

DATE 12/14/2006

Columbia County Building Permit

PERMIT  
000025310

This Permit Expires One Year From the Date of Issue

APPLICANT JOANNE WHITEHEAD PHONE 386.755.4470  
ADDRESS 239 SE LOXLEY GLEN LAKE CITY FL 32024  
OWNER KIMBERLY BENNETT (M.H) PHONE 386.288.3055  
ADDRESS 1101 SW WATSON STREET FT. WHITE FL 32038  
CONTRACTOR DALE HOUSTON PHONE 386.752.7814  
LOCATION OF PROPERTY 47S, TL ON WATSON STREET AND IT'S 1 MILE ON THE LEFT.

TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 26-5S-16-03717-126 SUBDIVISION BIG OAKS UNRC.  
LOT 26 BLOCK PHASE UNIT TOTAL ACRES 2.50

IH0000040  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 05-1164-E CFS JTH N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident  
COMMENTS: SPECIAL FAMILY LOT. SECTION 14.9. ONE FOOT ABOVE ROAD.

Check # or Cash 0888

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel) date/app. by date/app. by  
Permanent power C.O. Final Culvert date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool date/app. by date/app. by  
Reconnection Pump pole Utility Pole date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 55.80 WASTE FEE \$ 167.50  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 498.30  
INSPECTORS OFFICE CLERKS OFFICE

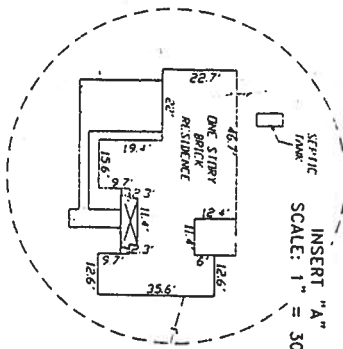
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



**S Y M B O L   L E G E N D**

- ① 4244 CONCRETE JOIST/PIR AND
- ② 4244 CONCRETE JOIST/PIR AND
- ③ IRON BOND AND CAP SET
- ④ POWER POLE
- ⑤ WATER METER
- ⑥ CENTRAL LINE
- ⑦ 50/100
- ⑧ SATELLITE DISH
- ⑨ TELEPHONE CORD AND
- ⑩ ELECTRIC LINES
- ⑪ WIRE FENCE
- ⑫ CHAIN LINK FENCE
- ⑬ WOODEN FENCE

[illegible]

CONVERSE AT THE NW CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLLEMAN COUNTY, FLORIDA AND RUN THENCE S.00°25'.48"E, 1986.42 FEET TO THE POINT OF BEGINNING THENCE N89°41'50"E, 600.28 FEET, THENCE N00°25'48"E, 181.30 FEET, THENCE S89°41'50"E, 600.28 FEET, THENCE S00°25'48"E, 101.30 FEET TO THE POINT OF BEGINNING, CONTAINING 2.50 ACRES, MORE OR LESS.

ACROSS THE FOLLOWING: THE RIGHT OF EGRESS FOR INGRESS AND EGRESS OVER AND SAID EASEMENT LIES 30 FEET TO THE RIGHT OF THE FOLLOWING DESCRIBED LINE AND SAID EXTENDED OR CONTRACT AS NEEDED TO CARRY THE BOUNDARIES HEREIN.

CONVERSE AT THE NW CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLLEMAN COUNTY, FLORIDA AND RUN THENCE S00°25'48"E, 1805.12 FEET, THENCE S00°25'48"E, 384.20 FEET TO THE POINT OF BEGINNING OF SAID LINE.

CONVERSE AT THE NW CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLLEMAN COUNTY, FLORIDA AND RUN THENCE S00°25'48"E, 1986.42 FEET TO THE POINT OF BEGINNING THENCE N89°41'50"E, 600.28 FEET, THENCE N84°22'22"E, 312.45 FEET, THENCE N00°25'48"E, 181.30 FEET, THENCE S89°41'50"E, 600.28 FEET TO THE POINT OF BEGINNING, CONTAINING 2.50 ACRES, MORE OR LESS.

THE FOLLOWING IS AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE EAST 30.00 FEET OF THE

[illegible]

JOANNE WHITEHEAD

**BRITT SURVEYING**  
LAND SURVEYORS AND MAPPERS  
830 WEST DUVAL STREET  
LAKE CITY, FLORIDA 32055  
PHONE: (904) 782-7163 FAX: (904) 782-4373  
TELEPHONE: (904) 782-7163 FAX: (904) 782-4373

TELEPHONE: (386) 752-7163 FAX: (386) 752-5573  
WORK ORDER # L-17556

**This Instrument Prepared By:**  
 Michael H. Harrell  
 Abstract & Title Services, Inc.  
 283 NW Cole Terrace  
 Lake City, Florida 32055

### NOTICE OF COMMENCEMENT

#### TO WHOM IT MAY CONCERN:

The undersigned hereby give notice that improvements will be made to certain real property and in accordance with Chapter 713, Florida Statutes, the following is provided in this Notice of Commencement:

1. Description of Property: See Exhibit "A" attached hereto and by this reference made a part thereof
2. General Description of Improvement: Construction of Dwelling
3. Owner Information:
  - a. Name and Address: Kimberly L. Bennett, 1101 SW Watson Street, Ft. White, FL 32038
  - b. Interest in property: Fee Simple
  - c. Name and address of fee simple title holder (if other than Owner): NONE
4. Contractor (name and address): Royals Mobile Homes Sales & Services, Inc., 4068 West, US Hwy 90, Lake City, FL 32055.
5. Surety:
  - a. Name and Address: N/A
  - b. Amount of Bond: N/A
6. LENDER: First Federal Savings Bank of Florida  
 4705 West US Highway 90  
 PO Box 2029  
 Lake City, FL 32056
7. Persons within the State of Florida designated by Owner upon whom notices of other documents may be served as provided in Section 713.13(1)(a)7., Florida Statutes: NONE
8. In addition to himself, Owner designates PAULA HACKER, of FIRST FEDERAL SAVINGS BANK OF FLORIDA at 4705 WEST US HIGHWAY 90 / PO BOX 2029, LAKE CITY, FL 32056, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes.
8. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

**\*Owner is used for singular or plural as context requires.**

Signed, sealed and delivered in the presence:

Cheryl Beatty  
 WITNESS Cheryl Beatty  
Traci Landrey  
 WITNESS Traci Landrey

Kimberly L. Bennett  
 Kimberly L. Bennett

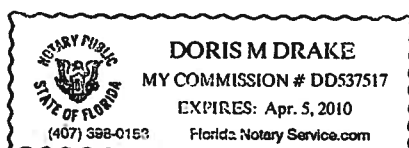
STATE OF FLORIDA  
 COUNTY OF COLUMBIA

Before me, personally appeared Kimberly L. Bennett, a single person, to me known to be the person(s) described in and who executed the foregoing instrument, and they acknowledged to and before me that they executed said instrument for the purpose therein expressed.

Witness my hand and official seal this 20<sup>th</sup> day of November, 2006.

(SEAL)

[Signature]  
 NOTARY PUBLIC



My Commission Expires:

Exhibit "A"

Parcel B

Commence at the NW Corner of Section 26, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°25'48" E, 1986.42 feet to the point of beginning; thence N 89°44'50" E, 600.38 feet; thence N 00°25'48" W, 181.30 feet; thence S 89°44'50" W, 600.38 feet; thence S 00°25'48" E, 181.30 feet to the point of beginning.

Subject to and together with an Easement for Ingress and Egress over and across the following:

Said Easement lies 30 feet to the right of the following described line;

Commence at the NW Corner of Section 26, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°25'48" E, 1805.12 feet; thence N 89°44'50" E, 600.38 feet to the point of beginning of said line; thence S 00°25'48" E, 361.20 feet to the point of termination of said line.

However, the grantors, Russell W. Whitehead, Sr. and his wife, Joanne M. Whitehead and Kimberly L. Bennett reserve to themselves, their successors and/or assigns, an Easement for Ingress and Egress over and across the East 30 feet of the above described property.

