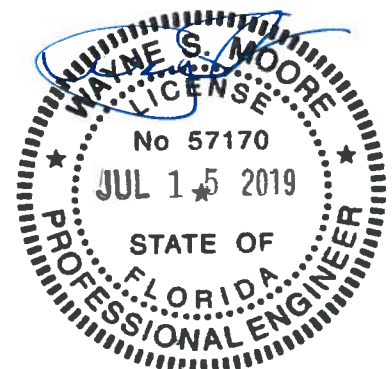
Prepared for:

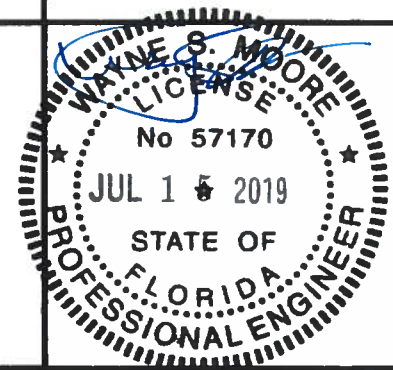
Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025

Prepared by:

Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841

401 S. Main Street, Suite 200
Mount Airy, NC 27030

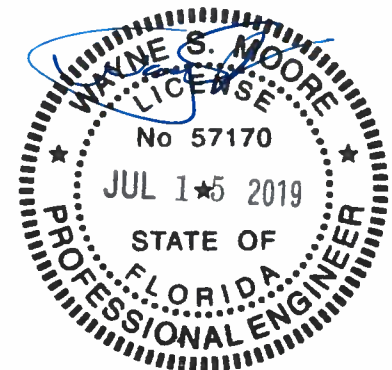




MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: LT	TUBULAR BUILDING SYSTEMS 30'-0"x20'-0" ENCLOSED BUILDING EXP. B PE SEAL COVER SHEET		
	CHECKED BY: PDH			
THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES ENGINEERING AND CONSULTING. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.	PROJECT MGR: VSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-3	REV: 4

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SHEET 6B	TYPICAL RAFTER COLUMN CONNECTION DETAILS (DOUBLE COLUMN)
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SHEET 16	OPTIONAL DOOR HEADER



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

SHT. 2

DWG. NO: SK-3

**JOB NO:
16022S/17300S**

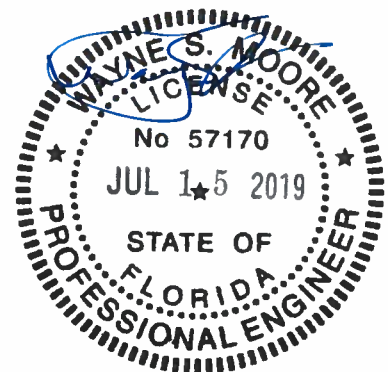
REV.: 4

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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH); MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. LOW HAZARD RISK CATEGORY I (WIND).
7. WIND EXPOSURE CATEGORY B
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED)
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX.)
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3/12 PITCH) OR LESS. SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
14. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:

SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 R= 3.25 I_E= 10
 S_{DS}= 1.522 V= C_sW
 S_{D1}= 0.839



**MOORE AND ASSOCIATES
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DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

SHT. 3

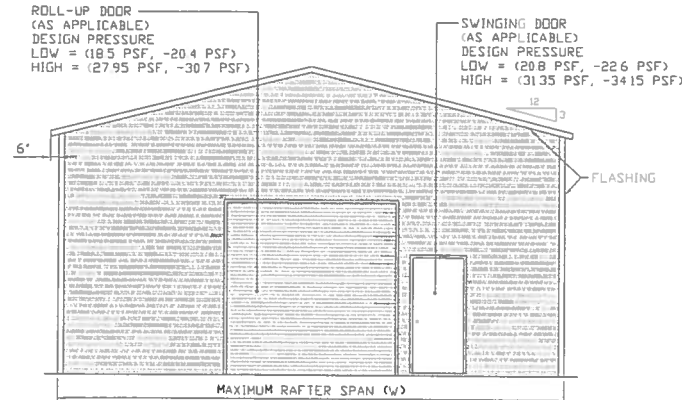
DWG. NO: SK-3

**JOB NO:
16022S/17300S**

REV: 4

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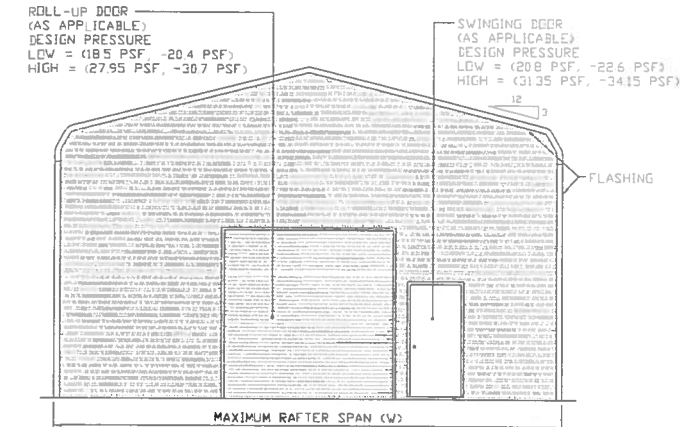
BOX EAVE FRAME RAFTER ENCLOSED BUILDING



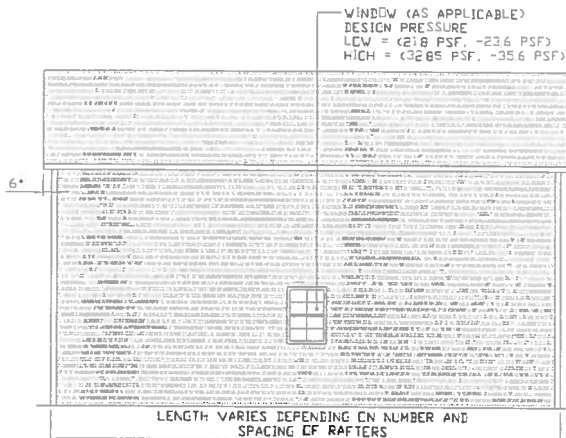
TYPICAL END ELEVATION-HORIZONTAL ROOF
SCALE: NTS

TYPICAL SIDE ELEVATION-HORIZONTAL ROOF
SCALE: NTS

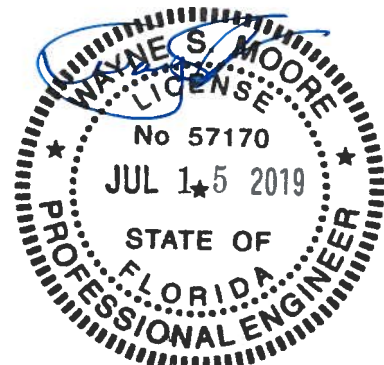
BOW FRAME RAFTER ENCLOSED BUILDING



TYPICAL END ELEVATION
SCALE: NTS



TYPICAL SIDE ELEVATION
SCALE: NTS



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**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 4

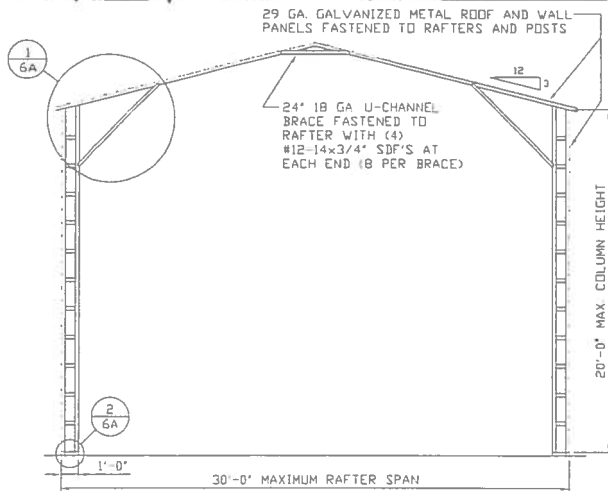
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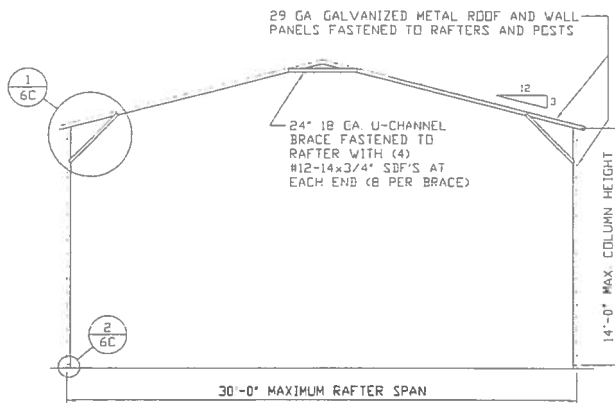
**JOB NO:
160225/173005**

