

DATE 01/18/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026642

APPLICANT WILLIAM HARPER PHONE 623-3873  
ADDRESS 119 SW HOBBY PLACE LAKE CITY FL 32024  
OWNER MOISES & MARTHA REYNA PHONE 386-475-6020  
ADDRESS 1082 N CR 241 LULU FL 32061  
CONTRACTOR WILLIAM HARPER PHONE 623-3873  
LOCATION OF PROPERTY HWY 100, R 241, APPROX 1 MILE ON LEFT MARKED WITH ADDRESS

TYPE DEVELOPMENT MODULAR, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT 16.00 STORIES 1  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE A DEVELOPMENT PERMIT NO.

PARCEL ID 34-4S-18-10542-000 003 per SUBDIVISION  
LOT BLOCK PHASE UNIT TOTAL ACRES 10.00

R282811402

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 07-0946 BK JH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

NOC ON FILE

Check # or Cash 1415

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel) date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool date/app. by date/app. by  
Reconnection Pump pole Utility Pole date/app. by date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00  
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Prepared by:  
Leslie C. Snyder  
Southern Professional Title Services, Inc.  
185 SE 1st Street  
Lake Butler, Florida 32054

Fee: 12.50  
L7 448.00  
460.50

File Number: L7-1166

### General Warranty Deed

Made this November 29, 2007 A.D. By Elizabeth Ashley Dettor, an unmarried woman, whose address is P O. Box 1273, Verona, Virginia 24482, hereinafter called the grantor, to Moises Reyna Jr. and Martha Reyna, husband and wife, whose post office address is 13704 NE 250th Lane, Raiford, Florida 32083, hereinafter called the grantee;

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

As described on Exhibit "A" attached hereto and by this reference made a part hereof.

Parcel ID Number: 34-4S-18-10542-000

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered in our presence:*

Leslie C. Snyder  
Witness Printed Name Leslie C. Snyder

Debra Foreman  
Witness Printed Name Debra Foreman

State of Florida  
County of Union

Elizabeth Ashley Dettor (Seal)  
Elizabeth Ashley Dettor  
Address: P.O. Box 1273, Verona, Virginia 24482

The foregoing instrument was acknowledged before me this 29th day of November, 2007, by Elizabeth Ashley Dettor, an unmarried woman, who is/are personally known to me or who has produced a valid Drivers License as identification.



LESLIE C. SNYDER  
Notary Public, State of Florida  
My comm. expires May 17, 2009  
Comm. No. 00430693

Leslie C. Snyder  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Inst:200712026718 Date:12/5/2007 Time:9:09 AM  
Doc Stamp-Deed:448.00  
DC,P,DeWitt Cason,Columbia County Page 1 of 2

## Exhibit "A"

### Parcel 1

A parcel of land lying, being and situate in Section 34, Township 4 South, Range 18 East, Columbia County, Florida, more particularly described as follows:

COMMENCE at the Southwest corner of the Southeast 1/4 of Northwest 1/4 of said Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the South line of said Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the Easterly right of way line of County Road Number S-241 (80 foot right of way) and to the POINT OF BEGINNING of the hereinafter described parcel of land: Thence run North 05 degrees 19 minutes 12 seconds West, along said Easterly right of way line, a distance of 211.44 feet to the Point of Curvature of a curve to the right; thence run Northerly, continuing along said Easterly right of way line, a distance of 95.44 feet as measured along the arc of a curve concave Easterly and having a radius of 532.96 feet, said arc being subtended by a chord having a bearing of North 00 degrees 11 minutes 29 seconds West and a distance of 95.31 feet; thence run North 87 degrees 59 minutes 40 seconds East, a distance of 714.54 feet; thence run South 01 degree 11 minutes 15 seconds East, a distance of 306.38 feet to the intersection with the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34; thence run South 87 degrees 59 minutes 40 seconds West, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet to the POINT OF BEGINNING.

SUBJECT TO an easement for ingress, egress and public utilities, over, across and along the Southerly 40 feet and the Easterly 20 feet thereof.

TOGETHER WITH a 40 foot easement for ingress, egress and public utilities described as follows: COMMENCE at the aforesaid Southwest corner of the Southeast 1/4 of Northwest 1/4 of Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the aforesaid Easterly right of way line of County Road Number S-241 (an 80 foot right of way), and to the POINT OF BEGINNING of said 40 foot easement (the Northerly right of way line of said easement commencing at a line which bears North 05 degrees 19 minutes 12 seconds West from said POINT OF BEGINNING): From the POINT OF BEGINNING, said Easement lying 40 feet to the left (Northerly) of a line running North 87 degrees 59 minutes 40 seconds East, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet; thence said easement lying 20 feet to the left (Westerly) and 20 feet to the right (Easterly) of a line running North 01 degree 11 minutes 15 seconds West, a distance of 513.11 feet to the END of said 40 foot easement, said easement terminating at a line which bears South 88 degrees 31 minutes 31 seconds West and North 88 degrees 31 minutes 31 seconds East from said END (right of way lines of said easement to be shortened or extended to form points on intersection at all changes of direction).

ALSO, SUBJECT TO a powerline easement over, across and through the Westerly one-half thereof.

ALSO, SUBJECT TO all easements, rights of way, restrictions and reservations, whether of record, or not of record.



ck 1415

## Columbia County Building Permit Application

For Office Use Only Application # 0712-85 Date Received 12/27/07 By G Permit # 26642  
 Zoning Official BLK Date 09.01.08 Flood Zone A FEMA Map # N/A Zoning A-3  
 Land Use A-3 Elevation N/A MFE 1st River N/A Plans Examiner OK JTH Date 1-18-8  
 Comments \_\_\_\_\_  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Authorization from Contractor  
☐ Unincorporated area ☐ Incorporated area ☐ Town of Fort White ☐ Town of Fort White Compliance letter

Septic Permit No. \_\_\_\_\_

Fax 386-752-2571Name Authorized Person Signing Permit WILLIAM L. HARPER Phone 386-623-3873Address 119 SW HOBBY PL. LAKE CITY, FL. 32024Owners Name MOISES REYNA, JR. AND MARTHA REYNA Phone 352-475-6020911 Address 1082 C.R. 241 N LULU, FL. 32061Contractors Name WILLIAM L. HARPER Phone 386-623-3873Address 119 SW HOBBY PL. LAKE CITY, FL. 32024

Fee Simple Owner Name &amp; Address \_\_\_\_\_

Bonding Co. Name &amp; Address \_\_\_\_\_

Architect/Engineer Name & Address ROBERT D. GREEG / HUBBARD, WERNER, CARTER AND ASSOC. CLEARWATER, FL.Mortgage Lenders Name & Address N/ACircle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress EnergyProperty ID Number 34-45-18-10542-000 Estimated Cost of Construction \$100,000.00

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions GO HWY. 90 EAST TO HWY. 100, GO RIGHT, GO HWY. 100 TO COUNTY RD. 241 (LULU), GO RIGHT, GO APPROX. 1 MILE, PROPERTY ON LEFT (CURVE), MARKED W/ 911 ADDRESS Number of Existing Dwellings on Property 0Construction of MODULAR HOME Total Acreage 10 Lot Size \_\_\_\_\_Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'Actual Distance of Structure from Property Lines - Front 300' Side 150' Side 500' Rear 350'Number of Stories 1 Heated Floor Area 1586 Total Floor Area 1686 Roof Pitch 7/12  
1611 PER ENERGY FORM 1611

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



Columbia County Building Permit Application

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

*Morris Regne Jr.*

Owners Signature

*Morris Regne*

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

*[Signature]*  
Contractor's Signature (Permittee)

Contractor's License Number RR 282811402  
Columbia County  
Competency Card Number 000258

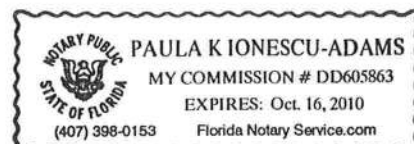
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27 day of December 2007.

Personally known \_\_\_\_\_ or Produced Identification DR. License

*Paula K. Ionescu-Adams*

SEAL:

State of Florida Notary Signature (For the Contractor)



From: BILL HARPER  
ATTN: GAIL  
REYNA 0712-85

## COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: [ron\\_croft@columbiacountyfla.com](mailto:ron_croft@columbiacountyfla.com)

### Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 12/26/2007 DATE ISSUED: 12/28/2007

#### ENHANCED 9-1-1 ADDRESS:

1082 SE COUNTY ROAD 241  
LULU FL 32061  
PROPERTY APPRAISER PARCEL NUMBER:  
34-4S-18-10542-000

Remarks:

Address Issued By:   
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Approved Address

1075

DEC 28 2007

911Addressing/GIS Dept





0712-85



# NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 34-4-18-10542-000

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): See Attached  
a) Street (job) Address: TBD CR 241, Lulu, FL.
2. General description of improvements: Construction of Dwelling
3. Owner Information  
a) Name and address: Moises & Martha Reyna, 7848A Lake Geniva Ln, Keystone, FL.  
b) Name and address of fee simple titleholder (if other than owner): None 32656  
c) Interest in property: Fee Simple
4. Contractor Information  
a) Name and address: Royals Homes, 4068 W. US Hwy. 90, Lake City, FL. 32055  
b) Telephone No.: 386-754-6737 Fax No. (Opt.): 386-758-7764
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_
6. Lender  
a) Name and address: N/A Inst: 200812000473 Date: 1/9/2008 Time: 3:45 PM  
b) Phone No.: \_\_\_\_\_ 14 DC, P. DeWitt Cason, Columbia County Page 1 of 1
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served.  
a) Name and address: None  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:  
a) Name and address: None  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.): \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Moises Reyna Jr.  
Signature of Owner or Owner's Authorized Officer/Partner/Manager  
Moises Reyna  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 9th day of January, 202008, by:  
\_\_\_\_\_ as \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney  
fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification X Type FL. Drivers License

Notary Signature [Signature] Notary Stamp or Seal:



WILLIAM P. CREWS  
MY COMMISSION # DD 703246  
EXPIRES: August 8, 2011  
Bonded Thru Budget Notary Services

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)



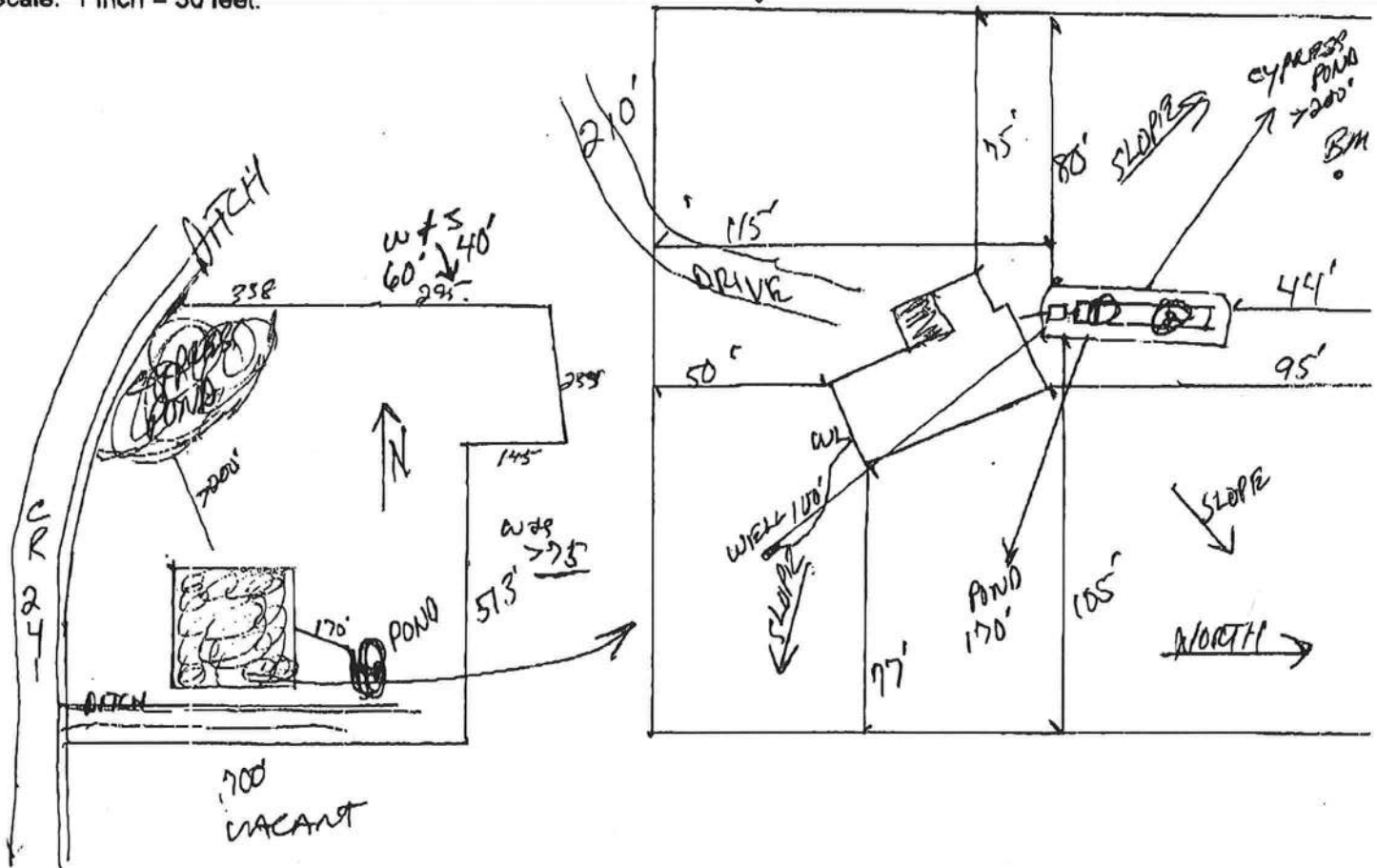
STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 02-0986

*M. Reyna*  
*Detton*

PART II - SITEPLAN

Scale: 1 inch = 50 feet.