KLB

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

#25310

**For Office Use Only** (Revised 6-23-05) Zoning Official OK 12/12/06 Building Official OK JTH/12-7-06

AP# 0611-62 Date Received 11-29-06 By [Signature] Permit # 25310

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments panel 225  
14.9 special family lot permit

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer

- Property ID # 26-55-16-03717-126 Must have a copy of the property deed
- New Mobile Home X Used Mobile Home \_\_\_\_\_ Year \_\_\_\_\_
- Applicant Joanne Whitehead <sup>left message 12/13/06</sup> Phone # 386-755-4470
- Address 239 SE Loxley Glen Lake City 32024
- Name of Property Owner KIMBERLY BENNETT Phone# 386-288-3055
- 911 Address 1101 SW WATSON ST Ft Wt 32038
- Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home KIMBERLY BENNETT Phone # 386-288-3055  
Address 1101 SW WATSON ST. Ft Wt 32038
- Relationship to Property Owner SELF
- Current Number of Dwellings on Property 0
- Lot Size 180 x 360 Total Acreage 2.5
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home NO (owes)
- Driving Directions to the Property 25 S to Hwy 47. So. 8 miles to SW WATSON - LEFT. Approx 1 mile on LEFT.
- Name of Licensed Dealer/Installer Dale Houston Phone # 386-752-7814
- Installers Address 136 SW Barrs Glen Lake City FL 32024
- License Number TH00000040 Installation Decal # 269288

75

PERMIT NUMBER

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil without testing.

X \_\_\_\_\_

X \_\_\_\_\_

*Adrian 100*

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_

X \_\_\_\_\_

X \_\_\_\_\_

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb. holding capacity.

*ADP* Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

*DATE FOUND*

Date Tested

*11/27/03*

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. *39*

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. *11a*

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. *11a*

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: *4x4* Length: \_\_\_\_\_ Spacing: *Max 24"*  
Walls: Type Fastener: *Strip* Length: \_\_\_\_\_ Spacing: *12"*  
Roof: Type Fastener: *4x5* Length: \_\_\_\_\_ Spacing: *Max 24"*  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials *ADP*

Type gasket Pg. *39*

Installed: Between Floors ☒ Pg. *13*  
Between Walls ☒  
Bottom of ridgebeam ☒

Weatherproofing

The bottomboard will be repaired and/or taped. ☒ Pg. *13*  
Siding on units is installed to manufacturer's specifications. ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. ☒

Miscellaneous

Skirting to be installed ☒ Yes ☒ No ☒  
Dryer vent installed outside of skirting. ☒ Yes ☒ N/A  
Range downflow vent installed outside of skirting. ☒ Yes ☒ N/A  
Drain lines supported at 4 foot intervals. ☒ Yes ☒ N/A  
Electrical crossovers protected. ☒ Yes ☒ N/A  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature *Dele H* Date *11/27/03*



PERMIT NUMBER

Installer

Dele Houston License # EKH0000040

Address of home being installed

Manufacturer

Hobas Length x width 60x28

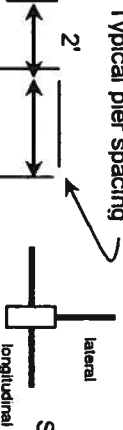
NOTE: if home is a single wide fill out one half of the blocking plan if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

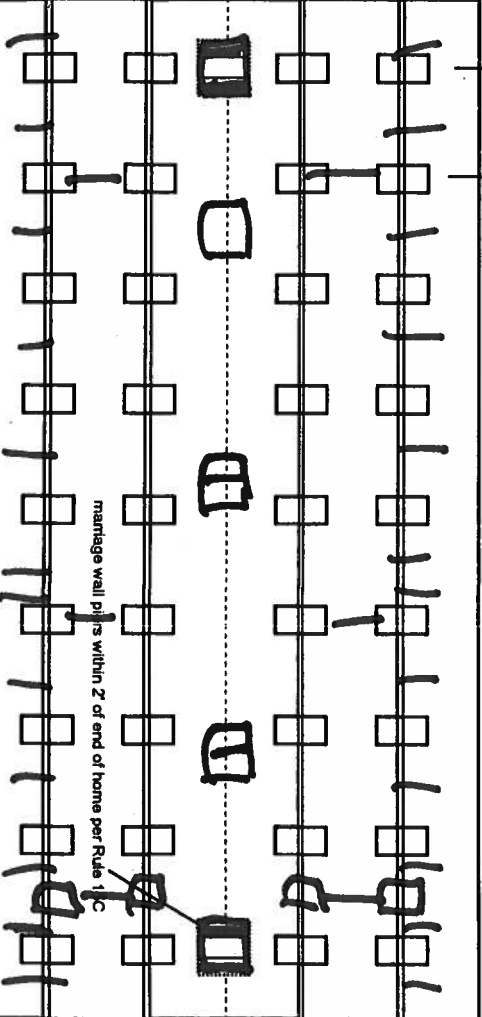
Installer's initials

DH

Typical pier spacing



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



28x60-15000011 23x31  
Pier 10 per side - 6'0011  
Marriage 12 per side 5'4011  
6-Longitudinal w/ SYSH

New Home ☒

Used Home ☐

Home installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C ☐

Single wide ☐

Wind Zone II ☒

Wind Zone III ☐

Double wide ☒

Installation Decal #

269288

Triple/Quad ☐

Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

\* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

23x31

Perimeter pier pad size

16x16

Other pier pad sizes (required by the mfg.)



Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

ANCHORS

FRAME TIES

TIEDOWN COMPONENTS

OTHER TIES

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

Oliver Technologies

Sidewall Longitudinal Marriage wall Shearwall

Number

4

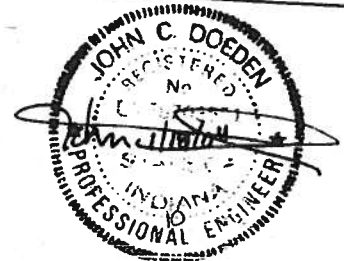
within 2' of end of home spaced at 5'4" oc

758-2160

Once you know the soil bearing capacity at the site you have selected for your home, use this chart to determine the size of footing that will be needed. Refer to pier design load charts to obtain pier spacing, location and pier load applicable to your application.

Pier Load (LBS)	Minimum Footing Size						
	Allowable Soil Bearing Capacity						
	1000 PSF	1500 PSF	2000 PSF	2500 PSF	3000 PSF	3500 PSF	4000 PSF
500	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
1000	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
1500	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
2000	18"X18"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
2500	20"X20"X4.5"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
3000	22"X22"X5"	18"X18"X4.5"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
3500	24"X24"X5.5"	19"X19"X5"	16"X16"X4.5"	16"X16"X4"	16"X16"X4"	16"X16"X4"	16"X16"X4"
4000	26"X26"X5.5"	20"X20"X5.5"	18"X18"X5"	16"X16"X4.5"	16"X16"X4.5"	16"X16"X4.5"	16"X16"X4"
4500	27"X27"X6"	22"X22"X5.5"	19"X19"X5"	17"X17"X5"	16"X16"X4.5"	16"X16"X4.5"	16"X16"X4"
5000	29"X29"X6.5"	23"X23"X6"	20"X20"X5.5"	17"X17"X5"	16"X16"X5"	16"X16"X5"	16"X16"X4.5"
5500	30"X30"X6.5"	24"X24"X6"	21"X21"X6"	18"X18"X5.5"	17"X17"X5.5"	16"X16"X5.5"	16"X16"X5"
6000	31"X31"X7"	25"X25"X6.5"	21"X21"X6"	19"X19"X6"	17"X17"X5.5"	16"X16"X5.5"	16"X16"X5"
6500	33"X33"X7"	26"X26"X6.5"	22"X22"X6.5"	20"X20"X6"	18"X18"X6"	17"X17"X5.5"	16"X16"X5.5"
7000	34"X34"X7.5"	27"X27"X7"	23"X23"X6.5"	21"X21"X6.5"	19"X19"X6"	17"X17"X6"	16"X16"X6"
7500	35"X35"X7.5"	28"X28"X7"	24"X24"X7"	21"X21"X6.5"	19"X19"X6"	18"X18"X6"	17"X17"X6"
8000	36"X36"X8"	29"X29"X7.5"	25"X25"X7"	22"X22"X7"	20"X20"X6.5"	18"X18"X6.5"	17"X17"X6"
8500	37"X37"X8"	30"X30"X7.5"	26"X26"X7.5"	23"X23"X7"	21"X21"X7"	19"X19"X6.5"	18"X18"X6.5"
9000	38"X38"X8.5"	31"X31"X8"	26"X26"X7.5"	23"X23"X7.5"	21"X21"X7"	20"X20"X7"	18"X18"X6.5"
9500	40"X40"X8.5"	32"X32"X8"	27"X27"X8"	24"X24"X7.5"	22"X22"X7"	20"X20"X7"	19"X19"X7"
10000	41"X41"X9"	32"X32"X8.5"	28"X28"X8"	25"X25"X7.5"	22"X22"X7.5"	21"X21"X7"	19"X19"X7"