REV: 4

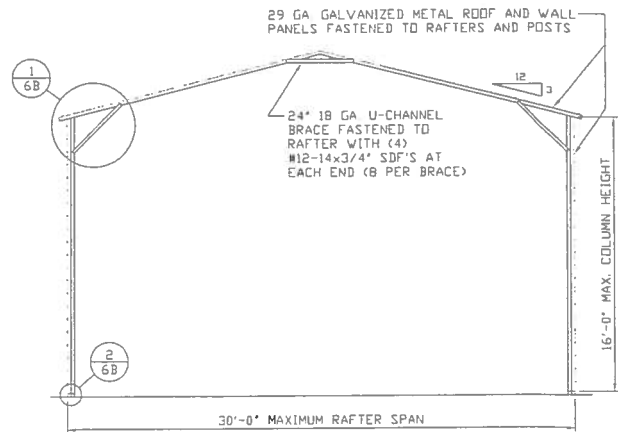
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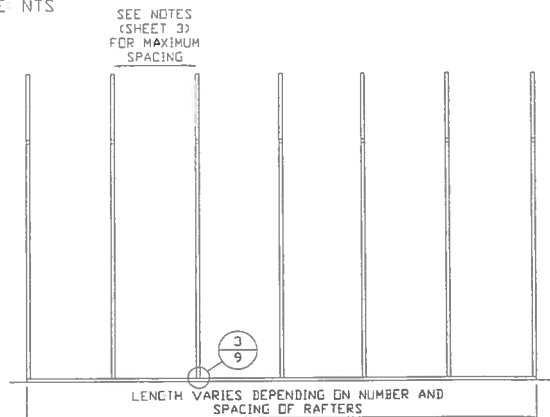
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



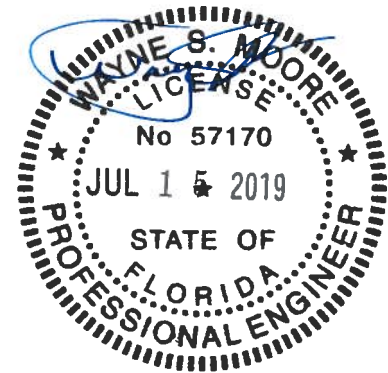
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 5

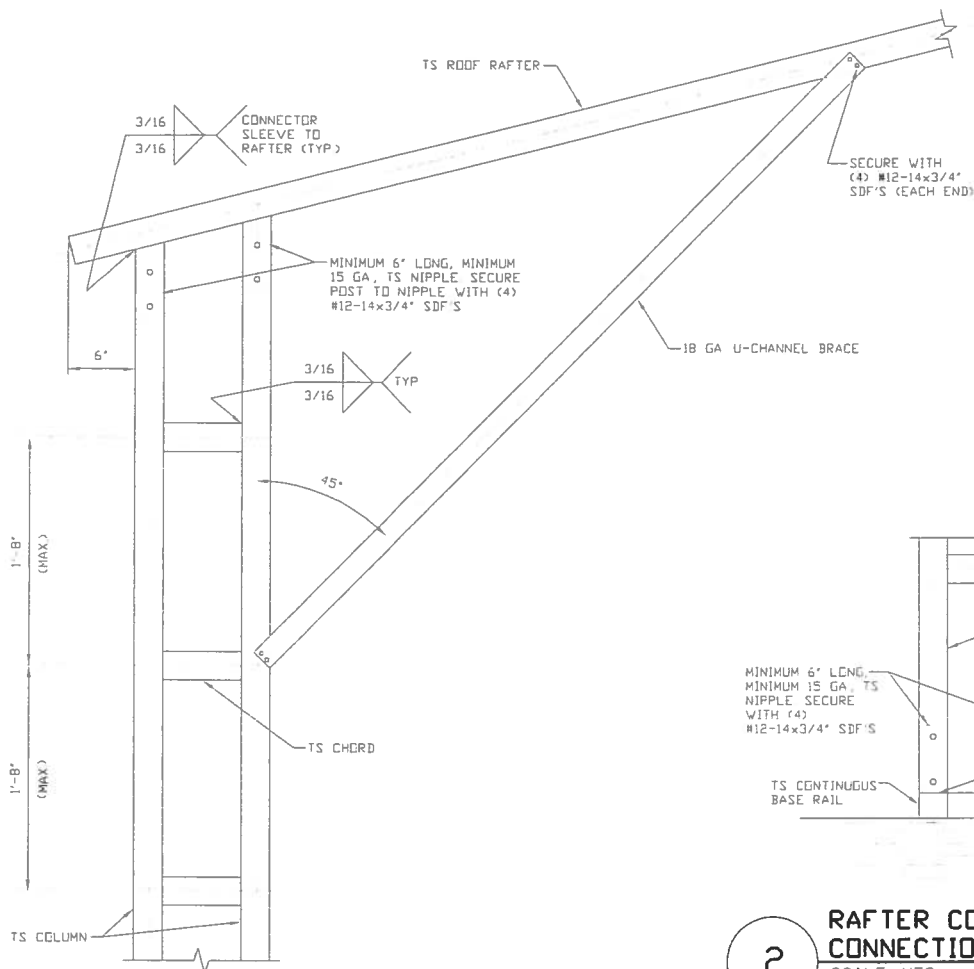
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DWG. NO: SK-3

**JOB NO:
160223/173005**

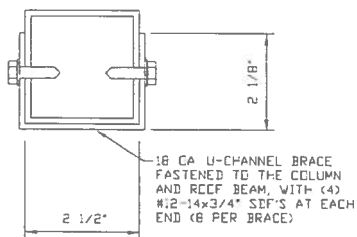
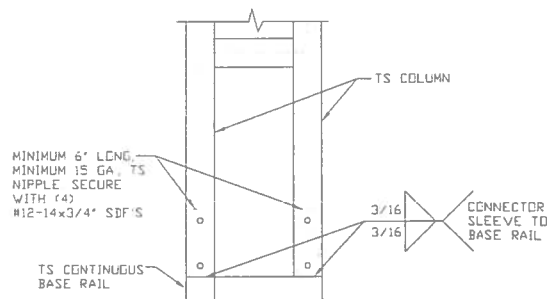
REV: 4

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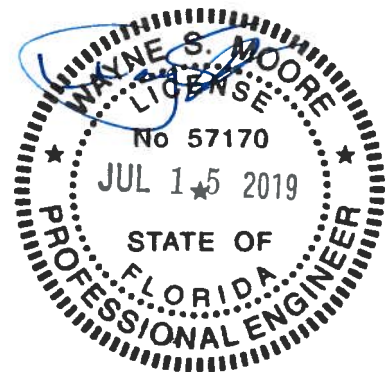


**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"**
SCALE: NTS

**2
RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



BRACE SECTION
SCALE: NTS



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PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 6A

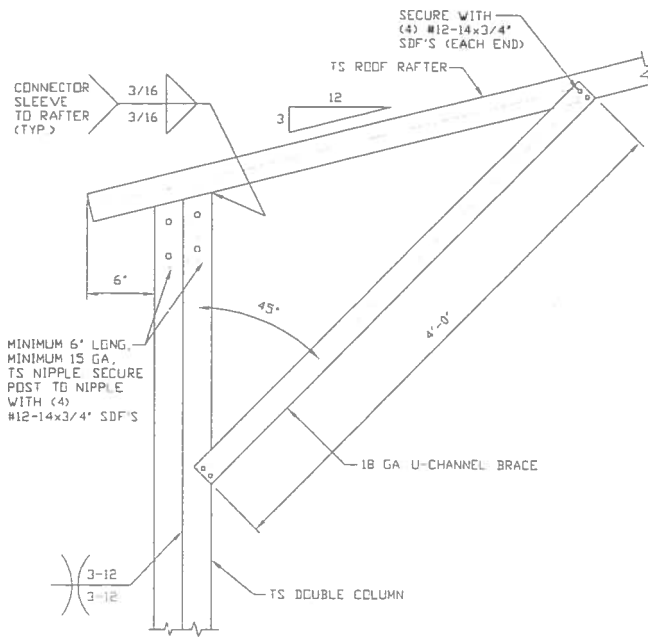
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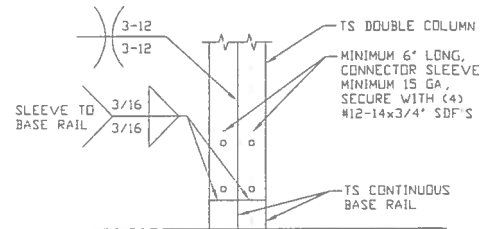
JOB NO:
16022S/17300S