Notes:

1 of 10 ACRES

Site Plan submitted by:

*Rock D F D*

MASTER CONTRACTOR

Plan Approved

Not Approved

Date 12-10-07

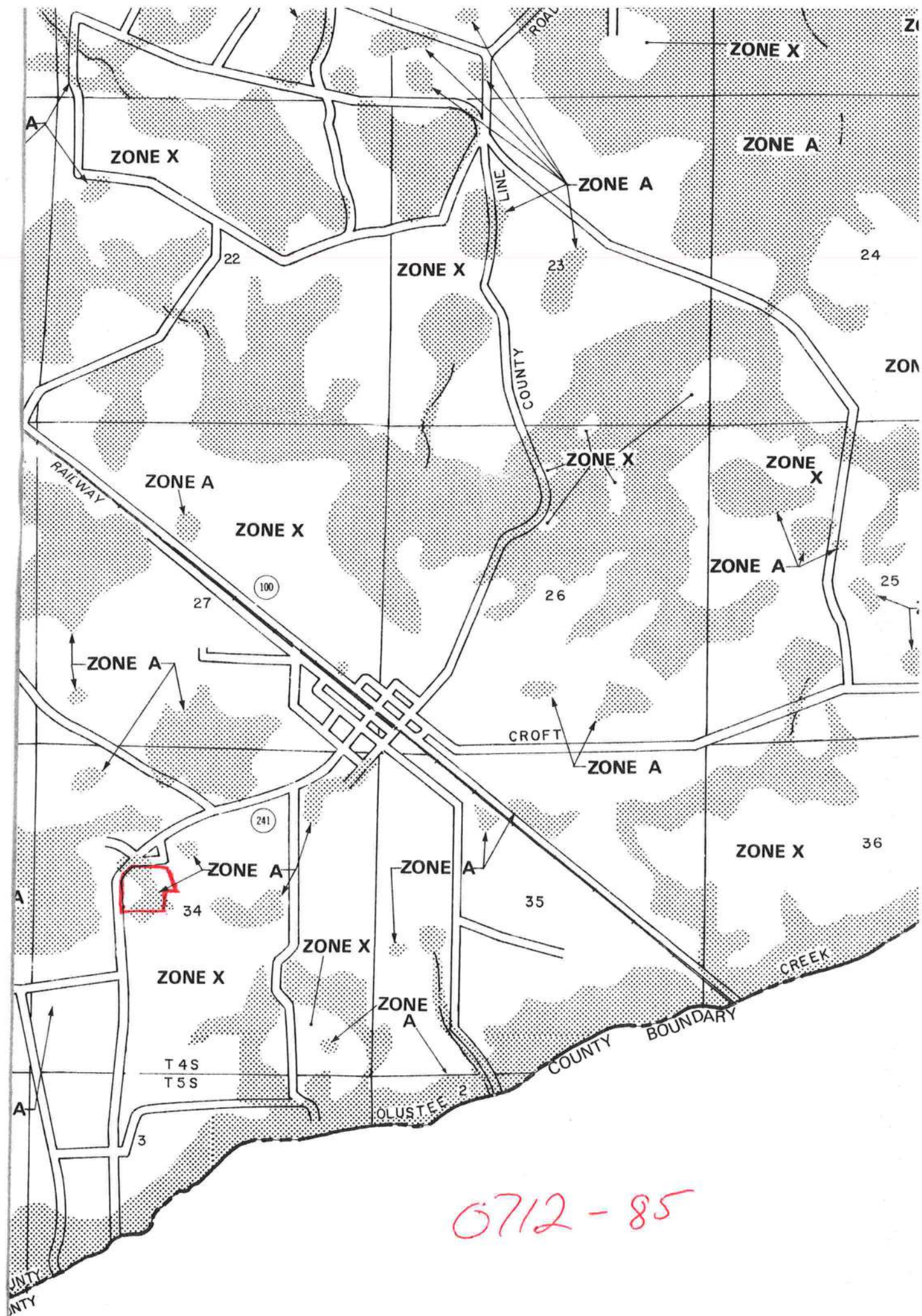
By

*Mr A 2u*

*Columbia*

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



0712-85





STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

07-0946  
PERMIT NO. 637452  
DATE PAID: 12/1/07  
FEE PAID: \$18.00  
RECEIPT #: 221779

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Dettor, Elizabeth Ashley

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: na BLOCK: na SUB: na PLATTED: \_\_\_\_\_

PROPERTY ID #: 34-4-18-10542-000 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y ☐ N

PROPERTY SIZE: 10 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: CR 241, Lulu, FL

DIRECTIONS TO PROPERTY: 441 South, TL on CR 252, TL on CR 241, 1<sup>st</sup> drive on right

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	Modular Home	3	1664	
2				
3				

☒ Floor/Equipment Drains ☒ Other (Specify) \_\_\_\_\_

SIGNATURE: Rocky Ford DATE: 12/5/2007



12/1/07



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM  
CONSTRUCTION PERMIT

07-0946  
PERMIT NO. 637452  
DATE PAID: 12/18/07  
FEE PAID: \$10.00  
RECEIPT #: 525774

CONSTRUCTION PERMIT FOR:

[X] New System [ ] Existing System [ ] Holding Tank [ ] Innovative  
[ ] Repair [ ] Abandonment [ ] Temporary [ ]

APPLICANT: Detton, Elizabeth Ashley

PROPERTY ADDRESS: CR 241, Lulu, FL

LOT: na BLOCK: na SUBDIVISION: na  
[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]  
PROPERTY ID #: 34-4-18-10542-000 [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 700 ] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES [ ]  
A [ ] GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES [ ]  
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]  
K [ ] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS # PUMPS [ ]

D [ 337 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM  
R [ ] SQUARE FEET SYSTEM

A TYPE SYSTEM: [ ] STANDARD [X] FILLED [ ] MOUND [ ]

I CONFIGURATION: [X] TRENCH [ ] BED [ ]

N  
F LOCATION OF BENCHMARK: MAIL IN POWER POLE NORTH OF SITE

I ELEVATION OF PROPOSED SYSTEM SITE [ 0 ] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE ≤ 4 [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [ 14 ] INCHES EXCAVATION REQUIRED: [ NA ] INCHES

O  
T  
H  
E  
R

SPECIFICATIONS BY: Robert D. F... TITLE: MASTER CONTRACTOR

APPROVED BY: [Signature] TITLE: For Manager Columbia CHD

DATE ISSUED: 12-10-07 EXPIRATION DATE: 6-10-09

DH 4016, 10/97 (Previous Editions May Be Used)



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

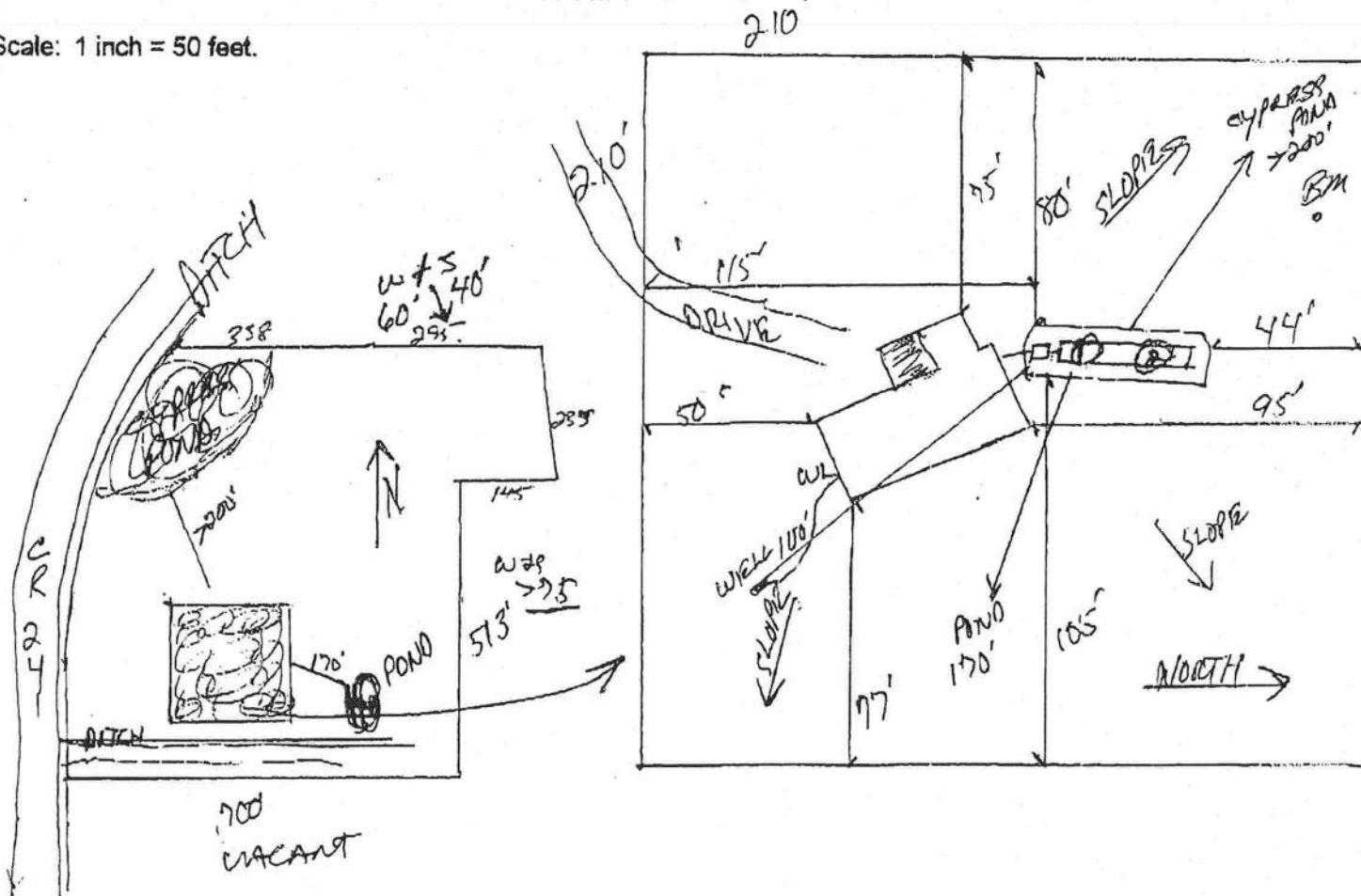
Permit Application Number

Detton

07-0986

## PART II - SITEPLAN

Scale: 1 inch = 50 feet.



**Notes:**

1 of 10 Acres

Site Plan submitted by:

Plan Approved

By \_\_\_\_\_

Rock D 7-D

Not Approved

MASTER CONTRACTOR

Date 12-10-07

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

Prepared by:  
Leslie C. Snyder  
Southern Professional Title Services, Inc.  
185 SE 1st Street  
Lake Butler, Florida 32054

Rec. 18.50  
DS 448.00  
466.50

File Number: L7-1166

### General Warranty Deed

Made this November 29, 2007 A.D. By Elizabeth Ashley Dettor, an unmarried woman, whose address is P.O. Box 1273, Verona, Virginia 24482, hereinafter called the grantor, to Moises Reyna Jr. and Martha Reyna, husband and wife, whose post office address is 13704 NE 250th Lane, Ralford, Florida 32083, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

As described on Exhibit "A" attached hereto and by this reference made a part hereof.

Parcel ID Number: 34-4S-18-10542-000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Leslie C. Snyder  
Witness Printed Name Leslie C. Snyder

Debra Foreman  
Witness Printed Name Debra Foreman

State of Florida  
County of Union

The foregoing instrument was acknowledged before me this 29th day of November, 2007, by Elizabeth Ashley Dettor, an unmarried woman, who is/are personally known to me or who has produced a valid Drivers License as identification.



LESLIE C. SNYDER  
Notary Public, State of Florida  
My comm. expires May 17, 2009  
Comm. No. DD 430693

Elizabeth Ashley Dettor (Seal)  
Elizabeth Ashley Dettor  
Address: P.O. Box 1273, Verona, Virginia 24482

Leslie C. Snyder  
Notary Public  
Print Name: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_

Inst:200712026718 Date:12/5/2007 Time:9:09 AM  
Doc Stamp-Deed:448.00  
DC, P. DeWitt Cason, Columbia County Page 1 of 2



**Exhibit "A"****Parcel 1**

A parcel of land lying, being and situate in Section 34, Township 4 South, Range 18 East, Columbia County, Florida, more particularly described as follows:

COMMENCE at the Southwest corner of the Southeast 1/4 of Northwest 1/4 of said Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the South line of said Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the Easterly right of way line of County Road Number S-241 (80 foot right of way) and to the POINT OF BEGINNING of the hereinafter described parcel of land: Thence run North 05 degrees 19 minutes 12 seconds West, along said Easterly right of way line, a distance of 211.44 feet to the Point of Curvature of a curve to the right; thence run Northerly, continuing along said Easterly right of way line, a distance of 95.44 feet as measured along the arc of a curve concave Easterly and having a radius of 532.96 feet, said arc being subtended by a chord having a bearing of North 00 degrees 11 minutes 29 seconds West and a distance of 95.31 feet; thence run North 87 degrees 59 minutes 40 seconds East, a distance of 714.54 feet; thence run South 01 degree 11 minutes 15 seconds East, a distance of 306.38 feet to the intersection with the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34; thence run South 87 degrees 59 minutes 40 seconds West, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet to the POINT OF BEGINNING.

SUBJECT TO an easement for ingress, egress and public utilities, over, across and along the Southerly 40 feet and the Easterly 20 feet thereof.

TOGETHER WITH a 40 foot easement for ingress, egress and public utilities described as follows: COMMENCE at the aforesaid Southwest corner of the Southeast 1/4 of Northwest 1/4 of Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the aforesaid Easterly right of way line of County Road Number S-241 (an 80 foot right of way), and to the POINT OF BEGINNING of said 40 foot easement (the Northerly right of way line of said easement commencing at a line which bears North 05 degrees 19 minutes 12 seconds West from said POINT OF BEGINNING): From the POINT OF BEGINNING, said Easement lying 40 feet to the left (Northerly) of a line running North 87 degrees 59 minutes 40 seconds East, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet; thence said easement lying 20 feet to the left (Westerly) and 20 feet to the right (Easterly) of a line running North 01 degree 11 minutes 15 seconds West, a distance of 513.11 feet to the END of said 40 foot easement, said easement terminating at a line which bears South 88 degrees 31 minutes 31 seconds West and North 88 degrees 31 minutes 31 seconds East from said END (right of way lines of said easement to be shortened or extended to form points on intersection at all changes of direction).

ALSO, SUBJECT TO a powerline easement over, across and through the Westerly one-half thereof.

ALSO, SUBJECT TO all easements, rights of way, restrictions and reservations, whether of record, or not of record.

This instrument prepared by:  
Elizabeth A. Dettor  
P.O. Box 1273  
Verona, VA 24482

Pce. 37.00

### ROAD MAINTENANCE AGREEMENT

This Agreement is entered into this 29th day of November, 2007, between Elizabeth Ashley Dettor and William T. Dettor, Jr., Sellers, and Moises Reyna, Jr., and Martha Reyna, husband and wife, Buyers, of property located along and adjacent to an easement road to be used for ingress and egress, more particularly described as follows:

**As described on Exhibit "A" attached hereto.**

Moises Reyna, Jr., and Martha Reyna, husband and wife, agree that the easement area used for access to the property owned by Moises Reyna, Jr., and Martha Reyna, husband and wife, will at all times, be maintained in a level condition, free of the growth of vegetative matter, so that vehicles may travel over the roadway. Moises Reyna, Jr., and Martha Reyna, husband and wife, further agree that during the term of ownership, they will maintain that roadway in the above condition at their expense.

Each parcel owner shall be responsible for the easement up to and including their parcel only. Each owner will mow their part of the easement.

This agreement shall be binding upon the heirs, personal representatives and assigns of the undersigned.

Upon the sale of property along this easement, the Seller is released of their responsibility and obligation under this agreement.

DATED this 29th day of November, 2007.