Minimum 28 day concrete compressive strength 3000 psi





**SHOULD YOU PREFER TO USE PLASTIC PIER PADS, THE CHART BELOW LISTS THE NECESSARY PIER SIZES BASED UPON SOIL AND PIER LOAD CAPACITY.**

**NOTES:**

1. Pre-fabricated piers may be used as an alternate to the concrete footings specified in this manual.
2. Listed piers with a capacity meeting or exceeding the loads shown below may be substituted for the pier size listed in the set up manual.
3. The pre-fabricated pads are to be assembled and installed per the pad manufacturer installation instructions.
4. All other requirements are to be adhered to as specified in this manual.

		SOIL CAPACITY (PSF)		
		1000 -> 1999	2000 -> 2999	3000 -> 4000
SET UP MANUAL FOOTING SIZES	12" x 12"	1000 lbs	2000 lbs	3000 lbs
	13" x 13"	1174 lbs	2347 lbs	3521 lbs
	14" x 14"	1361 lbs	2722 lbs	4083 lbs
	15" x 15"	1563 lbs	3125 lbs	4688 lbs
	16" x 16"	1778 lbs	3556 lbs	5333 lbs
	17" x 17"	2007 lbs	4014 lbs	6021 lbs
	18" x 18"	2250 lbs	4500 lbs	6750 lbs
	19" x 19"	2507 lbs	5014 lbs	7521 lbs
	20" x 20"	2778 lbs	5556 lbs	8333 lbs
	21" x 21"	3063 lbs	6125 lbs	9188 lbs
	22" x 22"	3361 lbs	6722 lbs	10083 lbs
	23" x 23"	3674 lbs	7347 lbs	11021 lbs
	24" x 24"	4000 lbs	8000 lbs	12000 lbs
	25" x 25"	4340 lbs	8681 lbs	13021 lbs
	26" x 26"	4694 lbs	9389 lbs	14083 lbs
	27" x 27"	5063 lbs	10125 lbs	15188 lbs
	28" x 28"	5444 lbs	10889 lbs	16333 lbs
	29" x 29"	5840 lbs	11681 lbs	17521 lbs
	30" x 30"	6250 lbs	12500 lbs	18750 lbs
	31" x 31"	6674 lbs	13347 lbs	20021 lbs
	32" x 32"	7111 lbs	14222 lbs	21333 lbs
	33" x 33"	7563 lbs	15125 lbs	22688 lbs
	34" x 34"	8028 lbs	16056 lbs	24083 lbs
	35" x 35"	8507 lbs	17014 lbs	25521 lbs
	36" x 36"	9000 lbs	18000 lbs	27000 lbs
	37" x 37"	9507 lbs	19014 lbs	28521 lbs
	38" x 38"	10028 lbs	20056 lbs	30083 lbs
	39" x 39"	10563 lbs	21125 lbs	31688 lbs
	40" x 40"	11111 lbs	22222 lbs	33333 lbs
	41" x 41"	11674 lbs	23347 lbs	35021 lbs
	42" x 42"	12250 lbs	24500 lbs	36750 lbs
	43" x 43"	12840 lbs	25681 lbs	38521 lbs
	44" x 44"	13444 lbs	26889 lbs	40333 lbs
	45" x 45"	14063 lbs	28125 lbs	42188 lbs
		LISTED PIER LOAD CAPACITY REQUIREMENTS		

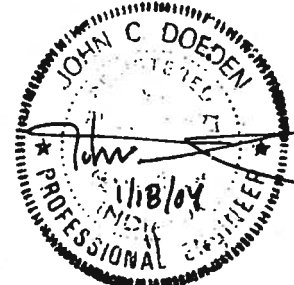


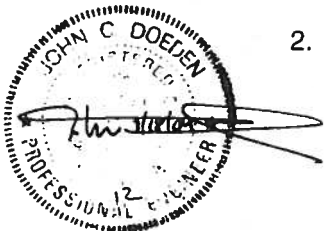
Table 2 - Pier Design Loads with No Perimeter Blocking  
Piers Located Under Main I-Beam

Unit Width (feet)	Roof Load (PSF)	Required Pier Capacity			
		Maximum Pier Spacing (feet)			
		3	4	6	8
12	20	1620	2160	3240	4320
	30	1830	2440	3660	4880
	40	2040	2720	4080	5440
14	20	1875	2500	3750	5000
	30	2115	2820	4230	5640
	40	2355	3140	4710	6280
16	20	2130	2840	4260	5680
	30	2400	3200	4800	6400
	40	2670	3560	5340	7120

Table 3 - Pier Design Loads for use with Perimeter Blocking

Unit Width (feet)	Roof Load (PSF)	Required Pier Capacity					
		Maximum Pier Spacing (feet)					
		SIDEWALLS		MARRIAGE LINE		I-BEAM	
		6	8	6	8	6	8
12	20	2100	2665	3440	4450	1810	2280
	30	2510	3210	4140	5385		
	40	2920	3760	4840	6315		
14	20	2415	3085	4070	5290	1950	2460
	30	2885	3710	4890	6385		
	40	3355	4340	5760	7475		
16	20	2615	3355	4600	6000	2055	2610
	30	3115	4020	5515	7220		
	40	3615	4690	6430	8450		

1. All Loads Listed are for piers located under the frame (Main I-Beam), except for perimeter piers in table 3.
2. When Determining pier loads for Multi-section units, calculate each section as a single unit.



# Pier Design Loads at Marriage Line (Multi Section Units)

TABLE 4

Unit Width (feet)	Roof Load (PSF)	Minimum Pier Capacity (pounds)			
		Maximum Marriage Wall Opening (feet)			
		5	10	15	20
24	20	1395	2370	3350	4325
	30	1790	3080	4370	5660
	40	2155	3730	5310	6885
28	20	1590	2720	3855	4985
	30	2055	3550	5050	6545
	40	2480	4315	6150	7985
32	20	1750	3010	4270	5530
	30	2275	3940	5610	7280
	40	2790	4800	6850	8895

Example: 28 foot section width  
30 psf roof live load  
18 foot wide marriage wall opening

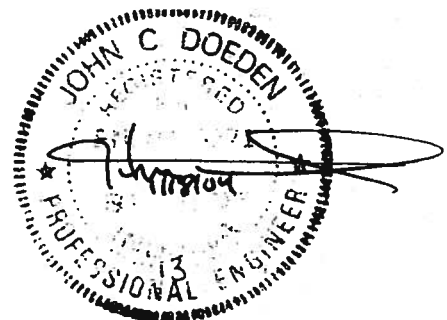
Follow down the "Unit width" column to 28 feet. Follow across to 30 psf in the Roof load column. Since the marriage wall opening is 18 feet wide, follow across to the column headed 20. (For any opening width that is not shown, use the next highest number on the chart.) The required pier capacity is 6545 lbs.

**Pier Construction** - The most important part of the foundation is proper pier installation. Incorrect size, location or spacing may cause serious structural damage to your home. In addition, other problems such as sagging floors, walls and doors will not open and close securely.

Piers may be concrete blocks, adjustable metal stands, or prefabricated concrete piers. Metal stands & prefabricated piers shall be listed or labeled for the required load capacity.

