

DATE 02/16/2004

**Columbia County Building Permit**

This Permit Expires One Year From the Date of Issue

**PERMIT**  
000021521

APPLICANT RICKY D. ENGLISH PHONE 454.9678

ADDRESS 22741 S. US HIGHWAY 441 HIGH SPRINGS FL 32643

OWNER RICKY D. ENGLISH PHONE \_\_\_\_\_

ADDRESS \_\_\_\_\_ FL \_\_\_\_\_

CONTRACTOR OWNER BUILDER PHONE 454.9678

LOCATION OF PROPERTY 441-S TO 1 1/4 MILE BACK FROM SANTA FE ON LEFT PAST  
PICKEL BARRELL

TYPE DEVELOPMENT HOBBY SHOP ESTIMATED COST OF CONSTRUCTION 51200.00

HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA 1024.00 HEIGHT .00 STORIES \_\_\_\_\_

FOUNDATION CONC WALLS FRAMED ROOF PITCH 6'12 FLOOR CONC

LAND USE & ZONING A-3 MAX. HEIGHT 35

Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO. \_\_\_\_\_

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PARCEL ID 22-7S-17-10051-000 SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES 1.00

Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_

EXISTING 03-1006-N BLK JDK N

Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: 1 FOOT ABOVE ROAD

NOC ON FILE

Check # or Cash CASH REC'D.**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power \_\_\_\_\_ date/app. by \_\_\_\_\_ Foundation \_\_\_\_\_ date/app. by \_\_\_\_\_ Monolithic \_\_\_\_\_ date/app. by \_\_\_\_\_

Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ date/app. by \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_ date/app. by \_\_\_\_\_

Framing \_\_\_\_\_ date/app. by \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_ date/app. by \_\_\_\_\_

Electrical rough-in \_\_\_\_\_ date/app. by \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ date/app. by \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_ date/app. by \_\_\_\_\_

Permanent power \_\_\_\_\_ date/app. by \_\_\_\_\_ C.O. Final \_\_\_\_\_ date/app. by \_\_\_\_\_ Culvert \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ date/app. by \_\_\_\_\_ Pool \_\_\_\_\_ date/app. by \_\_\_\_\_

Reconnection \_\_\_\_\_ date/app. by \_\_\_\_\_ Pump pole \_\_\_\_\_ date/app. by \_\_\_\_\_ Utility Pole \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H Pole \_\_\_\_\_ date/app. by \_\_\_\_\_ Travel Trailer \_\_\_\_\_ date/app. by \_\_\_\_\_ Re-roof \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 260.00 CERTIFICATION FEE \$ 5.12 SURCHARGE FEE \$ 5.12

MISC. FEES \$ .00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ \_\_\_\_\_ WASTE FEE \$ \_\_\_\_\_

FLOOD ZONE DEVELOPMENT FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ **TOTAL FEE** 320.24

INSPECTORS OFFICE \_\_\_\_\_ CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

**This Permit Must Be Prominently Posted on Premises During Construction**

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# Building Permit Application

Date 1/29/04 6/12 pitch

# 21521

Application No. 0401-64

Applicants Name & Address RICKY D. & Mary D English Phone 386 454 967  
22741 S. U.S. Hwy 441 HIGH SPRINGS FL 32643  
 Owners Name & Address RICKY D & Mary D English Phone 386 454 967  
22741 S. U.S. Hwy 441 HIGH SPRINGS FL 32643  
 Fee Simple Owners Name & Address RICKY D & Mary D English Phone 386 454 967  
22741 S. U.S. Hwy 441 HIGH SPRINGS FL 32643  
 Contractors Name & Address \_\_\_\_\_ Phone \_\_\_\_\_

Legal Description of Property Bea NW cor of NW 1/4 of NW 1/4, Run E 210 FT, S 210 FT, W 210 FT, N 210 FT to POB, EX RD RW  
 Location of Property 4415, 1 1/4 back from Santa Fe, on left  
 Driving Directions Past pickle barrel  
 Tax Parcel Identification No. 22-7517-10051-000 Estimated Cost of Construction \$ \_\_\_\_\_  
 Type of Development Hobby Shop Accessory use Number of Existing Dwellings on Property 1  
 Comprehensive Plan Map Category A-3 Zoning Map Category A-3  
 Building Height 16 Number of Stories 1 Floor Area 1024 Total Acreage in Development 1 ACRE  
 Distance From Property Lines (Set Backs) Front 46 Side 25 Rear 32 Street \_\_\_\_\_  
 Flood Zone X Certification Date \_\_\_\_\_ Development Permit N/A  
 Bonding Company Name & Address N/A  
 Architect/Engineer Name & Address N/A  
 Mortgage Lenders Name & Address N/A

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.