REV: 4

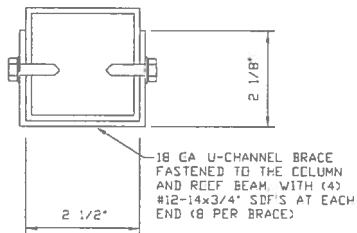
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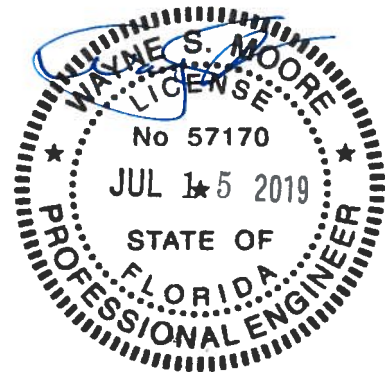
1 BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"
SCALE: NTS



2 RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



BRACE SECTION
SCALE: NTS



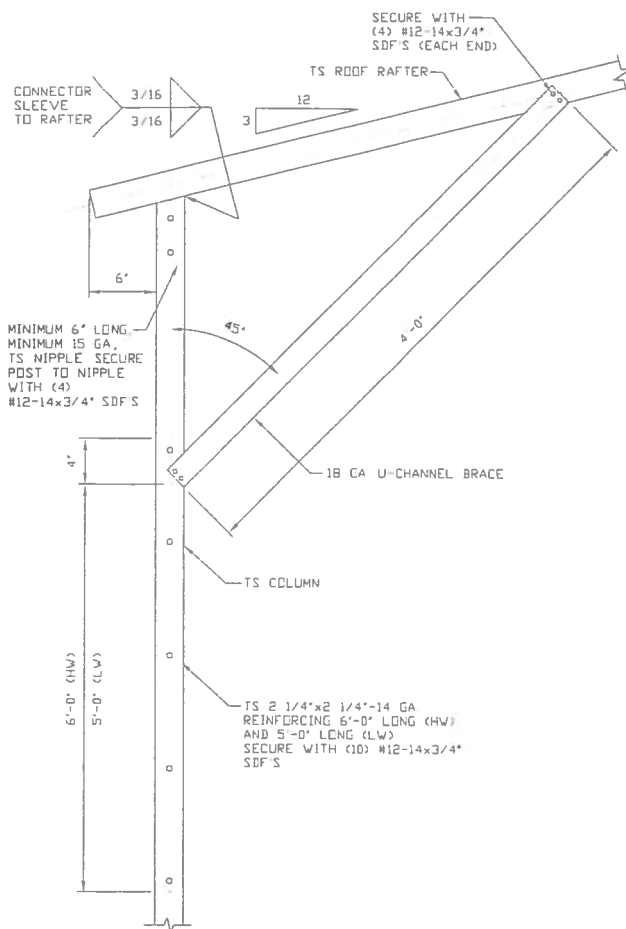
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PROJECT MGR: WSM
CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

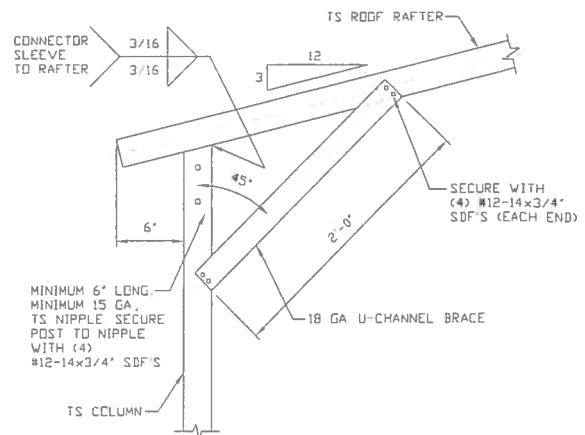
DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S/17300S
SHT. 6B	DWG. NO: SK-3	REV: 4

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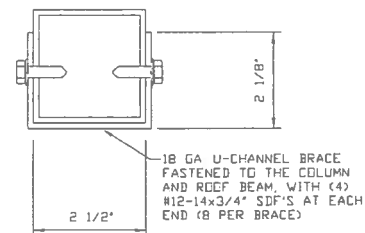
1A

BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"
SCALE: NTS

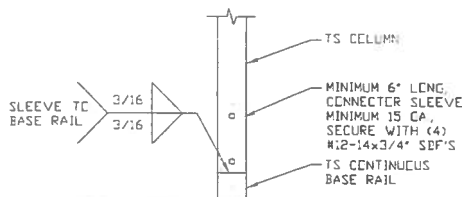


1B

BOX EAVE RAFTER COLUMN CONNECTION DETAIL
FOR HEIGHTS ≤ 10'-0"
SCALE: NTS

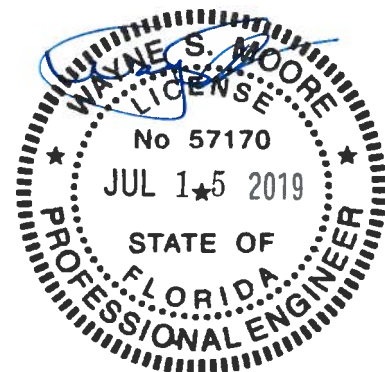


BRACE SECTION
SCALE: NTS



2

RAFTER COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS



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CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SCALE: NTS

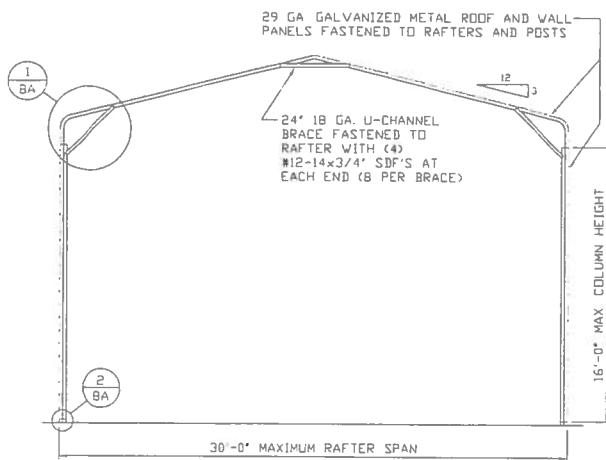
SHT. 6C

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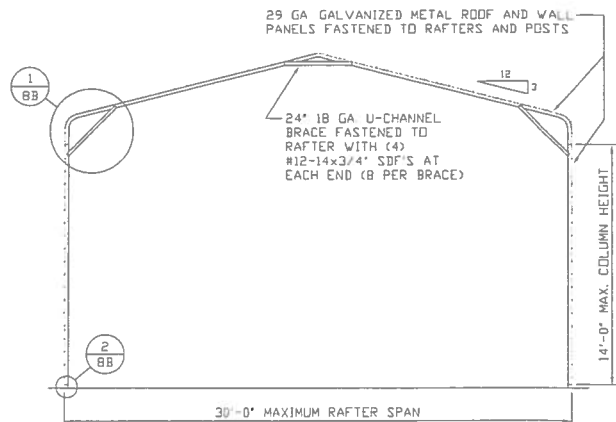
JOB NO:
16022S/17300S

REV: 4

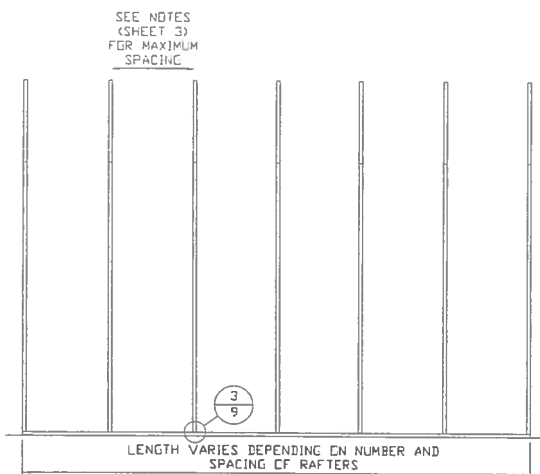
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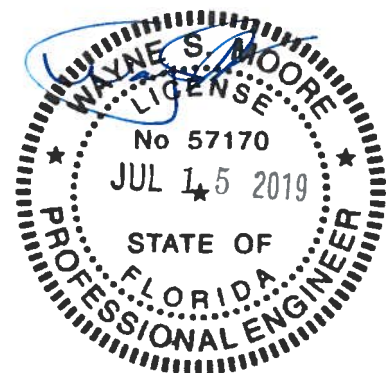
TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS



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PROJECT MGR: VSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 7