The base of the pier must be relatively wide with respect to the height when supporting the home. The metal pier should be high enough so that the riser will only be extended 2" - 3" when in place. This may be accomplished by adding blocking under the base to adjust the height. The pier should have a pad placed under the pier to minimize setting or tipping. These pads shall be at least 16" x 16" x 4" or larger if the soil is particularly soft or unstable.

Piers shall be located under the main I-Beams. In addition to these piers, double wides shall have additional piers under the marriage wall at openings greater than 4'-0" and at support columns. Both double and single homes shall have piers at each side of door openings, recessed entries, patio or chateau doors and bay window openings.



**Foundations-** Your home will require support and tiedowns to resist snow and windloads. Support will keep home level, while anchoring is required to keep your home from sliding and/or overloading.

We have provided one design for your foundation and anchoring system. If your Dealer or Contractor deviates from our specifications, such as installations over a basement or installations at heights greater than those addressed in this manual, it is your responsibility to assure that the foundation is designed by a Professional Engineer or Registered Architect.

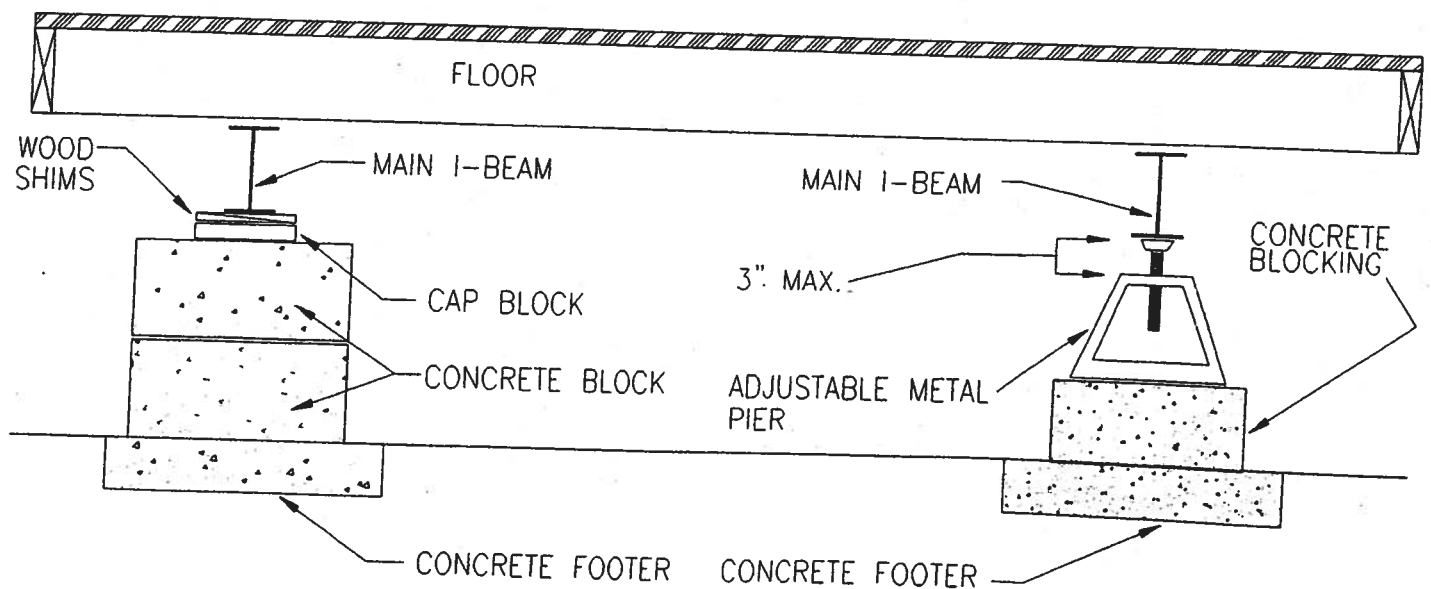
**Pier Design Loads** - In order to properly size your support piers and footings, a design load must be determined. Each pier will have an individual design load which may be determined by Tables 2, 3, and 4. To determine a design load, you need to know your homes width ( or half width for multiple sections), the roof load, and pier spacing under a marriage wall opening.

### Footings and Foundations

Footings carry and distribute the weight of the home, which is transmitted to them, through the piers, to the soil.

The bottom of the footings must be below the frost line in areas where the soil is subject to freezing and thawing. Footings must be supported on undisturbed soil or compacted fill having a minimum bearing capacity of 1000 PSI (Undisturbed soil is soil that has it's natural compaction, has not been tilled in the last five years and has all organic material removed.)

Sixteen wide homes with 2 x 8 floor joists spaced at 24" on center, and certain other floor framing conditions, may require perimeter blocking. Perimeter blocking must be spaced a maximum of 8"0" on center. Pier spacing under the I-Beams will remain as required in this manual. Blocking of openings such as doors, recessed entries or other openings 4"0" or more is also still required. Check the data plate located on the inside of the cabinet door below the kitchen sink for the following statement: "This Home Requires Perimeter Blocking."

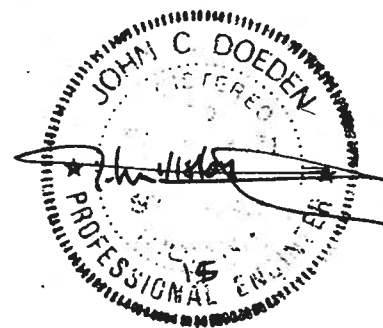


Example Support Piers and Support Footers

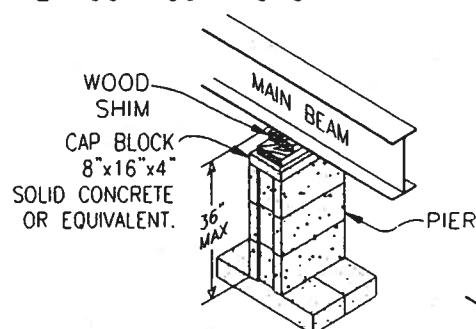
Pie

The following rules for pier placement are:

1. Blocking is required on each side of all wall openings greater than 48 inches.
2. Blocking is required at all exterior doors.
3. Reference pages 10, 12 and 13 for footer requirements.
4. Blocking is recommended under large fireplaces.
5. Blocking is recommended at each end of large bay windows.

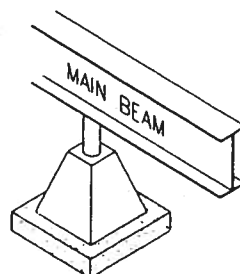


### PIER CONFIGURATIONS



SINGLE BLOCKS, DRY STACKED  
MAX HEIGHT 36"

NOTE: 4" x 6" WOOD SHIMS  
MUST BE DRIVEN IN TIGHTLY  
AND MUST NOT OCCUPY MORE  
THAN 1" OF VERTICAL SPACE

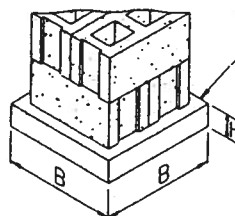


STEEL OR CONCRETE PIERS  
LISTED OR LABELED FOR THE REQUIRED  
LOAD CAPACITY AND MAXIMUM HEIGHT

PIER HEIGHTS OVER 80" IN HEIGHT SHALL BE DESIGNED AND CONSTRUCTED PER DRAWINGS  
AND SPECIFICATIONS OF A REGISTERED ENGINEER OR REGISTERED ARCHITECT.

