

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

Confirm
DATA SHEET AT
Final

For Office Use Only (Revised 7-1-15) Zoning Official *[Signature]* Building Official *[Signature]*

AP# 1902-60 Date Received 2/25 By *[Signature]* Permit # 37844

Flood Zone X Development Permit _____ Zoning A-3 Land Use Plan Map Category A8

Comments This mth being placed on Lot 13 Doe Run Parcel.

FEMA Map# _____ Elevation _____ Finished Floor 1st River _____ In Floodway _____

☐ Recorded Deed or ☒ Property Appraiser PO ☒ Site Plan ☒ EH # 19-0126 ☐ Well letter OR

☐ Existing well ☒ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☒ Parent Parcel # 03804-112 ☐ STUP-MH _____ ☒ 911 App

☐ Ellisville Water Sys ☐ Assessment _____ ☐ Out County ☒ In County ☐ Sub VF Form

Property ID # 09-6S-16-03804-112 Subdivision Doe Run Lot# 13

- New Mobile Home _____ Used Mobile Home ☒ MH Size 28x48 Year 1994
- Applicant John Alexander / Rhonda Neeley Phone # 386-965-5140
- Address 388 Spaulding Ct Fort White FL 32038
- Name of Property Owner John Alexander & Rhonda Neeley (JTWs) Phone# 386-965-5140
- **911 Address** 29 SW Lauman Glen Fort White fl 32038
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Duke Energy
- Name of Owner of Mobile Home John Alexander Phone # 386-965-5140
 Address 388 SW Spaulding Ct Fort White, FL 32038
- Relationship to Property Owner Self
- Current Number of Dwellings on Property 1
- Lot Size 10.02 AC Lot 13 Total Acreage 20.4 Both Lots 12 & 13
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property Take 47 toward Fort white
turn Right on Herlang (Dirt Road) turn left on
Centerville come down 1/2 mile turn left on lauman
come down 1st Driveway on left.
- Name of Licensed Dealer/Installer Glen Williams Phone # 386-344-3669
- Installers Address 660 SE Putnam St LAKE City FL 32025
- License Number JH1054858 Installation Decal # 55311