**Signed and sealed  
in the presence of:**

Leslie C. Snyder  
Signature of Witness  
Leslie C. Snyder  
Printed Name of Witness  
Debra Foreman  
Signature of Witness  
Debra Foreman  
Printed Name of Witness  
Leslie C. Snyder  
Signature of Witness  
Leslie C. Snyder  
Printed Name of Witness  
Debra Foreman  
Signature of Witness  
Debra Foreman  
Printed Name of Witness

Elizabeth A. Dettor  
Elizabeth A. Dettor  
William T. Dettor, Jr.  
William T. Dettor, Jr.  
Moises Reyna, Jr.  
Moises Reyna, Jr.  
Martha Reyna  
Martha Reyna



STATE OF FLORIDA  
COUNTY OF UNION

Sworn to and subscribed before me this 29th day of November, 2007 was Elizabeth A. Dettor and William T. Dettor, Jr., who produced a valid Driver's License as Identification. Witness my hand and seal the day and year above written.



LESLIE C. SNYDER  
Notary Public, State of Florida  
My comm. expires May 17, 2009  
Comm. No. DD 430693

Leslie C. Snyder  
Notary Public, State of Florida  
My Commission Expires:

STATE OF FLORIDA  
COUNTY OF UNION

Sworn to and subscribed before me this 29th day of November, 2007 was Moises Reyna Jr., and Martha Reyna, who produced a valid Driver's License as Identification. Witness my hand and seal the day and year above written.



LESLIE C. SNYDER  
Notary Public, State of Florida  
My comm. expires May 17, 2009  
Comm. No. DD 430693

Leslie C. Snyder  
Notary Public, State of Florida  
My Commission Expires:

**Exhibit "A"****Parcel 1**

A parcel of land lying, being and situate in Section 34, Township 4 South, Range 18 East, Columbia County, Florida, more particularly described as follows:

COMMENCE at the Southwest corner of the Southeast 1/4 of Northwest 1/4 of said Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the South line of said Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the Easterly right of way line of County Road Number S-241 (80 foot right of way) and to the POINT OF BEGINNING of the hereinafter described parcel of land: Thence run North 05 degrees 19 minutes 12 seconds West, along said Easterly right of way line, a distance of 211.44 feet to the Point of Curvature of a curve to the right; thence run Northerly, continuing along said Easterly right of way line, a distance of 95.44 feet as measured along the arc of a curve concave Easterly and having a radius of 532.96 feet, said arc being subtended by a chord having a bearing of North 00 degrees 11 minutes 29 seconds West and a distance of 95.31 feet; thence run North 87 degrees 59 minutes 40 seconds East, a distance of 714.54 feet; thence run South 01 degree 11 minutes 15 seconds East, a distance of 306.38 feet to the intersection with the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34; thence run South 87 degrees 59 minutes 40 seconds West, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet to the POINT OF BEGINNING.

SUBJECT TO an easement for ingress, egress and public utilities, over, across and along the Southerly 40 feet and the Easterly 20 feet thereof.

TOGETHER WITH a 40 foot easement for ingress, egress and public utilities described as follows: COMMENCE at the aforesaid Southwest corner of the Southeast 1/4 of Northwest 1/4 of Section 34, and run North 87 degrees 59 minutes 40 seconds East, along the aforesaid South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 34.29 feet to the intersection with the aforesaid Easterly right of way line of County Road Number S-241 (an 80 foot right of way), and to the POINT OF BEGINNING of said 40 foot easement (the Northerly right of way line of said easement commencing at a line which bears North 05 degrees 19 minutes 12 seconds West from said POINT OF BEGINNING): From the POINT OF BEGINNING, said Easement lying 40 feet to the left (Northerly) of a line running North 87 degrees 59 minutes 40 seconds East, along said South line of the Southeast 1/4 of Northwest 1/4 of Section 34, a distance of 700.96 feet; thence said easement lying 20 feet to the left (Westerly) and 20 feet to the right (Easterly) of a line running North 01 degree 11 minutes 15 seconds West, a distance of 513.11 feet to the END of said 40 foot easement, said easement terminating at a line which bears South 88 degrees 31 minutes 31 seconds West and North 88 degrees 31 minutes 31 seconds East from said END (right of way lines of said easement to be shortened or extended to form points on intersection at all changes of direction).

ALSO, SUBJECT TO a powerline easement over, across and through the Westerly one-half thereof.





## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

### PARCEL: 34-4S-18-10542-000 - SINGLE FAM (000100)

Name: DETTOR ELIZABETH ASHLEY

Site: COUNTY RD 241

Mail: 9220 SW 149TH LANE  
LAKE BUTLER, FL 32054

2/17/2006 \$100,500.00 /

Sales Info 8/22/2005 \$100.00 /

8/16/2005 \$100.00 /

LandVal	\$50,000.00
BldgVal	\$29,128.00
ApprVal	\$79,628.00
JustVal	\$79,628.00
Assd	\$79,628.00
Exmpt	\$0.00
Taxable	\$79,628.00

0 0.08 0.16 0.24 mi



This information, GIS Map Updated: 11/15/2007, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>1447-5423F</b>	Builder: <b>HORTON</b>
Address:	Permitting Office:
City, State: <b>, FL</b>	Permit Number:
Owner: <b>HORTON HOMES</b>	Jurisdiction Number:
Climate Zone: <b>North</b>	

1. New construction or existing <b>New</b> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <b>Single family</b> <input type="checkbox"/>	a. Central Unit <b>Cap: 42.0 kBtu/hr</b> <input type="checkbox"/>
3. Number of units, if multi-family <b>1</b> <input type="checkbox"/>	<b>SEER: 13.00</b> <input type="checkbox"/>
4. Number of Bedrooms <b>3</b> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <b>Yes</b> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) <b>1611 ft²</b> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <b>Cap: 42.0 kBtu/hr</b> <input type="checkbox"/>
a. U-factor: <b>Description Area</b>	<b>HSPF: 7.80</b> <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 198.1 ft² <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (SHGC=0.4) 238.1 ft² <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <b>Cap: 50.0 gallons</b> <input type="checkbox"/>
a. Raised Wood, Stem Wall <b>R=22.0, 1833.2ft²</b> <input type="checkbox"/>	<b>EF: 0.90</b> <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <b>R=15.0, 1280.0 ft²</b> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits <b>PT, <input type="checkbox"/></b>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <b>R=38.0, 1632.0 ft²</b> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts	
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 225.0 ft <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.15

Total as-built points: 20550  
Total base points: 22908

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: APPROVED DEC 10 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: [Signature]

DATE: [Signature]

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: DATE Plan No.  
DATE: APPROVED BY SCOTT S. FRANCIS

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	1447-5423F	Builder:	HORTON
Address:		Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HORTON HOMES	Jurisdiction Number:	
Climate Zone:	Central		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 42.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	1611 ft²	13. Heating systems	
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		a. Electric Heat Pump	Cap: 42.0 kBtu/hr
a. U-factor:	Description Area		HSPF: 7.80
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 198.1 ft²		b. N/A	
b. SHGC:		c. N/A	
(or Clear or Tint DEFAULT) 7b. (SHGC=0.4) 238.1 ft²		14. Hot water systems	
8. Floor types		a. Electric Resistance	Cap: 50.0 gallons
a. Raised Wood, Stem Wall	R=22.0, 1833.2ft²		EF: 0.90
b. N/A		b. N/A	
c. N/A		c. Conservation credits	
9. Wall types		(HR-Heat recovery, Solar	
a. Frame, Wood, Exterior	R=15.0, 1280.0 ft²	DHP-Dedicated heat pump)	
b. N/A		15. HVAC credits	PT,
c. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
d. N/A		HF-Whole house fan,	
e. N/A		PT-Programmable Thermostat,	
10. Ceiling types		MZ-C-Multizone cooling,	
a. Under Attic	R=38.0, 1632.0 ft²	MZ-H-Multizone heating)	
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 225.0 ft			
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 19470

Total base points: 20292

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: 

DATE: APPROVED DEC 10 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



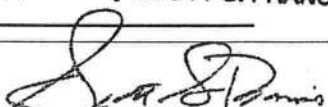
BUILDING OFFICIAL: DEC 10 2007 Plan No.

DATE: \_\_\_\_\_

Approved By SCOTT S. FRANCIS

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA.

  
Modular Building Plans Examiner  
Florida License No. 00000000

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	1447-5423F	Builder:	HORTON
Address:		Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HORTON HOMES	Jurisdiction Number:	
Climate Zone:	South		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 42.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	1611 ft²		
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 42.0 kBtu/hr
(or Single or Double DEFAULT)	7a. (Dble, U=0.3) 198.1 ft²		HSPF: 7.80
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT)	7b. (SHGC=0.4) 238.1 ft²	c. N/A	
8. Floor types		14. Hot water systems	
a. Raised Wood, Stem Wall	R=22.0, 1833.2ft²	a. Electric Resistance	Cap: 50.0 gallons
b. N/A			EF: 0.90
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=15.0, 1280.0 ft²	(HR-Heat recovery, Solar	
b. N/A		DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	PT,
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=38.0, 1632.0 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 225.0 ft			
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 21186

Total base points: 21776

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: \_\_\_\_\_

DATE: APPROVED DEC 10 2007

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_

DEC 10 2007

Plan No. \_\_\_\_\_

Approved By SCOTT S. FRANCIS

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA.

Modular Building Plans Examiner  
Florida License No. 00000000



# COLUMBIA COUNTY FLORIDA

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 34-4S-18-10542-003

Building permit No. 000026642

Use Classification MODULAR, UTILITY

Fire: 51.36

Permit Holder WILLIAM HARPER

Waste: 134.00

Owner of Building MOISES & MARTHA REYNA

Total: 185.36

Location: 1082 SE CR 241, LULU, FL

Date: 02/28/2008

Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)









APPLIANCE	MANUFACTURER	MODEL	SPECIFICATIONS
WATER HEATER	RHEEM	WARRIOR	DIVISION 15 MECHANICAL PLUMBING PAGE 1
INSTANTANEOUS WATER HEATER	EEMAX	RESIDENTIAL COMMERCIAL	EEMAX 1 TO EEMAX 2
LAVATORY	VARIOUS	PORCELAIN	BOOT 21 TO BOOT 2 2
FAUCET	MOEN	LAVATORY FAUCET	MOEN 1 TO MOEN
KITCHEN SINK	ENEX	DOUBLE BOWL	ENEX 1 TO ENEX 3
SHOWER UNITS	CRANE	SINGLE PIECE	CRANE 1 TO CRANE 2
TUB/ SHOWER	CRANE	SINGLE PIECE	CRANE 3 TO CRANE 8
WHIRLPOOL.S/TUBS	CRANE	VARIOUS	CRANE 9 TO CRANE 15

APPLIANCE	MANUFACTURER	MODEL	SPECIFICATIONS
FURNACE	INTERTHEM	GAS	INTERTHEM GAS Ø THROUGH INTERTHEM GAS 72
FURNACE	INTERTHEM	ELECTRIC	INTERTHEM ELECTRIC Ø THROUGH INTERTHEM ELECTRIC 72
EXHAUST FAN	VENTLINE	RANGE	VENT 1 THROUGH VENT 12
EXHAUST FAN	VENTLINE	BATH	VENT 13 THROUGH VENT 17
EXHAUST FAN	VENTLINE	ATTIC	VENT 18

FEATURE	MANUFACTURER	MODEL	SPECIFICATIONS
LOAD CENTER	SIEMENS	MAIN BREAKER	DC 1 THROUGH DC 2
SNAP SWITCHES	EAGLE	STANDARD GRADE SWITCHES	DC 3
SNAP SWITCHES	EAGLE	DUPLEX GRADE SWITCHES	DC 4
LIGHT FIXTURES	SIMKAR CORPORATION	FLUORESCENT	DC 5 THROUGH DC 6
ELECTRICAL FITTING	GB	VARIOUS	DC 7 THROUGH DC 9
WIRING DEVICES	WIRE CON	SELF-CONTAINED	DC 10 THROUGH DC 12/ DC 19 THROUGH DC 20
SMOKE DETECTORS	USI ELECTRICAL	120 V / AC	DC 13
RECEPTACLES	USI ELECTRICAL	GFCI	DC 14
J-BOXES	THOMAS & BATTS	VARIOUS	DC 15 THROUGH DC 18
LIGHT FIXTURES	CAPITAL	VARIOUS	CAPITAL 1 THROUGH CAPITAL 130
LIGHT FIXTURES	SIMKAR CORPORATION	VARIOUS	SIMKAR 1 THROUGH SIMKAR 63

I.D.	SIZE	DESCRIPTION	HEADERS	I.D.	SIZE	DESCRIPTION	HEADERS	GLAZED AREA	VENT AREA	NOTES
16"	16"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	1440	14" x 40"	SINGLE HUNG	(2) 2x4 SPF#2			1. ALL COLUMN STUDS SHALL GLUE MAILED TOGETHER. PVA GLE WITH DOOR COVERAGE SHALL BE USED.
24"	24"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3653	30" x 53"	SINGLE HUNG	(2) 2x4 SPF#2	8.9 sq.ft.	5.0 sq.ft.	2. STRAPPING REQUIREMENT AT COLUMNS. REF. FLOORPLAN
28"	28"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3027	30" x 27"	SINGLE HUNG	(2) 2x4 SPF#2	4.55 sq.ft.	2.28 sq.ft.	3. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED
30"	30"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3040 S.G.	30" x 40"	SINGLE HUNG	(2) 2x4 SPF#2	6.28 sq.ft.	3.14 sq.ft.	4. DOOR SIZES SHOWN IN DOORS ARE IN INCHES AND REFLECT DOOR OPENING
32"	32"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3066	30" x 66"	SAFETY GLAZED SINGLE HUNG	(2) 2x4 SPF#2	11.16 sq.ft.	6.16 sq.ft.	
36"	36"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3660	36" x 60"	SINGLE HUNG	(2) 2x4 SPF#2	12.20 sq.ft.	6.14 sq.ft.	
48"	48"x80"x1-3/8"	LOUVERED BIFOLD	(2) 2x6 SPF#2	4222SS6 BLOCK	42" X 42"	BLOCK SAFETY GLAZED	(2) 2x4 SPF#2			
60"	60"x80"x1-3/8"	LOUVERED BIFOLD	(2) 2x8 SPF#2							
FURNACE	22"x78"x1"	LOUVERED METAL DOOR	(2) 2x4 SPF#2							
3680	36"x80"x1-3/8"	INSUL. 6-PANEL STEEL SLIDING GLASS DOOR	(2) 2x4 SPF#2							
S.G.D.	72"x80"x1-3/8"	INSUL. SAFETY GLAZED SLIDING GLASS DOOR	(2) 2x10 SYP#2							
DUNBARTON	72"x80"x1-3/8"	INSUL. SAFETY GLAZED SLIDING GLASS DOOR	(2) 2x10 SYP#2	** - KINRO SERIES 9750 WINDOWS WITH INSULATED GLAZING (U=.35max)						

GENERAL NOTES: ALL WINDOWS TO BE SINGLE HUNG W/ INSULATED GLAZING (U=.35) ALL EGRESS WINDOWS MUST COMPLY WITH IRC SECT. R 310. ALL WINDOWS SHALL BE DESIGN PRESSURE 50L  
SHCC=1.0

DWG. NO.	DWG. NAME	REVISED DATE
FL-1	TYPICAL FLOOR DETAILS	01-08-07
RF-1	TYPICAL ROOF DETAILS	01-08-07
BC-1	RIDGE BEAM AND HEADER DETAILS	01-08-07
TF-1	TYPICAL FRAMING INFORMATION	01-08-07
TF-2	TYPICAL FRAMING INFORMATION	01-08-07
EXS-1	TYPICAL EXTERIOR SIDING DETAILS	01-08-07
CHS-1	ON FRAME CROSS SECTION	01-08-07
PFS-1	OFF FRAME CROSS SECTION	01-08-07
ED-1	END WALL DETAILS	01-08-07
OD-1	OVERHANG DETAILS	01-08-07
SW-1	SHEAR WALL & ROOF DIAPHRAGM DETAILS	01-08-07

**HORTON HOMES, INC.**  
TYPICAL CONSTRUCTION DETAILS FOR  
MODULAR CONSTRUCTION COMPLYING  
ASCE 7-02, 130 MPH, EXPOSURE "C"

STANDARD CONSTRUCTION DETAILS  
REFER TO APPROVED PLANS FOR  
ANY INFORMATION NOT COVERED IN  
THESE DRAWINGS.