### FOOTINGS:

REFER TO PAGE 10 FOR MINIMUM SIZE OF FOOTING

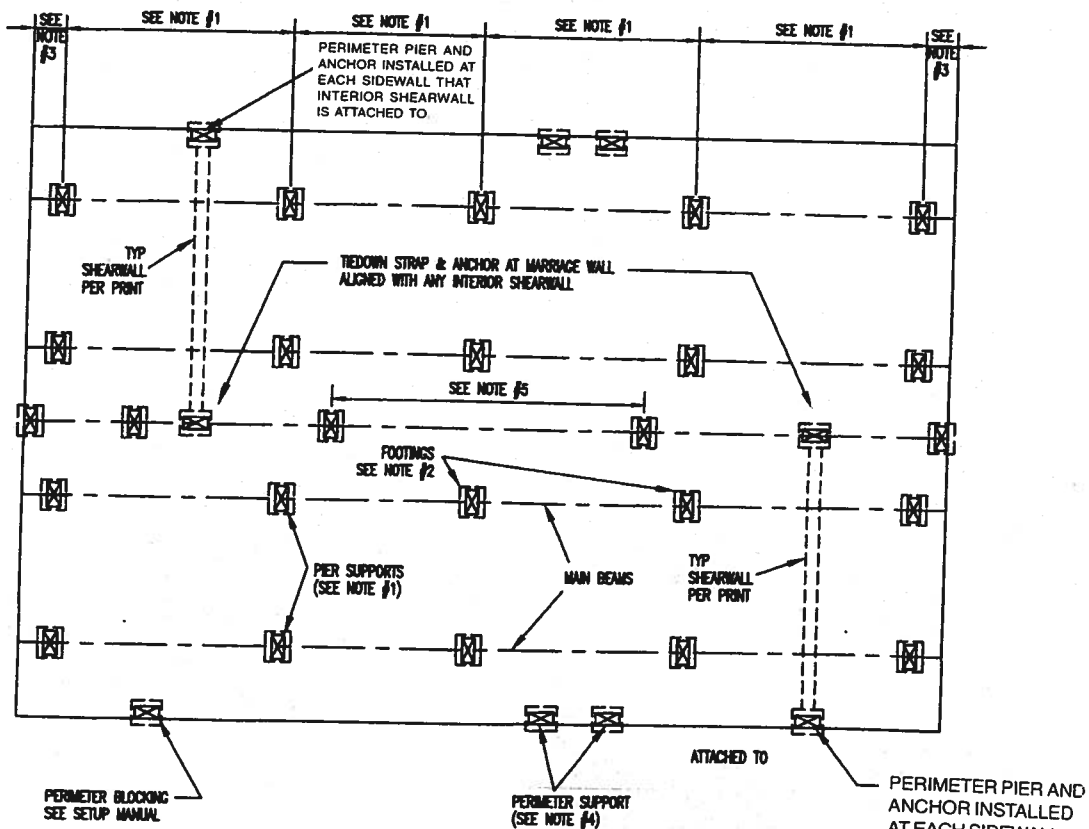
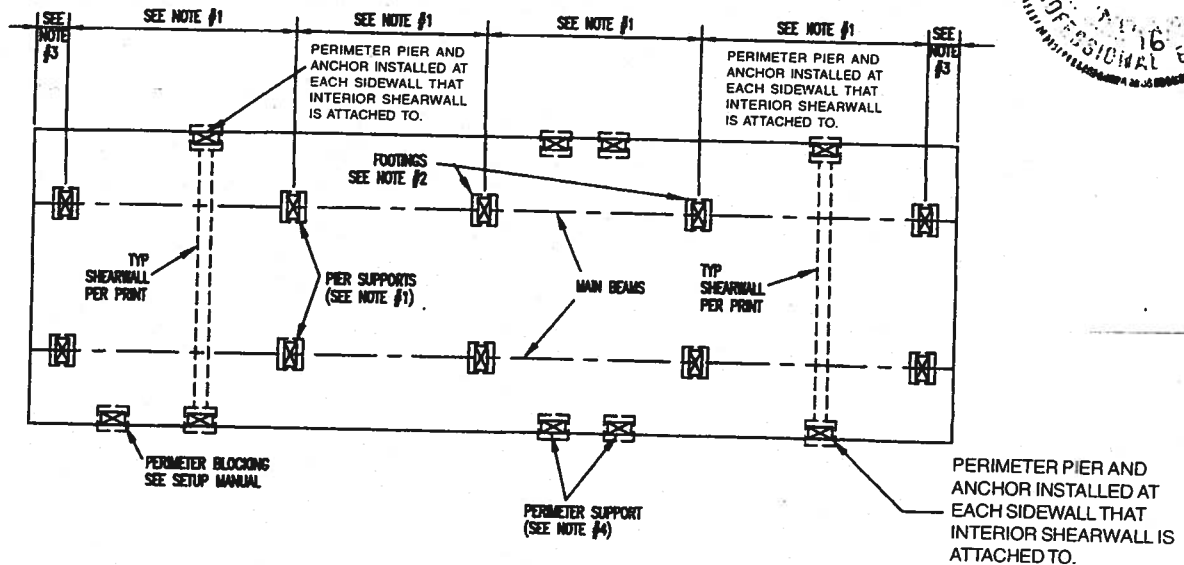
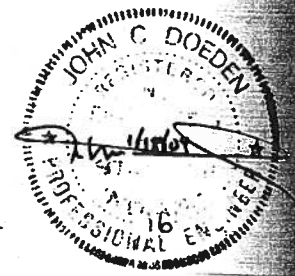


CONCRETE CAST IN PLACE MINIMUM COMPRES-  
SIVE STRENGTH 3000 PSI (28 DAY)  
OPTION SOLID CONCRETE BLOCK IF MINIMUM  
SIZE ON PAGE 10 AND 3000 PSI MINIMUM COM-  
PRESSIVE STRENGTH

### Typical Pier Construction Details

**Pier Spacing** - Pier spacing shall not exceed 8'-0". Refer to pages 16 and 18 for pier layouts.

# REQUIRED PIER LAYOUT SINGLE & DOUBLE WIDE WIND ZONES I, II & III

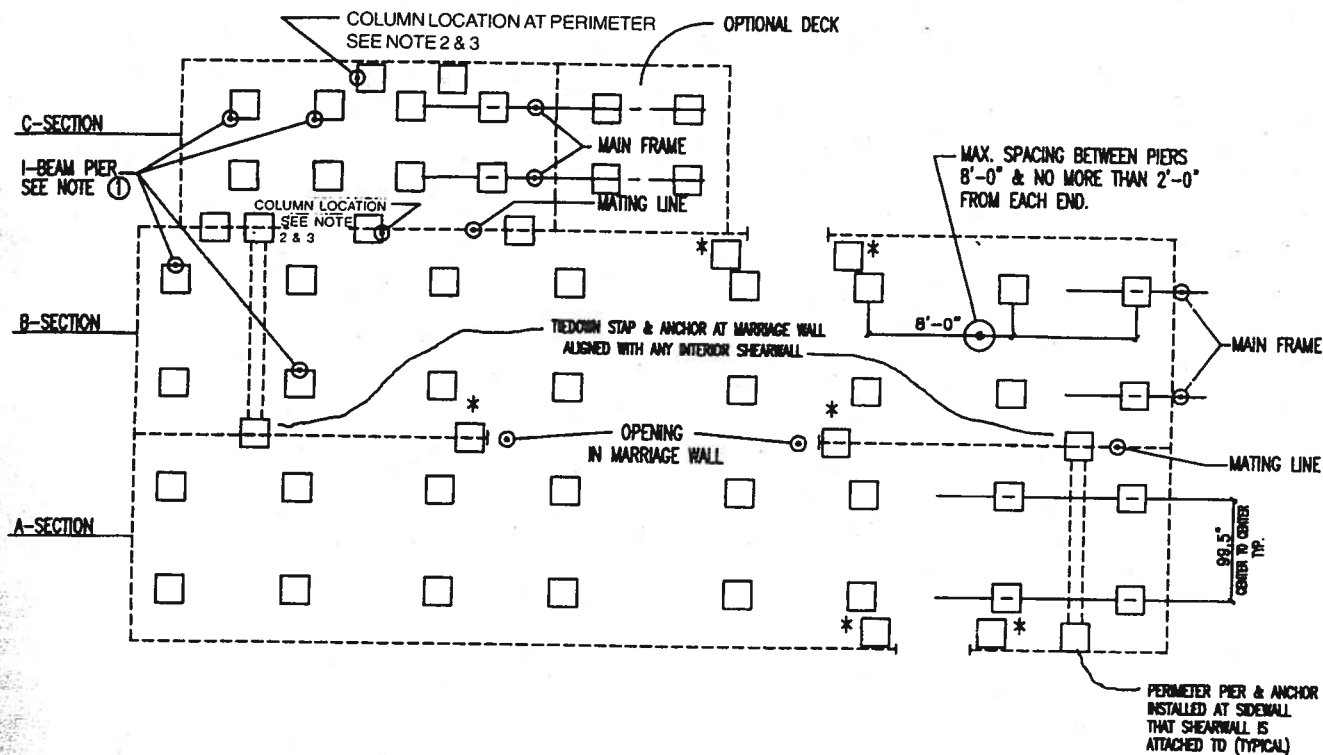


## NOTES:

1. See pages 10,12 and 13 for required pier capacity and spacing.
2. See page 10 manual for footing requirements.
3. Piers shall be located at a maximum of 2 feet from each end.
4. Piers shall be located at each side of each perimeter opening (4) feet or wider in width. This will include doors, windows, recessed entries, porches, etc.
5. See page 13 for pier capacities at marriage line openings.
6. Piers shall be installed at each interior shearwall location as indicated above.