**OWNERS AFFIDAVIT:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws regulating construction and zoning.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Rick D English  
 Owner or Agent (including contractor)

\_\_\_\_\_  
 Contractor

\_\_\_\_\_  
 Contractor License Number

STATE OF FLORIDA  
 COUNTY OF COLUMBIA  
 Sworn to (or affirmed) and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

STATE OF FLORIDA  
 COUNTY OF COLUMBIA  
 Sworn to (or affirmed) and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ by \_\_\_\_\_

Personally Known \_\_\_\_\_ OR Produced Identification

Personally Known \_\_\_\_\_ OR Produced Identification

0461-64



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

COLUMBIA  
COUNTY,  
FLORIDA  
(UNINCORPORATED AREAS)

PANEL 280 OF 290

PANEL LOCATION

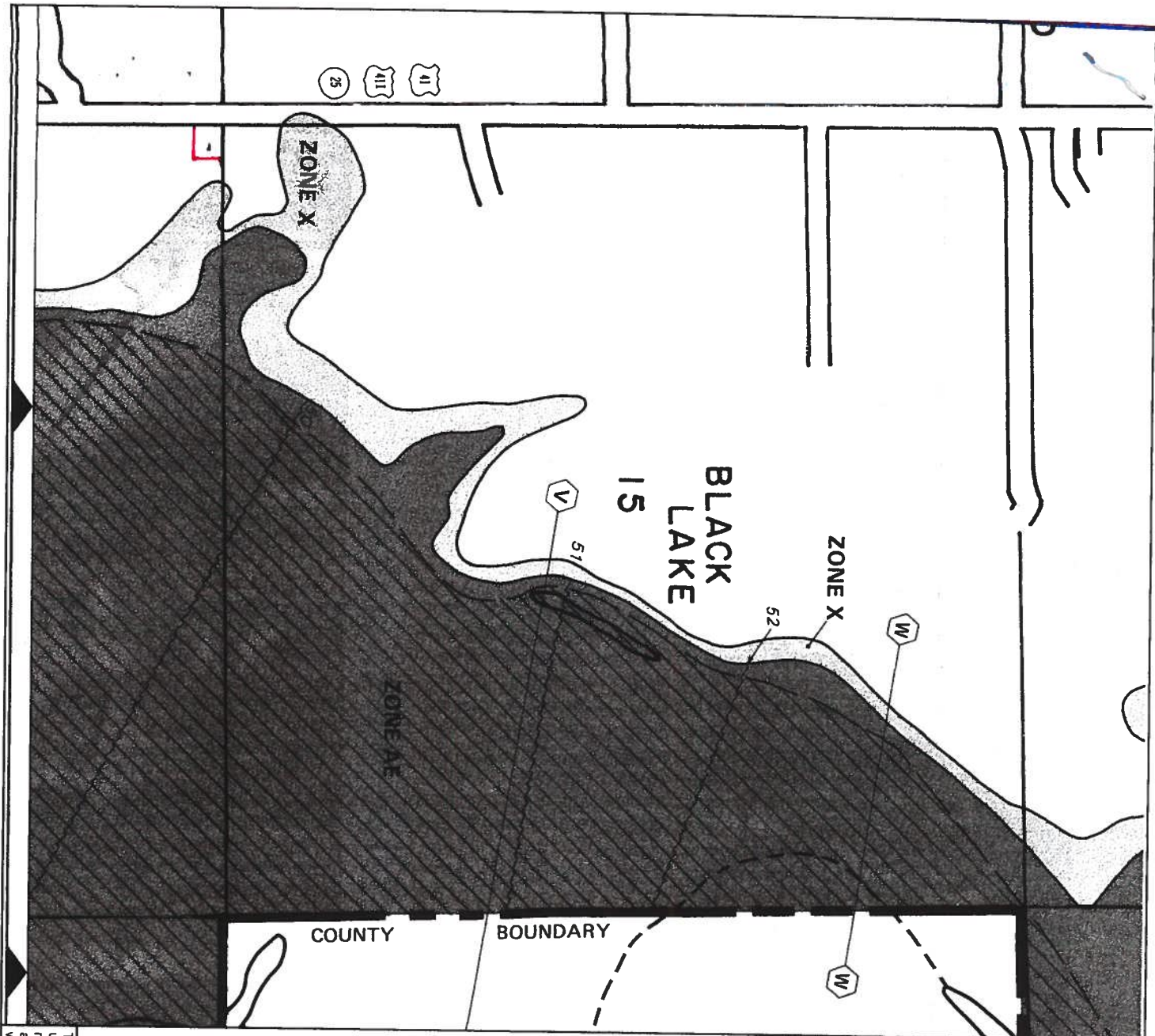


COMMUNITY-PANEL NUMBER  
120070 0280 B  
EFFECTIVE DATE:  
JANUARY 6, 1988

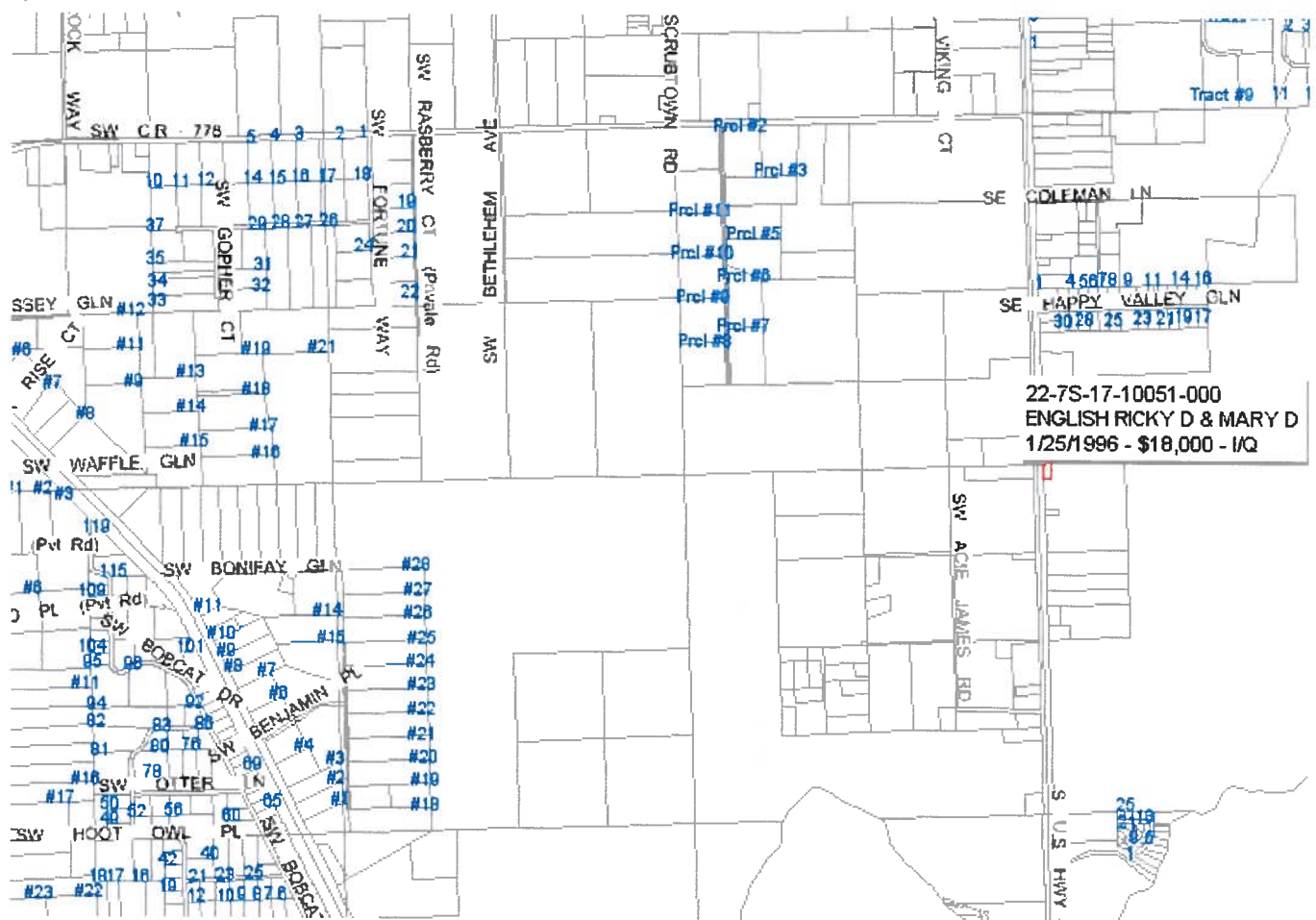
Federal Emergency Management Agency



This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at [www.fema.gov/nflis1d](http://www.fema.gov/nflis1d).







22-7S-17-10051-000 HX

Columbia County Property Appraiser

## Owner &amp; Property Info

<b>Owner's Name</b>	ENGLISH RICKY D & MARY D
<b>Site Address</b>	S US HIGHWAY 441
<b>Mailing Address</b>	22741 S US HIGHWAY 441 HIGH SPRINGS, FL 32643
<b>Brief Legal</b>	BEG NW COR OF NW1/4 OF NW1/4, RUN E 210 FT, S 210 FT, W 210 FT, N 210 FT TO POB, EX RD R/W

Show: Tax Info | GIS Map | Property Card

<b>Use Desc. (code)</b>	SINGLE FAM (000100)
<b>Neighborhood</b>	22717.00
<b>Tax District</b>	3
<b>UD Codes</b>	
<b>Market Area</b>	02
<b>Total Land Area</b>	0.500 ACRES