**ROBERT E. GREGG**  
REGISTERED ARCHITECT  
630 CHESTNUT STREET  
CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-791-6942  
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SEAL: FL

APPROVED DEC 10 2007

[illegible]

MODULAR  
CODES: SEE NOTES  
LABELS: FL

LABELS: FL

DEC 10 2007

APPROVED

# THE MC363FG (BURTON)

DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 12-04-07
REV:
DWG. # 2 OF 14

DWG# :1447-5423F  
HORTON  
HOMES, INC.  
EATONTON, GA 31024  
PLUMB, MECH, ELEC SCH

## PLUMB, MECH, ELEC SCHEDULES





REAR ELEVATION

MODULAR

0 6" 12" 2' 4' 8' 12'



ELEVATION NOTES:

SEE CROSS SECTION FOR METHOD OF ROOF VENTILATION.

UNDERPINNING AND STOPS ON SITE BY OTHERS (TYPICAL ONLY)

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 17,150th. OF THE FLOOR AREA, AND A 18"x24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

NET VENT AREA MAY BE REDUCED IF VAPOR BARRIER IS INSTALLED IN THE CRAWL SPACE AREA. REFER TO CODES.

STAR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNATED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

ROOFING, SIDING, WINDOW, DOOR & UNDERPINNING STYLES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY, ACTUAL STYLES MAY VARY.

SEE ELECTRICAL PLAN FOR OUTSIDE LIGHT LOCATIONS.

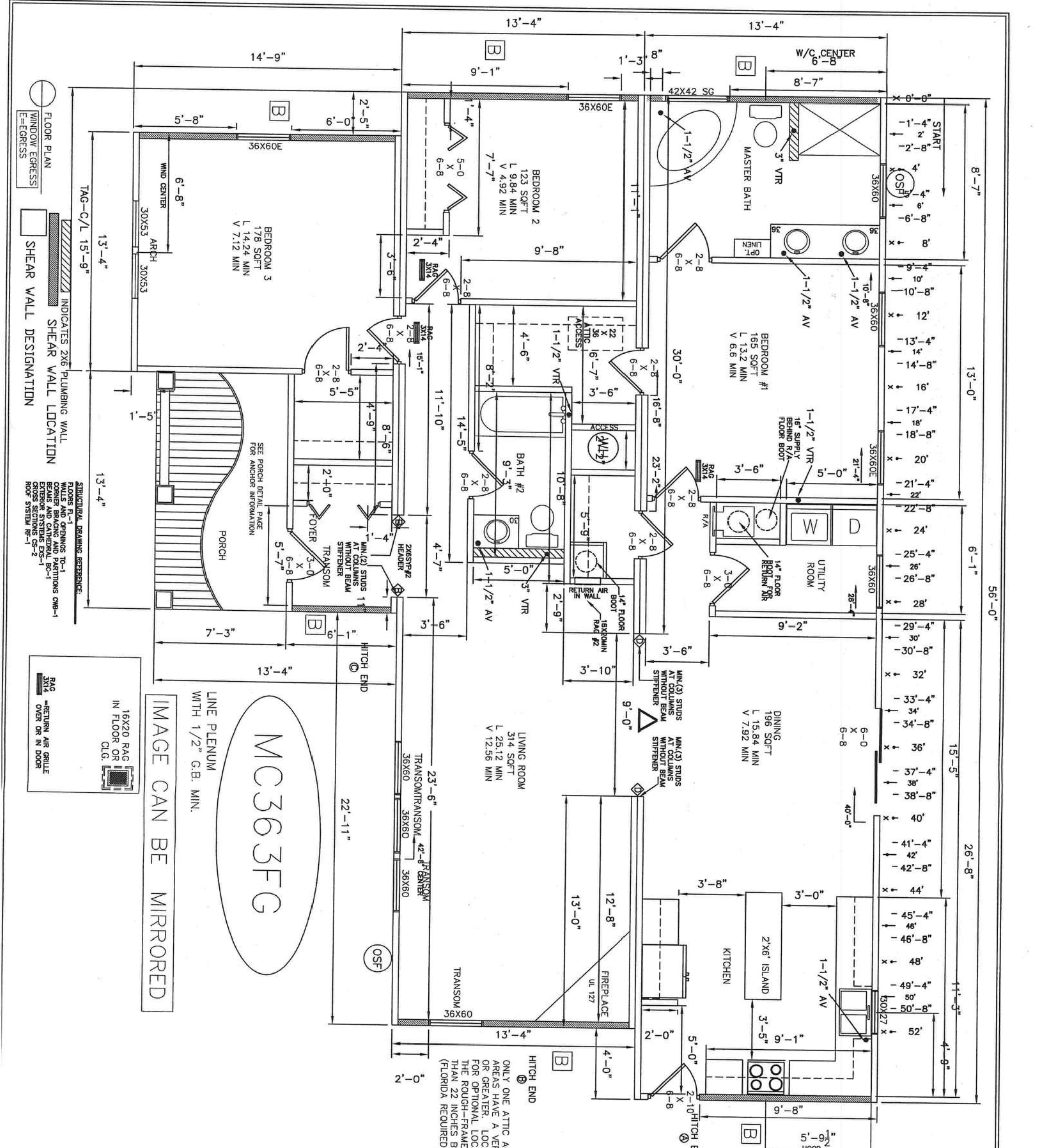
DEC 10 2007

113

THIRD PARTY: HILLIGREN, WISNER, CARTER

## ELEVATIONS





COLUMN STRAPPING SCHEDULE: (BEAM DOWN)			
(2) 2X4 SPF #2 THIS HALF	(2) 2X4 SPF #2 EACH HALF	(2) 2X4 SPF #2 THIS HALF	(2) 2X4 SPF #2 EACH HALF
(3) 2X4 SPF #2 THIS HALF	(3) 2X4 SPF #2 EACH HALF	(4) 2X4 SPF #2 THIS HALF	(4) 2X4 SPF #2 EACH HALF
(5) 2X4 SPF #2 THIS HALF	(5) 2X4 SPF #2 EACH HALF	(5) 2X4 SPF #2 THIS HALF	(5) 2X4 SPF #2 EACH HALF

NOTES:  
1. ALL COLUMN STUDS SHALL BE NAIL/SCREW TOGETHER.  
2. PVA GLUE WITH 100% COVERAGE SHALL BE USED.  
3. INSTALL TWO STEEL STRAPS AT EACH STUD OF EACH COLUMN.  
4. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.

## RIDGE BEAM CONSTRUCTION △

1. LAYER OF 1/2" X 1/2" L.V.L. EACH SIDE (SEE CHART)

NOTES:

1. L.V.L. MUST BE CONTINUOUS OVER ALL SPANNINGS.
2. L.V.L. MUST BE CONTINUOUS OVER ALL SPANNINGS EXCEPT CONTINUOUS OVER COLLARS TO EXTEND OVER EACH COLLAR.
3. COLLARS MUST BE INSTALLED IN THE MIDDLE OF EACH SPAN TO PROVIDE CONTROLS.
4. NATURAL SUPPORT OF BEAM COLLAR APPLICABLE.
5. COLLAR MUST BE SPACED FROM THE BEAM TO PROVIDE WITH 3/4" AIR SPACE.
6. COLLAR MUST BE BUILT UP WITH THE FACE OF THE STUDDED TO THE RIBBE.
7. COLLAR MUST BE BUILT UP WITH THE FACE OF THE STUDDED TO THE RIBBE.
8. WHERE THERE ARE TWO LAYERS OF L.V.L. IT IS INSTALLED IN THE SPAN END OF THE BEAM.
9. COLLAR MUST BE BUILT UP WITH THE FACE OF THE STUDDED TO THE RIBBE.
10. COLLAR MUST BE BUILT UP WITH THE FACE OF THE STUDDED TO THE RIBBE.
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100. COLLAR MUST BE BUILT UP WITH THE FACE OF THE STUDDED TO THE RIBBE.

ONLY ONE ATTIC ACCESS REQUIRED. WHERE ATTIC AREAS HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER, LOCATION MAY VARY, SEE PLAN FOR OPTIONAL LOCATIONS.  
THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES.  
(FLORIDA REQUIRED 22 INCHES BY 36 INCHES.)

APPROVED

DEC 10 2007

HILBORN, WERNER, CARTER & ASSOC.

MODULAR

CODES: SEE NOTES

LABELS: FL

THIRD PARTY: HILBORN, WERNER, CARTER & ASSOC.

1677 SOUTH AVENUE, SUITE 100

DADE COUNTY, FL 33126

AGENCY APPROVAL

THESE PLANS HAVE BEEN REVIEWED FOR CONFORMANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE ORDINANCES.

DATE: 12-04-07

BY: [Signature]

FOR: [Signature]

PROJECT: MC363FG

DATE: 12-04-07

BY: [Signature]

FOR: [Signature]

PROJECT: MC363FG

ROBERT E. GREGG

REGISTERED ARCHITECT

630 CHESTNUT STREET

CLEARWATER, FL 33759

Ph: 727-291-8774

Fax: 727-291-8942

archreg@aol.com

DWG# : 1447-5423F

THE MC363FG (BURTON)

FLOOR PLAN (1ST FLOOR)

DRAWN BY: R.E.G.

SCALE: AS NOTED

DATE: 12-04-07

REV: 1

DWG. #: 5 OF 14

APPROVED DEC 10 2007

MODULAR

0' 6" 12" 2' 4' 8' 12'





ELECTRICAL PLAN

ELEC JB TO TAG HALF 14'-10"

OPTIONAL LIGHT IN ATTIC WHEN ACCESS INSTALLED WITH STORAGE TRUSSES

NOTES:  
1. ALL BATH RECEPTACLES ARE GFCI PROTECTED AND ON A 20A CIRCUIT. (Ⓢ DENOTES GFCI PROTECTED RECEPTACLE) EXAMPLE: BATH, OUTSIDE RECEPTACLE, KITCHEN COUNTER.  
2. ALL BEDROOM OUTLETS TO BE ARC FAULT PROTECTED AS PER ELECTRICAL CODE. (CIRCUIT IS DENOTED BY THE LETTERS "AFCI" FOLLOWING THE CIRCUIT NUMBER ON THE ELECTRICAL SCHEMATIC.)

SEE INSTALLED PWD MOUNT HEAT PUMP RECEPTACLE BY OTHERS, SUBJECT TO LOCAL JURISDICTION.  
C-19/21 A/C OPT. AS REQ. LOCATION MAY VARY  
LINE EXTENSION RECEPT. EQUIPMENT MUST BE WITHIN 25'-0" OF HVAC EQUIPMENT

MC363FG

SYMBOL LEGEND			
	PANEL BOX (P/B/)		CEILING MTD. LIGHT FIXTURE
	SWITCH		EXTERIOR APPROVED WALL MTD. LIGHT FIXTURE
	DUPLEX OUTLETS ON 15 OR 20 AMP CIRCUITS		EXHAUST, VENT FAN
	240V OUTLET		SMOKE DETECTOR
	GROUND FAULT CIRCUIT INTERRUPTER RECEPT		THERMOSTAT
	JUNCTION BOX		FLUORESCENT LIGHT FIXTURE
	• PHOTOELECTRIC TYPE SMOKE DETECTOR		CUT OFF
AF AFTER CIRCUIT # INDICATES "ARC FAULT" PROTECTION			C-19/21 A/C OPT. AS REQ. LOCATION MAY VARY
			GAS LINE LOCATION MAY VARY
			WATER LINE LOCATION MAY VARY

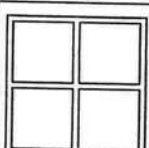
HILBORN, WERNER, CARTER & ASSOC.  
DEC 10 2007  
APPROVED

WEG  
REC 10 2007  
AGENCY APPROVAL  
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.  
DATE: 12-04-07  
BY: R.E.G.  
CHECKED: R.E.G.  
SCALE: AS NOTED  
PROJECT: MC363FG (BURTON)

ROBERT E. GREGG  
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DWG #: 1447-5423F  
HORTON HOMES, INC.  
EATONTON, GA 31024

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 12-04-07  
REV:  
DWG. #: 6 OF 14