# REQUIRED PIER LAYOUT TRIPLE WIDE WIND ZONE I, II & III

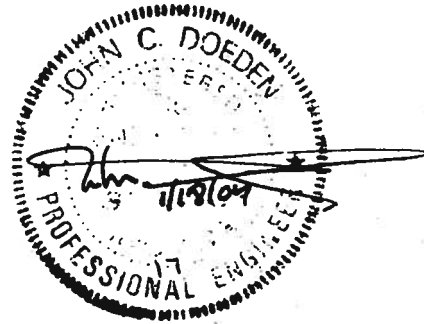


1. See required footer size for "Standard Footing Loads".
2. When opening or window occurs at center line, place pier at each side of opening or window.
3. Tag column at mateline & perimeter = size 21" X 21" min.

\*Additional piers required under marriage and exterior walls openings greater than 4'-0".

\*Roof live load - 20 PSF - roof dead load - 10 PSF.

\*Floor live load - 40 PSF - floor dead load - 10 PSF



## Setting the Home

### Single Wide

1. Position your home in its desired final location. **WARNING** - The home weighs several thousand pounds. Adequate support blocking must be used to safeguard all personnel and the home structure during the installation process. Personnel must not be permitted to work under the home where they might become injured should the home shift or fall during the installation process.
2. Roughly level the home using the hitch jack at the front of the unit.
3. Starting with one side, place the first jack just forward of the front spring shackle under the main I-beam and the second jack behind the axles under the main I-beam. Additional jacks should be spaced along the main I-beam and operated simultaneously.
  - **DURING LEVELING, CARE MUST BE TAKEN TO AVOID DISTORTING THE HOME. EXCESSIVE AND/OR NON-UNIFORM JACKING DURING THE LEVELING WILL CAUSE THE HOME TO BE RACKED AND TWISTED. THIS MAY RESULT IN DAMAGE TO THE HOME.**
4. Install piers on this side until you have at least one pier not over 2'-0" from each end and not over 8'-0" center to center thereafter.
5. Next, lift the other main I-beam and "ROUGH" level by placing piers directly opposite those placed on the first side.
6. Complete the "ROUGH" leveling by adjusting supports as required.
7. Additional piers should be placed under floor joists located under heavy furniture or appliances.
8. Adjust the final height of the home foundation support using a level inside the home from front to rear and side to side to obtain a "FINAL LEVEL" throughout the home.
9. Connect all tiedown straps to ground anchors in accordance with the ground anchor manufacturers instructions. Tiedown requirements are dictated by the wind zone requirements for the area where the home is being set. A recommended spacing is included in this book. Tiedown straps must be tightened alternately on opposite sides to avoid disturbing the set-up of the home.
10. **CAUTION:** For gas, electrical, water, etc., hook-ups see double wide set-up instructions.
11. **CAUTION:** All utility connections shall be made by qualified service personnel who are familiar with local and manufactured housing requirements.
12. A recheck of level and piers should be made after approximately thirty days in case some settling occurs.
13. **NOTE:** If a dryer is installed, refer to page 38.
14. There are times when the bottom board of your home may become torn or cut for various reasons. In such cases we require that such places be patched. (See Appendix M).
15. Remove all shipping blocks and clips from appliances, windows, and doors. Install fixtures, shelves or other loose items packaged or attached for shipment.
16. Examine exterior siding, windows, doors, appliance intakes and exhausts and/or any seams, joints, penetrations, etc. to insure their resistance to the elements have not been compromised during transportation or set-up.

### Multi Wide

1. Position your home in its desired final location. **WARNING** - The home weighs several thousand pounds. Adequate support blocking must be used to safeguard all personnel and the home structure during the installation process. Personnel must not be permitted to work under the home where they might become injured should the home shift or fall during the installation process.
2. Roughly level the home using the hitch jack at the front of the unit.

3. Starting with one side, place the first jack just forward of the front spring shackle under the main I-beam and the second jack behind the axles under the main I-beam. Additional jacks should be spaced along the main I-beam and operated simultaneously.

- DURING LEVELING, CARE MUST BE TAKEN TO AVOID DISTORTING THE HOME. EXCESSIVE AND/OR NON-UNIFORM JACKING DURING THE LEVELING WILL CAUSE THE HOME TO BE RACKED AND TWISTED. THIS MAY RESULT IN DAMAGE TO THE HOME.

4. Install piers on this side until you have at least one pier not over 2'-0" from each end and a maximum of 8'-0" center to center thereafter.

5. Next, lift the other main I-beam and "ROUGH" level by placing piers directly opposite those placed on the first side.

6. Complete the "ROUGH" leveling by adjusting supports as required.

7. Additional piers shall be placed under all ridgebeam columns and marriage wall openings over 4'-0". Additional piers should be placed under floor joists located under heavy furniture or appliances.

8. Adjust the final height of the home foundation support using a level inside the home from front to rear and side to side to obtain a "FINAL LEVEL" throughout the first section. Anchors that may be required along the marriage line should be installed at this time.

- BEFORE MOVING THE NEXT SECTION ALONGSIDE THE FIRST, REMOVE ALL WEATHER-PROOFING AND BRACING FROM THE MARRIAGE WALL OF EACH UNIT THAT WILL PREVENT A TIGHT MARRIAGE LINE FIT. BRACING INSIDE OPENINGS IN THE MARRIAGE LINE MAY BE REMOVED AFTER THE UNITS ARE LEVEL AND TIED TOGETHER.

9. Place the second section alongside the first. Locate the utility crossover points for electrical circuits, water lines, or in-ceiling heat ducts. Insert these utilities into their respective raceways and junction boxes as the sections are pushed together. (See pages 27, 28, 29 and 37.)

10. Using hydraulic jacks, come-a-longs, rollers and/or skid boards move the sections together. With the two sections together, but with no fasteners installed, check the alignment of the floor, end walls, roof and interior walls.

11. The objective at this point is to bring the floors together, flush inside the home, keeping the roof slightly apart. The endwalls should also be aligned at the floor. Install piers and shims along the inside main I-beam. Secure the floors together as shown on page 22.

12. It is imperative that an effective marriage line seal is provided. To accomplish this we have installed a marriage wall gasket at the factory, that will seal the floor, endwalls and ceiling line when the home is properly positioned. Care must be exercised not to damage this gasket during the process of removing the close-up shipping plastic and while placing the sections of the home together. Additionally, homes located in Wind Zones 2 and 3 require the installation of a "wide marriage line closure tape" at the floor and endwalls (this product is provided for your convenience).

13. Close the gap in the ceiling by raising the outside main I-beam using hydraulic jacks. Place one ahead and one behind the wheel area, with others spaced as needed.

14. IF THE TOP MUST MOVE FORWARD - With the frame support beams evenly supported, carefully raise the outside rear corner of the second section (and lower the outside front corner) with the hydraulic jacks. The roof should shift forward until the ends are flush at the top. When the walls are flush, raise the outside support frame beam evenly to close the gap between the units.