## Property &amp; Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$6,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$26,929.00
<b>XFOB Value</b>	cnt: (1)	\$200.00
<b>Total Appraised Value</b>		\$33,129.00

<b>Just Value</b>	\$33,129.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$21,466.00
<b>Exempt Value</b>	(code: HX) \$21,466.00
<b>Total Taxable Value</b>	\$0.00

## Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
1/25/1996	816/1551	WD	I	Q		\$18,000.00
5/17/1994	790/1572	WD	I	U	02	\$0.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1961	WD or PLY (08)	1445	1880	\$26,929.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

## Extra Features &amp; Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	1993	\$200.00	1.000	0 x 0 x 0	(.00)

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	.500 AC	1.00/1.50/1.00/1.00	\$12,000.00	\$6,000.00

Columbia County Property Appraiser

DB Last Updated: 01/12/2004

1 of 1



## Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

### PARCEL: 22-7S-17-10051-000 HX - SINGLE FAM (000100)

BEG NW COR OF NW1/4 OF NW1/4, RUN E 210 FT, S 210 FT, W 210 FT, N 210 FT TO POB, EX RD R/W

Name:	ENGLISH RICKY D & MARY D	LandVal	\$6,000.00
Site:	S US HIGHWAY 441	BldgVal	\$26,929.00
Mail:	22741 S US HIGHWAY 441	ApprVal	\$33,129.00
	HIGH SPRINGS, FL 32643	JustVal	\$33,129.00
Sales	1/25/1996 \$18,000.00 / Q	Assd	\$21,466.00
Info	5/17/1994 \$0.001 / U	Exmpt	\$21,466.00
		Taxable	\$0.00

0 0.06 0.12 0.18 mi



This information, GIS Map Updated: 01/12/2004, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: **ENGLISH-HOBBY ROOM**  
Address:  
City, State: **HIGH SPRINGS, FL 32643-**  
Owner: **RICKEY ENGLISH**  
Climate Zone: **North**