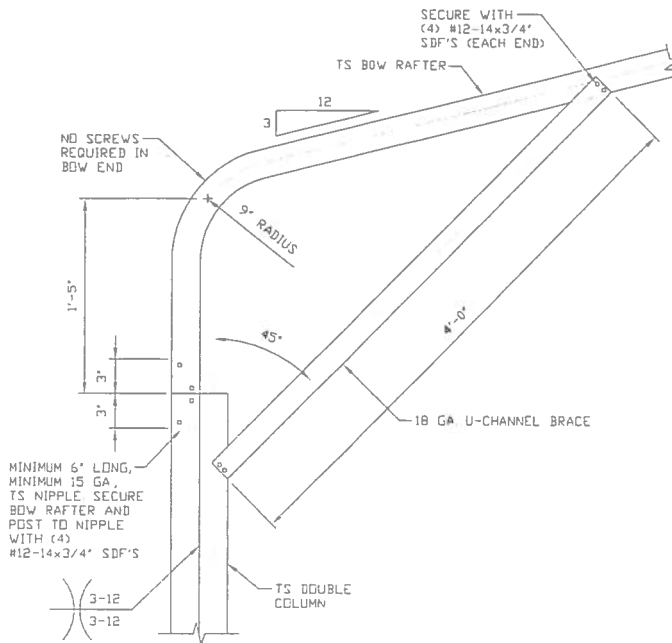
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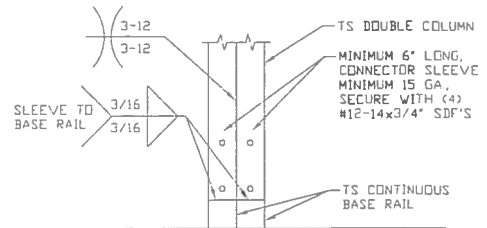
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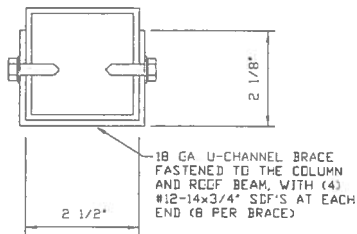
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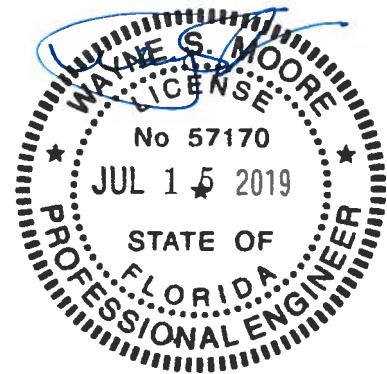
1 BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"
SCALE: NTS



2 RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



BRACE SECTION
SCALE: NTS



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

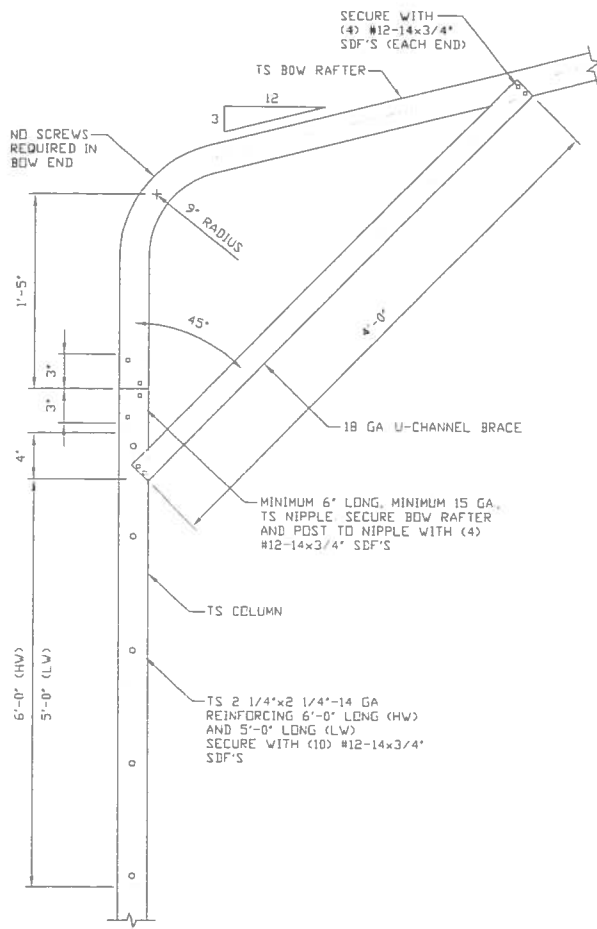
**JOB NO:
16022S/17300S**

SHT. 8A

DWG. NO: SK-3

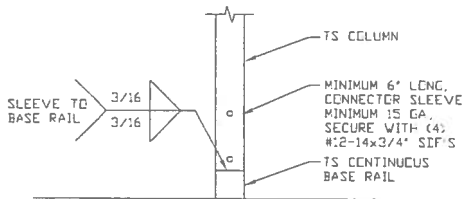
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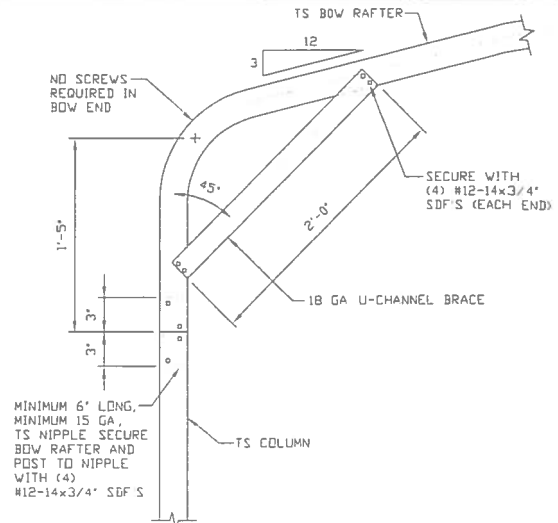
1A

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"**
SCALE: NTS



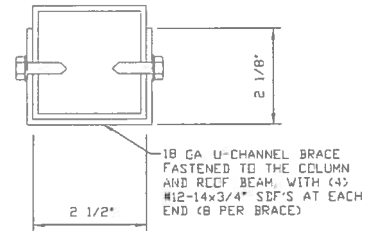
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**RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS

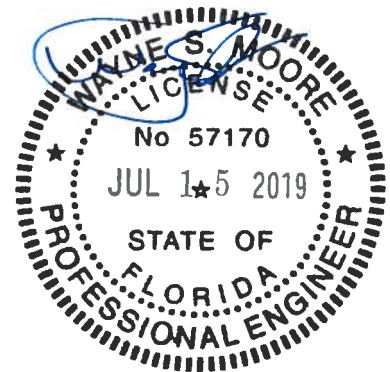


1B

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS ≤ 10'-0"**
SCALE: NTS



BRACE SECTION
SCALE: NTS



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**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 8B

SCALE: NTS

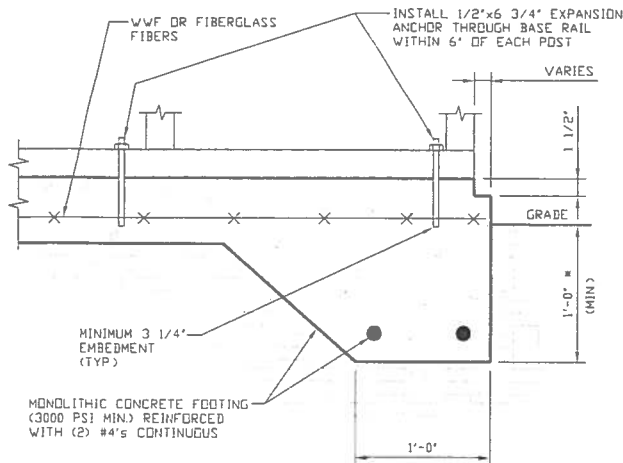
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BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED

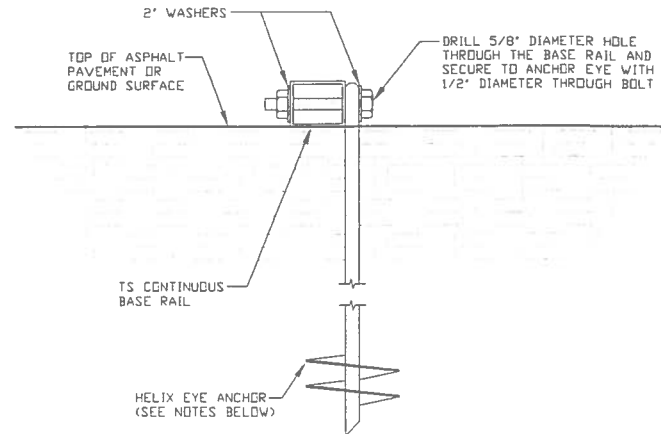


3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 4")
* COORDINATE WITH LOCAL CODES/ORD.



3B

GROUND BASE HELIX ANCHORAGE

SCALE NTS

(CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

REINFORCING STEEL:

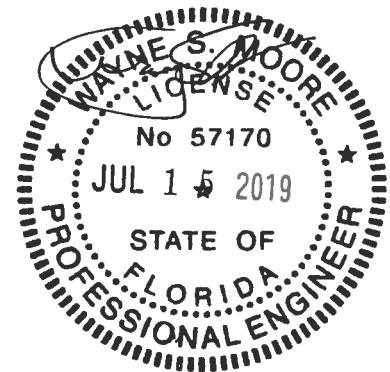
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT.