Ut-Spoke to Glen 3-7-19

\$651.35

SITE PLAN CHECKLIST

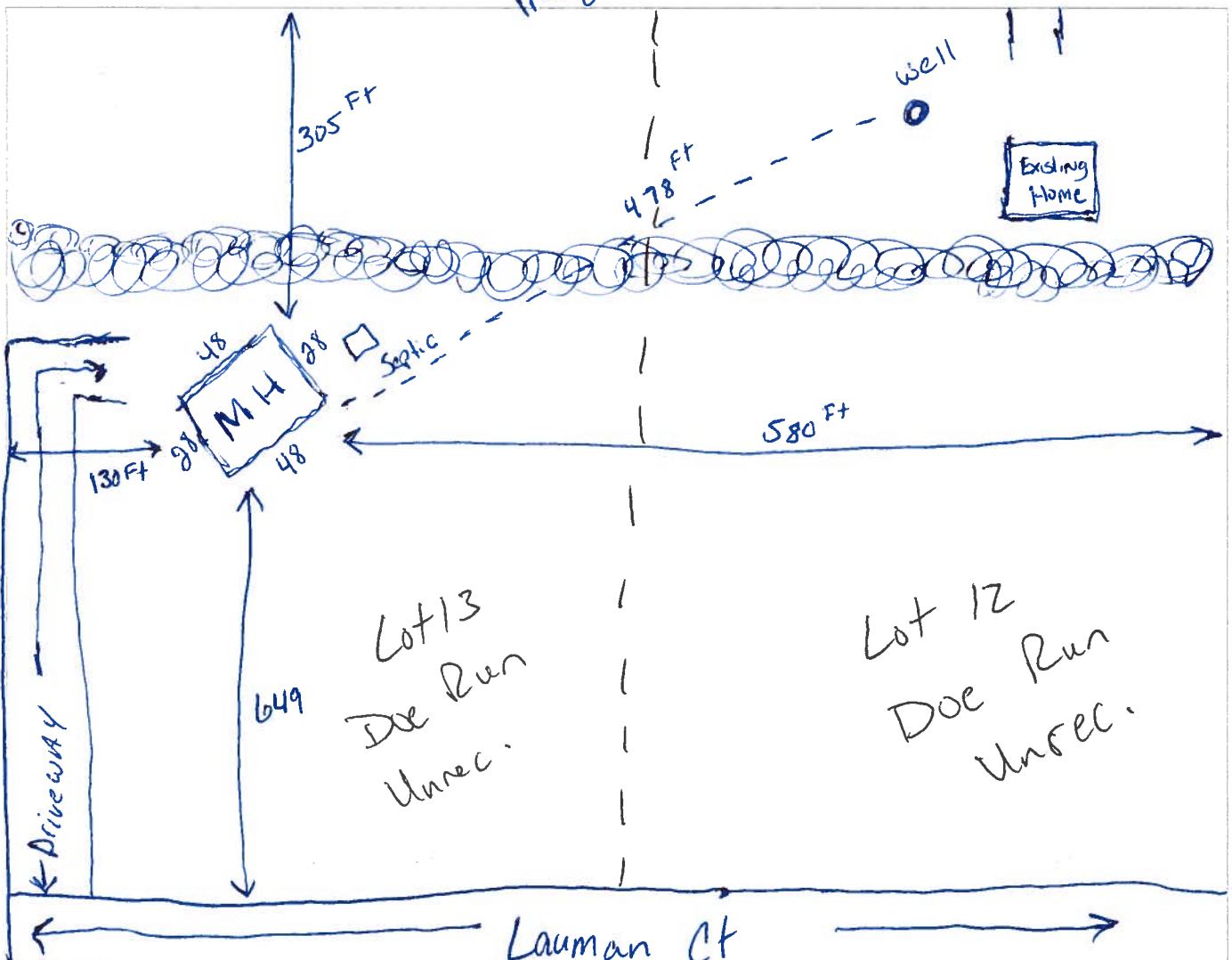
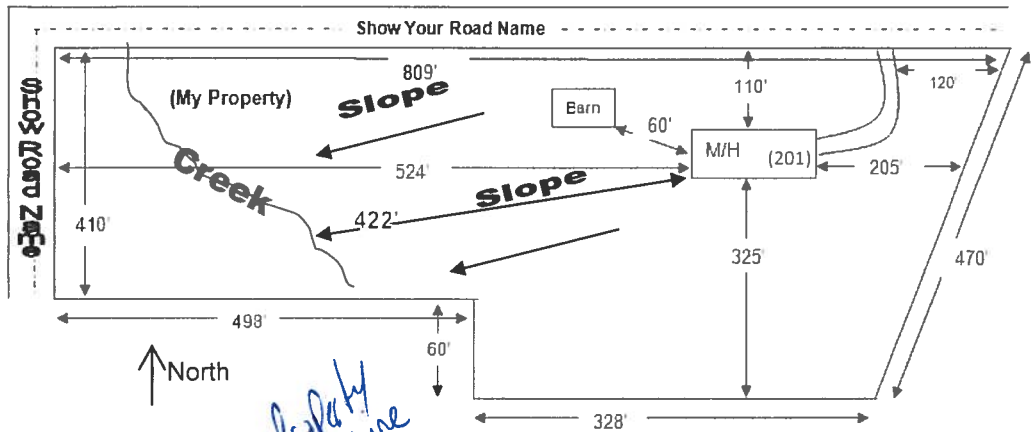
- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