Builder: **OWNER**  
Permitting Office: **COLUMBIA CO.**  
Permit Number: **21521**  
Jurisdiction Number: **22000**

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 28.0 kBtu/hr SEER: 10.20
3. Number of units, if multi-family	1	___	b. N/A	___
4. Number of Bedrooms	1	___	c. N/A	___
5. Is this a worst case?	No	___	13. Heating systems	
6. Conditioned floor area (ft <sup>2</sup> )	1024 ft <sup>2</sup>	___	a. Electric Heat Pump	Cap: 28.0 kBtu/hr HSPF: 7.50
7. Glass area & type	Single Pane	Double Pane	b. N/A	___
a. Clear glass, default U-factor	0.0 ft <sup>2</sup>	157.8 ft <sup>2</sup>	c. N/A	___
b. Default tint	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	14. Hot water systems	
c. Labeled U or SHGC	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	a. Electric Resistance	Cap: 40.0 gallons EF: 0.90
8. Floor types			b. N/A	___
a. Slab-On-Grade Edge Insulation	R=0.0, 128.0(p) ft	___	c. N/A	___
b. N/A	___	___	15. HVAC credits	CF, ___
c. N/A	___	___	(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)	
9. Wall types				
a. Frame, Wood, Exterior	R=11.0, 1357.8 ft <sup>2</sup>	___		
b. N/A	___	___		
c. N/A	___	___		
d. N/A	___	___		
e. N/A	___	___		
10. Ceiling types				
a. Under Attic	R=30.0, 1024.0 ft <sup>2</sup>	___		
b. N/A	___	___		
c. N/A	___	___		
11. Ducts				
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 40.0 ft	___		
b. N/A	___	___		

Glass/Floor Area: 0.15

Total as-built points: 14041

Total base points: 14990

## PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Larry Desimond A/CDATE: 1/28/04

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: \_\_\_\_\_

DATE: \_\_\_\_\_



# Summary Energy Code Results

## Residential Whole Building Performance Method A

RICKEY ENGLISH  
HIGH SPRINGS, FL 32643-

Project Title:  
ENGLISH-HOBBY ROOM

Class 3 Rating  
Registration No. 0  
Climate: North

1/28/2004

Building Loads			
Base		As-Built	
Summer:	<b>13617 points</b>	Summer:	<b>13641 points</b>
Winter:	<b>10257 points</b>	Winter:	<b>12155 points</b>
Hot Water:	<b>2416 points</b>	Hot Water:	<b>2416 points</b>
Total:	<b>26291 points</b>	Total:	<b>28213 points</b>

Energy Use			
Base		As-Built	
Cooling:	<b>5809 points</b>	Cooling:	<b>4933 points</b>
Heating:	<b>6435 points</b>	Heating:	<b>6423 points</b>
Hot Water:	<b>2746 points</b>	Hot Water:	<b>2685 points</b>
Total:	<b>14990 points</b>	Total:	<b>14041 points</b>

**PASS**  
e-Ratio: 0.94



# BUILDING INPUT SUMMARY REPORT

<b>PROJECT</b>	<b>Title:</b>	ENGLISH-HOBBY ROOM	<b>Family Type:</b>	Single	<b>Address Type:</b>	Street Address
	<b>Owner:</b>	RICKEY ENGLISH	<b>New/Existing:</b>	New	<b>Lot #:</b>	N/A
	<b># of Units:</b>	1	<b>Bedrooms:</b>	1	<b>Subdivision:</b>	N/A
	<b>Builder Name:</b>	OWNER	<b>Conditioned Area:</b>	1024	<b>Platbook:</b>	N/A
	<b>Climate:</b>	North	<b>Total Stories:</b>	1	<b>Street:</b>	(blank)
	<b>Permit Office:</b>	COLUMBIA CO.	<b>Worst Case:</b>	No	<b>County:</b>	COLUMBIA
	<b>Jurisdiction #:</b>	(blank)	<b>Rotate Angle:</b>	(blank)	<b>City, St, Zip:</b>	HIGH SPRINGS, FL, 32643-

<b>FLOORS</b>	#	Floor Type	R-Val	Area/Perimeter	Units
	1	Slab-On-Grade Edge Insulation	0.0	128.0(p) ft	1

<b>DOORS</b>	#	Door Type	Orientation	Area	Units
	1	Insulated	Exterior	20.4 ft²	1

<b>CEILINGS</b>	#	Ceiling Type	R-Val	Area	Base Area	Units
	1	Under Attic	30.0	1024.0 ft²	1024.0 ft²	1
Credit Multipliers: None						

<b>COOLING</b>	#	System Type	Efficiency	Capacity
	1	Central Unit	SEER: 10.20	28.0 kBtu/hr
Credit Multipliers: Ceil Fn				

<b>WALLS</b>	#	Wall Type	Location	R-Val	Area	Units
	1	Frame - Wood	Exterior	11.0	1357.8 ft²	1

<b>HEATING</b>	#	System Type	Efficiency	Capacity
	1	Electric Heat Pump	HSPF: 7.50	28.0 kBtu/hr
Credit Multipliers: None				

<b>WINDOWS</b>	#	Panes	Tint	Ornt	Area	OH Length	OH Hght	Units
	1	Double	Clear	S	36.0 ft²	2.0 ft	7.0 ft	1
	2	Double	Clear	S	40.8 ft²	2.0 ft	7.8 ft	1
	3	Double	Clear	W	36.0 ft²	2.0 ft	7.0 ft	1
	4	Double	Clear	N	36.0 ft²	2.0 ft	7.0 ft	1
	5	Double	Clear	N	9.0 ft²	2.0 ft	4.0 ft	1