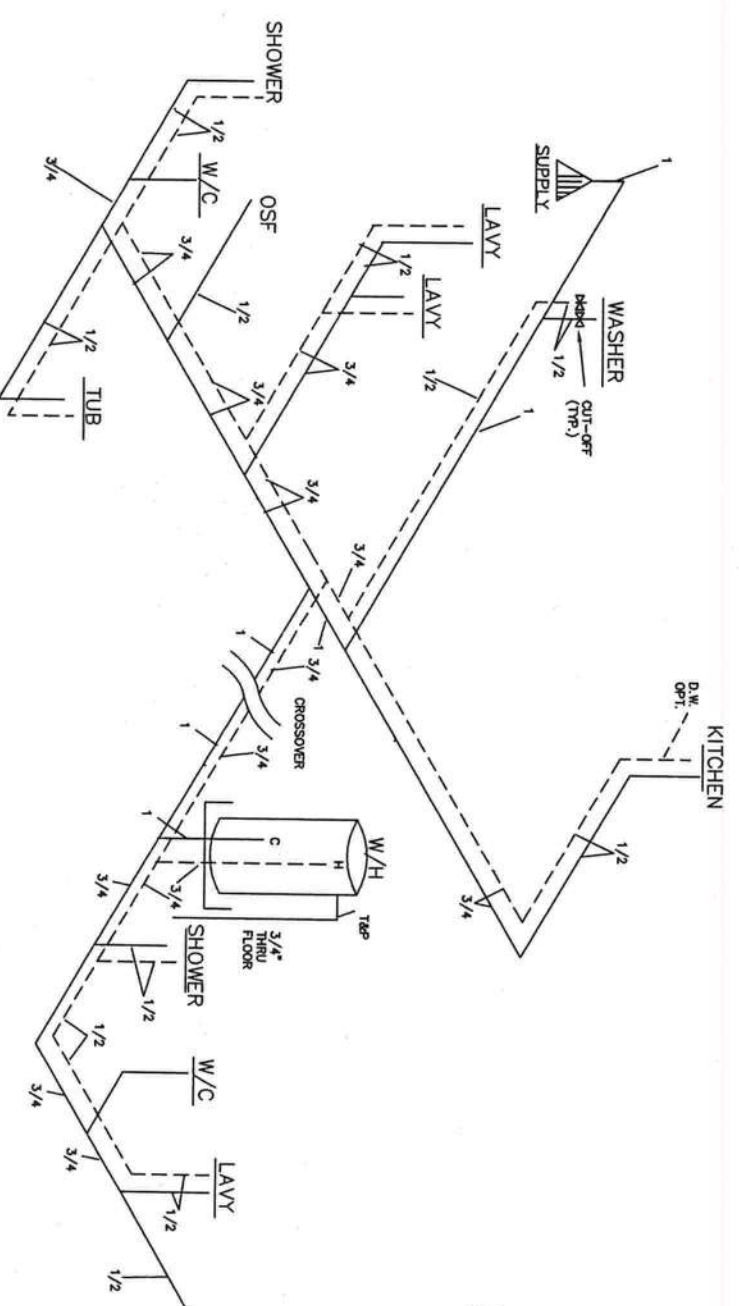
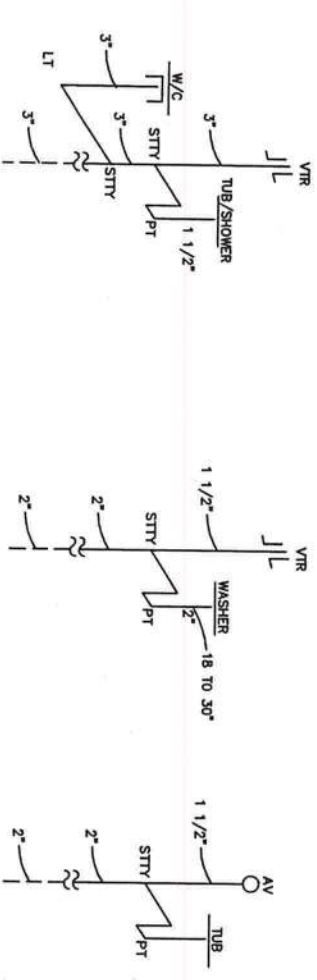
THE MC363FG (BURTON)

MODULAR  
0' 6" 12" 2' 4' 8' 12'





TYPICAL WASTE LINE CONFIGURATIONS.

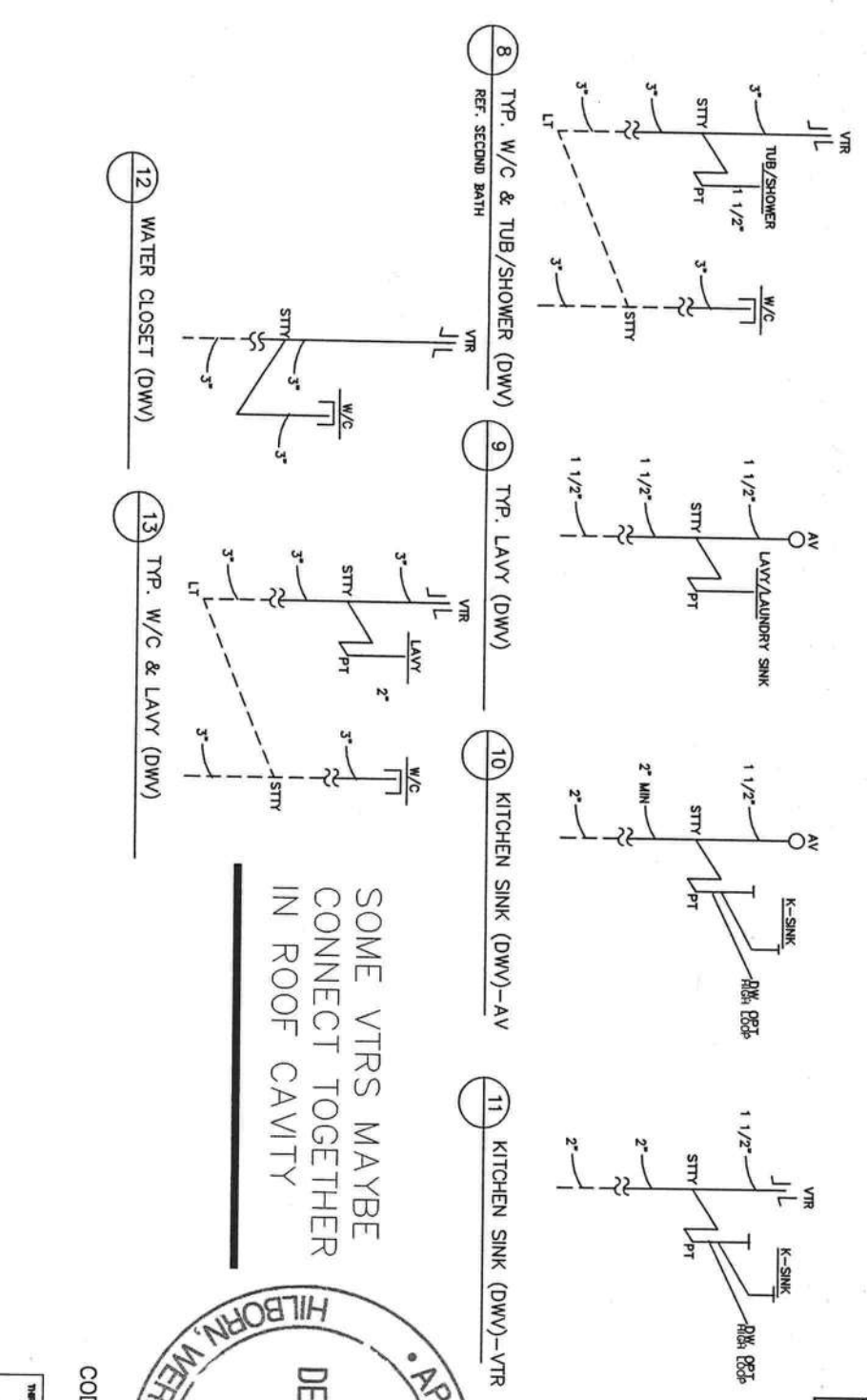


SUPPLY NOTES:  
SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET TO CONSTRUCTION.  
INLET SUPPLY LINES SHALL BE 1" MIN. ALL SUPPLY LINES SHALL BE 3/4" UNLESS OTHERWISE NOTED.  
ALL SUPPLY RISERS INSTALLED WITH CUT-OFFS UNLESS OTHERWISE NOTED.

NOTE: PIPING BELOW TO BE SITE INSTALLED BY OTHERS.

HOT WATER IS ON LEFT SIDE OF FIXTURE WHEN FACING IT.

OSF=OUTSIDE FAUCET WITH BACK FLOW PREVENTOR



SOME VTRS MAYBE CONNECT TOGETHER IN ROOF CAVITY

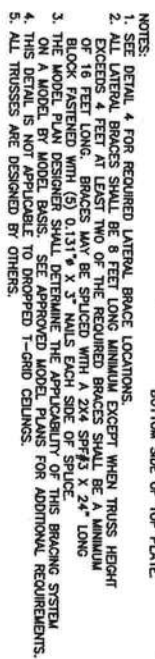
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APPROVED DEC 10 2007

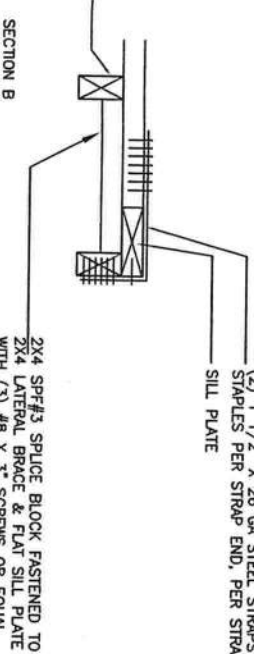
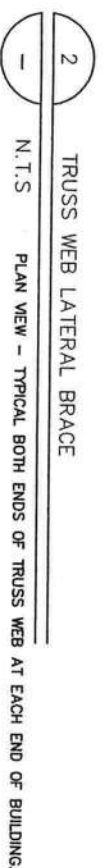
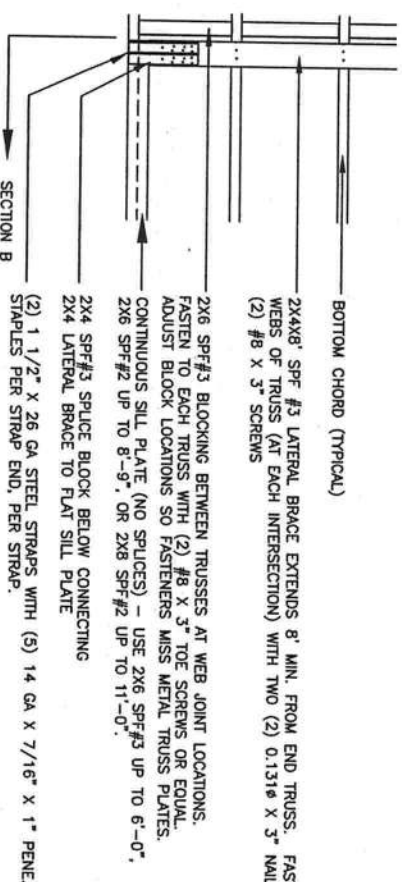
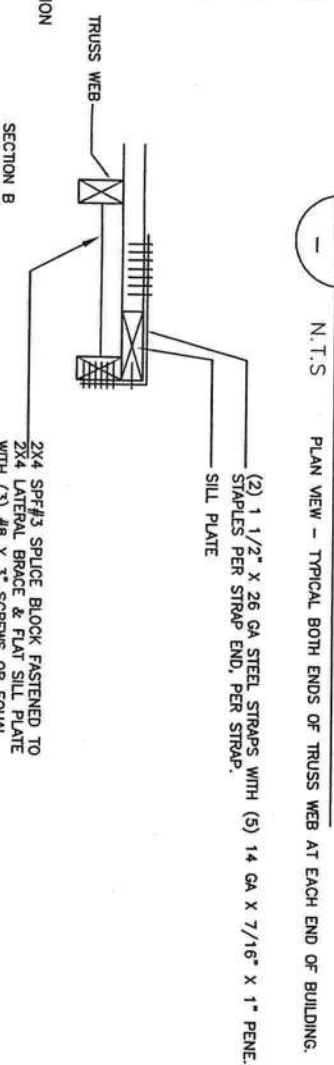
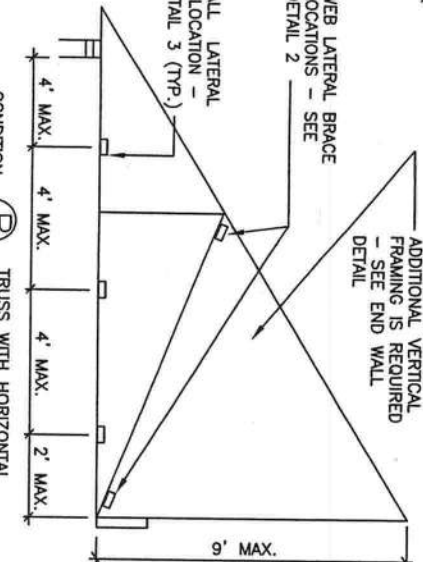
LISTING  
THESE PLANS COMPLY WITH THE  
MINIMUM REQUIREMENTS FOR  
THE CITY OF CLEARWATER  
FLORIDA  
CONTRACT NO. 1140-2587  
DATE 12-04-07  
DRAWN BY R.E.G.  
CHECKED BY R.E.G.  
APPROVED BY R.E.G.  
HILBORN, WEHNER, CARTER & ASSOC.  
ARCHITECTS  
1100 N. 11TH AVE., SUITE 100  
CLEARWATER, FL 33759

APPROVED  
DEC 10 2007  
HILBORN, WEHNER, CARTER & ASSOC.





1. SEE DETAIL 4 FOR REQUIRED LATERAL BRACE LOCATIONS.
2. EXCEEDING 4 FEET LONG, BRACES SHALL BE 8 FEET LONG MINIMUM EXCEPT WHEN TRUSS HEIGHT EXCEEDS 4 FEET. BRACES MAY BE SPICED WITH A 2x4 SPKES X 2x4 LONG.
3. BLOCK FASTENED WITH (5) 0.1317 x 3" NAILS EACH SIDE OF JOINT.
4. TRUSS SYSTEM SHALL BE DETERMINED BY THE APPLICATION OF THIS BRACING SYSTEM.
5. ALL TRUSS SYSTEMS SHALL BE DETERMINED BY THE APPLICATION OF THIS BRACING SYSTEM.
6. THIS DETAIL IS NOT APPLICABLE TO DROPPED T-GRID CELLINGS.
7. ALL TRUSSES ARE DESIGNED BY OTHERS.



**ROBERT E. GREGG**  
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CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-791-6942  
archreg@aol.com

SEAL: FL

APPROVED DEC 10 2007

LISTING	
AGENCY APPROVAL	
<p>THESE PLANS COMPLY WITH THE          REQUIREMENTS OF THE 1991          AND 1995 IBC AND ARE IN          CONFORMANCE WITH THE          LOCAL ORDINANCES.</p>	
CONC. TYPE	WB
OCCUPANCY	R-3
ALTERNATE NO. OF FLOORS	1
WIND VELOCITY	Q SEE TABLES
SEISMIC	1.00
DES. METHOD OF	0
PLAN NO. AND DATE	1112-15345E
DATE OF APPROVAL	DEC 10 2007
APPROVED BY	SEAL
WARRANTY	WARRANTY
NON VELOCITY	NO
APPROVE DATE	



2007

FG (BURTON)

DEC 10 2007

APPROVED.

DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 12-04-07
REV:
DWG. #: 9 OF 14

REV: \_\_\_\_\_  
DWG. #: 9 OF 14

DWG# :1447-5423F  
**HORTON**  
**HOMES, INC.**  
 EATONTON, GA 31024

FD-1





TOP PLATE TO ROOF SYSTEM  
FASTENING END WALLS  
W/ #8 X 4" SCREWS 2 TO 3  
PER 16" CAVITY

LISTED ROOF TRUSS AT 16" O.C.  
TOP CHORD LIVE LOAD = 20 PSF  
TOP CHORD DEAD LOAD = 10 PSF  
BOTTOM CHORD TOTAL LOAD = 10 PSF  
TRUSSES WITHIN 4'-0" OF END  
OF FLOOR (ENDZONE) TO BE 8"OC

R-38 MIN. INSULATION BATTEN  
KRAFT BACKED OR FOL. BACKED  
USED WHEN 4 MIL POLY OMITTED -  
(TOTAL CEILING-R-38)  
\*WHEN BLOW-IN INSULATION IS  
USED VAPOR BARRIER NOT EXCEEDING  
1 PERM MAX. SHALL BE INSTALLED

1-1/4" X 26 GA. X LENGTH  
METAL STRAP FASTENED W/ 6-  
X 14 GA. STAPLES PER STRAP  
END WALL TO SIDE WALL FASTENING  
3" X 120 GUN NAILS OR  
#8 X 2 1/2" SCREW OR  
7/16" X 3" X 14 GA. STAPLES  
5" TO 8" O.C.

SINGLE T/P (1) #8 X 4" SCREWS  
DOUBLE T/P (1) #8 X 6" SCREWS  
END WALL TO SIDE WALL FASTENING  
3" X 120 GUN NAILS OR  
#8 X 2 1/2" SCREW OR  
7/16" X 3" X 14 GA. STAPLES  
5" TO 8" O.C.

AIR INfiltration  
SEALED BETWEEN EXTERIOR WALLS  
& END WALLS, TOP & BOTTOM PLATES  
TO ROOF SYSTEM & FLOOR SYSTEM  
W/ 1/8" X 1/2" PUTTY TAPE, 1/8" X 1/4"  
FOAM TAPE OR CAULKING PUTTY  
MAY BE INST. ON EXTERIOR  
15# FELT COMPLYING WITH ASTM  
D226 TYPE 1 OVER ALL  
SHEATHING TO PROVIDE A CONT.  
WATER RESISTIVE BARRIER BEHIND  
EXT. BRICK, CONC. OR STONE  
VENETIAN PLASTER OR STONE  
(NOT ROD. FOR LAP SIDING - SEE  
CODES)

FOUNDATION-REF. TO  
FOUNDATION DRAWINGS  
FOUNDATION SUBJECT TO LOCAL  
CODES & INSPECTION

NOTE:  
ALL PLUMBING IN EXTERIOR WALLS  
PROTECTED FROM FREEZING WITH  
INSULATION.  
MINIMUM CEILING CLEAR  
HEIGHT - 7'-6"

WHERE 1" STAPLES ARE SPECIFIED  
THIS SHALL MEAN 1" MINIMUM  
PENETRATION INTO FRAMING.

OPTIONAL  
OVERHEAD DUCT (HVA) SYSTEM  
(SEE PLANS FOR INFORMATION)

ROOF BEAM  
REFER TO STATE PACKAGE (OR FLOOR PLAN)  
FOR MINIMUM BEAM STRENGTH,  
FASTENING, AND SPACING  
(TYP.)

7:12

2X4 SPF#2 OR SPF#2 STUDS @ 16" O.C.  
FULL LENGTH FROM FLOOR JOIST  
TO BOTTOM CHORD OF TRUSS.

APPROVED TRUSS DESIGN  
UNIVERSAL FOREST PRODUCTS

SEE PKG

2X2 OR HANGERS TYP.

TRANSIT COVER  
BOTTOM BOARD OR  
6 MIL. POLY

(2) 2X10 SPF#2 RIM JOIST EACH HALF,  
STAGGER BUTT JOINTS 4" APART MINIMUM  
EACH HALF, LIMIT SPLITS IN ALL RIM JOISTS  
TO 7" MAXIMUM.

SITE INSTALL 3/8" LAG SCREWS STAGGERED FROM SIDE TO SIDE @ 48" O.C. MAX.  
LAG SCREWS MUST PENETRATE 1.75" MIN. INTO ADJACENT MODULE RIM JOIST.

FIELD FASTENED W/ #4  
NAILS TO NAIL @ 8" O.C.  
EACH SIDE  
(NOTE: ENDWALL FASTENING  
REQUIRED)  
FROM UNIT TO UNIT IS NOT  
REQUIRED

FIBERGLASS SHINGLES  
CLASS A RATED (MIN)  
AS PER ASTM E108  
AS INSTALLED PER MANUF.  
INSTRUCTIONS.

2 X 3 MIN TOP & BOTTOM  
RUNNERS REF TO ROOF  
DRAWINGS REF-1

ATTIC ACCESS OPENING NOT  
LESS THAN 22" X 36" FOR  
ATTIC AREA HAVING CLEAR  
HT. 30" OR GREATER REF TO  
DRAWING REF-1

26 GA X 1 1/4" STEEL STRAP  
FROM TRUSS TO WALL STUD AND/OR  
FROM ROOF BEAM TO WALL STUD  
AT EACH TRUSS WITH (6) 14GA. X 1" PEN.  
STAPLES PER END FLUSH STRAPS  
(TYP. EACH MARRIAGE WALL)

MARRIAGE WALL STUDS 2X4 SPF #2  
@ 16" O.C. MAX.  
3/4" T & G PLYWOOD-REF TO DRAWING  
FL-1 OR 2X3/32 ORIENTED STRAND BOARD  
400# MIN. CAPACITY.

JOIST HANGERS SHALL HAVE  
REFER TO FLOOR DRAWING FL-1

2X2 OR HANGERS TYP.

4 MIL. POLY VAPOR  
BARRIER

R-22 BLANKET INSULATION  
MIN. (TOTAL FLOOR  
ASSEMBLY-R-25)

EX10 OR EX14 ALUM. HEAT DUCT  
SUPPORTED 8'-0" O.C. WRAPPED  
R-5 INSULATION MIN. - R-7  
(UNLESS OTHERWISE  
NOTED ON FLOOR PLAN)

P283704--7/12--  
HM231517--7/12--MONO  
HC182307--7/12 CATH  
HM391303--7/12 MONO ATTIC  
HM281909--7/12 MONO  
HM231518--7/12 MONO

FELT 15# FELT JOINTS TO  
OVERLAP OR EQUAL SHINGLE  
UNDERLAMENT COMPLYING  
WITH ASTM D226 (2 LAYERS  
RD. ON ROOF PITCH OF 1/4  
OR LESS) - SHALL BE  
FASTENED WITH CORROSION  
RESISTANT FASTENERS.  
FLUENTER 15# FELT RD. ON  
ROOF PITCH OVER 4/12

ATTIC VENTILATION  
1 SQ. FT. OF NET VENT AREA PER 300 SQ. FT.  
OF ROOF AREA TO BE PROVIDED BY GABLE  
AND/OR ROOF VENTS AND VENTED SOFFIT

WOOD BEARING STRIP  
(TYP. AT SIDEWALL AND MARRIAGE WALL)  
2 X4 SPF#2 MIN. SIDE RAIL BUTT JOINTS SHALL BE  
SPICED ACC TO DNG. REF-1

TRUSSES FASTENED TO STUDS  
SEE DNG. REF-1 FOR INFORMATION  
SINGLE T/P (1) #8 X 4" SCREWS  
DOUBLE T/P (1) #8 X 6" SCREWS  
TO EACH TRUSS THROUGH CHORD (TYP.)  
REFERENCE REF-1 FOR FURTHER DETAILS  
EXTERIOR SIDING REF TO DRAWING DETAILS-1 OR  
MANUFACTURER'S INSTALLATION INSTRUCTIONS  
OR FOL. BACKED (TOTAL WALL ASSEMBLY-R-16)

INSULATION:  
STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUSLY  
FROM TOP OF TRUSS TO BOTTOM PLATE W/ SHEATHING EXCES  
OF SHEATHING SHALL BE MINIMUM OVER 2" NOMINAL LUMBER  
FRAMING. A MINIMUM OF 3 FOUR FOOT SECTIONS OF  
SHEATHING PER SPENALL SHALL HAVE ALL EDGES  
OF BLOCKED. SPACE BLOCKED SECTIONS EVENLY ALONG  
BOTH SIDES.  
3/8" APA RATED SHEATHING, EXP-1, EXP-2, EXT.  
COMMON OR ONLY BOX WALLS 8" O.C. EDGES AND 6"  
ENDWALLS IN THE FIELD. (OPT 7/16X1 1/2X14 GA STAPLES)

INSULATION:  
STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUSLY  
FROM TOP OF TRUSS TO BOTTOM PLATE W/ SHEATHING EXCES  
OF SHEATHING SHALL BE MINIMUM OVER 2" NOMINAL LUMBER  
FRAMING. A MINIMUM OF 3 FOUR FOOT SECTIONS OF  
SHEATHING PER SPENALL SHALL HAVE ALL EDGES  
OF BLOCKED. SPACE BLOCKED SECTIONS EVENLY ALONG  
BOTH SIDES.  
3/8" APA RATED SHEATHING, EXP-1, EXP-2, EXT.  
COMMON OR ONLY BOX WALLS 8" O.C. EDGES AND 6"  
ENDWALLS IN THE FIELD. (OPT 7/16X1 1/2X14 GA STAPLES)

EXTERIOR FINISH MATERIAL:

ROOF OPTION: ROOF MAY BE OMITTED AND INSTALLED ON SITE BY OTHERS.  
ROOF: FIBERGLASS SHINGLES OVER 1 OR 2 LAYER OF 15# FELT

ROOF OPTION: 28 GA (2017) GALVANIZED METAL ROOF COVERING  
INSTALLED PER MANUFACTURER'S INSTRUCTIONS.  
JOIST: ASTM A563 GAL.

WALL: REFER TO TYPICAL DRAWING # EX-1 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS  
BRACING MATERIAL:  
1. WALL FINISH SHALL BE INSTALLED OVER APPROVED WEATHER PROTECTION AND  
2. WEATHER PROTECTION BEHIND WALL COVERING SHALL BE AS REQUIRED BY EXTERIOR WALL FINISH SPEC'S BUT NOT LESS THAN  
ONE LAYER OF NO. 15 ASPHALT FELT, COMPLYING WITH ASTM D226 FOR TYPE 1 FELT, ATTACHED IN SUCH  
MANNER AS TO PROVIDE A CONTINUOUS WATER-RESISTIVE BARRIER BEHIND THE  
EXTERIOR WALL FINISH.

INTERIOR FINISH MATERIAL:

CEILING: 1/2 INCH GYPSUM BOARD INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. (STIPPLE FINISH)

WALLS: 3/8" THICK (MIN) VENT COVERED GYPSUM BOARD  
3/8" THICK (MIN) UNFINISHED (PAPERBACK) GYPSUM  
5/8" THICK TYPE X UNFINISHED (PAPERBACK) GYPSUM AT FIRE PARTITIONS  
FLOOR: BLOCK, TILE, OR LINOLEUM IN BATHROOM AND OTHER WET AREAS.  
CARPET, BLOCK TILE, OR LINOLEUM INSTALLED IN ALL OTHER AREAS  
(IN ALL BATH AREAS INSTALL WATER PROTECTION)

ROBERT E. GREGG  
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archreg@aol.com

SEAL: FL

APPROVED DEC 10 2007

LISTING  
AGENCY APPROVAL  
THIS PLAN HAS BEEN REVIEWED BY THE  
LOCAL BUILDING DEPARTMENT AND THE  
LOCAL FIRE DEPARTMENT AND IS IN  
COMPLIANCE WITH THE LOCAL  
CODES.  
LOCAL TYPE: 1A  
ALTERNATE NO.: 1-3  
NO. OF COPIES: (3 SEE LIST)  
DATE OF ISSUE: 12/10/2007  
DATE OF REVISION: 12/10/2007  
PLAN NO.: 1447-5423F  
PROJECT NO.: 1447-5423F  
SHEET NO.: 12 OF 14  
HATCHING: NO

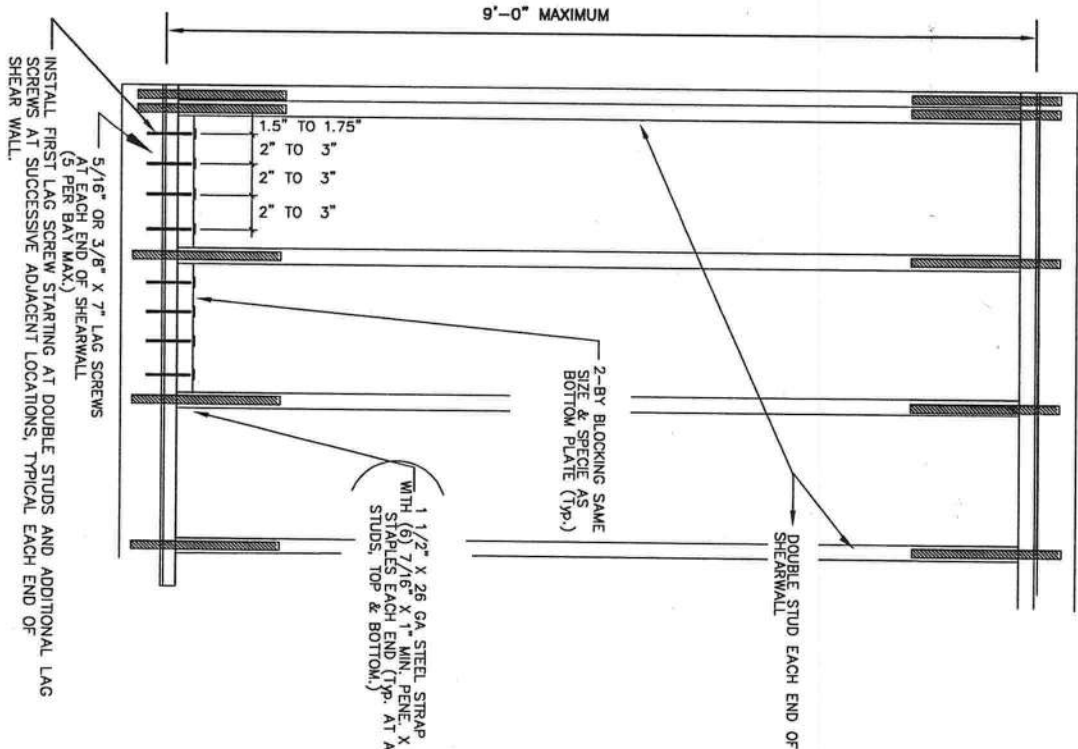
APPROVED.  
DEC 10 2007  
HILBORN, WERNER, CARTER & ASSOC.

MODULAR  
CODES: SEE NOTES  
LABELS: FL  
THIRD PARTY: HILBORN, WERNER, CARTER & ASSOC.  
1447 SOUTH WINTLE, AVE.  
CLEARWATER, FL 33759

DWG #: 1447-5423F  
DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 12-04-07  
REV:  
DWG. #: 12 OF 14  
HORTON HOMES, INC.  
EATONTON, GA 31024  
PFS-1

THE  
MC363FG (BURTON)





WALL SHEATHING EDGE FASTENING CHART	
WALL DESIGNATION:	<input checked="" type="checkbox"/> A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F
FASTENER EDGE SPACING :	6" 4" 3" 2" 4" 3"
PLF CAPACITY:	230 350 451 588 700 902
* EDGE SUPPORTS SHALL BE DOUBLE 2- BY MEMBER GLUE / NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS	
** <input checked="" type="checkbox"/> + <input checked="" type="checkbox"/> ASSEMBLIES REQUIRE SHEATHING ON BOTH SIDES OF THE WALL.	