SITE PLAN EXAMPLE

Revised 7/1/15

NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



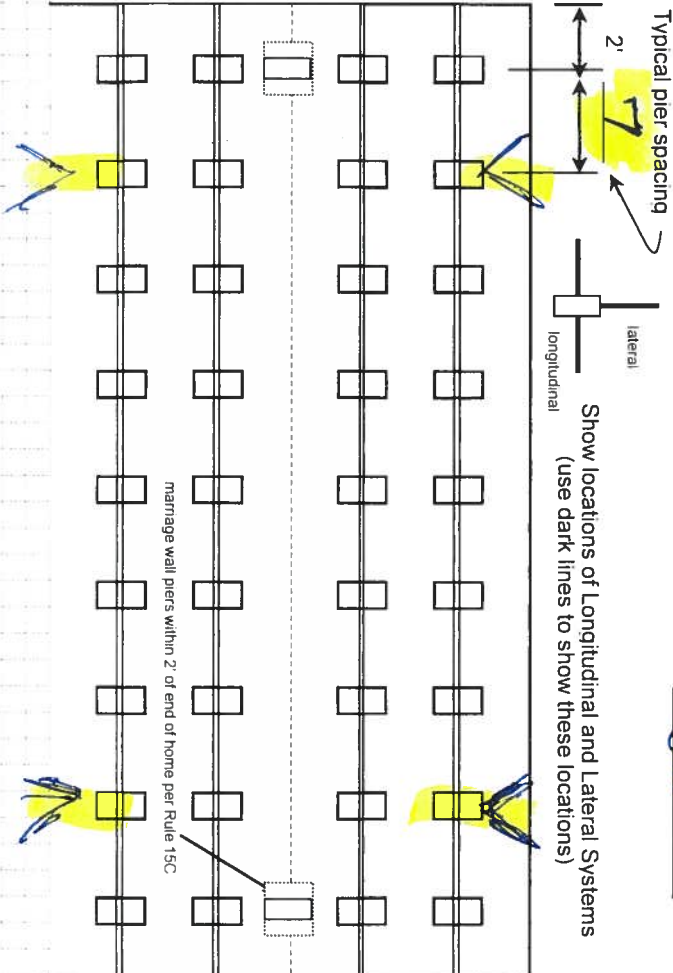
Mobile Home Permit Worksheet

Installer: Glen Williams License # 1H1054853
 Address of home being installed: TRD

Manufacturer: Fleetwood Length x width: 28x48

NOTE: if home is a single wide fill out one half of the blocking plan
 if home is a triple or quad wide sketch in remainder of home
 I understand Lateral Arm Systems cannot be used on any home (new or used)
 where the sidewall ties exceed 5 ft 4 in.

Installer's initials: glw



20 Frame Ties

Application Number: _____

Date: _____

New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual
 Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 53113

Triple/Quad ☐ Serial # GMH 78771

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size: 185x185
 Perimeter pier pad size: 185x185

Other pier pad sizes (required by the mfg.): _____

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening: _____ Pier pad size: _____

ANCHORS

4 ft ☒ 5 ft ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) 4
 Manufacturer: _____
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer: _____

OTHER TIES

Sidewall: _____
 Longitudinal Marriage wall: 20
 Shearwall: 4

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 2000 psf or check here to declare 1000 lb. soil without testing.

X 2000 X 1000 X 2000

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 2000 X 2000 X 2000

TORQUE PROBE TEST

The results of the torque probe test is 950 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials _____

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Alan Williams

Date Tested

2-19-19

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Site Preparation

Debris and organic material removed _____ Swale _____ Pad ☒ Other _____

Fastening multi wide units

Floor: Type Fastener: 1/4" Length: 6" Spacing: 24"
Walls: Type Fastener: 1/4" Length: 6" Spacing: 24"
Roof: Type Fastener: 1/4" Length: 6" Spacing: 24"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials AW

Type gasket foam

Installed: Between Floors Yes _____
Between Walls Yes _____
Bottom of ridgebeam Yes _____

Weatherproofing

The bottomboard will be repaired and/or taped. Yes _____ Pg. _____
Siding on units is installed to manufacturer's specifications. Yes _____
Fireplace chimney installed so as not to allow intrusion of rain water. Yes _____

Miscellaneous

Skirting to be installed. Yes _____ No _____
Dryer vent installed outside of skirting. Yes _____ N/A _____
Range downflow vent installed outside of skirting. Yes _____ N/A _____
Drain lines supported at 4 foot intervals. Yes _____
Electrical crossovers protected. Yes _____
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

Alan Williams

Date

2-19-19

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated 2/8/2019

Parcel: << 09-6S-16-03804-112 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