<b>DUCTS</b>	#	Supply Location	Return Location	Air Handler Location	Supply R-Val	Supply Length
	1	Uncond.	Uncond.	Interior	6.0	40.0 ft
Credit Multipliers: None						

<b>WATER</b>	#	System Type	EF	Cap.	Conservation Type	Con. EF
	1	Electric Resistance	0.90	40.0	None	0.00

<b>REFR.</b>	#	Use Default?	Annual Operating Cost	Electric Rate
	1	Yes	N/A	N/A

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 84.1**

**The higher the score, the more efficient the home.**

**RICKEY ENGLISH, , HIGH SPRINGS, FL, 32643-**

1. New construction or existing	New	___	12. Cooling systems	
2. Single family or multi-family	Single family	___	a. Central Unit	Cap: 28.0 kBtu/hr
3. Number of units, if multi-family	1	___		SEER: 10.20
4. Number of Bedrooms	1	___	b. N/A	___
5. Is this a worst case?	No	___	c. N/A	___
6. Conditioned floor area (ft <sup>2</sup> )	1024 ft <sup>2</sup>	___		___
7. Glass area & type	Single Pane	Double Pane	13. Heating systems	
a. Clear - single pane	0.0 ft <sup>2</sup>	157.8 ft <sup>2</sup>	a. Electric Heat Pump	Cap: 28.0 kBtu/hr
b. Clear - double pane	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>		HSFP: 7.50
c. Tint/other SHGC - single pane	0.0 ft <sup>2</sup>	0.0 ft <sup>2</sup>	b. N/A	___
d. Tint/other SHGC - double pane			c. N/A	___
8. Floor types			14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 128.0(p) ft	___	a. Electric Resistance	Cap: 40.0 gallons
b. N/A		___		EF: 0.90
c. N/A		___	b. N/A	___
9. Wall types			c. Conservation credits	___
a. Frame, Wood, Exterior	R=11.0, 1357.8 ft <sup>2</sup>	___	(HR-Heat recovery, Solar	
b. N/A		___	DHP-Dedicated heat pump)	
c. N/A		___	15. HVAC credits	CF, ___
d. N/A		___	(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		___	HF-Whole house fan,	
10. Ceiling types			PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 1024.0 ft <sup>2</sup>	___	MZ-C-Multizone cooling,	
b. N/A		___	MZ-H-Multizone heating)	
c. N/A		___		
11. Ducts				
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 40.0 ft	___		
b. N/A		___		

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_

City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar<sup>TM</sup> designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

EnergyGauge® (Version: FLRCSB v3.30)

# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

BASE				AS-BUILT						
<b>GLASS TYPES</b>										
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X	SPM X	SOF =	Points
.18	1024.0	20.04	3693.8	Double, Clear	S	2.0 7.0	36.0	35.87	0.82	1053.9
				Double, Clear	S	2.0 7.8	40.8	35.87	0.85	1237.2
				Double, Clear	W	2.0 7.0	36.0	38.52	0.88	1225.1
				Double, Clear	N	2.0 7.0	36.0	19.20	0.92	636.1
				Double, Clear	N	2.0 4.0	9.0	19.20	0.83	143.6
				<b>As-Built Total:</b>			157.8			4295.8
<b>WALL TYPES</b> Area X BSPM = Points				Type	R-Value		Area X	SPM =	Points	
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	11.0		1357.8	1.70	2308.3	
Exterior	1357.8	1.70	2308.3							
<b>Base Total:</b>				<b>As-Built Total:</b>			1357.8		<b>2308.3</b>	
<b>DOOR TYPES</b> Area X BSPM = Points				Type			Area X	SPM =	Points	
Adjacent	0.0	0.00	0.0	Exterior Insulated			20.4	4.10	83.6	
Exterior	20.4	6.10	124.4							
<b>Base Total:</b>				<b>As-Built Total:</b>			20.4		<b>83.6</b>	
<b>CEILING TYPES</b> Area X BSPM = Points				Type	R-Value		Area X	SPM X SCM =	Points	
Under Attic	1024.0	1.73	1771.5	Under Attic	30.0		1024.0	1.73 X 1.00	1771.5	
<b>Base Total:</b>				<b>As-Built Total:</b>			1024.0		<b>1771.5</b>	
<b>FLOOR TYPES</b> Area X BSPM = Points				Type	R-Value		Area X	SPM =	Points	
Slab	128.0(p)	-37.0	-4736.0	Slab-On-Grade Edge Insulation	0.0		128.0(p)	-41.20	-5273.6	
Raised	0.0	0.00	0.0							
<b>Base Total:</b>				<b>As-Built Total:</b>			128.0		<b>-5273.6</b>	
<b>INFILTRATION</b> Area X BSPM = Points							Area X	SPM =	Points	
	1024.0	10.21	10455.0				1024.0	10.21	10455.0	

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

BASE				AS-BUILT									
Summer Base Points: 13617.0				Summer As-Built Points: 13640.7									
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Cooling Points
				(DM x DSM x AHU)									
13617.0		0.4266	5809.0	13640.7		1.000		(1.090 x 1.147 x 0.91)		0.335		0.950	4933.2
				13640.7		1.00		1.138		0.335		0.950	4933.2

# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt			Area X WPM X WOF = Points			
.18	1024.0	12.74	2348.2	Double, Clear	S	2.0	7.0	36.0	13.30	1.18	564.3
				Double, Clear	S	2.0	7.8	40.8	13.30	1.13	613.0
				Double, Clear	W	2.0	7.0	36.0	20.73	1.03	770.3
				Double, Clear	N	2.0	7.0	36.0	24.58	1.00	887.9
				Double, Clear	N	2.0	4.0	9.0	24.58	1.01	223.3
				As-Built Total:			157.8			3058.7	
WALL TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Adjacent	0.0	0.00	0.0	Frame, Wood, Exterior	11.0			1357.8	3.70	5023.9	
Exterior	1357.8	3.70	5023.9								
Base Total:		1357.8	5023.9	As-Built Total:			1357.8			5023.9	
DOOR TYPES Area X BWPM = Points				Type				Area X WPM = Points			
Adjacent	0.0	0.00	0.0	Exterior Insulated				20.4	8.40	171.4	
Exterior	20.4	12.30	250.9								
Base Total:		20.4	250.9	As-Built Total:			20.4			171.4	
CEILING TYPES Area X BWPM = Points				Type	R-Value			Area X WPM X WCM = Points			
Under Attic	1024.0	2.05	2099.2	Under Attic	30.0			1024.0	2.05 X 1.00	2099.2	
Base Total:		1024.0	2099.2	As-Built Total:			1024.0			2099.2	
FLOOR TYPES Area X BWPM = Points				Type	R-Value			Area X WPM = Points			
Slab	128.0(p)	8.9	1139.2	Slab-On-Grade Edge Insulation	0.0			128.0(p)	18.80	2406.4	
Raised	0.0	0.00	0.0								
Base Total:		1139.2		As-Built Total:			128.0			2406.4	
INFILTRATION Area X BWPM = Points							Area X WPM = Points				
		1024.0	-0.59					1024.0	-0.59	-604.2	



# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

BASE				AS-BUILT									
Winter Base Points: 10257.3				Winter As-Built Points: 12155.3									
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	= Heating Points
							(DM x DSM x AHU)						
10257.3		0.6274	6435.4	12155.3		1.000	(1.069 x 1.169 x 0.93)	0.455		1.000		1.000	6423.0
				12155.3		1.00	1.162	0.455		1.000		1.000	6423.0

**WATER HEATING & CODE COMPLIANCE STATUS**

## Residential Whole Building Performance Method A - Details

ADDRESS: , HIGH SPRINGS, FL, 32643-

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X Tank Ratio	Multiplier X Credit Multiplier	= Total
1		2746.00	2746.0	40.0	0.90	1	1.00	2684.98	2685.0
				As-Built Total:					2685.0

CODE COMPLIANCE STATUS							
BASE				AS-BUILT			
Cooling Points	+ Heating Points	+ Hot Water Points	= Total Points	Cooling Points	+ Heating Points	+ Hot Water Points	= Total Points
5809	6435	2746	14990	4933	6423	2685	14041

PASS



# DISCLOSURE STATEMENT

**FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).**

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

## TYPE OF CONSTRUCTION

☐ Single Family Dwelling

☐ Two-Family Residence

☐ Farm Outbuilding

☒ Other 32' X 32'

WORKSHOP WITH 10' X 10' Bathroom

## NEW CONSTRUCTION OR IMPROVEMENT

☒ New Construction

☐ Addition, Alteration, Modification or other Improvement

I Ricky D English, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number \_\_\_\_\_

Ricky D English  
Signature

1-27-04  
Date

## FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date 1-27-04 Building Official/Representative Harry Dick

Permit No. \_\_\_\_\_

Tax Parcel No. 22-75 TT 10051-000

**COLUMBIA COUNTY NOTICE OF COMMENCEMENT**

Inst: 2004001694 Date: 01/27/2004 Time: 09:21

YKK DC, P. DeWitt Cason, Columbia County B: 1005 P: 1156

**STATE OF FLORIDA**

**COUNTY OF COLUMBIA**

**THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.**

**1. Description of property: (legal description of the property, and street address if available.)**

Begin at the northwest corner of the NW 1/4 of NW 1/4  
of Section 22, Township 7 South, Range 17 East, and Run  
East 210 FT; Thence South 210 feet, Thence West 210 feet;  
Thence North 210 feet to the point of Beginning  
22741 S. U.S. Hwy 44 High Springs Fla 32643

**2. General description of improvement:** 32' X 32' WORKSHOP  
with 10' X 10' Bathroom

**3. Owner Information:**

**A. Name and address:**

Ricky D & Mary D English  
22741 S. U.S. Hwy 44 High Springs FL 32643

**B. Interest in property:**

**C. Name and address of fee simple titleholder (if other than owner):**

**4. Contractor: (name and address)**

NONE

**5. Surety**

**A. Name and address:**

**B. Amount of bond:**

**6. Lender: (name and address)** NONE

**7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 718.13 (1) (a) 7., Florida Statutes: (name and address)**

8. In addition to himself, owner designates \_\_\_\_\_  
of \_\_\_\_\_ to receive a copy of  
the Lienor's Notice as provided in Section 713.13 (1) (a) 7., Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the  
date of recording unless a different date is specified) 1-27-05.

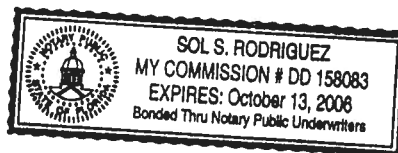
Rick P English  
(Signature of Owner)

SWORN TO and subscribed before me this 27th day of January  
19 2004.