NOTES:  
1. SPACE FASTENERS 12" O.C. MAXIMUM AT INTERMEDIATE SUPPORTS.  
2. FRAMING SUPPORTS SHALL BE 16" O.C. MAXIMUM, SPF OR BETTER 2" NOMINAL LUMBER. ALL EDGES OF SHEATHING SHALL BE SUPPORTED.  
3. ALL FASTENERS SHALL BE 8d COMMON OR GALVANIZED NAILS.  
4. SHEATHING MATERIAL SHALL BE 3/8" OR 7/16" RATED STRUCTURAL WOOD PANEL, EXP. 1 OR EXTERIOR GRADE, APPLIED DIRECTLY TO FRAMING.  
5. SEE CROSS SECTION FOR INSTALLATION REQUIREMENTS.

B SHEARWALL FASTENING CHART  
N.T.S.

SHEARWALL DESIGNATION	LAG SCREWS PER CORNER	MIN. SHEARWALL SEGMENT LENGTH
A	2	2'-6"
B	3	3'-6"
C	4	4'-0"
D	6	4'-0"
E	6	6'-0"
E	7	4'-6"
F	8	7'-6"

C SHEARWALL DETAIL  
N.T.S.

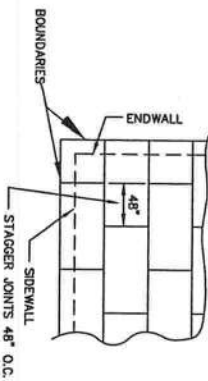
NOTES:

1. ROOF SHEATHING : 15/32" PLYWOOD OR 7/16" OSB RATED SHEATHING, EXP. 1, FASTENED WITH 8d COMMON NAILS.

2. BOUNDARY BLOCKING SHALL BE 2 X 6 SPF #2 MIN. EXCEPT WHEN FASTENER SPACING IS 2 1/2" OR 2" O.C. AND ADDITIONAL 2- BY MEMBER SHALL BE GLUE / NAILED TO 2 X 6 TO ALLOW STAGGERING OF FASTENERS.

3. EDGE BLOCKING SHALL BE 2- BY MEMBERS EXCEPT WHEN FASTENER SPACING IS 2 1/2" OR 2" O.C. BLOCKING SHALL BE DOUBLE 2- BY MEMBERS GLUE / NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS.

4. FASTENER SPACING CHART



BOUNDARIES :  
A B C D

EDGES :  
FIELD :  
6" 6" 4" 2 1/2"  
12" 12" 12" 12"

ROOF PITCH (a)

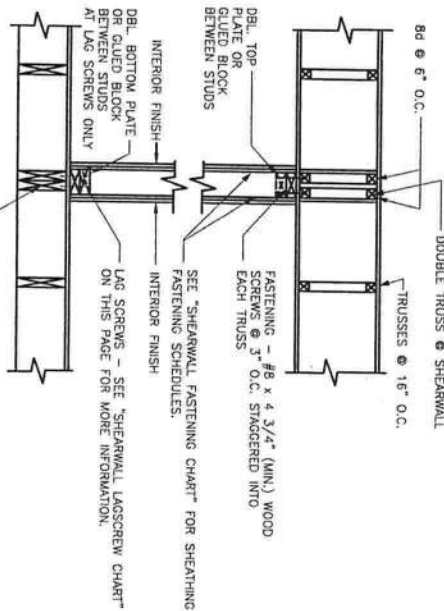
1	6.92:12 < a < 7:12 PER ASCE 7-98 (2000 IBC)	25' 29' 39' 40'
2	2.25: 12 < a < 6.92:12 PER ASCE 7-98 (2000 IBC)	40' 40' 40' 40'
1	6.11:12 < a < 7:12 PER ASCE 7-02 (2003,2006IBC)	25' 29' 39' 40'
2	2.25: 12 < a < 6.11:12 PER ASCE 7-02 (2003,2006 IBC)	40' 40' 40' 40'
1	6.11:12 < a < 7:12 PER ASCE 7-02 (2004 FBC)	25' 29' 39' 40'
2	2.25: 12 < a < 6.11:12 PER ASCE 7-02 (2004 FBC)	40' 40' 40' 40'

ALL EDGES MUST BE  
BLOCKED EXCEPT  
FOR (A) FASTENING

MAXIMUM DISTANCE  
FROM CENTERLINE  
OF BUILDING

NOTE : FASTENER SPACING CHART ABOVE IS BASED ON:  
- 26'-8" MINIMUM BUILDING WIDTH  
- NO OPENING IN ROOF SHEATHING EXCEEDING 12'  
- MAXIMUM SIDEWALL HEIGHT OF 9'-0"  
- MAXIMUM WIND SPEED OF 130 MPH

D ROOF SHEATHING DETAIL  
N.T.S.



E INTERIOR SHEARWALL DETAIL (IF REQUIRED)  
N.T.S.

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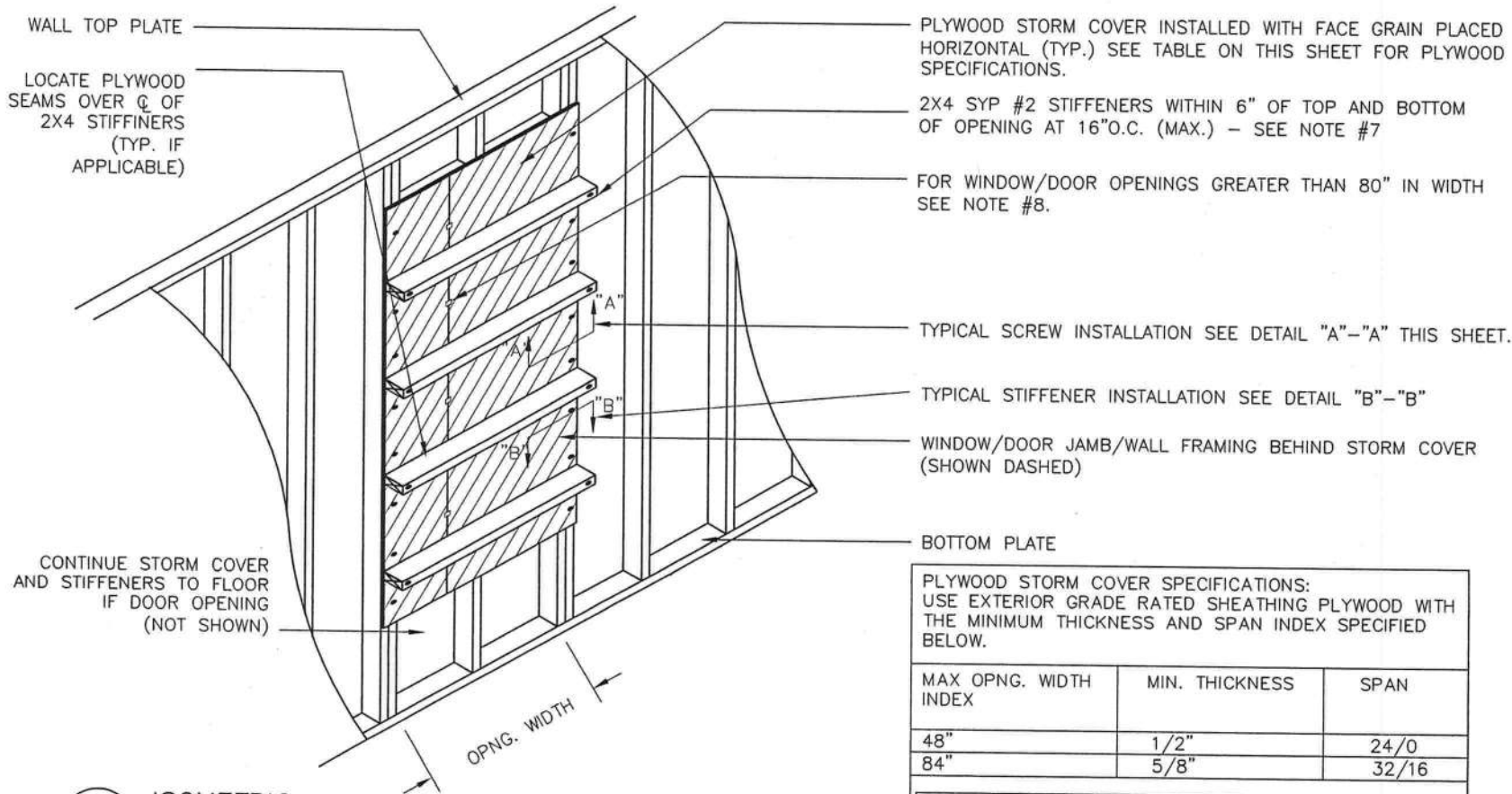
SEAL: FL

APPROVED DEC 10 2007

LISTING  
THESE PRINTS COMPLY WITH THE  
REQUIREMENTS OF THE  
FLORIDA BOARD OF ARCHITECTURE  
FOR THE YEAR 2007.  
DATE: DEC 10 2007  
DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 12-04-07  
REV: 11 OF 14  
DWG. #: 1447-5423F

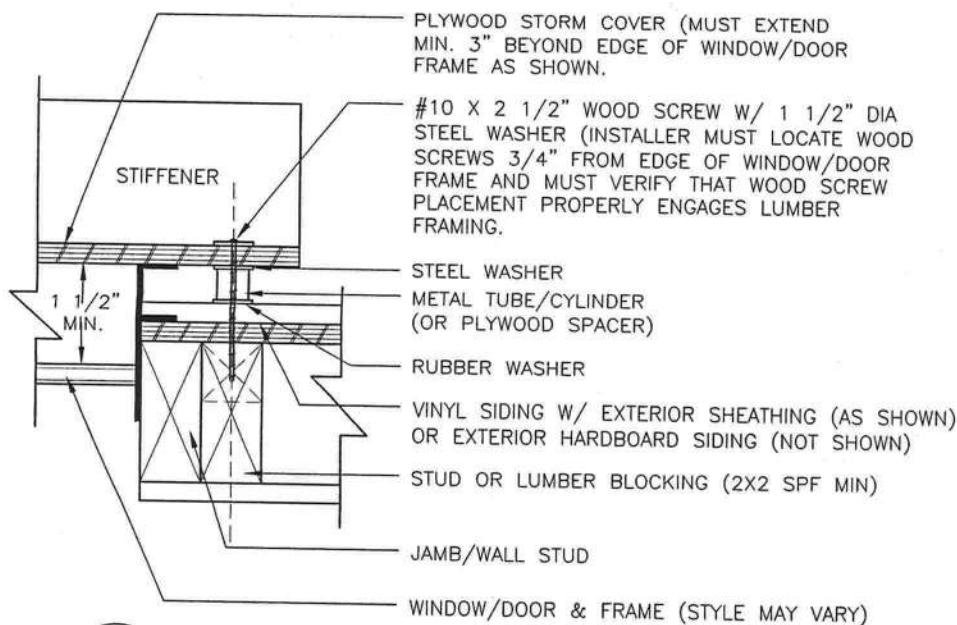
THE  
MC363FG (BURTON)

HORTON  
HOMES, INC.  
EATONTON, GA 31024  
SW-1

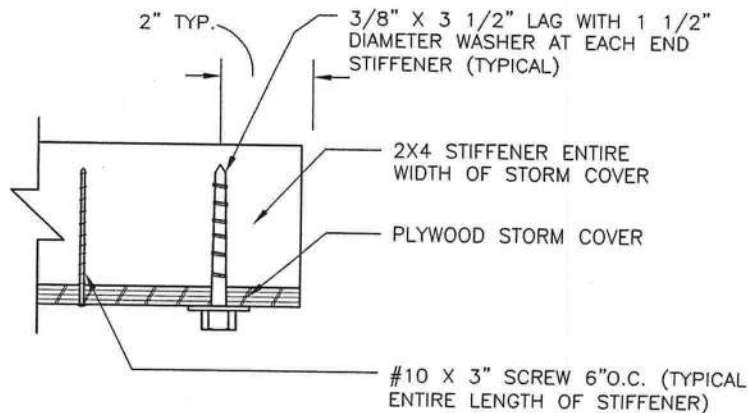


1 ISOMETRIC  
1 N.T.S.

PLYWOOD STORM COVER SPECIFICATIONS: USE EXTERIOR GRADE RATED SHEATHING PLYWOOD WITH THE MINIMUM THICKNESS AND SPAN INDEX SPECIFIED BELOW.		
MAX OPNG. WIDTH INDEX	MIN. THICKNESS	SPAN
48"	1/2"	24/0
84"	5/8"	32/16
SEE NOTE #7 WHEN OPENING WIDTH EXCEEDS 84"		



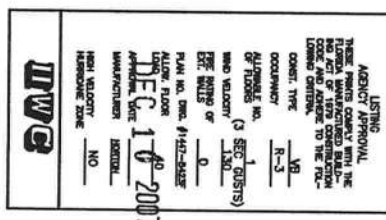
A SECTION - TYP. SCREW INSTALLATION  
A N.T.S.



B SECTION  
B N.T.S.

#### GENERAL NOTES:

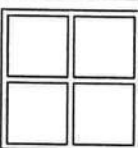
1. INSTALLER MUST REMOVE ALL DECORATIVE SHUTTERS FROM WINDOWS AND DOORS PRIOR TO INSTALLING THE STORM COVERS SPECIFIED ON THIS DRAWING.
2. WHEN HURRICANE OR SEVERE WIND STORMS APPROACH, THE WINDOW AND DOOR PROTECTION COVERS SPECIFIED ON THIS DRAWING SHOULD BE INSTALLED.
3. IMMEDIATELY AFTER INSTALLING THESE COVERS THE BUILDING MUST BE VACATED AND/OR NO OCCUPANTS SHOULD REMAIN IN THE STRUCTURE.
4. NOTE: THIS STORM PROTECTION SYSTEM DOES NOT PERMIT EGRESS FROM THE BUILDING UNDER FIRE OF OTHER EMERGENCY CONDITIONS.
5. AS SOON AS THE STORM HAS SUBSIDED, ALL STORM PROTECTION MUST BE IMMEDIATELY REMOVED BEFORE OCCUPANCY OF THE BUILDING IS PERMITTED.
6. ALL WOOD SCREW HOLES RESULTING FROM STORM COVER INSTALLATION MUST BE FILLED WITH GOOD QUALITY EXTERIOR GRADE CAULK.
7. WHEN OPENING WIDTH EXCEEDS 84" (UP TO A MAXIMUM OF 120") USE 2X6 SYP #2 STIFFENERS AND USE 3/4" PLYWOOD WITH A SPAN INDEX OF 48/24. ALL OTHER INSTALLATION SPECIFICATIONS REMAIN UNCHANGED.
8. FOR OPENINGS WIDER THAN 80", LOCATE STORM COVER BUTT JOINT WITHIN 30" OF VERTICAL STUDS AND INSTALL "H" CLIPS BETWEEN LUMBER STIFFENERS AS SHOWN.