15. IF THE TOP MUST BE MOVED BACKWARD - With the frame support beams evenly supported, carefully raise the outside front corner of the second section (and lower the outside rear corner) with the hydraulic jacks. The roof should shift back until the ends are flush at the top. When the walls are flush, raise the outside support frame beam evenly to close the gap at the top.

16. Adjust the final height of the second section foundation support using a level inside the home from front to rear

and side to side to obtain a "FINAL LEVEL" throughout the second section.

- IT IS IMPORTANT TO HAVE THE CEILING FLUSH AT THE SEAM INSIDE THE UNIT BEFORE THE ROOF IS TOTALLY FASTENED. ONE PERSON SHOULD WORK INSIDE TO RAISE THE LEAK SIDE, BY JACKING AS REQUIRED. PLACE THE BASE OF THE JACK ACROSS THE FLOOR SEAM TO DISTRIBUTE THE LOAD TO BOTH SECTIONS. JACK AGAINST THE CEILING ONLY IN AREAS TO BE COVERED WITH TRIM/FINISH MATERIALS.

17. When the sections are in place, aligned and leveled; complete the fastening of the ridge beams following detail on page 22. For gaps between the ridge beams up to a maximum of 1 1/2" in width, shim tight with washers (at fastener locations) and use fasteners that are increased in length equivalent to the thickness of the shim used.

Gaps up to 1 1/2" are acceptable on endwalls or floors, but shall be filled with continuous lumber (not shims). Fasteners of adequate length must be used.

18. Finish the home at the ridge. Following the details on page 22 for shingle roofs or appendix "L" for homes with metal roofs. **NOTE:** Protective coverings may have been applied to the roof of the home for shipping. The coverings are to be removed when the home is set-up. Fasteners, that were used to secure the protective covering, are to be removed and their holes are to be filled with an appropriate roof sealant.
19. For homes with more than two sections, repeat steps 9 thru 18. For connection of floors, walls and roof on triple wides see Appendix D.
20. Siding at ends of the home are to be installed per appendix "A" or "B".
21. Remove all shipping blocks and clips from appliances, windows and doors. Install fixtures, shelves or other loose items packaged or attached for shipment.
22. Complete utility interconnections between sections. **CAUTION:** All utility connections shall be made by qualified service personnel familiar with local and manufactured housing requirements.
23. Interior Trim: Double wide units will need to have the marriage walls and ceilings trimmed after both units are set and fastened together. Materials required for this should be in one of the units. Rough openings along the marriage wall are constructed with up to one inch larger openings than required for the actual fixture (doors, etc.), to facilitate set-up. Shim openings as needed for proper fit.
24. Inspect exterior siding, windows, doors, appliance intake and exhaust or any seams, joints, penetrations, etc. to ensure their resistance to the elements has not been compromised during transportation or set-up.
25. For inter-connection of the model T-100 (T-shaped triple wide), follow the endwall-to-endwall fastening listed on page 22 for the fastening of sidewall-to-endwalls on this triple wide.

## Ventilation of Skirting

Although not required, skirting is highly recommended. It will assist your home in withstanding high and low variations in outside temperatures. Skirting is useful for weather protection and provides a barrier against uncontrolled air movement underneath the home.

Before skirting is installed, the bottom board should be closely inspected for damage which may have occurred as a result of highway movement, road hazards or set-up.

Openings, splits or tears in the bottom board must be repaired. Inspection and service should be executed during set-up, by the set-up crew.

If the home is perimeter skirted, ventilation of the basement area (crawl space) is required. Vents should provide a clear ventilation area of one square foot per 100 square feet of basement area. Vents should be placed to provide maximum effectiveness (no unventilated pockets). Failure to provide adequate ventilation may allow moisture to collect under the home. Excessive moisture underneath the home can increase infiltration of moisture into the home, possibly causing damage to floors, walls and interior finishes.

## AVOIDING MOISTURE PROBLEMS:

### Ground Moisture Control

We highly recommend that a layer of 6-mil polyethylene plastic, or similar material be used to fully cover the ground under the home to form a vapor retarder and reduce water infiltration into your home.

- **Properly sized cooling equipment in humid climates**

The equipment should be sized to closely match the design load. Over sizing of cooling equipment in conjunction with excessive blower speed will result in frequent cycling of the equipment and high energy bills. Additionally, over sizing of equipment reduces the equipment's ability to de-humidify the air, resulting in an uncomfortable environment.

- **Make sure the air conditioner condensate line is properly trapped and terminates outside of the skirting**

An improperly trapped line will not function properly. Air will be drawn in through the condensate line and prevent drainage. Condensate water will overflow onto the floor often resulting in damage under the air handler.

- **Seal the marriage wall completely with a non-porous foam seal.**

Foam seal must be placed along the inside edge of the ceiling line, along the floor and end walls to form a continuous "ring". Using a fiberglass or incomplete gasket will not prevent air and moisture from infiltrating into the home and wall cavities.

- **Be sure that any tears in the bottom board material are durably sealed.**

Moisture from the ground will find its way into the floor cavity through tears in the bottom board, adding to the house moisture and condensing on cold surfaces such as air conditioning ducts. Seal any holes made in the bottom board and insulate refrigerant lines and seal both at the bottom board and at the equipment closet floor. Easy to use latex foams may be used for this task.

- **Leave no metal surfaces exposed when installing the cross-over duct.**

When the air conditioner is operating, exposed metal duct will become cold and condense moisture from the air that will drip into the cross-over duct insulation layer. Be sure ducts and splitter boxes are off the ground, well sealed and insulated.

- **Make sure the dryer exhaust duct is supported and installed correctly.**

Like a drain-pipe, the dryer exhaust duct needs to slope downhill and be supported. Water can easily condense inside this duct, blocking airflow (which is a fire hazard) and tear the duct allowing moisture to seep under the home.







# COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. \* P. O. Box 1787 \* Lake City, FL 32056-1787  
PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

Kim

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

**DATE ISSUED:** November 07, 2005

**ENHANCED 9-1-1 ADDRESS:**

1101 SW WATSON ST (FORT WHITE, FL 32038)

**Addressed Location 911 Phone Number:** NOT AVAIL.

**OCCUPANT NAME:** NOT AVAIL.

**OCCUPANT CURRENT MAILING ADDRESS:** \_\_\_\_\_

**PROPERTY APPRAISER PARCEL NUMBER:** 26-5S-16-03717-126

**Other Contact Phone Number (If any):** \_\_\_\_\_

**Building Permit Number (If known):** \_\_\_\_\_

**Remarks:** LOT 26 BIG OAK UNREC S/D

**Address Issued By:** \_\_\_\_\_

Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

COLUMBIA COUNTY  
9-1-1 ADDRESSING  
APPROVED

# Columbia County Property Appraiser

DB Last Updated: 11/20/2006

Parcel: 26-5S-16-03717-127

## 2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

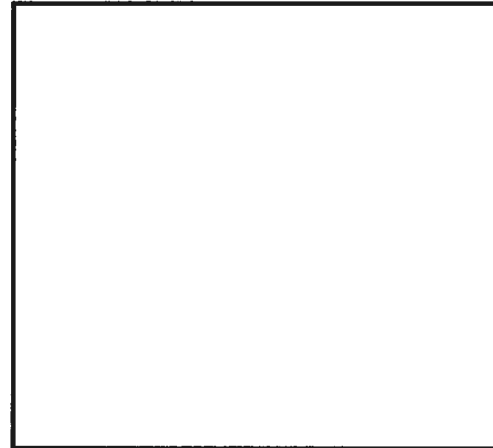
Print

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	WHITEHEAD RUSSELL W SR &		
<b>Site Address</b>			
<b>Mailing Address</b>	JOANNE M 239 SE LOXLEY GLEN LAKE CITY, FL 32024		
<b>Use Desc. (code)</b>	NO AG ACRE (009900)		
<b>Neighborhood</b>	26516.01	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA02	<b>Market Area</b>	02
<b>Total Land Area</b>	5.010 ACRES		
<b>Description</b>			

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$40,080.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$40,080.00