Sol S. Rodriguez  
Notary Public Sol S. Rodriguez

(NOTARIAL  
SEAL)

My Commission Expires: 10/13/2006



8. In addition to himself, owner designates \_\_\_\_\_  
of \_\_\_\_\_ to receive a copy of  
the Lienor's Notice as provided in Section 713.13 (1) (a) 7., Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the  
date of recording unless a different date is specified) 1-27-05.

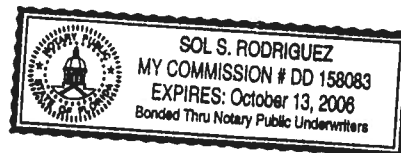
Rick D English  
(Signature of Owner)

SWORN TO and subscribed before me this 27th day of January  
19 2004.

Sol S. Rodriguez  
Notary Public Sol S. Rodriguez

(NOTARIAL  
SEAL)

My Commission Expires: 10/13/2006







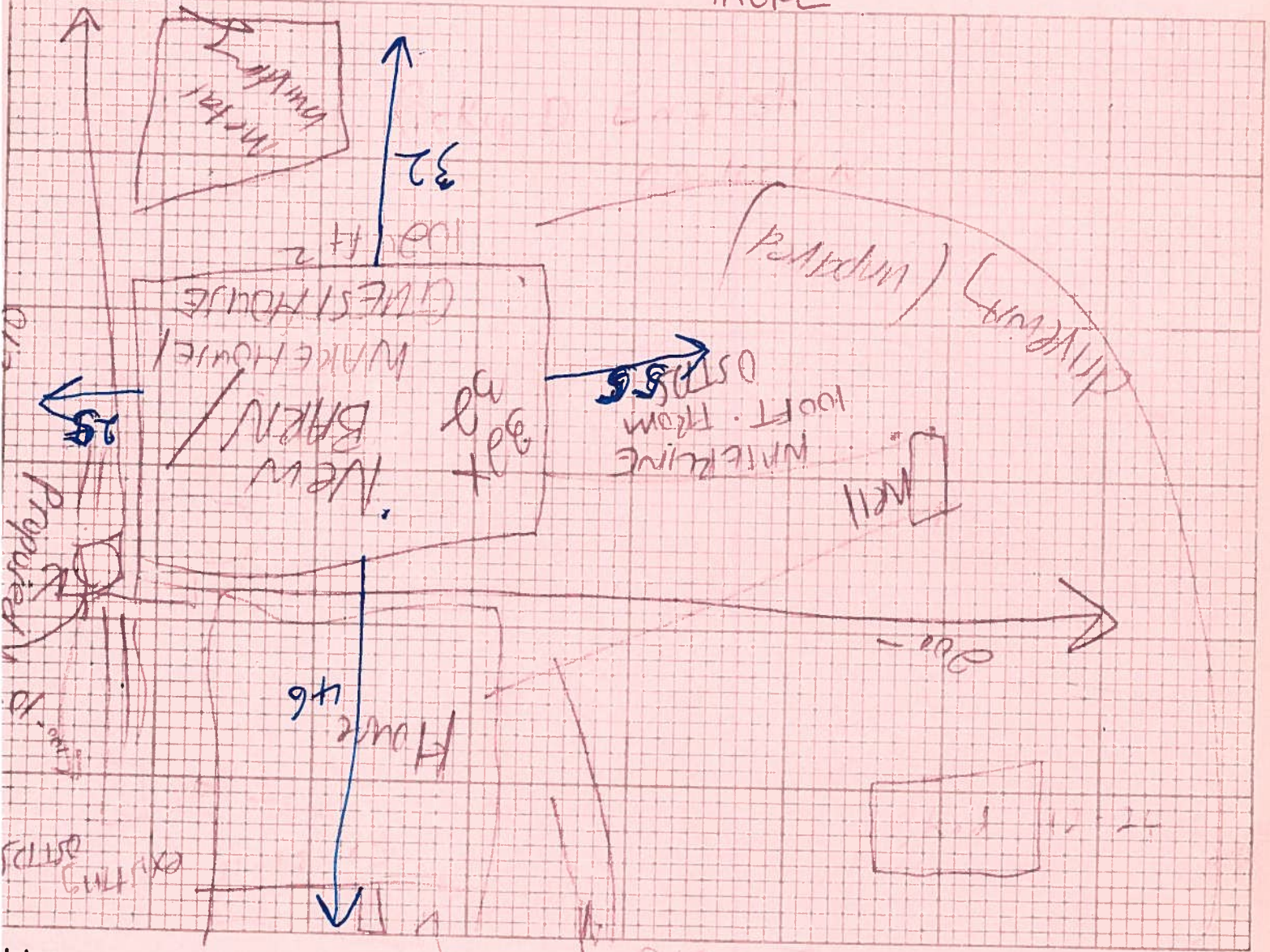
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 03-1006N

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: OSTS = 5' from home / building

Site Plan submitted by: Jack English  
Signature

Plan Approved ☒ Not Approved ☐

by JALIE A. GRADY / FSI - COLUMBIA

Title \_\_\_\_\_  
Date Nov. 12. 03  
County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

WARRANTY DEED

THIS INDENTURE, made this 25th day of January, 1996. SK 0816 PG 1551

Clarence Zinnermon, a married person

OFFICIAL RECORDS

of the County of Polk, State of

Social Security # 264-24-4226  
Social Security #  
Florida, grantor and

icky D. English and Mary D. English, his wife  
/k/a Rickey D. English

Social Security # 265-98-5782  
Social Security # 264-13-8021

whose mailing address is Rt. 2 Box 200, High Springs, Florida 32643  
of the County of Alachua, State of Florida, grantee

WITNESSETH: This said grantor, for and in consideration of the sum of TEN AND 0/100'S--Dollars, to him in hand paid by the grantee(s), the receipt whereof is hereby acknowledged, has/have granted, bargained, and sold to said grantee(s), his heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to wit:

begin at the Northwest corner of the NW1/4 of NW1/4 of Section 22, Township 7 South, Range 17 East, and run East 210 feet; thence South 210 feet; thence West 10 feet; thence North 210 feet to the Point of Beginning.