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TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9A

SCALE: NTS

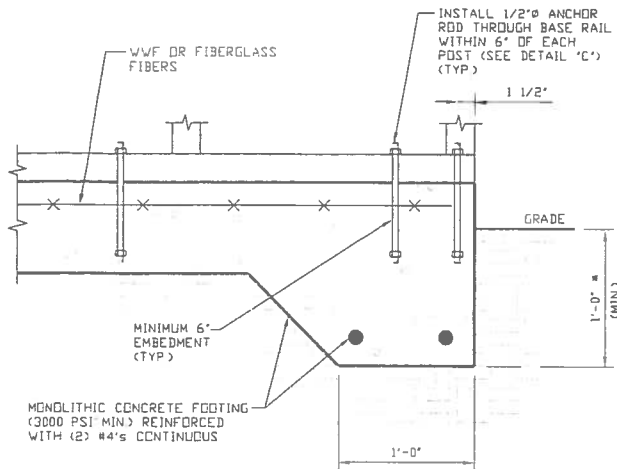
DWG. NO: SK-3

JOB NO:
16022S/17300S

REV: 4

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OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED

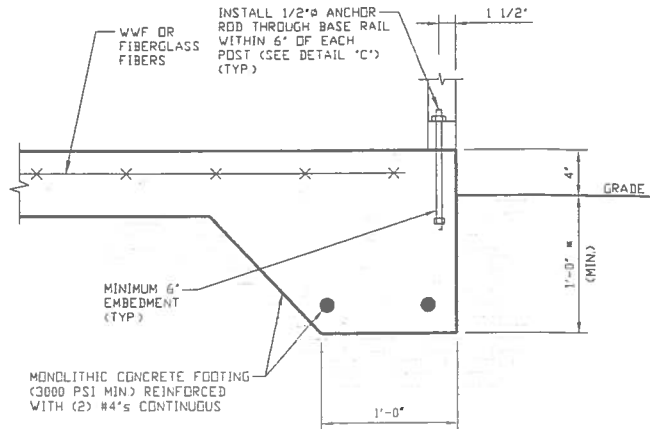


1A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD



1B

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318

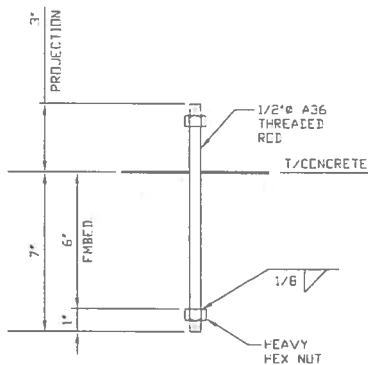
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE.

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

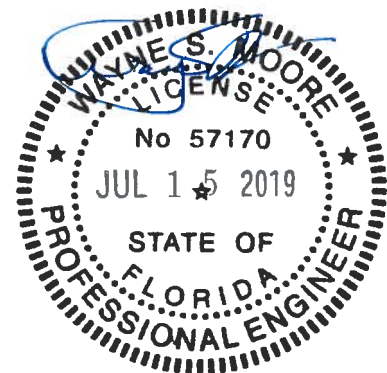
1. REINFORCEMENT IS BENT COLD
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C

ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 9B

SCALE: NTS

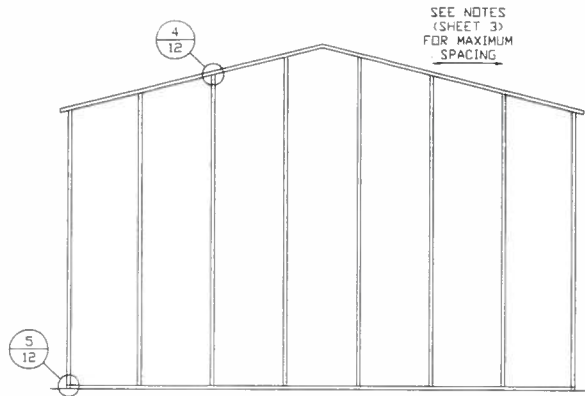
DWG. NO: SK-3

JOB NO:
160225/173005

REV.: 4

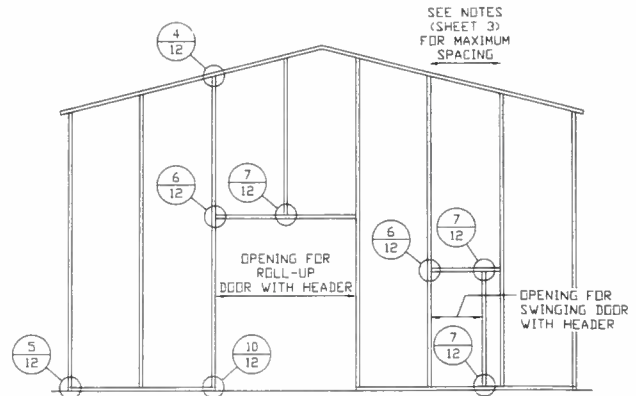
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



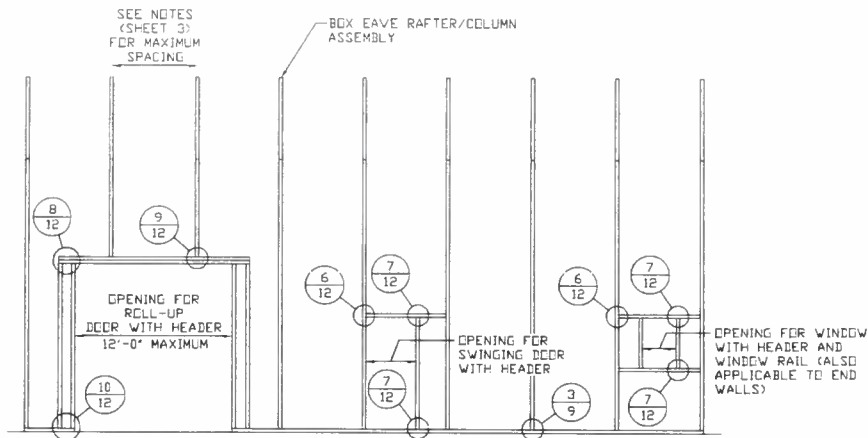
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



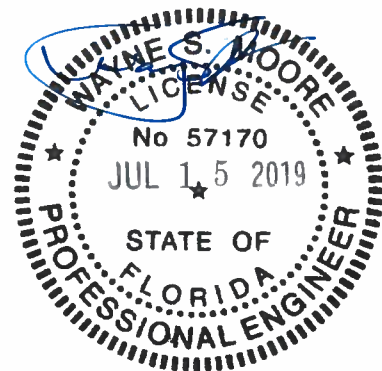
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 10

SCALE: NTS

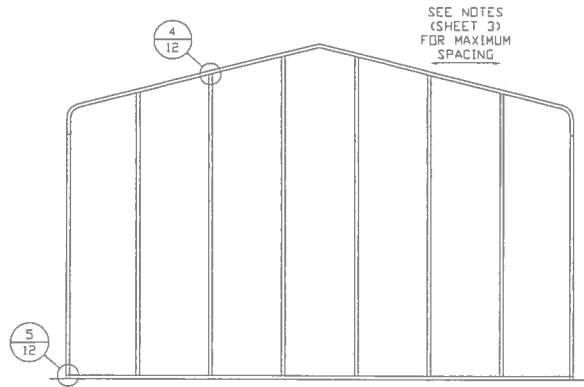
DWG. NO: SK-3

**JOB NO:
16022S/17300S**

REV: 4

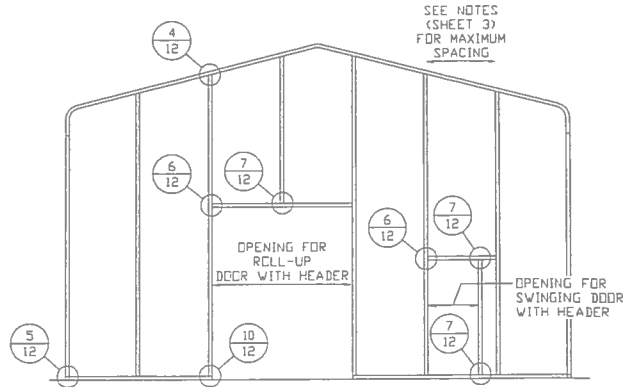
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BOW RAFTER END WALL AND SIDE WALL OPENINGS