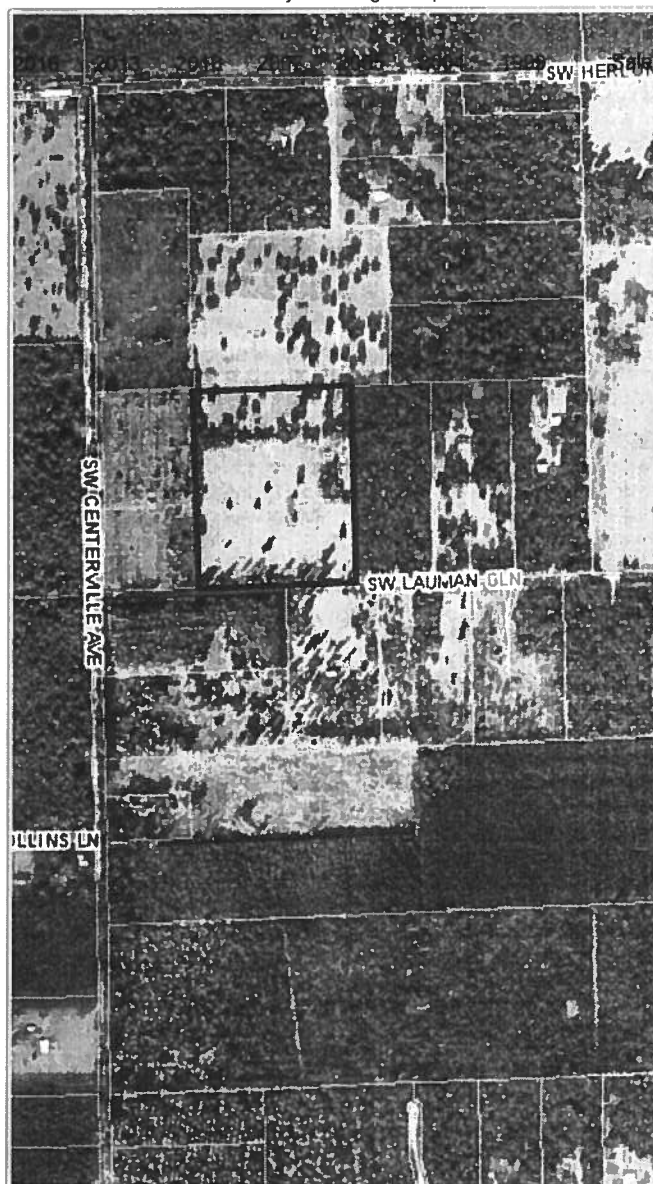
Owner	ALEXANDER JOHN T & RHONDA NEELEY (JTWS) 388 SW SPAULDING CT FT WHITE, FL 32038		
Site	388 SPAULDING CT, FORT WHITE		
Description*	COMM NW, RUN S 510 FT, E 545 FT, S 1072.79 FT, E 421.41 FT FOR POB, CONT E 421.41 FT, S 1035.90 FT, W 420.93 FT, N 1035.90 FT TO POB. (AKA LOT 12 DOE RUN S/D UNREC) ALSO COMM NW COR, RUN S 540 FT, E 545 FT, S 1072.79 FT FOR POB, RUN E 421.41 FT, S 1035.90 ...more>>>		
Area	20.04 AC	S/T/R	09-6S-16E
Use Code**	SINGLE FAM (000100)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Working Values	
Mkt Land (1)	\$61,395	Mkt Land (1)	\$61,395
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$62,612	Building (1)	\$62,847
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$124,007	Just	\$124,242
Class	\$0	Class	\$0
Appraised	\$124,007	Appraised	\$124,242
SOH Cap [?]	\$4,587	SOH Cap [?]	\$4,764
Assessed	\$117,250	Assessed	\$119,478
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total Taxable	county:\$67,250 city:\$67,250 other:\$67,250 school:\$92,250	Total Taxable	county:\$69,478 city:\$69,478 other:\$69,478 school:\$94,478

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/27/2001	\$53,800	926/2500	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2006	1120	1208	\$62,847

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
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FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

'01 MAY 18 PM 3:53

BK 0926 PG 2500

OFFICIAL RECORDS

Recording Fees: 0.1 - 8944

Documentary Stamps: +

Total: 5

Prepared by and return to:

TITLE OFFICES, LLC

2015 S. 1ST ST.,

LAKE CITY, FL. 32025

SE: File #01Y-04055KW/KIM WATSON

Property Appraisers Parcel I.D. Number(s):
03804-000



Documentary Stamp \$376.60
Intangible Tax 5
P. DeWitt Cason
Clerk of Court
By: [Signature] DC

Grantee(s) S.S.#(s): [Redacted]

WARRANTY DEED

THIS WARRANTY DEED made and executed the 27th day of April, 2001, by NORTH FLORIDA PUBLISHING COMPANY, INC., a corporation existing under the laws of Florida, and having its principal place of business at P.O. BOX 217, FT. WHITE, FLORIDA 32038, hereinafter called the Grantor, to JOHN T. ALEXANDER, A SINGLE PERSON and RHONDA NEELEY, A SINGLE PERSON, JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP, whose post office address is: 1473 S. EVERGREEN AVE. CLEARWATER, FL 33756, hereinafter called the Grantee:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA County, State of Florida, viz:

**SEE EXHIBIT "A" ATTACHED HERETO
AND BY REFERENCE MADE A PART HEREOF**

Subject to Restrictions, Reservations and Easements of Record.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances

IN WITNESS WHEREOF, the said Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered
in the presence of.

Witness Signature

Printed Name: Rhonda Neeley

Witness Signature

Printed Name: Kim Watson

NORTH FLORIDA PUBLISHING COMPANY, INC.