The above described land is not the homestead of the grantor.

Parcel Number: 22-7S-17-10051-000

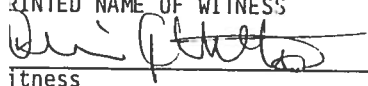
and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor(s) has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness

  
Clarence Zinnermon

Charles A. Oldham  
PRINTED NAME OF WITNESS  
  
Witness

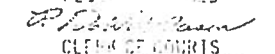
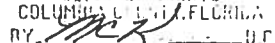
Obie J. Childs  
PRINTED NAME OF WITNESS

STATE OF FLORIDA  
COUNTY OF Polk

96-01130


FILED IN PUBLIC RECORDS  
COUNTY CLERK

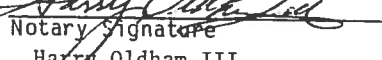
1996 JAN 26 AM 9:01

  
CLERK OF COURTS  
COLUMBIA COUNTY, FLORIDA  
BY  OF

I hereby certify that on this day before me, an officer duly qualified to take acknowledgments, personally appeared Clarence Zinnermon, a married person, known to me to be the person(s) described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form(s) of identification of the above-named person(s) Driver's license

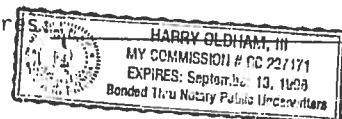
Witness my hand and official seal in the County and State last aforesaid this 15 day of January, 1996.

DOCUMENTARY STAMP \$ 126.00  
INTANGIBLE TAX  
DeWITT CASON, CLERK OF  
COURTS, COLUMBIA COUNTY  
 D.C.

  
Notary Signature  
Harry Oldham III  
Printed name of Notary

My Commission Expires

Prepared by and return to: Regional Title Company  
2015 South First Street  
Lake City, Florida 32055  
Martha Bryan By: DH





#

2/52/

## FIELD DENSITY WORKSHEET

CLIENT Rick English

DATE 3-1-04

PROJECT NO. \_\_\_\_\_

PROJECT NAME Hobby Shop 22141 US Hwy 441

PERMIT NO. 000021521

EARTH CONTRACTOR

TESTED BY H.G.

☐ Standard Proctor

COMPACTION REQUIREMENT (%) 95 ☒ Modified Proctor

FIELD CONTACT Pick

TOTAL ON-SITE TIME \_\_\_\_\_

MILES FROM OFFICE \_\_\_\_\_

☐ Limerock ☐ Subgrade ☐ Pipe Backfill ☒ Building Pad ☒ Building Footing ☐ Other \_\_\_\_\_[illegible]

REMARKS

\* Density failed to meet minimum project requirement

**\*\* Retest indicates minimum density requirement was obtained.**

( ) Client is aware of unsatisfactory test results.

# 21521

**Notice of Preventative Treatments for Termites**  
(as required by Florida Building Code (FBC) 104.2.6)

**EDWARDS PEST CONTROL, 386 454 3051**  
**241 SE HARDIN COURT, HIGH SPRINGS, FL, 32643**

2274 S. U.S. 441 High Springs FL, 32643

Address of Treatment or Lot/Block of Treatment

03-12-04  
Date

3:30pm  
Time

Sosh Edwards  
Applicator

Demon T.C.  
Product Used

Cypermethrin  
Chemical used (active ingredient)

150 gal  
Number of gallons applied

5%  
Percent Concentration

1024  
Area treated (square feet)

128  
Linear feet treated

Slab

Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

As per 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line \_\_\_\_\_.

# COLUMBIA COUNTY OFFICE OCCUPANCY

COLUMBIA COUNTY, FLORIDA

## Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 22-7S-17-10051-000

Building permit No. 000021521

Use Classification HOBBY SHOP

Fire: 0.00

Permit Holder OWNER BUILDER

Waste: 0.00

Owner of Building RICKY D. ENGLISH

Total: 0.00

Location: 22741 S US HIGHWAY 441

Date: 05/30/2006

*Sharyn Dicks*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)

# 21521

**Notice of Preventative Treatments for Termites**  
(as required by Florida Building Code (FBC) 104.2.6)

EDWARDS PEST CONTROL, 386 454 3051  
241 SE HARDIN COURT, HIGH SPRINGS, FL, 32643  
22741 S. U.S. 441, High Springs, FL 32643

Address of Treatment or Lot/Block of Treatment

07-26-05  
Date

3:00 PM  
Time

J.W. Edwards  
Applicator

Premise 75  
Product Used

Imidachloprid  
Chemical used (active ingredient)

50 gal.  
Number of gallons applied

.05  
Percent Concentration

Area treated (square feet)

Linear feet treated

Vert.  
Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

As per 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line

Jul 07-26-05