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DWG# : 1447-5423F  
DRAWN BY: R.E.G.  
SCALE: AS NOTED  
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DWG. #: 13 OF 14



THE  
MC363FG (BURTON)

WINDOW/DOOR STORM DOOR PROTECTION



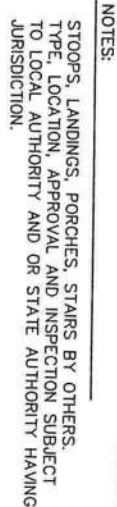




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SEAL: FL  
DEC 10 2007

MODULAR



**PRESSURE TREATED MUD SILLS**

**NOTE:** THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST BE EVALUATED FOR APPLICABILITY IF THIS PLAN IS TO BE USED. ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY OTHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY.

THE CONTRACTOR SHALL PERFORM PULL OUT TEST ON THE GROUND ANCHORS TO ESTABLISH MIN DESIGN CAPACITIES AND VERIFY DESIGN ASSUMPTIONS.  
(3150 LBS.)

SEE FOUNDATION DETAILS FOR SHEARWALL TO FOUNDATION STRAPPING REQUIREMENTS.

IMAGE CAN BE MIRRORED

SEE PORCH DETAIL PAGE  
FOR ANCHOR INFORMATION.  
SEE PAGE 14

FOUNDATION PLAN - PERMANENT (OFF FRAME)

THIS PLAN INDICATES A TYPICAL CRAWL SPACE FOUNDATION ONLY. OTHER TYPE FOUNDATIONS (IE. PIER, BASEMENT, SLAB, ETC) MUST BE DESIGNED, BUILT AND APPROVED ON SITE BY OTHERS AND ARE SUBJECT TO LOCAL JURISDICTION.



DWG# :1447-5423F

DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 12-04-07
REV:
DWG. #: 1 of 2

# THE MC363FG (BURTON)

DWG# :1447-5423F  
**HORTON HOMES, INC.**  
EATONTON, GA 31024

OFF FRAME FOUNDATION PLAN



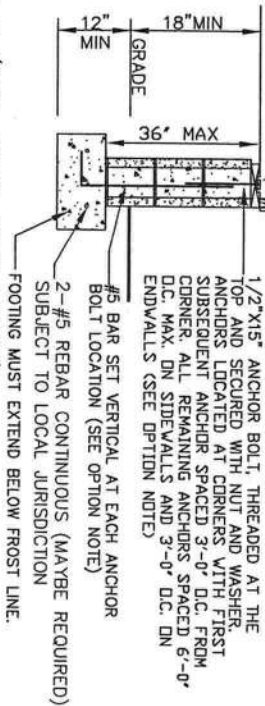
GALVANIZED FASTENERS.  
ANY FASTENER THAT PENETRATES  
PRESSURE TREATED WOOD, MUST  
BE GALVANIZED. PT SILL PLATES, ETC.

SILL MAY BE CUT OUT TO ALLOW  
FOR COUNTERSINKING OF NUT  
AND EXCESS BOLT CUT OFF TO  
AVOID ANCHOR BOLT INTER-  
FERRING WITH FLOOR JOISTS.

16d COMMON NAIL, INSTALLED FROM RIM  
JOIST TO SILL PLATE AT 6" O.C. AROUND  
ENTIRE PERIMETER OF BUILDING.

ALSO PROVIDE SIMPSON LTP4 (OR EQUAL) FROM  
BAND JOIST (THRU SHEATHING) TO SILL PLATE AT  
16" O.C. ALONG SIDEWALLS (FIRST 6'-8" FROM  
ENDWALLS) AND 24" ALONG ENDWALLS.

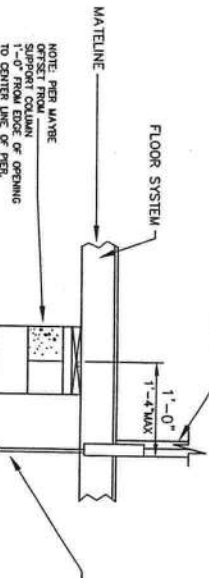
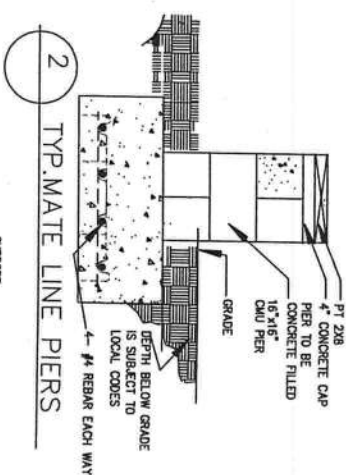
1/2"x15" ANCHOR BOLT, THREADED AT THE  
TOP AND SECURED WITH NUT AND WASHER.  
ANCHORS LOCATED AT CORNERS AND FIRST  
SUBSEQUENT ANCHOR SPACED 3'-0" O.C. FROM  
CORNER. ALL REMAINING ANCHORS SPACED 6'-0"  
O.C. MAX. DN SIDEWALLS AND 3'-0" O.C. DN  
ENDWALLS (SEE OPTION NOTE)



SECTION A (SEE PLAN THIS PAGE)

OPTION NOTE: IN LIEU OF ANCHOR BOLTS, PRE-MANUFACTURED MUDSILL ANCHORS (IE, SIMPLEX, USP) MAY BE USED. IF USED, MUDSILL ANCHORS MUST BE INSTALLED ACCORDING TO MFRS INSTRUCTIONS AND ARE SUBJECT TO LOCAL JURISDICTION.

MIN. SOIL BEARING CAPACITY 2000 PSF  
CONCRETE COMPRESSION STRENGTH 2500 PSI  
IN 28 DAYS (FOUNDATION SUBJECT TO  
LOCAL APPROVAL)



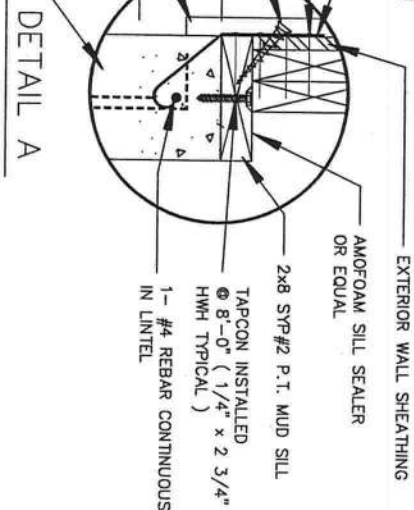
ALL TIEBOLTS STRAPS AND CONNECTING  
HARDWARE MUST BE CERTIFIED BY A  
REGISTERED PROFESSIONAL ENGINEER OR A RECOGNIZED  
TESTING AGENCY TO BE USED IN CONCRETE.  
SUPPORT A 3150# ALLOWABLE LOAD  
MINIMUM (ULTIMATE LOAD 4725# MAXIMUM)  
TO BE USED IN CONCRETE (SEE MFRS INSTRUCTIONS  
(SUPPLIED BY OTHERS))

GALVANIZED FASTENERS.  
ANY FASTENER THAT PENETRATES  
PRESSURE TREATED WOOD, MUST  
BE GALVANIZED. PT SILL PLATES, ETC.

SIMPSON PAHD42 STRAP TIE HOLD DOWN, 6 1/2"  
EMBED. TRIM WITH TIN SNIPS ABOVE TOP OF  
RIM JOIST IF REQUIRED. USE MINIMUM OF (7)  
16d NAILS INTO RIM JOIST. LOCATED WITHIN  
8'-12" FROM EACH CORNER AND 32" O.C.  
MAX ENDWALLS AND SIDE WALLS  
(ALSO INSTALL PAHD42 STRAP TIE HOLD DOWN  
AT EACH END OF EXTERIOR SHEARWALLS.  
SEE PLAN FOR LOCATIONS, ETC.)

FASTEN CONNECTOR TO  
RIM JOIST USING (4) 10d NAILS AND  
TO SILL PLATE W/(2) 10d NAILS.  
#8x2 1/2" WOOD SCREWS MAY BE  
USED IN LIEU OF NAILS.  
#10x4" WOOD SCREW  
FROM RIM JOIST INTO  
MUD SILL @ 16" O.C.

EXTERIOR FINISH  
8"x8" CONTINUOUS CONC. TIE BEAM  
WITH NO4 REBAR CONTINUOUS



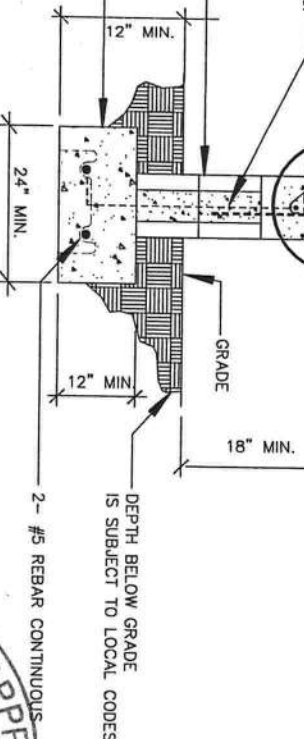
EXTERIOR SIDEWALL  
OF MODULE  
EXTERIOR FINISH EXTENDING  
OVER FOUNDATION  
WALL

8"x8" CONTINUOUS CONC. TIE BEAM  
WITH NO4 REBAR CONTINUOUS  
WALL

#5 VERTICAL BAR 4'-0" O.C.  
AND AT EACH CORNER  
FILL CELLS W/CONCRETE

6x16 CMU CONTINUOUS  
FOUNDATION WALL

CONTINUOUS CONCRETE  
FOOTING (2500 PSI  
CONCRETE MINIMUM)



SECTION A

OPTIONAL METHOD

NOTE:  
THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A  
TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST  
BE EVALUATED FOR APPLICABILITY. IF THIS PLAN IS TO BE  
USED, ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY  
CONSULTING WITH THE REQUIREMENTS OF THE  
JURISDICTION HAVING AUTHORITY.

STOOPS, LANDINGS, PORCHES, STAIRS BY OTHERS.  
TYPE, LOCATION, APPROVAL AND INSPECTION SUBJECT  
TO LOCAL AUTHORITY AND OR STATE AUTHORITY HAVING  
JURISDICTION.

ROBERT E. GREGG  
REGISTERED ARCHITECT  
630 CHESTNUT STREET  
CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax. 727-791-8942  
archreg@aol.com

SEAL: FL

APPROVED DEC 10 2007

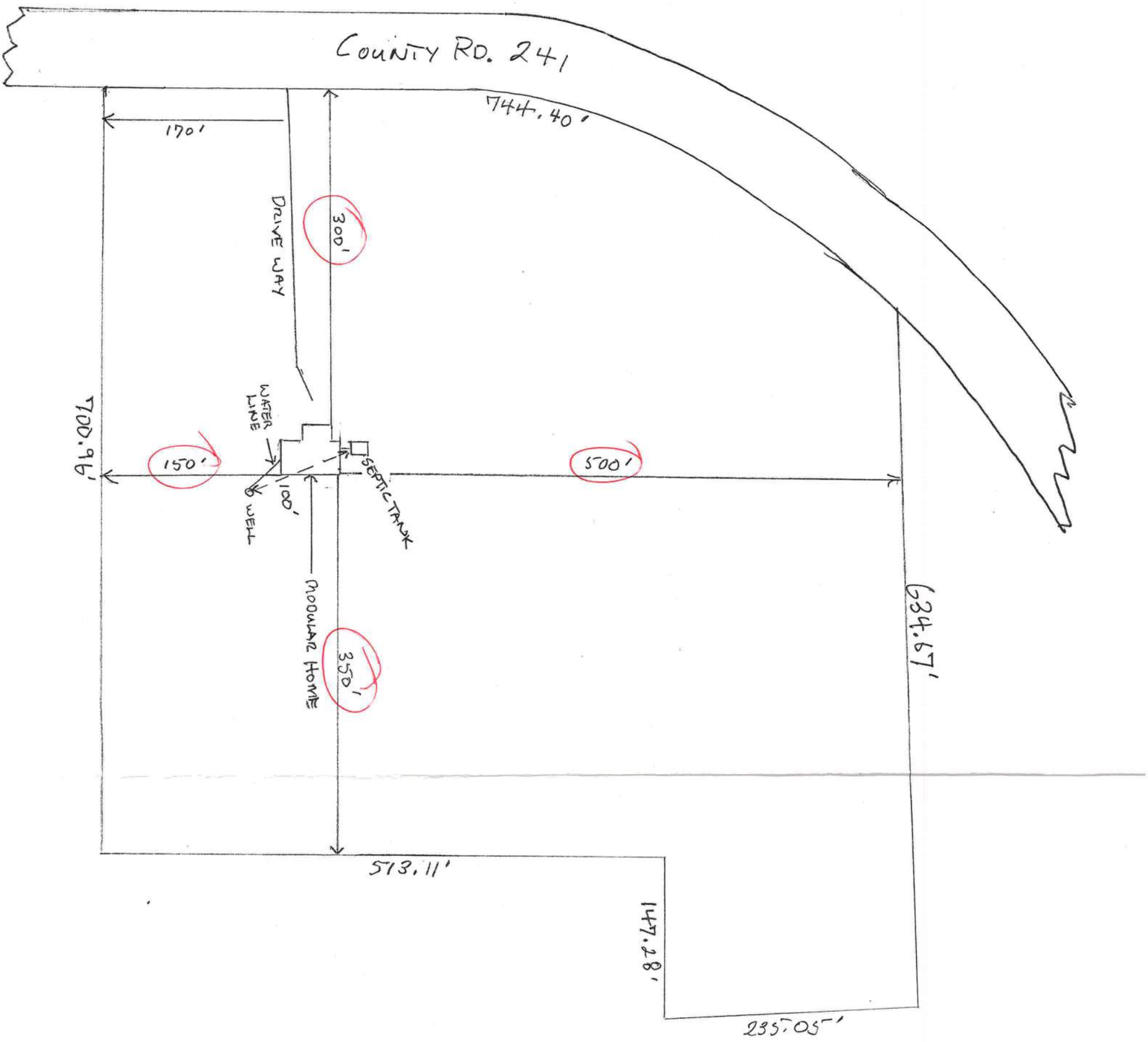
THE  
MC363FG (BURTON)

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 12-04-07  
REV:  
DWG. #: 2 of 2

DWG#: 1447-5423F  
HORTON  
HOMES, INC.  
EATONTON, GA 31024  
OFF FRAME FOUNDATION NOTES

# Site Plan

PROJECT: MODULAR HOME  
OWNER: MOISES REYNA, SR. AND MARTHA REYNA  
CONTRACTOR: WILLIAM L. HARPER  
SCALE: 1"=100'





PROJECT: MODULAR HOME  
OWNER: MOISES REYNALDO AND MARTHA REYNALDO  
CONTRACTOR: WILLIAM L. HARPER  
SCALE: 1"=100'