BY:

[Signature]
President Judy Glenn

Address:

P.O. BOX 217
FT. WHITE, FLORIDA 32038

ATTEST:

Secretary

(CORPORATE SEAL)

EX 0926 PG2501

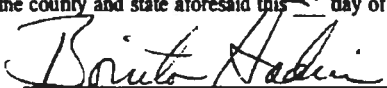
Re: JOHN T. ALEXANDER and RHONDA NEELEY
page 2

OFFICIAL RECORDS

STATE OF FLORIDA
COUNTY OF COLUMBIA

I hereby certify that on this day, before me, an officer duly authorized in the state aforesaid and in the county aforesaid to take acknowledgments, personally appeared JUDY J. GLENN and _____ well known to me to be the _____ President and _____ respectively of the corporation named as Grantor in the foregoing deed, who are personally known to me and who took an oath that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in them by said corporation, and that the seal affixed thereto is the true corporate seal of said corporation.

Witness my hand and official seal in the county and state aforesaid this 2nd day of April, 2001.



Notary Public Sign Above

Print Name: _____

My Commission #: _____

My Commission expires: _____

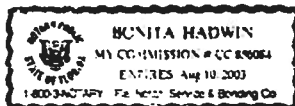


EXHIBIT "A"

OFFICIAL RECORDS

LOT 12

Part of the NW¼ of Section 9, Township 6 South, Range 16 East, Columbia County, Florida, more particularly described as follows: Commence at the NW corner of said NW¼; thence S 00°37'13"E, along the West line of said NW¼ a distance of 540.00 feet; thence N 88°40'57"E, 545.00 feet; thence S 00°37'13"E, 1072.79 feet; thence N 88°41'00"E, 421.41 feet to the POINT OF BEGINNING; thence continue N 88°41'00"E, 421.41 feet; thence S 00°33'58"E, 1035.90 feet to a point on the South line of said NW¼; thence S 88°40'57"W, along the South line of said NW¼ a distance of 420.93 feet; thence N 00°35'36"W, 1035.90 feet to the POINT OF BEGINNING. Subject to an easement over and across the South 15.00 feet of the above described parcel. Together with an easement 60 feet wide for ingress and egress described as follows; the North 60.00 feet of the West 545.00 feet of the SW¼ of Section 9, Township 6 South, Range 16 East, less existing right of way of Lazy Oak Road, and the South 15.00 feet of the NW¼ of said Section 9, less the West 545.00 feet thereof, and the North 45.00 feet of the SW¼ of said Section 9, less the West 545.00 feet thereof, and the North 60.00 feet of the NW¼ of SE¼ of Section 9 less the East 495.13 feet, Columbia County, Florida.

The above described lands are to form a 60.00 foot wide corridor for ingress and egress from the East right of way line of Lazy Oak Road to the West line of the East 495.14 feet of the NW¼ of SE¼ of said Section 9.

ALSO:

LOT 13

Part of the NW¼ of Section 9, Township 6 South, Range 16 East, Columbia County, Florida, more particularly described as follows:

Commence at the NW Corner of said NW¼; thence S 00°37'13" E, along the West line of said NW¼, a distance of 540.00 feet; thence N 88°40'57" E, 545.00 feet; thence S 00°37'13" E, 1072.79 feet to the POINT OF BEGINNING; thence N 88°41'00" E, 421.41 feet; thence S 00°35'36" E, 1035.90 feet to a point on the South line of said NW¼, thence S 88°40'57" W, along the South line of said NW¼, a distance of 420.93 feet; thence N 00°37'13" W, 1035.90 feet to the POINT OF BEGINNING, Columbia County, Florida.

Subject to an easement over and across the South 15.00 feet of the above described parcel.

Together with an easement for ingress and egress described as follows:

A strip of land 60.00 feet wide, for ingress and egress described as follows: The North 60.00 feet of the West 545.00 feet of the SW¼ of Section 9, Township 6 South, Range 16 East, LESS existing right of way of Lazy Oak Road and the South 15.00 feet of the NW¼ of said Section 9, LESS the West 545.00 feet thereof and the North 45.00 feet of the SW¼ of said Section 9, LESS the West 545.00 feet thereof and the North 60.00 feet of the NW¼ of SE¼ of Section 9, LESS the East 495.13 feet, Columbia County, Florida.

The above described lands are to form a 60.00 foot wide corridor for ingress and egress from the East right of way line of Lazy Oak Road to the West line of the East 495.14 feet of the NW¼ of SE¼ of said Section 9.