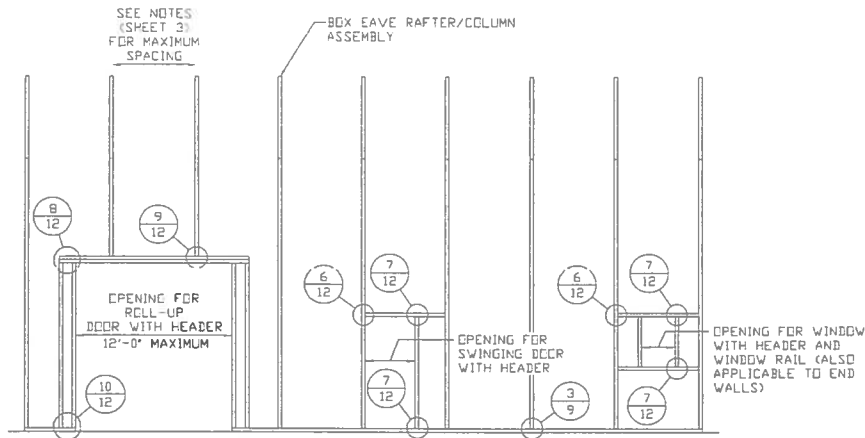
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



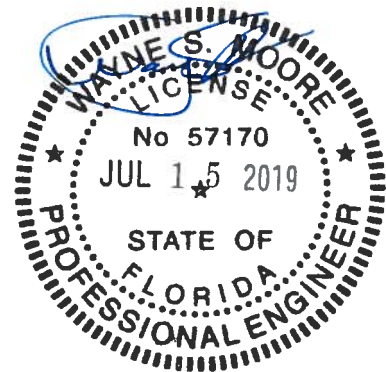
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 11

SCALE: NTS

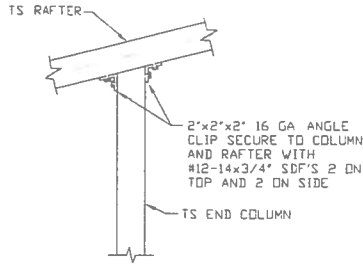
DWG. NO: SK-3

**JOB NO:
16022S/17300S**

REV: 4

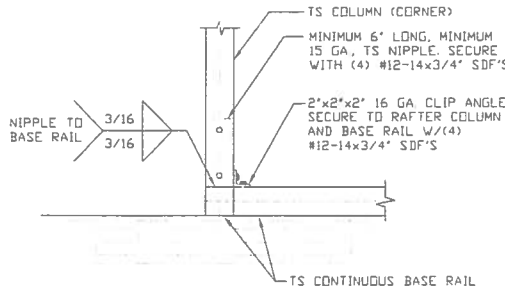
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BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



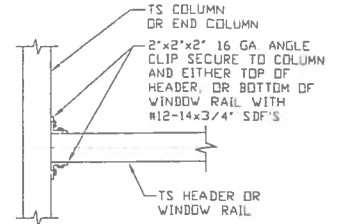
4 END COLUMN/RAFTER CONNECTION DETAIL

SCALE: NTS



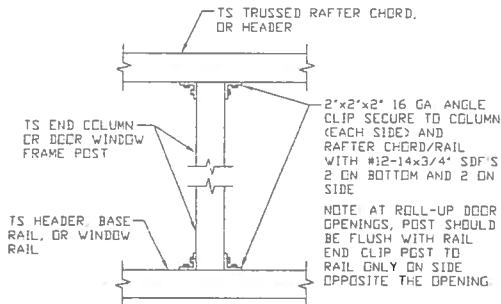
5 END COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



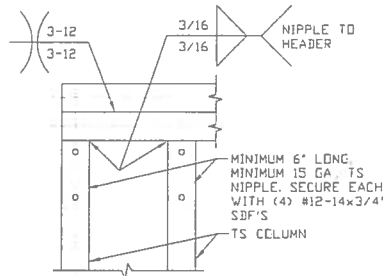
6 HEADER OR WINDOW RAIL TO COLUMN CONNECTION DETAIL

SCALE: NTS



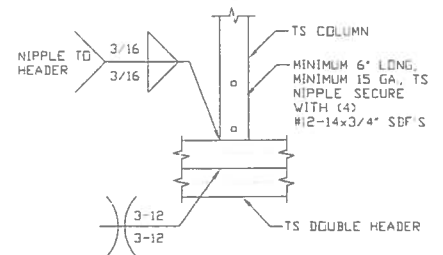
7 COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL

SCALE: NTS



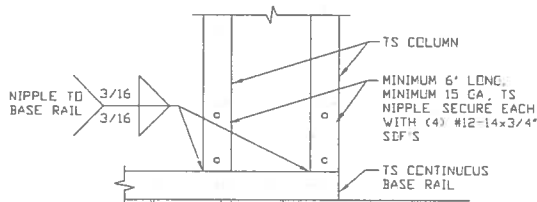
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL

SCALE: NTS



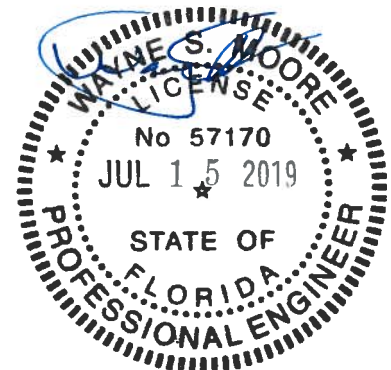
9 COLUMN/DOUBLE HEADER CONNECTION DETAIL

SCALE: NTS



10 COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12

SCALE: NTS

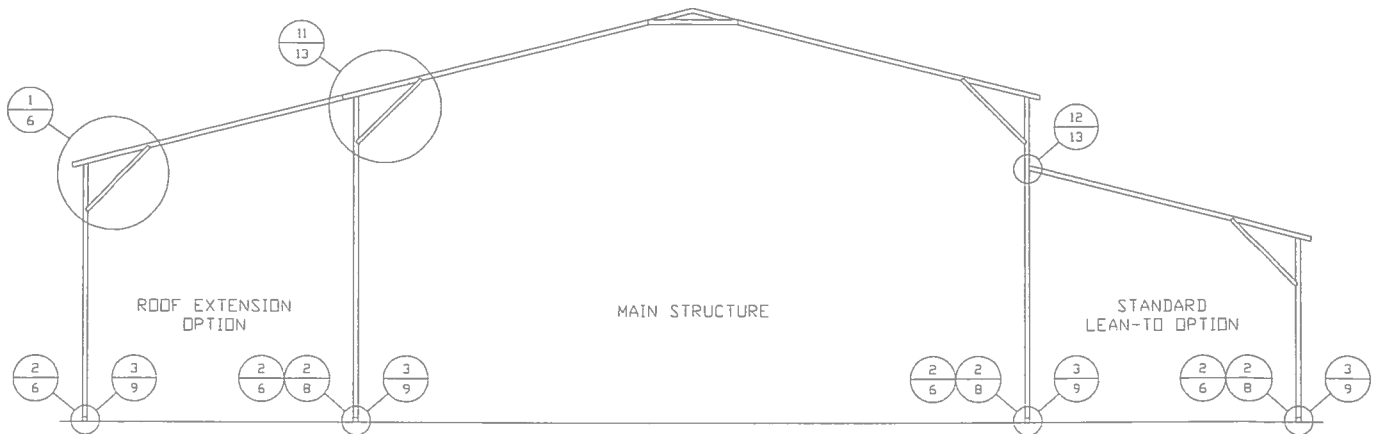
DWG. NO: SK-3

JOB NO:
16022S/17300S

REV: 4

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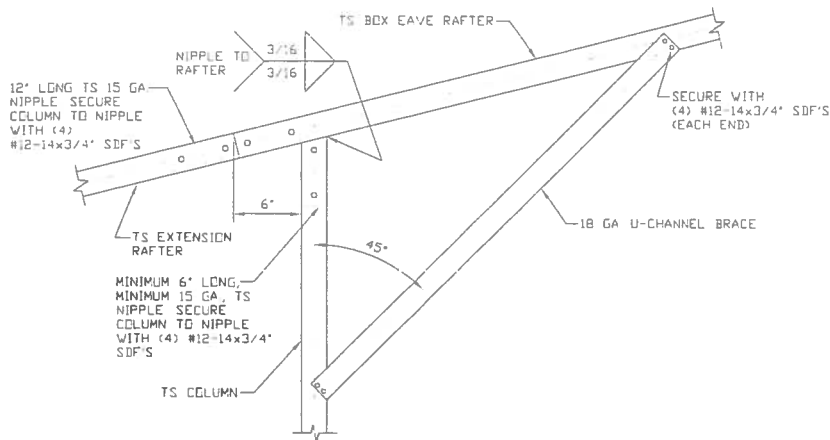
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

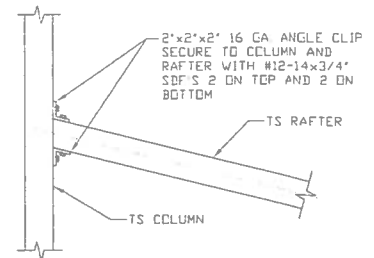
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0".