<b>Just Value</b>	\$40,080.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$0.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$0.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
10/31/2006	1101/821	WD	V	U	06	\$34,000.00
12/6/2005	1067/1843	WD	V	U	04	\$100.00
6/22/2005	1052/743	CD	V	U	01	\$25,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	5.010 AC	1.00/1.00/1.00/1.00	\$8,000.00	\$40,080.00

Columbia County Property Appraiser

DB Last Updated: 11/20/2006

1 of 1

Prepared by:  
 Michael H. Harrell  
 Abstract & Title Services, Inc.  
 283 NW Cole Terrace  
 Lake City, Florida 32055

ATS# 16105

**Warranty Deed**

Individual to Individual

Inst:2006026019 Date:11/01/2006 Time:15:12

Doc Stamp-Deed : 175.00

S. F. DC, P. DeWitt Cason, Columbia County B:1100 P:2325

THIS WARRANTY DEED made the 23rd day of October, 2006, Russell W. Whitehead, Sr., and his wife, Joanne M. Whitehead and Russell Whitehead, Jr., A Single Person, and Kimberly L. Bennett, A Single Person, hereinafter called the grantor, to Stephen Seraballs whose post office address is: PO Box 848, Snohomish, WA 98291 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# P/O 26-5S-16-03717-126

See Exhibit "A" attached hereto and by this reference made a part hereof.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Cheryl Beatty  
 Witness:

Cheryl Beatty  
 Printed

Traci Landry  
 Witness:

TRACI LANDRY  
 Printed

Russell W. Whitehead, Sr.  
 Russell W. Whitehead, Sr.

Joanne M. Whitehead  
 Joanne M. Whitehead

Russell Whitehead, Jr.  
 Russell Whitehead, Jr.

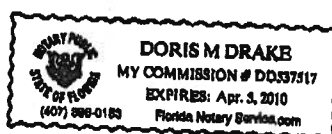
Kimberly L. Bennett  
 Kimberly L. Bennett

STATE OF FLORIDA  
 COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 23rd day of October, 2006 by RUSSELL W. WHITEHEAD, SR., AND HIS WIFE, JOANNE M. WHITEHEAD AND RUSSELL WHITEHEAD, JR. A SINGLE PERSON, AND KIMBERLY L. BENNETT, A SINGLE PERSON, personally known to me or, if not personally known to me, who produced Adversity License for identification and who did not take an oath.

(Notary Seal)

[Signature]  
 Notary Public



Prepared by:  
Michael H. Harrell  
Abstract & Title Services, Inc.  
283 NW Cole Terrace  
Lake City, Florida 32055

ATS# 16105

## Warranty Deed

Individual to Individual

Inst:2006026370 Date:11/06/2006 Time:15:15

Doc Stamp-Deed : 238.00

J. P. DC, P. DeWitt Cason, Columbia County B:1101 P:821

THIS WARRANTY DEED made the 31<sup>ST</sup> day of October, 2006, Russell W. Whitehead, Sr., and his wife, Joanne M. Whitehead and Russell Whitehead, Jr., A Single Person, and Kimberly L. Bennett, A Single Person, hereinafter called the grantor, to Russell W. Whitehead, Sr. and his wife, Joanne M. Whitehead, whose post office address is: 239 SW Loxley Glen, Lake City, FL 32024 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# P/O 26-5S-16-03717-126

See Exhibit "A" attached hereto and by this reference made a part hereof.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Cheryl Beatty  
Witness: Cheryl Beatty

Printed

Traci Landay

Witness:

TRACI LANDAY

Printed

Russell W. Whitehead, Sr.  
Russell W. Whitehead, Sr.

Joanne M. Whitehead  
Joanne M. Whitehead

Russell Whitehead, Jr.  
Russell Whitehead, Jr.

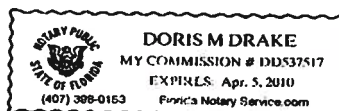
Kimberly L. Bennett  
Kimberly L. Bennett

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 31<sup>ST</sup> day of October, 2006 by RUSSELL W. WHITEHEAD, SR., AND HIS WIFE, JOANNE M. WHITEHEAD AND RUSSELL WHITEHEAD, JR. A SINGLE PERSON, AND KIMBERLY L. BENNETT, A SINGLE PERSON, personally known to me or, if not personally known to me, who produced a drivers license for identification and who did not take an oath.

(Notary Seal)

Doris M. Drake  
Notary Public



*parents  
5 acres*

**Exhibit "A"**

**Parcel A**

Commence at the NW Corner of Section 26, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°25'48" E, 1441.02 feet to the point of beginning; thence continue S 00°25'48" E, 364.10 Feet; thence N 89°44'50" E, 600.383 feet; thence N 00°25'48" W, 364.10 feet; thence S 89°44'51" W, 600.37 feet to the point of beginning.

Together with an Easement for Ingress and Egress over and across the following:  
Said easement lies 30 feet to the right of the following described line;

Commence at the NW Corner of Section 26, Township 5 South, Range 16 East, Columbia County, Florida and run thence S 00°25'48" E, 1805.12 feet; thence N 89°44'50" E, 600.38 feet to the point of beginning of said line; thence S 00°25'48" E, 361.20 feet to the point of termination of said line.

However, the grantors, Russell W. Whitehead, Sr. and his wife, Joanne M. Whitehead and Kimberly L. Bennett reserve to themselves, their successors and/or assigns, an easement for Ingress and Egress over and across the East 30 feet of the above described property.

Inst:2006026370 Date:11/06/2006 Time:15:15

Doc Stamp-Deed : 238.00

\_\_\_\_\_, DC, P. DeWitt Cason, Columbia County B:1101 P:822

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@ CAM110M01      CamaUSA Appraisal System      Columbia County
11/29/2006 10:03  Property Maintenance          22500 Land 001
Year T Property                               Sel          AG 000
2007 R 26-5S-16-03717-126                      135750 Bldg 001
Owner WHITEHEAD RUSSELL W SR &                  1520 Xfea 001
Addr JOANNE M & RUSSELL W JR &                  159770 TOTAL B
KIMBERLY L BENNETT                               2.500 Total Acres
239 SE LOXLEY GLN                                Retain Cap? Renewal Notice
City,St LAKE CITY FL Zip 32024 N
Country (PUD1) (PUD2) (PUD3) MKTA02

Appr By HCTW Date 7/17/2006 AppCode UseCd 000100 SINGLE FAMILY
TxDist Nbhd MktA ExCode Exemption/% TxCode Units Tp
003 26516.01 02
BIG OAKS
House# Street MD Dir #
- City
Subd N/A Condo .00 N/A
Sect 26 Twn 5S Rnge 16 Subd Blk Lot
Legals AKA LOT 26 BIG OAKS UNREC: COMM NW COR SEC, RUN S 1441.02
FT FOR POB, RUN S 735.83 FT TO N LINE CARL EDWARDS RD, RUN +
Map# Mnt 9/01/2006 PINKY
F1=Task F2=ExTx F3=Exit F4=Prompt F11=Docs F10=GoTo PgUp/PgDn F24=More

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# Assignment of Authority

I, Dale Houston, License # IH0000040 do hereby authorize Joanne Whitehead  
to act on my behalf in all aspects of pulling a move on permit.

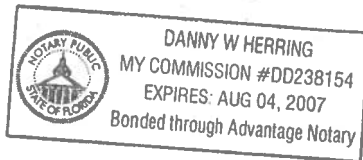
Sworn and Subscribed before me this 29th day of November,  
2006. County of Columbia, State of Florida.

Signature Dale Hld

Date 11/29/06

Notary Danny W. Herring

Commission Expires 8/04/07



**COLUMBIA COUNTY**  
**OFFICIAL**  
**SEAL**

**M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 26-5S-16-03717-126

Building permit No. 000025310

Permit Holder DALE HOUSTON

Owner of Building KIMBERLY BENNETT (M.H)

Location: 1101 SW WATSON STREET, FT. WHITE, FL

Date: 01/02/2007



  
Building Inspector

**POST IN A CONSPICUOUS PLACE**  
**(Business Places Only)**