SUBJECT TO: RESTRICTIONS RECORDED IN O.R. BOOK 899, PAGE 436.

SUBJECT TO: EASEMENT GRANTED TO CLAY ELECTRIC COOPERATIVE BY INSTRUMENT RECORDED IN O.R. BOOK 895, PAGE 2002, RE-RECORDED IN O.R. BOOK 899, PAGE 1193.

SUBJECT TO: MORTGAGE IN THE AMOUNT OF \$225,000.00 FROM JUDY J. GLENN TO CAPITAL CITY BANK, DATED 03/18/99 AND RECORDED 03/23/99 IN O.R. BOOK 877, PAGE 360. ASSUMPTION RECORDED IN O.R. BOOK 883, PAGE 2377.

SUBJECT TO: FINANCING STATEMENT, CAPITAL CITY BANK, SECURED PARTY AND JUDY J. GLENN, DEBTOR, RECORDED 03/23/99 IN O.R. BOOK 87, PAGE 355.

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1902-60 CONTRACTOR Glenn Williams PHONE 386-344-3669

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL ✓	Print Name <u>John T. Alexander</u> Signature <u>[Signature]</u> License #: _____ Phone #: <u>386-965-5140</u> Qualifier Form Attached <input type="checkbox"/>
MECHANICAL/A/C ✓	Print Name <u>John T. Alexander</u> Signature <u>[Signature]</u> License #: _____ Phone #: <u>386-965-5140</u> Qualifier Form Attached <input type="checkbox"/>

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated 2/8/2019

Parcel: << 09-6S-16-03804-112 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Result: 1 of 1

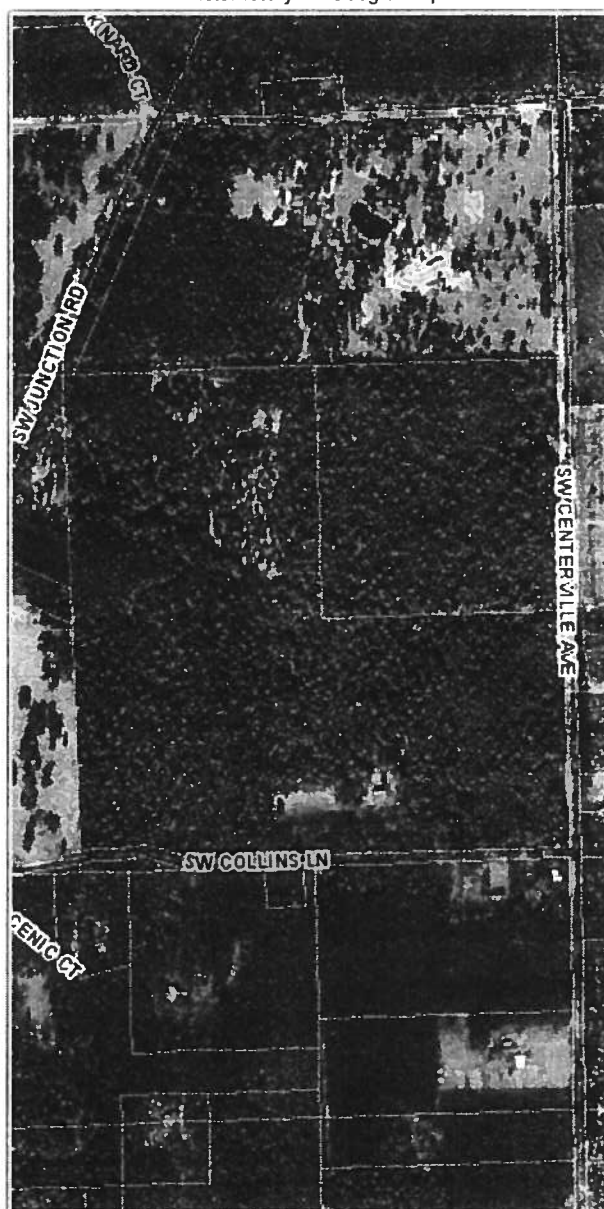
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SOH Cap [?]	\$4,587	SOH Cap [?]	\$4,764
Assessed	\$117,250	Assessed	\$119,478
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total	county:\$67,250	Total	county:\$69,478
Taxable	city:\$67,250	Taxable	city:\$69,478
	other:\$67,250		other:\$69,478
	school:\$92,250		school:\$94,478

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/27/2001	\$53,800	926/2500	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2006	1120	1208	\$62,847