11A

SIDE EXTENSION RAFTER/COLUMN DETAIL

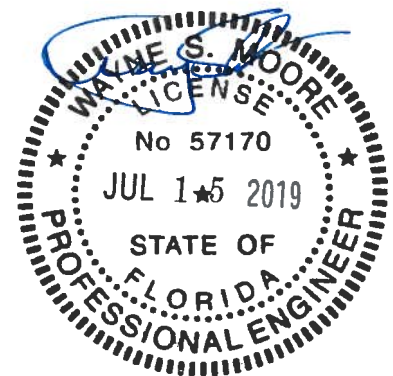
SCALE: NTS



12

LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 13

SCALE: NTS

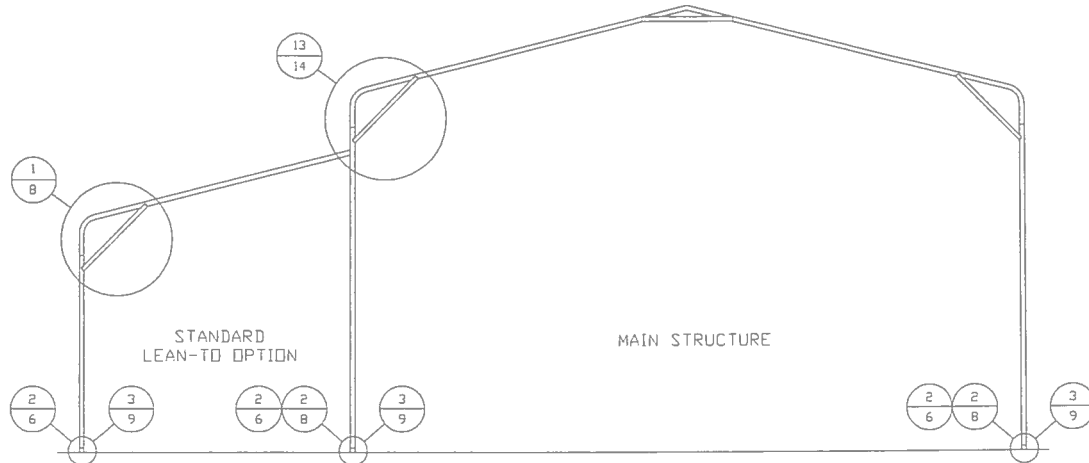
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JOB NO:
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REV: 4

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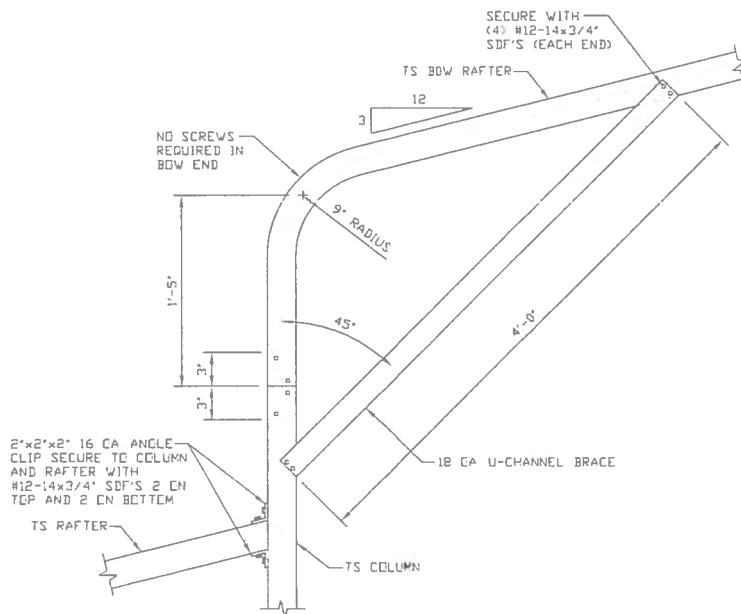
BOW RAFTER LEAN-TO OPTIONS



TYPICAL BOW RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

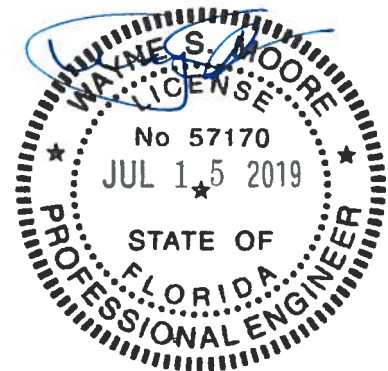
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 16'-0"



13

SIDE EXTENSION RAFTER/COLUMN DETAIL

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 14

SCALE: NTS

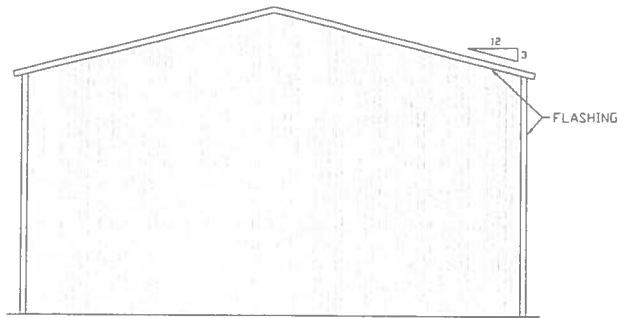
DWG. NO: SK-3

**JOB NO:
16022S/17300S**

REV.: 4

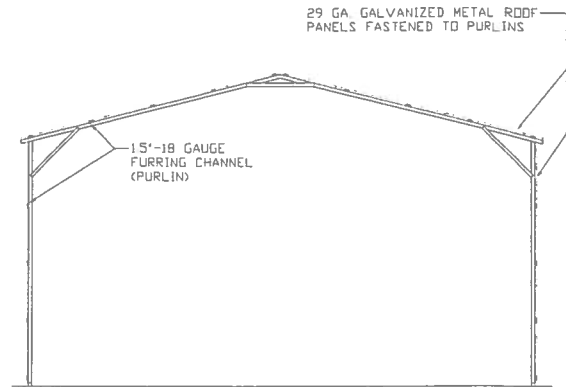
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BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



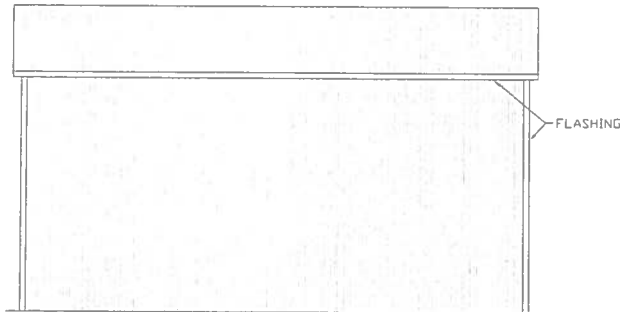
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



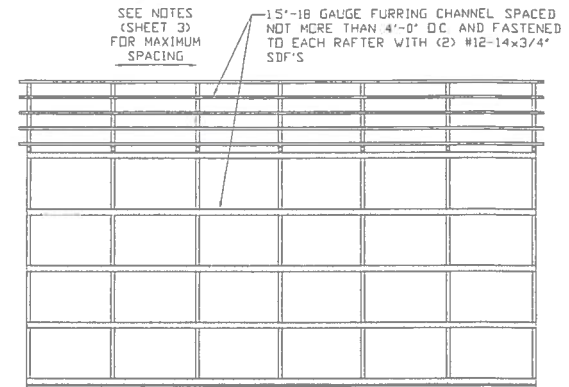
**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**

SCALE: NTS



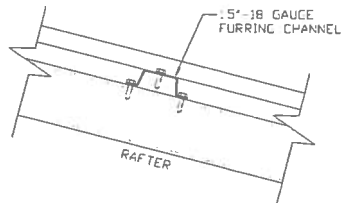
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**

SCALE: NTS



ROOF PANEL ATTACHMENT

(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

**JOB NO:
160225/173005**

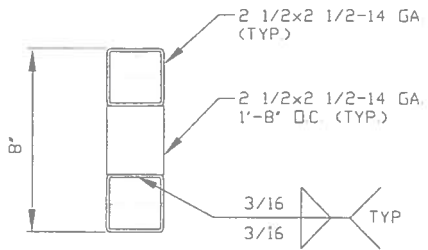
SHT. 15

DWG. NO: SK-3

REV: 4

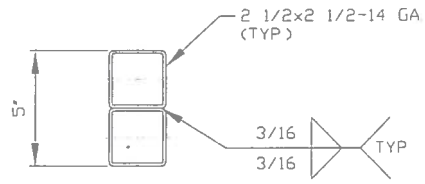
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OPTIONAL DOOR HEADER