*SINGLE FAM

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **3/7/2019 2:33:15 PM**
Address: **219 SW LAUMAN Gln**
City: **FORT WHITE**
State: **FL**
Zip Code **32038**

Parcel ID **03804-112**

REMARKS: Address for proposed structure on parcel. 2nd address for this parcel.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

Mobile Home

Applicant: GLENN WILLIAMS (386.344.3669) Application Date: 2/25/2019 Completed/Closed on 2/27/2019

Convert To ▾

1. JOB LOCATION

Action ▾

2. CONTRACTOR

3. MOBILE HOME
DETAILS

4. APPLICANT

5. REVIEW

6. FEES/PAYMENT

7.
DOCUMENTS/REPORTS
(1)

8. NOTES/DIRECTIONS

9. INSPECTIONS (1)

Completed Inspections

Add Inspection

Release Power

Schedule Inspection (ScheduleInspection.aspx?Id=40376)

Inspection	Date	By	Notes
Passed: Mobile Home - In County Pre- Mobile Home before set-up	2/26/2019	TOMMY MATTHEWS	<div> <div>C</div> <div>O</div> <div>X</div> </div> <p>Confirm Data Plate at final</p>

The completion date must be set To release Certifications to the public.

Permit Completion Date (Releases Occupancy and Completion Forms)

2/27/2019

Permit Closed On

2/27/2019

Incomplete Requested Inspections

Inspection	Date	By	Notes
------------	------	----	-------

SSOCOF #: 035905427 done by Ford's Septic on: 02-04 - 2019



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-2126
DATE PAID: 2/6/19
FEE PAID: 318.00
RECEIPT #: 1374745

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: John Alexander and Rhonda Neetey

AGENT: Ronald Ford - Ford's Septic

TELEPHONE: 386-755-6288

MAILING ADDRESS: 116 NW Lawley Way Lake City, Florida 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: n/a BLOCK: n/a SUBDIVISION: Meets + Bounds PLATTED: _____

PROPERTY ID #: 09-065-16-03804-112 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 20.04 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N

DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: SW Spaulding Court, Fort White FL 32038

DIRECTIONS TO PROPERTY: 47 South. (R) on SW Merlong Street.

(L) on SW Spaulding Court. Home #

(on same property as home #388- all address not yet assigned.)

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
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1	<u>Mobile Home</u>	<u>3</u>	<u>1344</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Rc Ford DATE: 2-4-2019



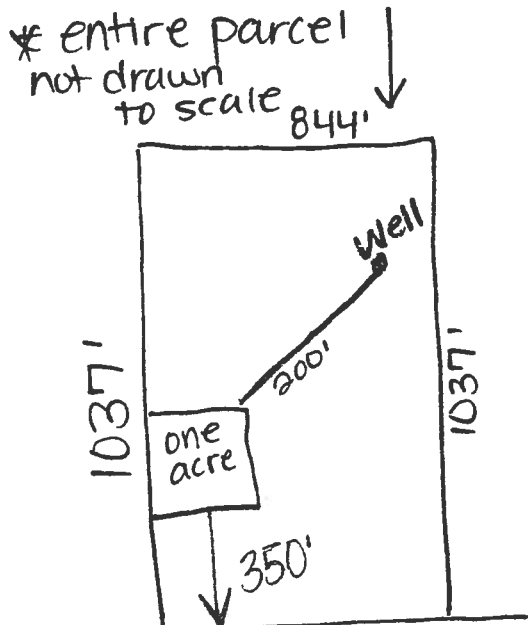
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0126

PART II - SITEPLAN

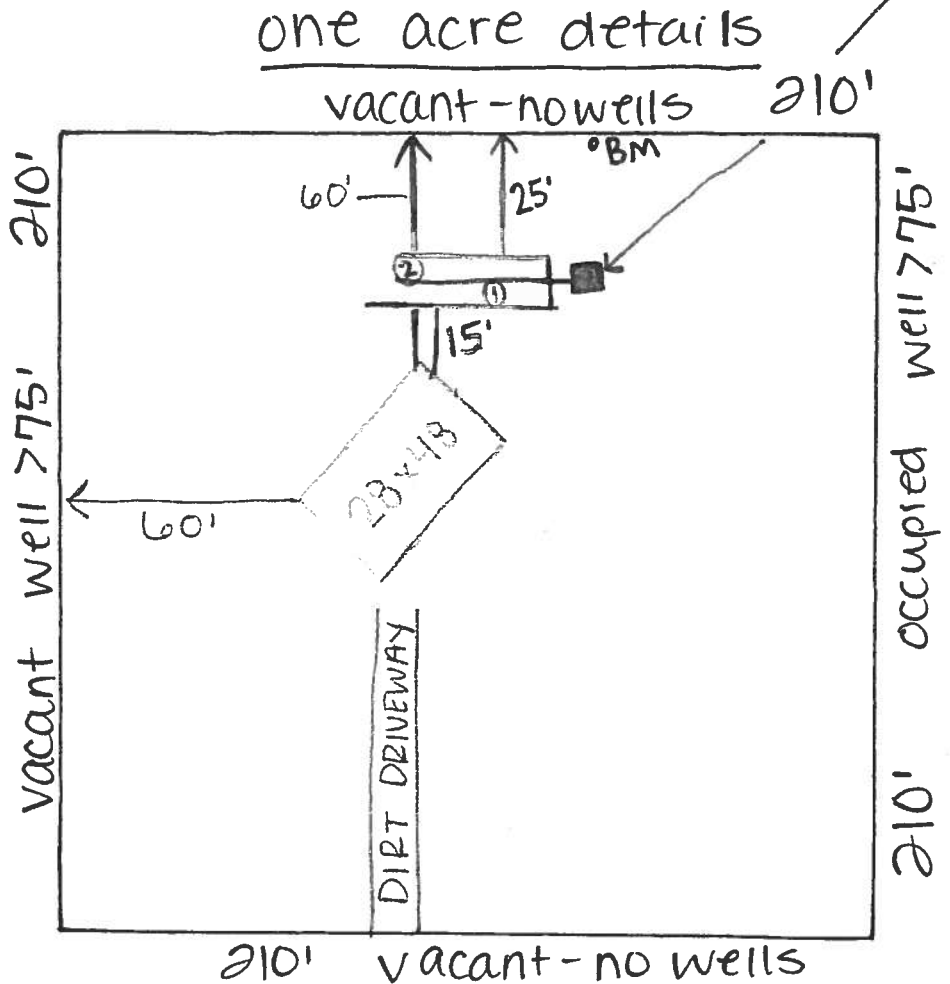
(scale: one inch = 50 feet)

250' from well
to septic
well



SW Lauman Glen
844'

Total of
20.04 acres



Notes: _____

Site Plan submitted by: Rc Ford

Plan Approved X Not Approved _____

By [Signature] ESH Columbia County Health Department

Date 2/15/19

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Glenn Williams, give this authority for the job address show below
Installer License Holder Name

only, 219 SW Lauman Glen Fort White Fl 32038, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
<u>John T. Alexander</u>	<u>[Signature]</u>	<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input checked="" type="checkbox"/> Property Owner
<u>Rhonda Neeley</u>	<u>[Signature]</u>	<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input checked="" type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

[Signature]
License Holders Signature (Notarized)

1H1054858
License Number

2-25-19
Date

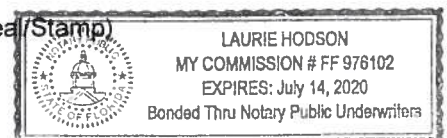
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: COLUMBIA

The above license holder, whose name is GLENN WILLIAMS,
personally appeared before me and is known by me or has produced identification
(type of I.D.) 2512 on this 25th day of FEBRUARY, 2019.

[Signature]
NOTARY'S SIGNATURE

(Seal/Stamp)



STATE OF FLORIDA
COUNTY OF COLUMBIA

LAND OWNER AFFIDAVIT

This is to certify that I, (We), RHONDA NEELEY (JTWRS)

as the owner of the below described property:

Property tax Parcel ID number 03804-112

Subdivision (Name, lot, Block, Phase) DOE RUN UNREC. LOTS 12 & 13

Give my permission for JOHN ALEXANDER to place a

Circle one - Mobile Home / Travel Trailer / Utility Pole Only / Single Family Home /
Barn - Shed - Garage / Culvert / Other _____

I (We) understand that the named person(s) above will be allowed to receive a building permit on the property number I (we) have listed above and this could result in an assessment for solid waste and fire protection services levied on this property.

Rhonda Neeley
Owner Signature

3-8-2019
Date

Owner Signature

Date

Owner Signature

Date

Sworn to and subscribed before me this 8 day of March, 2019. This

(These) person(s) are personally known to me or produced ID FL DL
(Type)

[Signature]
Notary Public Signature

Laurie Hodson
Notary Printed Name

Notary Stamp/