**HEADER DETAIL FOR DOOR
OPENINGS 12'-0" < LENGTH ≤ 15'-0"**

SCALE: NTS



**HEADER DETAIL FOR DOOR
OPENINGS LENGTH ≤ 12'-0"**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

DWG. NO: SK-3

JOB NO:
160225/173005

REV: 4

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Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 750: 21450.8

EXP 12/31/2019

Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5

EXP 9/14/2020

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/2020

Wall Panel:

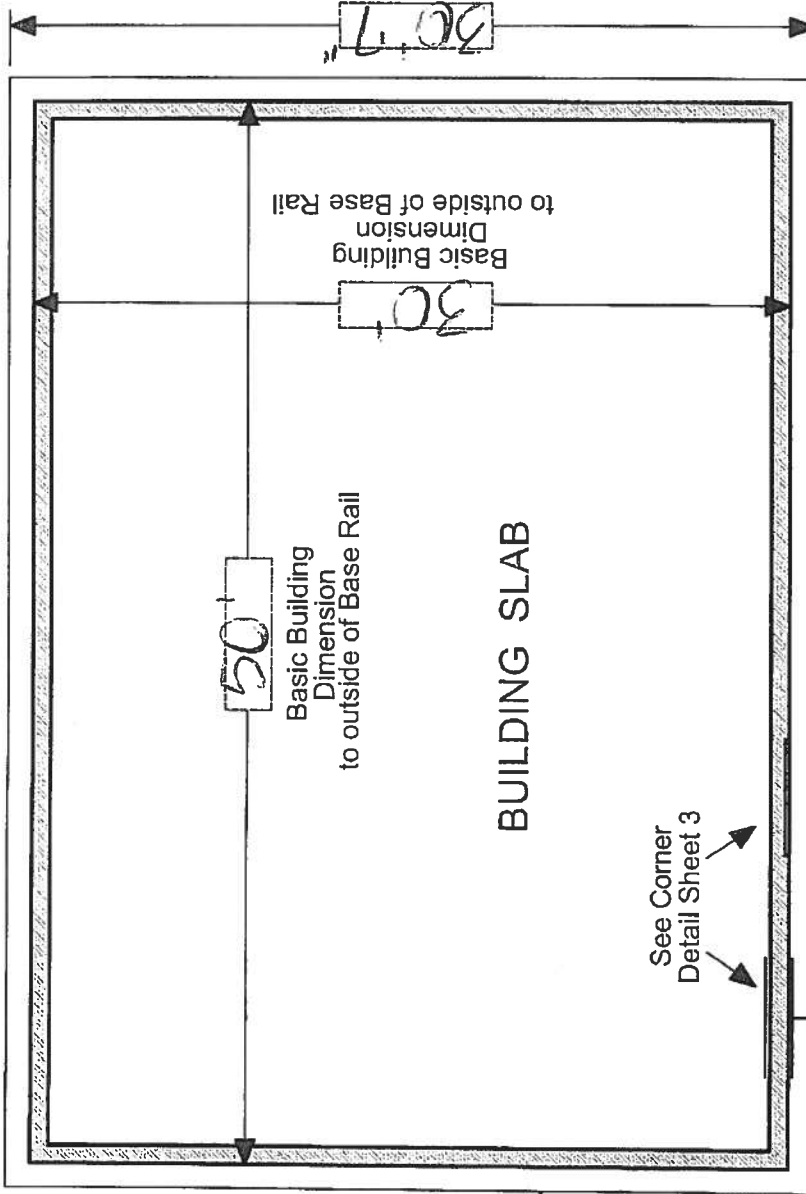
Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concern, please contact Donald Little at
386-961-0006 or at tubularbuildingsystems@gmail.com.

Outside measurement of foundation
Equals Basic Building Dimension
plus Seven (7) inches

50'7"



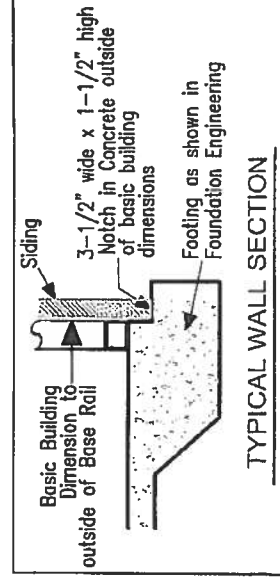
IMPORTANT - NOTES



Record Measurements
in these spaces provided

All basic building dimensions
are to the outside of the
frame Base Rail and DO NOT
INCLUDE the 3-1/2" x 1-1/2"
notch in the concrete footing

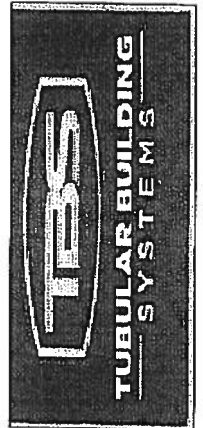
See Sheet 3 of 3
for Detail of Building
corner configuration

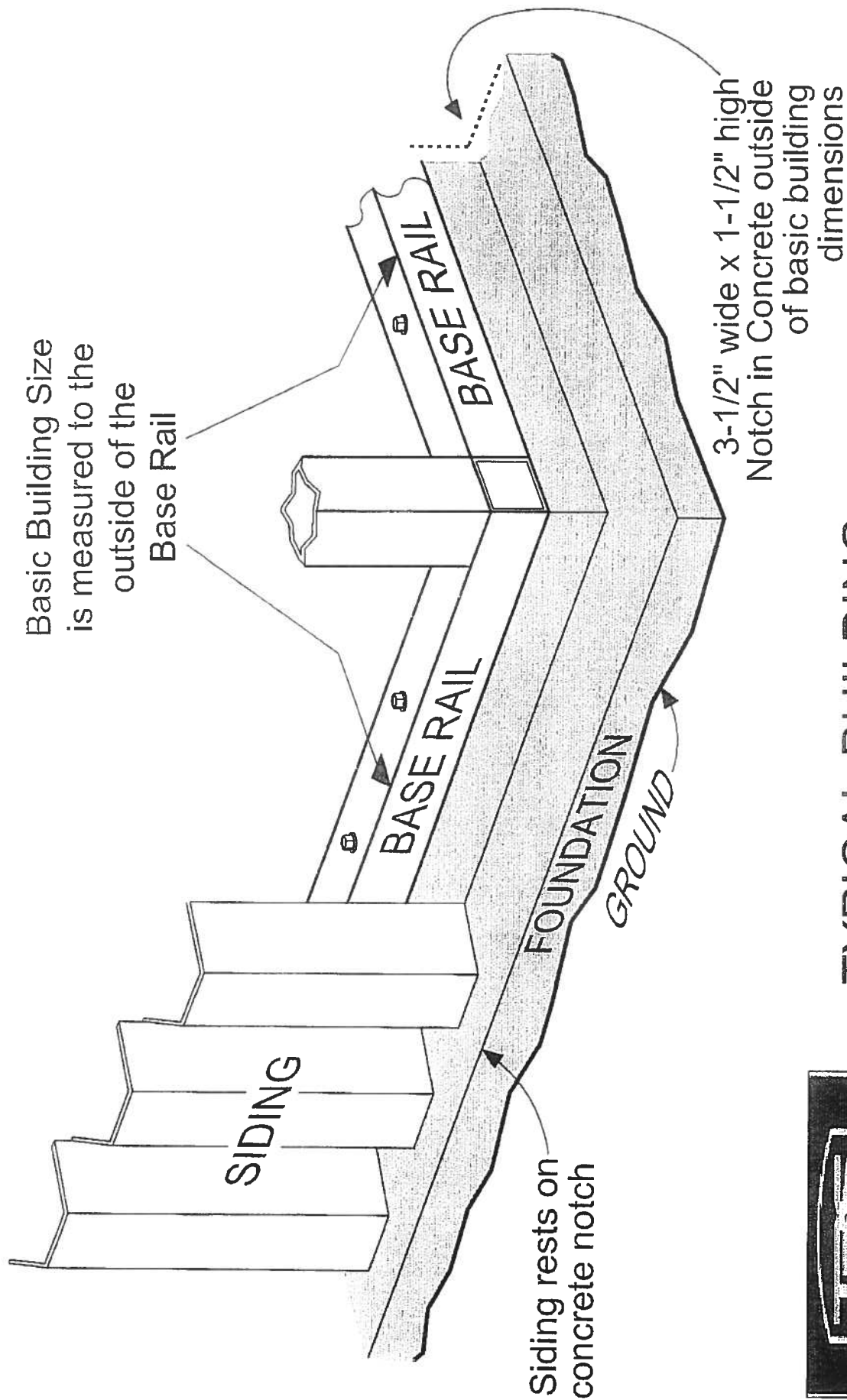


3-1/2" wide x 1-1/2" high Notch
in Concrete outside
of basic building
dimensions

Building
Base Rail

TYPICAL BUILDING FOUNDATION MEASUREMENTS





TYPICAL BUILDING

CORNER DETAIL

